

**BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO**

Appeal of  
EDUARD GOTOVSKIY and ALLA FELDMAN, )  
Appellant(s) )  
vs. )  
DEPARTMENT OF BUILDING INSPECTION, )  
PLANNING DEPARTMENT APPROVAL Respondent )

Appeal No. **24-008**

**NOTICE OF APPEAL**

**NOTICE IS HEREBY GIVEN THAT** on February 6, 2024, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the issuance on January 23, 2024 to Ruo Wu Chen, of a Site Permit (erect a 3-story, Type 5B, single family building with an Accessory Dwelling Unit) at 39 Santa Rosa Avenue.

**APPLICATION NO. 2021/10/29/1497**

**FOR HEARING ON April 3, 2024**

Address of Appellant(s):

Address of Other Parties:

<p>Eduard Gotovskiy and Alla Feldman, Appellant(s) 35 Santa Rosa Avenue San Francisco, CA 94112</p>	<p>Ruo Wu Chen, Permit Holder(s) c/o Andrew Tang, Agent for Permit Holder(s) Team 7 International 1648 Union Street, Suite 101 San Francisco, CA 94123</p>
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# City and County of San Francisco



London Breed  
Mayor

# Board of Appeals

Julie Rosenberg  
Executive Director

February 6, 2024

Ruo Wu Chen, Permit Holder(s)  
c/o Andrew Tang, Agent for Permit Holder(s)  
1648 Union Street, Suite 101  
San Francisco, CA 94123  
[atang@team7.com](mailto:atang@team7.com)  
[cabrillojoechen@gmail.com](mailto:cabrillojoechen@gmail.com)

**Appeal No.:** 24-008  
**Appeal Title:** Gotovskiy vs. DBI, PDA  
**Subject Property:** 39 Santa Rosa Avenue  
**Permit Type:** Site Permit  
**Permit No.:** 2021/10/29/1497

Dear Andrew Tang:

This is to notify you that an appeal has been filed with this office protesting the **ISSUANCE** of the above-referenced permit. Pursuant to Article I, §8 of the San Francisco Business & Tax Regulations Code, the permit is hereby **SUSPENDED** until the Board of Appeals decides this matter and releases a notice of decision and order.

We are enclosing a copy of the **Preliminary Statement of Appeal** for your information.

The hearing regarding this matter has been scheduled for **April 3, 2024, at 5:00 p.m., and will be held in Room 416 of San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place.** The parties may also attend remotely via the Zoom video platform.

If you have any further questions, you may email this office at [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org) or call (628) 652-1150.

Sincerely,

BOARD STAFF

cc: Department of Building Inspection c/o Matthew Greene  
[matthew.greene@sfgov.org](mailto:matthew.greene@sfgov.org)

Eduard Gotovskiy and Alla Feldman, Appellant(s)  
35 Santa Rosa Avenue  
San Francisco, CA, 94112  
[fldmn@pacbell.net](mailto:fldmn@pacbell.net)



Date Filed: February 6, 2024

**CITY & COUNTY OF SAN FRANCISCO  
BOARD OF APPEALS**

**PRELIMINARY STATEMENT FOR APPEAL NO. 24-008**

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I / We, **Eduard Gotovski and Alla Feldman**, hereby appeal the following departmental action: **ISSUANCE of Site Permit No. 2021/10/29/1497** by the **Department of Building Inspection** which was issued or became effective on: **January 23, 2024**, to: **Ruo Wu Chen**, for the property located at: **39 Santa Rosa Avenue**.

**BRIEFING SCHEDULE:**

Appellant's Brief is due on or before: 4:30 p.m. on **March 14, 2024, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org), [julie.rosenberg@sfgov.org](mailto:julie.rosenberg@sfgov.org), [corey.teague@sfgov.org](mailto:corey.teague@sfgov.org), [tina.tam@sfgov.org](mailto:tina.tam@sfgov.org), [matthew.greene@sfgov.org](mailto:matthew.greene@sfgov.org), [cabrillojoechen@gmail.com](mailto:cabrillojoechen@gmail.com) and [atang@team7.com](mailto:atang@team7.com)

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **March 28, 2024, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org), [julie.rosenberg@sfgov.org](mailto:julie.rosenberg@sfgov.org), [corey.teague@sfgov.org](mailto:corey.teague@sfgov.org), [tina.tam@sfgov.org](mailto:tina.tam@sfgov.org), [matthew.greene@sfgov.org](mailto:matthew.greene@sfgov.org) and [fldmn@pacbell.net](mailto:fldmn@pacbell.net)

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, April 3, 2024, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to [boardofappeals@sfgov.org](mailto:boardofappeals@sfgov.org). Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

**Please note** that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at [www.sfgov.org/boa](http://www.sfgov.org/boa). You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

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**The reasons for this appeal are as follows:**

See attachment to the preliminary Statement of Appeal.

**Appellant or Agent:**

Signature: Via Email

Print Name: Eduard Gotovski and Alla Feldman appellants

To whom it may concern,

I trust this letter finds you well. I am appealing the Permit #202110291497, construction of the property at 39 Santa Rosa Ave in San Francisco, CA.

Reasons for an appeal:

1. **Privacy and Security Concerns:** Upon reviewing the proposed schematics for this residential building, I noticed that the back deck on the second floor will be on the same level and in close proximity to my master bedroom window, located at the rear of my house (35 Santa Rosa Ave). This design raises significant privacy concerns, as well as potential noise disturbances. Additionally, the proximity of the deck to my bedroom poses a security risk, with the possibility for unauthorized access to my property. During a Zoom meeting with the project manager and next-door neighbors, I expressed these concerns, which have been disregarded. I urge for a revoke/hold on this permit until this issue is resolved.
2. **Address Numeration Discrepancy:** The assigned street address, 39 Santa Rosa Ave, raises concerns as it is out of order (it is between 25 and 35) and will create issues with postal, delivery, and emergency services on our block. I urge the city to rectify this discrepancy before construction begins.
3. **Removal of Historical Palm Tree:** A beautiful and historical palm tree, located at 39 Santa Rosa Ave, was removed not long ago. According to City Assessors and URBAN Forestry records, Permit No 788256 was issued for the removal of this tree, erroneously indicating its location as the sidewalk adjacent to the premises. The tree was, in fact, situated within the property. For clarification, the permit was not posted on the fence for the clear view, so the neighbors did not have a chance to appeal the permit. Want to note that tree was cut down on the August 8, 2021; the 13 days after permit was issued, violating fifteen days period for standard time to appeal. I would like city officials to investigate these issues.

I appreciate your prompt attention to these matters and trust that the necessary actions will be taken to ensure the proper development and integration of the new property into our community.

Sincerely,

Eduard Gotovskiy and Alla Feldman

## Permit Details Report

**Report Date:** 2/6/2024 3:31:37 PM

Application Number: 202110291497  
 Form Number: 2  
 Address(es): 3147 /028 /0 39 SANTA ROSA AV  
 3147 /028 /0 39 SANTA ROSA AV  
 Description: TO ERECT A 3-STORY, TYPE 5B, SINGLE FAMILY BUILDING WITH AN ADU.  
 Cost: \$1,400,000.00  
 Occupancy Code: R-3  
 Building Use: 28 - 2 FAMILY DWELLING

### Disposition / Stage:

Action Date	Stage	Comments
10/29/2021	TRIAGE	
10/29/2021	FILING	
10/29/2021	FILED	
1/22/2024	APPROVED	
1/23/2024	ISSUED	

### Contact Details:

#### Contractor Details:

License Number: 812310  
 Name: RUO WU CHEN  
 Company Name: CABRILLO CONSTRUCTION CO. INC.  
 Address: 821 MORNINGSIDE DR \* MILLBRAE CA 94030-0000  
 Phone: 4155168961

### Addenda Details:

#### Description:

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
CPB		10/29/21	11/8/21			11/10/21	SONG SUSIE		11/10/21: TO PPC, SS 11/8/21: GREEN BLDG CHECKLIST IS REQD. SS 11/3/21: SCN FORM RECEIVED. PENDING PAYMENT. SS 11/1/21: ADU SCN FORM FORWARDED TO TSD FOR APPROVAL. SS 10/29/21: EPR SITE PERMIT SUBMISSION. 9 PGS. APPLICANT CONFIRMED TO COMBINE (N) CONSTRUCTION & ADU IN ONE APPLICATION W/O FEE WAIVER. NEED SIGNATURE ON DWGS/SFPUC/SFUSD/ADU SCREENING FORMS & ESTIMATE COST. SS
CP-ZOC		11/10/21	3/7/22	5/2/22	11/4/22	2/17/23	HORN JEFFREY		12/7/21 - Documents received. Review with Environmental division. Notice of Incomplete Application letter due to applicant by 1/5/22. 11/16/21 - Add the following document(s) to the Bluebeam session and notify Erica.Russell@sfgov.org: 1. A completed Project Application: <a href="https://sfplanning.org/sites/default/files/forms/PRJ_Application.pdf">https://sfplanning.org/sites/default/files/forms/PRJ_Application.pdf</a>
CP-NP		11/4/22	11/21/22	11/4/22	11/10/22	12/21/22	HORN JEFFREY		11/4/22: Emailed 311 cover letter - Vlad 11/10/22: Mailed 311 notice 11/21/22; Expires 12/21/22 - Vlad
BLDG		2/24/23	4/27/23	4/28/23	7/6/23	7/6/23	NG JACKY		Comments issued 4/28/23 via BB session
BLDG		7/6/23	7/6/23	7/6/23		10/4/23	NG JACKY	Issued Comments	comments issued 10/4/23 Comments sent bb session on 7/6/23
BLDG	1	11/15/23	11/15/23			11/15/23	HUANG VIVIAN	Approved	approve for JNg, REV4
SFFD		2/24/23	3/17/23	3/17/23		7/31/23	RHAB		3/17/23: not approved; issued comments in bluebeam; plans on

							BOUGHN		hold pending revisions
SFFD		7/31/23	7/31/23			7/31/23	RHAB BOUGHN	Issued Comments	7/31/23: EPR - Rev2 not approved; issued comments in bluebeam; revised plans required
SFFD	1	9/25/23	9/25/23			9/25/23	RHAB BOUGHN	Issued Comments	9/25/23: EPR - Rev3 not approved; outstanding comments issued in bluebeam (applicant informed via phonecall); revised plans required
SFFD	2	12/14/23	12/14/23			12/14/23	RHAB BOUGHN	Issued Comments	12/14/23: EPR - Rev4 not approved; issued comments in bluebeam & notified applicant; addition to AB-005 required
SFFD	3	12/14/23	12/14/23			12/15/23	RHAB BOUGHN	Approved	12/15/23: EPR - officer signed AB005; premise haz entered; Rev 5 approved in bluebeam; no insp req 12/14/23: EPR - Rev5 pending officer signing AB-005
DPW-BSM		2/24/23	3/1/23			3/1/23	DENNIS RASSENDYLL		3.1.23 Approved EPR SITE Permit only. ADDENDA requirement(s) for sign off: Inspection Conformity (final inspection). All sidewalk applications and plans MUST be applied online. Download sidewalk applications at <a href="http://www.sfpublishworks.org/services/permits">http://www.sfpublishworks.org/services/permits</a> . Your application will be ON-HOLD until all necessary PUBLIC WORKS-BSM permits are completed or plan checker(s) could recommend sign off to the satellite office via email. - RD
SFPUC		2/24/23	4/13/23	4/13/23	6/29/23	6/29/23	CHUNG DIANA		EPR - Permit has been assessed a Capacity Charge for the proposed main unit. DBI will collect. See Invoice upload to Bluebeam. Capacity Charge not applicable to the new ADU meter per SB1069 and AB 2299, adding one ADU to a single family residence.- 06/29/23 Placed in HOLD pending comments. Please refer to the comments made in Bluebeam. - 04/13/23.
CP-ZOC	3	12/20/23	12/21/23			12/21/23	HORN JEFFREY	Approved	12/21/2023. Restamp plan revisions per DBI/Fire comments. JH
DPW-BSM	5	12/20/23	1/17/24			1/17/24	DEVINE THEO		Approved SITE only. ADDENDUM requirement(s) for sign off (TIER 1): Inspection Right-of-Way Conformity (final inspection). Download application(s) at <a href="http://www.sfpublishworks.org/services/permits/application-forms">http://www.sfpublishworks.org/services/permits/application-forms</a> and submit electronically to <a href="mailto:bsmpermitdivision@sfdpw.org">bsmpermitdivision@sfdpw.org</a> . Your construction addendum will be ON-HOLD until all necessary permit application(s) and fees are submitted to <a href="mailto:bsmpermitdivision@sfdpw.org">bsmpermitdivision@sfdpw.org</a> . Please call the office at (628) 271-2000 or email at <a href="mailto:bsmpermitdivision@sfdpw.org">bsmpermitdivision@sfdpw.org</a> for more information. Please be advised if Tier 1 release, you are required to provide plans to Public Works within 90-days of application date submittal or re-activation fee shall be enforced. <a href="mailto:theo.devine@sfdpw.org">theo.devine@sfdpw.org</a>
SFPUC	3	12/20/23	12/26/23			12/26/23	CHUNG DIANA	Approved	RE stamps. EPR - Permit has been assessed a Capacity Charge for the proposed main unit. DBI will collect. See Invoice upload to Bluebeam. - 12/26/23
DFCU		1/17/24	1/18/24			1/18/24	BLACKSHEAR JOHN	Administrative	1/18/24: Planning entered a Child Care fee on this permit. The fee will be collected at addenda 1 issuance.
PPC		11/10/21	11/10/21			1/19/24	PHAM ANH HAI	Administrative	01/19/24 07:50 AM Invite sent to CPB to close out permit; HP 1/17/24: Email sent to DFCU for fee assessment. Email sent to applicant to sign page 1 of school fee form; HP 12/20/23: Invite sent to CP-ZOC, BSM & PUC to review and stamp REV5 drawing; HP 2/24/23: Invite sent to BLDG, SFFD, BSM & PUC to start electronic plan review; HP 2/22/23: Email sent to Pre-Plan Check team to assign a Plan Review Tier; HP 11/10/21: Invite sent to applicant to join BB session; HP 11/10/21: Bluebeam session created, invite sent to DCP to start electronic plan review; HP
CPB		1/19/24	1/19/24			1/23/24	CHAN CHENG	Administrative	01/23/24: SITE PERMIT ISSUED. APPLICANT RECEIVED APPROVED PLANS AND DOCUMENT VIA BLUEBEAM LINKS. PLACARD PICKED UP. -CC 01/22/24: REQUESTED DOCUMENT RECEIVED. GREEN HALO # GH997-696-5642. INVOICE SENT. -CC 01/22/2024: SFUSD fee included to issuance fee.ay 01/19/2024: SFUSD form sent for calculation, permit not ready to be issued.ay 01/19/24: CONTRACTOR/OWNER BUILDER INFO REQUIRED. GREEN

										HALO REQUIRED. SCHOOL FEE REQUESTED. EMAIL SENT TO APPLICANT. -CC 1/18/24: Please be sure to add the DFCU to the addenda 1 routing.
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# BRIEF SUBMITTED BY THE APPELLANT(S)



## Brief for appeal NO. 24-008 @ 39 SANTA ROSA AVENUE

1. Privacy and Security Concerns: Upon reviewing the proposed schematics for this residential building, I noticed that the back deck on the second floor will be on the same level and in close proximity to my master bedroom window about 45" (Exhibits 1 and 2), located at the rear of my house (35 Santa Rosa Ave). This design raises significant privacy concerns, as well as potential noise disturbances. Additionally, the proximity of the deck to my bedroom poses a security risk, with the possibility for unauthorized access to my property. During a Zoom meeting with the project manager and next-door neighbors, I expressed these concerns, which have been disregarded. I urge for a revoke/hold on this permit until this issue is resolved.

2. Address Numeration Discrepancy: The assigned street address, 39 Santa Rosa Ave, raises concerns as it is out of order (it is between 25 and 35) and will create issues with postal, delivery, and emergency services on our block (Exhibit 3). We brought this concern during our original Zoom meeting with Project Manager, but it looks like it was disregarded as well. It seems like this issue would have been easier to address before all permits have been requested and issued. I urge the city to rectify this discrepancy before construction begins.

3. Removal of Historical Palm Tree: A beautiful and historical palm tree, located at 39 Santa Rosa Ave, was removed right after this property was purchased. According to City Assessors and URBAN Forestry records, Permit No 788256 was issued for the removal of this tree, erroneously indicating its location as the sidewalk adjacent to the premises (Exhibit 4). The tree was, in fact, situated within the property (Exhibit 5). For clarification, the permit was not posted on the fence for the clear view, so the neighbors did not have a chance to appeal the permit. Would like to note that the tree was cut down on August 8, 2021 (Exhibit 6); the 13 days after permit was issued, violating fifteen days period for standard time to appeal. I would like city officials to investigate these issues. This tree could've been preserved. There was no need to cut at the time because the construction would not be started until

all permits are received, which took about 3 years. In this time spent the tree could've been sold, donated, or relocated instead of being cut down.

4. We are also adding letter from our neighbors (Exhibit 7) who decided to add their concerns when found out that we filed an appeal.

Sincerely, Eduard Gotovskiy and Alla Feldman

Exhibit 1



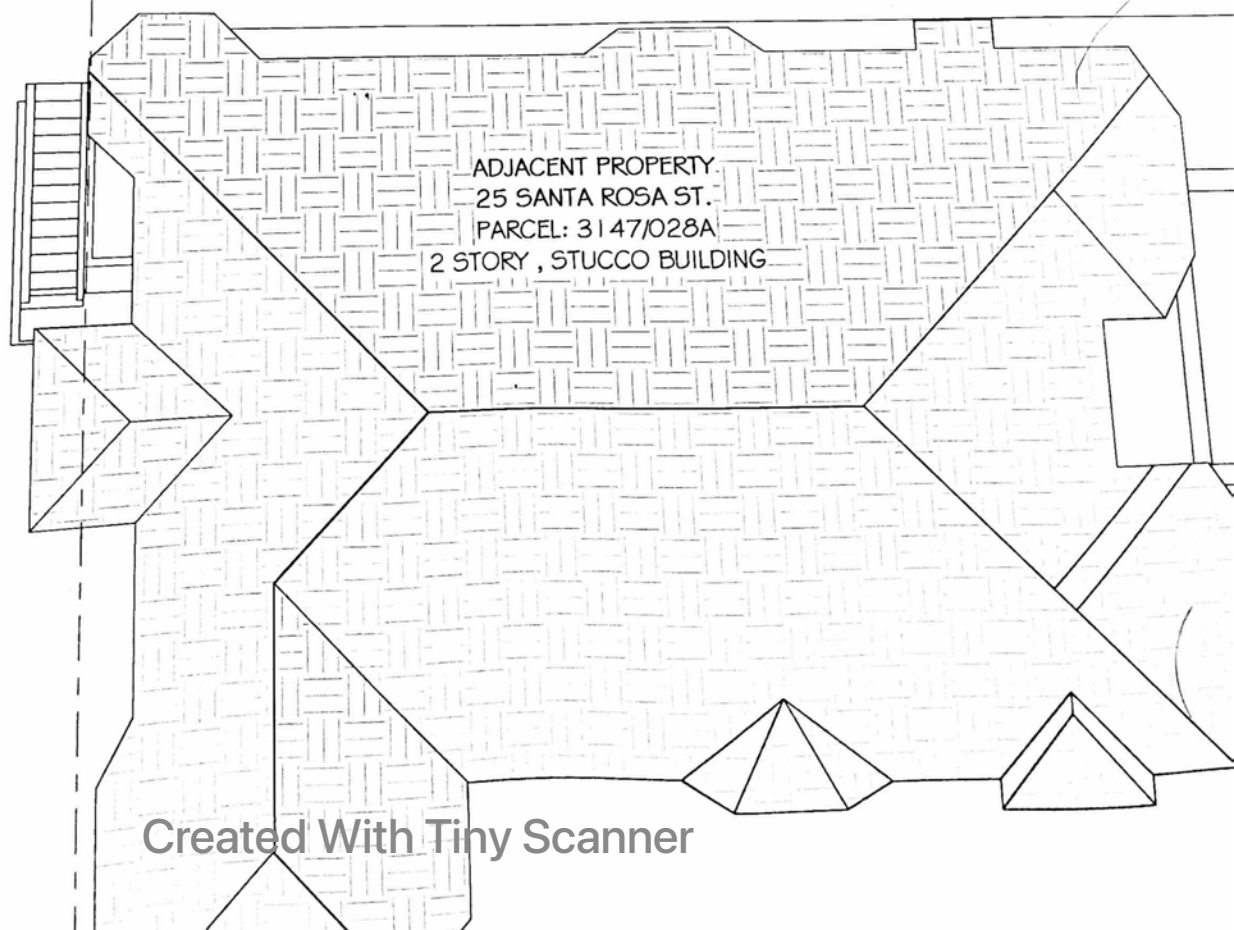
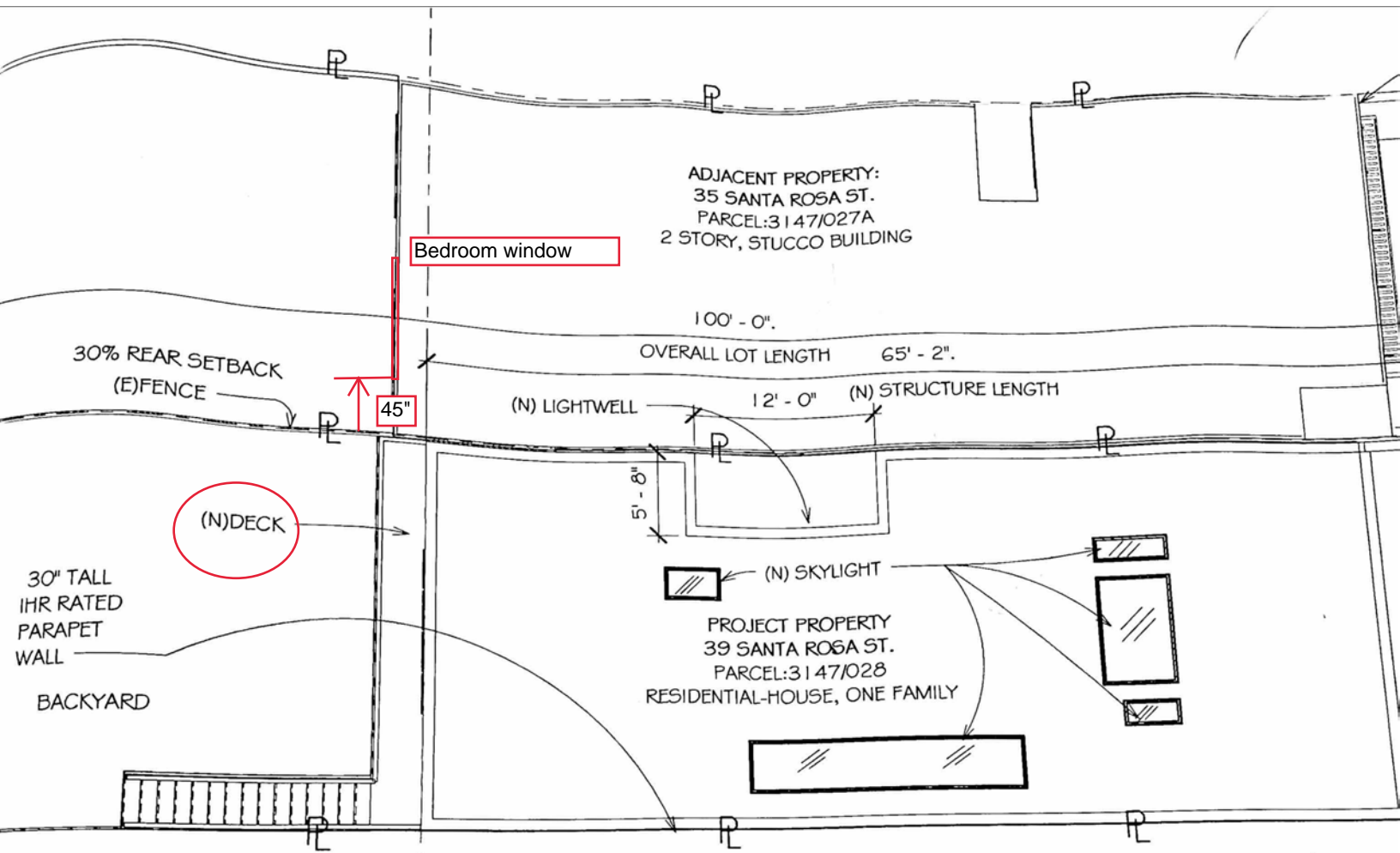
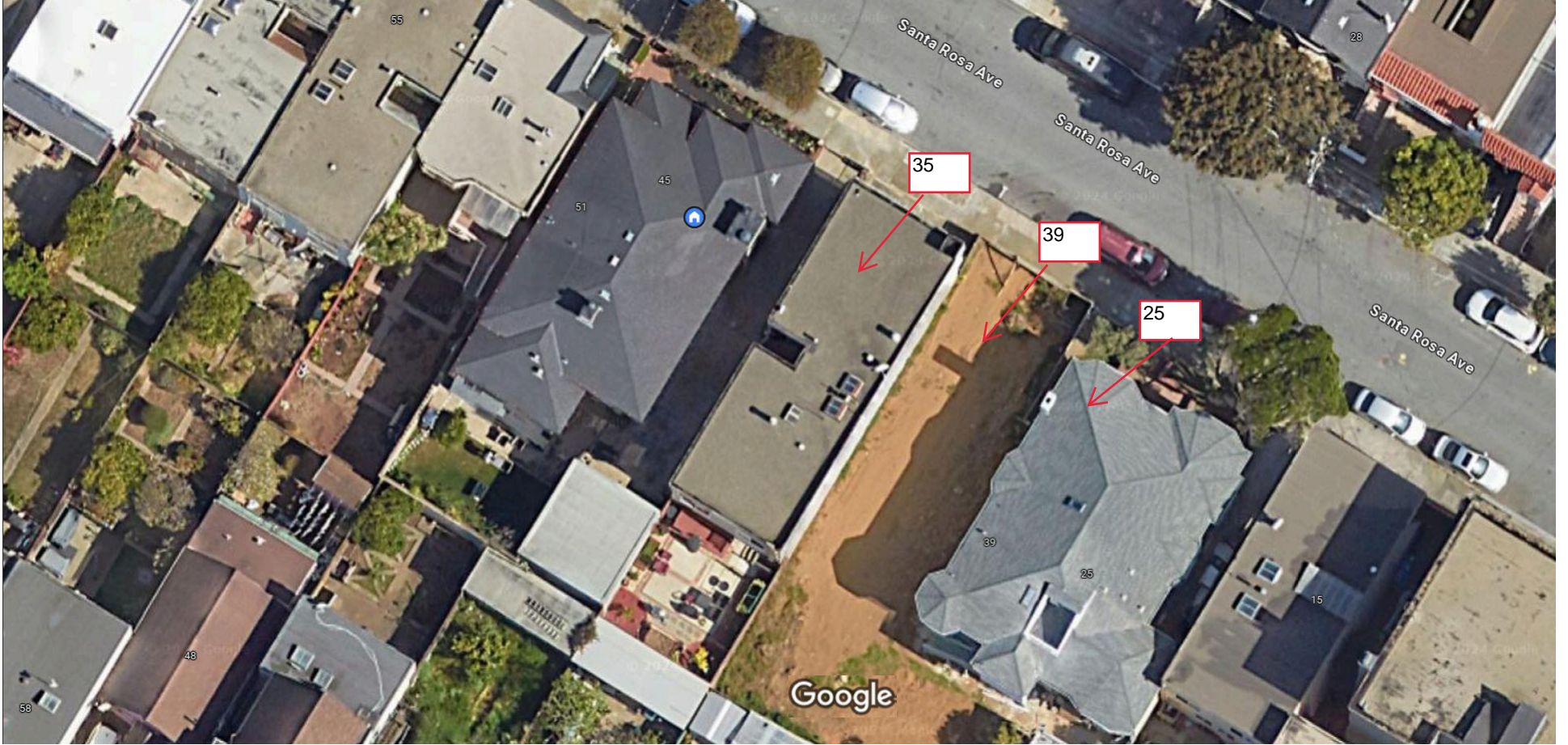


Exhibit 3





City and County of San Francisco  
San Francisco Public Works · Bureau of Urban Forestry  
49 South Van Ness Ave, Suite 1000 • San Francisco, CA 94103  
sfpublicworks.org · tel 628-652-8733

**PERMIT FOR PLANTING, MAINTENANCE OR REMOVAL OF SIDEWALK TREES**

Pursuant to the provisions of Article 16, Sec. 806 of the Public Works Code, as amended, permission is hereby granted to:

Joseph Ruo Wu Chen  
39 Santa Rosa Ave  
San Francisco CA 94123

**This permit specifically grants permission for:**

**Permit Remove Tree - 1 - Phoenix canariensis :: Canary Island Date Palm**

**on the sidewalk adjacent to the premises at:  
39 Santa Rosa Ave**

***in property***

Permittee agrees to hold harmless the City and County of San Francisco, its officers, agents and employees from any damage or injury caused by reason of the planting or the placement or maintenance of the planter plants. The owner or owners of the respective property shall be solely liable for any damage. Per Article 16: Section 806.5.(b).(1) all work associated with a street tree permit must be completed within six (6) months of issuance, unless an extension has been granted by the Department. This permit must be on site when permission has been granted for removal of a street tree. If a tree species is not specified above, please contact Bureau of Urban Forestry to discuss an appropriate and approved species to plant.

**Special Conditions: One Canary Island Palm removal w/ appraised value in-lieu. Planting requirement for street tree to be settled upon erection of new building**

**Date Issued: 7/21/2021**

**Permit No: 788256**

Approved:

Director, Department of Public Works

Chris Buck, Urban Forester

Bureau of Urban Forestry

Exhibit 5



LOT  
SQUARE  
43,916.00  
CERRITOS  
VACANT LOT

SFARMLS

Sold: \$600,000 (-- beds, -- baths, -- Square Feet)

Exhibit 6



Add a Caption

Tuesday · Aug 3, 2021 · 8:12 AM

[Adjust](#)

IMG\_1867



## Exhibit 7

Our concerns on 39 Santa Rosa Ave:

1. It has been customary for new owners to meet existing owners, engage with one another and get to know each other. We were excited to “meet” the new neighbor and ready to welcome face-to-face at the Zoom meeting as a new owner on the street. However we still haven’t seen the real owner of the house and were only able to communicate through the Project Plan Designer. We have concerns about a **faceless neighbor** on our street.
2. This property is **designed for short-term rentals**: every bedroom with an attached bathroom, common areas with individually secured areas. For the integrity and **safety of our community**, it is important for people to live in their homes and be part of the neighborhood, not just an unknown party reaping from overnight stays. We are fearful of a potential party house violating the sanctity of our street. This neighborhood is made of families that live & work locally.
3. A 2-family-dwelling with only one parking space on a street that is already congested will cause more **safety concerns**. We already have heavy traffic with Corpus Christi church service and events, and noise challenges with the illegal ongoing drag racing events down Mission st.
4. **The palm tree was removed without notice** on the property within the specified time period. The street, sidewalk and surrounding neighbors' houses and vehicles were covered with dust and debris without responsibility to clean up. This is not the behavior persistent with the current streets residents' values.
5. A 3-story-building with no top level setback does not fit in the **street and neighborhood characteristics**. We want to cherish and preserve the authentic character where we all have chosen to make our homes.



Thank you,  
Residents of 000 block of Santa Rosa Avenue

# PERMIT HOLDER(S) BRIEF

Brief from permit holder for appeal NO. 24-008 @ Santa Rosa Avenue.

1. Privacy and security Concerns: Concern of privacy and security along with providing a harmonious relationship with the project surrounding neighbors play a big part of our design. As this project is a new build construction, under planning code section 136, “Permitted Obstructions” a permitted building extension (in our case portion of the ADU bedroom #1) (Exhibit 1) can be extended into the rear yard setback by 12 foot. (as stated, the 12-foot pop out) (Exhibit 2). However, we understand taking the full potential of the 12-foot pop out into the rear yard would create big changes to the neighbors that might impact their existing routine and habit; therefore, we decided to keep the pop out at a moderate 5 foot, (instead of the permitted 12 foot extension) wishing that would result in less impact to the surrounding neighbors. We also foresee that the 5-foot balcony space, as a circulation spaces; mainly to serve as a passage way for occupants to move from 2<sup>nd</sup> floor Family room to the rear yard. (Exhibit 3) The original design intent for the balcony was not to use that area as a space to gather, hang out nor hold party at. But if future occupants decide to use that 5-foot balcony as a gathering space, to prevent privacy and security concern between 39 and 35 Santa Rosa Ave. We will erect a solid 1hr rated 6-foot-tall wall at the Northwest abutting wall at the balcony edge, so that visual connection and access connection will be obstructed. (Exhibit 4. 5.6.7.8).

2. Address Numeration Discrepancy: When the lot was purchased in March 2021. The lot was stated and addressed as 39 Santa Rosa Ave. We agree that this house number discrepancy posts a major concern to not only delivery, postal but most importantly well

being of the entire block. When we are submitting the next phase of Building permit (the addendum, we would request a change of house number and will rectify this issue at once)

3. Removal of Historical Palm Tree: The Palm tree located within the property was majestic, but it is situated right in the middle of the center of the developed area, we had to make a hard decision to remove that that palm tree. All proper Tree removal permit was submitted to Urban Forestry in appropriate procedure. (The reason for removal was clearly stated at the Removal permit) Site plan with the Palm tree location in relationship with the sidewalk was sent to Department of Urban Forestry on March 2021. (Exhibit 9), Urban Forestry site inspector conducted a site visit on April 20<sup>th</sup>, 2021, to fully investigate the Palm tree's condition and the legality of the reason for removal and the tree's location. Tree Removal Notice was posted between May 31<sup>st</sup>, 2021, to June 30<sup>th</sup>, 2021, (Exhibit 10, 11) prominently at the Property's Street facing Fence. No appeal was filed during that period, and the Tree removal permit was issued on July 21<sup>st</sup>, 2021. The tree remover conducted their first site visit on August 3<sup>rd</sup>, and the Palm tree was removed completely on August 8<sup>th</sup>, 2021. The property owner was eager to begin the project and therefore wasn't aware nor brought to attention that there's a 15-day period for standard time to appeal. But our timeline did align with those 15 days after the permit was issued.

Concerns with other neighbors (referencing Appeal Exhibit 7)

A1. It was unfortunate that the initial pre-application was held via Zoom during the peak of pandemic. But the property owner would love to meet with all the neighbors as well.

(although his language barriers might hold him back at times, but regardless he has a genuine and welcoming personality that all of you will find him endearing).

A2. The property was not intended for short-term rental use. It was not the property owner's intention to develop the house as such. Property Owner at 39 Santa Rosa debated if he should move and live there himself. The property owner is an experienced developer/builder, and he believes that the "in suite bedroom" is a great amenity and asset to the house, which would add value to the property and therefore add value to the surrounding area as well.

A3. Parking is indeed an issue in dense urban setting city like San Francisco and it is getting more difficult to juggling higher density living with parking availability. As the property is to be developed as a Single-family dwelling with an attached ADU. The project is providing one parking space and a designated indoor bicycle rack which is sufficient per code).

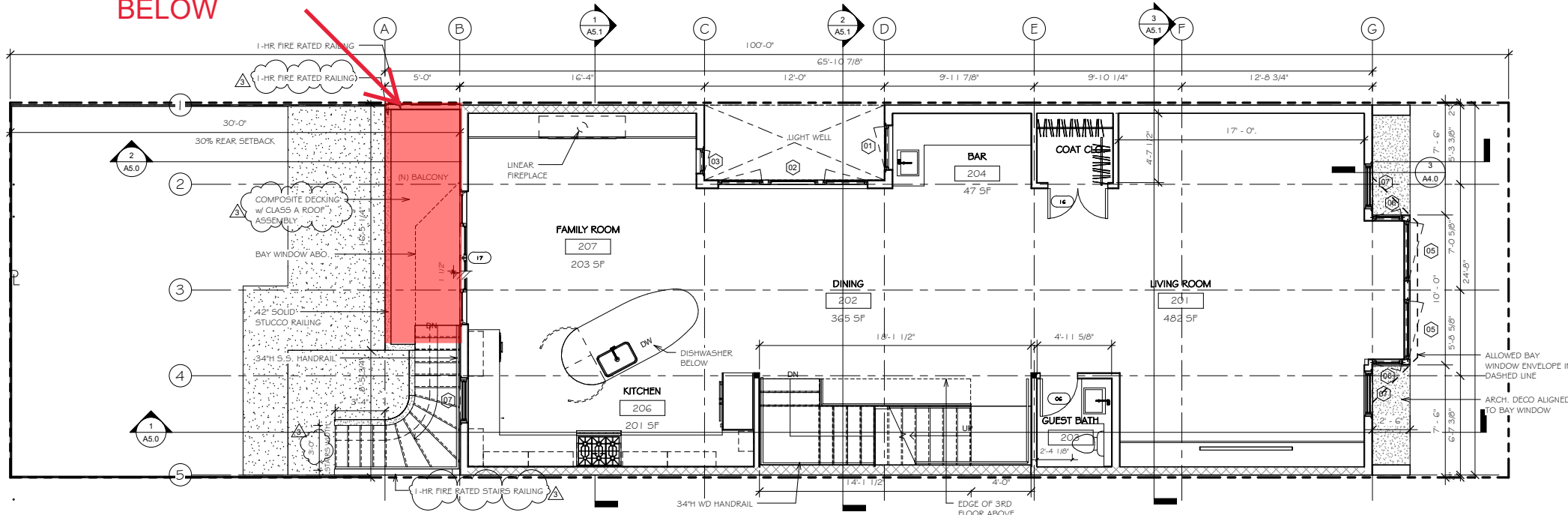
A4. The Tree removal notice was posted at the fence at the required time frame, the Tree Removal notice might be unnoticeable due to its size when posted at the fence. But all procedures of tree removal permit were properly submitted and processed. The owner would like to apologize for the dust and debris that the tree remover caused.

A5. The beauty of this block of Santa Rosa Ave, is the Architectural diversity within the block. At the southeast side of the property is a grand detached extraordinary home, at the Mission Street corner is a 3-story high apartment. (Exhibit 12) Right across from our project, 24 Santa Rosa Ave, is a gracious 3 story Victorian house, (Exhibit 13) and at the Northwest

end of the block is the 3-story modern church. (Exhibit 14) Our design would continue to contribute to the eclectic streetscape of this existing Santa Rosa block.

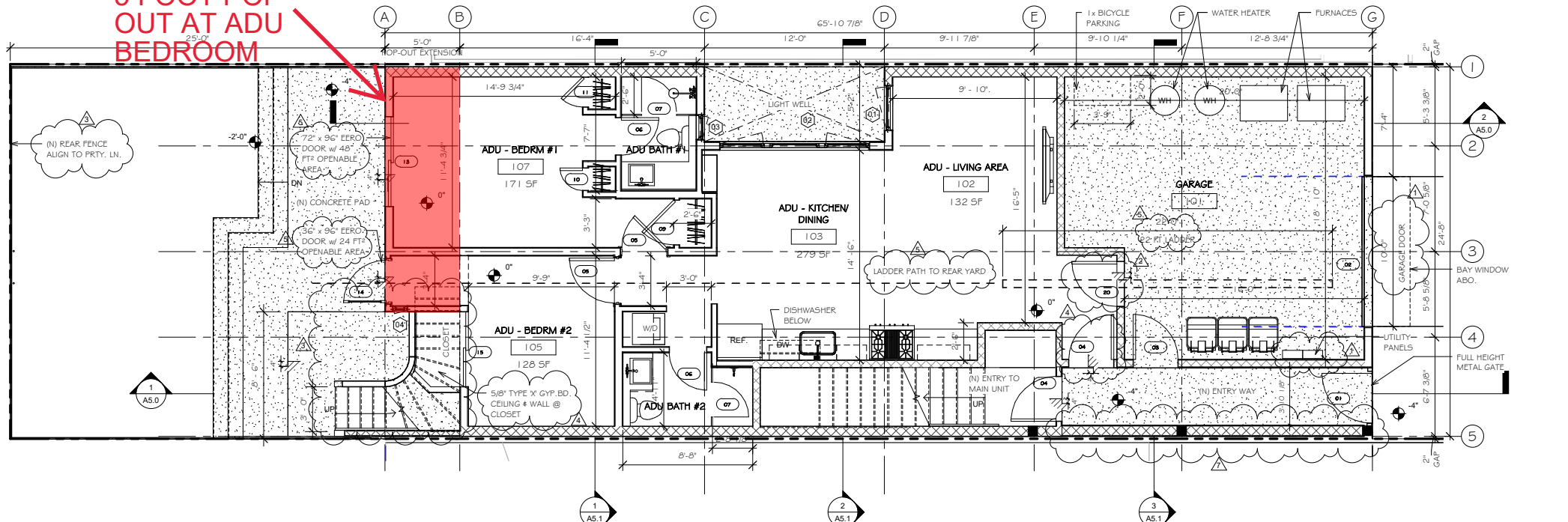
# EXHIBIT #1

5 FOOT POP OUT BELOW



1 PROPOSED 2ND FLOOR PLAN  
1/4" = 1'-0"

5 FOOT POP OUT AT ADU BEDROOM



2 PROPOSED GROUND FLOOR PLAN  
1/4" = 1'-0"

2ND FLOOR SQ.FT.		
ROOM NO.	ROOM NAME	AREA SQ.FT.
201	LIVING ROOM	482 5F
202	DINING	365 5F
203	GUEST BATH	29 5F
204	BAR	47 5F
205	COAT CLO.	23 5F
206	KITCHEN	201 5F
207	FAMILY ROOM	203 5F

GROUND FLOOR SQ.FT.		
ROOM NO.	ROOM NAME	AREA SQ.FT.
101	GARAGE	348 5F
102	ADU - LIVING AREA	132 5F
103	ADU - KITCHEN DINING	279 5F
104	ADU BATH #2	40 5F
105	ADU - BEDRM #2	128 5F
106	ADU BATH #1	38 5F
107	ADU - BEDRM #1	171 5F
108	MAIN HOUSE ENTRY	89 5F
109	ENTRYWAY	80 5F

### LIGHT & VENTILATION CALCULATION

- GROUND FLOOR**
- ADU BEDRM #1  
REQ. DAYLIGHT: 13.76 FT<sup>2</sup>; REQ. VENT: 6.88 FT<sup>2</sup>  
PROVIDED DAYLIGHT (DOOR #13): 48 FT<sup>2</sup>  
PROVIDED VENT (DOOR #13): 24 FT<sup>2</sup>
  - ADU BEDRM #2  
REQ. DAYLIGHT: 10.32 FT<sup>2</sup>; REQ. VENT: 5.11 FT<sup>2</sup>  
PROVIDED DAYLIGHT (DOOR #14 + WDW #4): 27 FT<sup>2</sup>  
PROVIDED VENT (DOOR #14 + WDW #4): 25 FT<sup>2</sup>
- 3RD FLOOR**
- MAIN UNIT M. BEDROOM  
REQ. DAYLIGHT: 26.56 FT<sup>2</sup>; REQ. VENT: 13.28 FT<sup>2</sup>  
PROVIDED DAYLIGHT (WDW 8, 10, 11): 69 FT<sup>2</sup>  
PROVIDED VENT (WDW 8, 10, 11): 64 FT<sup>2</sup>
  - MAIN UNIT BEDROOM #2  
REQ. DAYLIGHT: 11.04 FT<sup>2</sup>; REQ. VENT: 5.52 FT<sup>2</sup>  
PROVIDED DAYLIGHT (WDW 5, 6, 7): 41 FT<sup>2</sup>  
PROVIDED VENT (WDW 5, 6, 7): 40 FT<sup>2</sup>
  - MAIN UNIT BEDROOM #3  
REQ. DAYLIGHT: 11.04 FT<sup>2</sup>; REQ. VENT: 5.52 FT<sup>2</sup>  
PROVIDED DAYLIGHT (WDW 5, 6, 7): 41 FT<sup>2</sup>  
PROVIDED VENT (WDW 5, 6, 7): 40 FT<sup>2</sup>

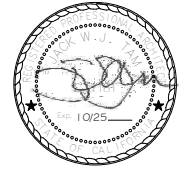
39 SANTA ROSA

39 Santa Rosa Ave, San Francisco, CA



1648 Union Street  
Suite 101  
San Francisco  
California 94123  
t: 415 409 8808  
f: 415 409 8809

SEAL



No.	Description	Date
1	Planning	Jul 28th, 22
2	Fire	Mar 17th, 23
3	Bldg - DBI	Apr 27th, 23
4	Bldg - DBI	Jul 05th, 23
5	FIRE - REV1	Jul 31st, 23
7	BLDG - REV3	Oct 04th, 23

Drawn: BKA, EE  
Checked: AT  
Scale: 1/4" = 1'-0"  
Project Number: 21007  
Sheet Title: PROPOSED 1ST AND 2ND FLOOR  
Sheet Number: A2.0

### FLOOR PLAN LEGEND

- NEW PROPOSED NON FIRE RATED WALL
- NEW 1-HR FIRE RATED WALL
- (N) COLUMNS w/ 1-HR FIRE RATED CASING
- PROPERTY LINE



EXHIBIT #2

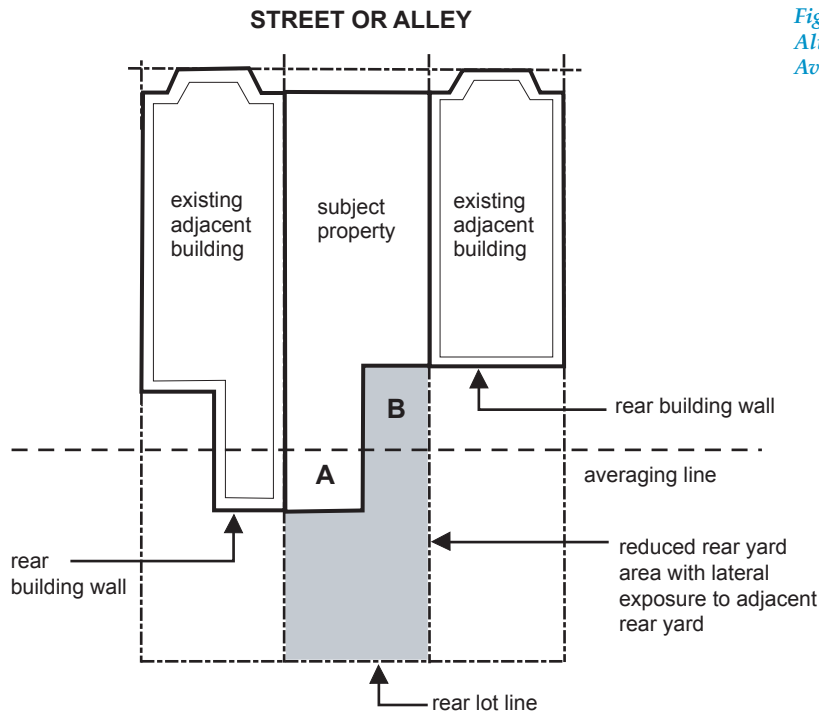


Figure 7  
Alternative Rear Yard  
Averaging

## Permitted Obstructions

A permitted obstruction is an item or building feature allowed to exist in or extend into a required open area. These include things like stairs, bay windows etc., of specified dimensions. One of the most significant of these is a 12-foot deck or extension of the building into the rear yard that does not go into the rear 25% or 15 feet of the lot (the “12-foot pop-out”). (Since it cannot project into this last 25%/15 foot increment, it is applicable only in those districts requiring a 45% rear yard, i.e. RH-2, RH-3, RM-1 and RM-2 Districts.) This 12-foot extension can cover the full width of the lot if it is no higher than 10 feet above grade. It may be as high as the floor level of the second floor of occupancy not counting the ground floor if there is a 5 foot distance completely clear of obstructions between the extension and both side property lines (see Figures 8 and 9). Remember that this feature can extend 12 feet into the required rear yard. Therefore if your house already extends 2 feet into the rear yard required under the current rules as stated above, this feature would only be allowed to extend 10 feet from your existing house. Alternatively, if your house does not extend to the point where the rear yard requirement begins, you could extend your house at the height limit to that point, then extend it further with this feature. However, this feature could not extend a full 12 feet if it would then enter the rear 25% or 15 feet of the lot. Remember also, that as a permitted obstruction, it already protrudes into the rear yard. Therefore, other permitted obstructions cannot be appended to the 12-foot extension and measured as projections into the rear yard from that point. Each permitted obstruction’s allowable extension is measured from the rear yard line. You may consult Planning Code Section 136 to find other obstructions that are permitted in the rear yard and front setback.

Figure 8  
12-Foot "Pop-Out"  
(Single story -  
maximum height of  
10 feet above grade

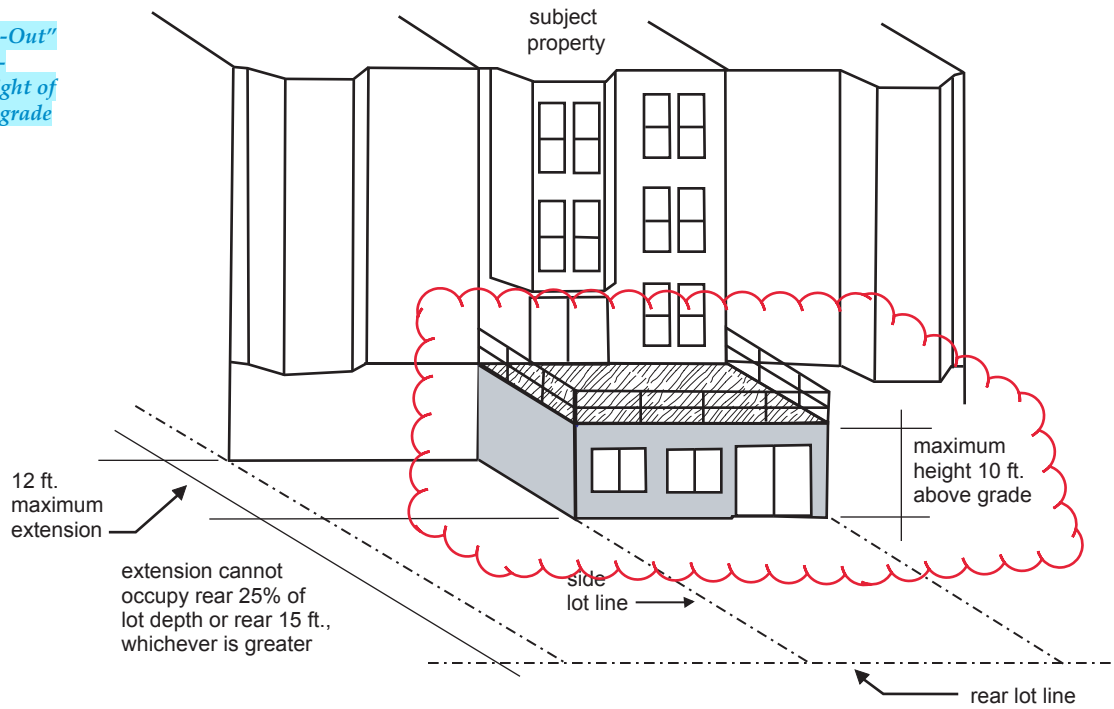
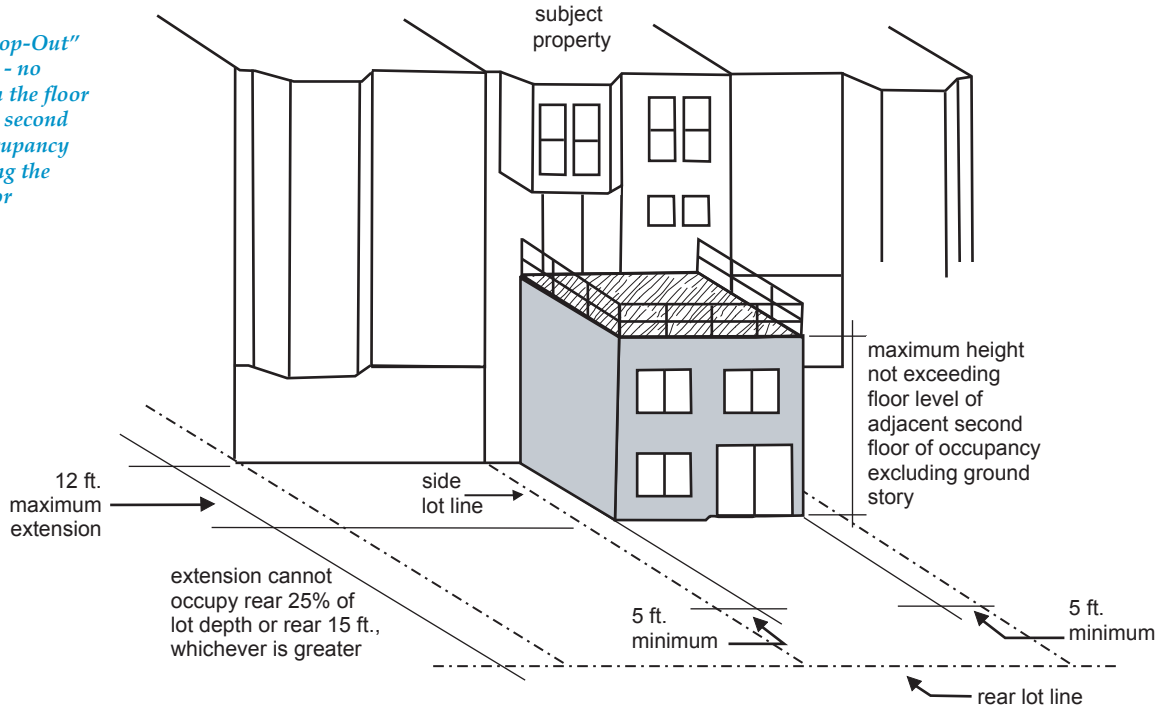
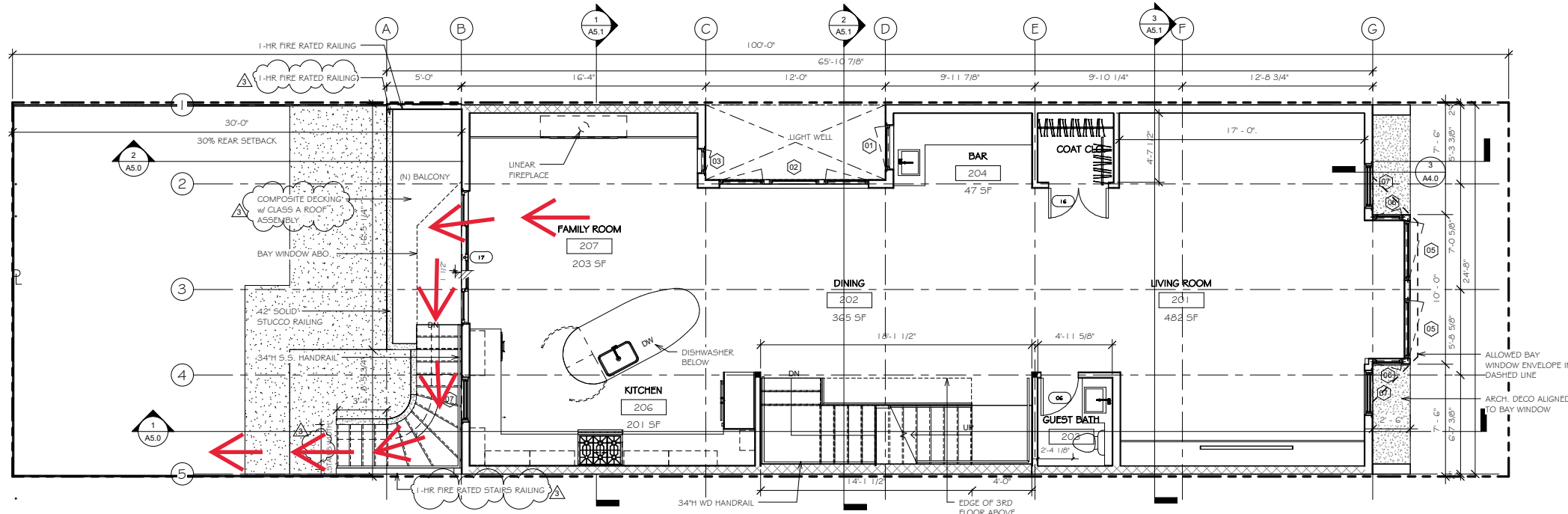


Figure 9  
12-Foot "Pop-Out"  
(Two story - no  
higher than the floor  
level of the second  
floor of occupancy  
not counting the  
ground floor

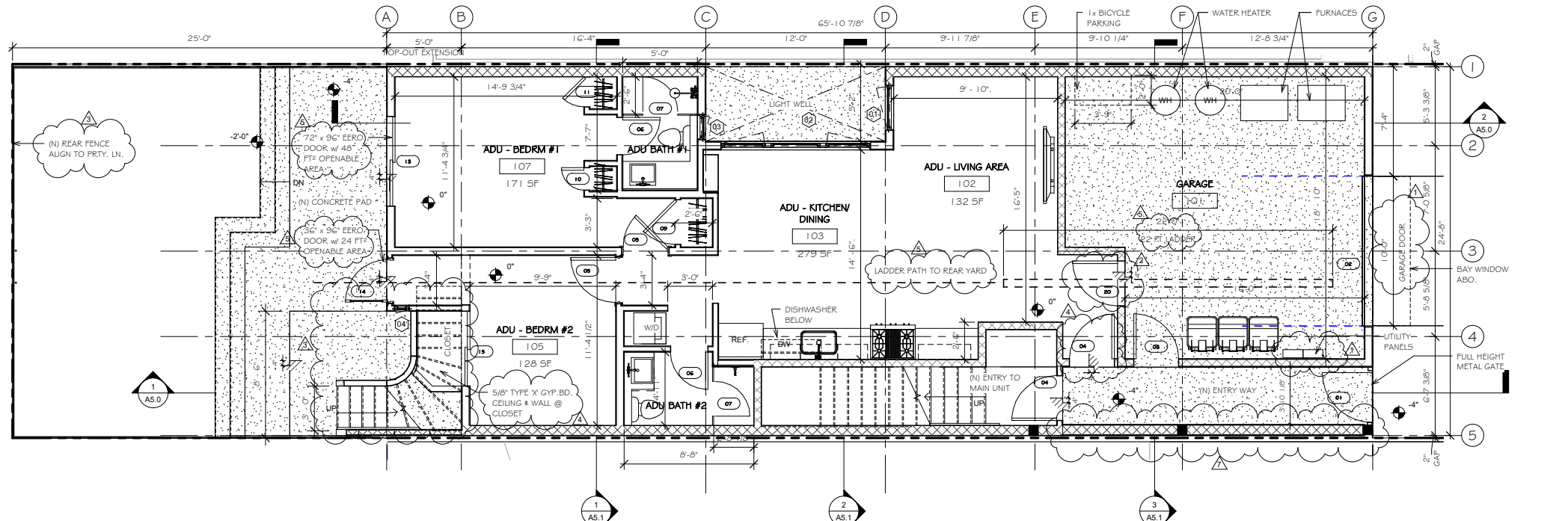


# EXHIBIT #3

Intended circulation from 2nd floor Family room to rear yard



1 PROPOSED 2ND FLOOR PLAN  
1/4" = 1'-0"



2 PROPOSED GROUND FLOOR PLAN  
1/4" = 1'-0"

2ND FLOOR SQ.FT.		
ROOM NO.	ROOM NAME	AREA SQ.FT.
201	LIVING ROOM	482 5F
202	DINING	365 5F
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204	BAR	47 5F
205	COAT CLO.	23 5F
206	KITCHEN	201 5F
207	FAMILY ROOM	203 5F

GROUND FLOOR SQ.FT.		
ROOM NO.	ROOM NAME	AREA SQ.FT.
101	GARAGE	348 5F
102	ADU - LIVING AREA	132 5F
103	ADU - KITCHEN DINING	279 5F
104	ADU BATH #2	40 5F
105	ADU - BEDRM #2	128 5F
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### LIGHT & VENTILATION CALCULATION

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PROVIDED DAYLIGHT (DOOR #13): 48 FT²  
PROVIDED VENT (DOOR #13): 24 FT²
  - ADU BEDRM #2  
REQ. DAYLIGHT: 10.32 FT²; REQ. VENT: 5.11 FT²  
PROVIDED DAYLIGHT (DOOR #14 & WDW #4): 27 FT²  
PROVIDED VENT (DOOR #14 & WDW #4): 25 FT²
- 3RD FLOOR**
- MAIN UNIT M. BEDROOM  
REQ. DAYLIGHT: 26.56 FT²; REQ. VENT: 13.28 FT²  
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PROVIDED VENT (WDW 8, 10, 11): 64 FT²
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REQ. DAYLIGHT: 11.04 FT²; REQ. VENT: 5.52 FT²  
PROVIDED DAYLIGHT (WDW 5, 6, 7): 41 FT²  
PROVIDED VENT (WDW 5, 6, 7): 40 FT²
  - MAIN UNIT BEDROOM #3  
REQ. DAYLIGHT: 11.04 FT²; REQ. VENT: 5.52 FT²  
PROVIDED DAYLIGHT (WDW 5, 6, 7): 41 FT²  
PROVIDED VENT (WDW 5, 6, 7): 40 FT²

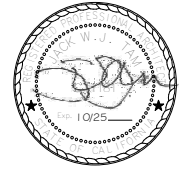
39 SANTA ROSA

39 Santa Rosa Ave, San Francisco, CA



1648 Union Street  
Suite 101  
San Francisco  
California 94123  
t: 415 409 8808  
f: 415 409 8809

SEAL



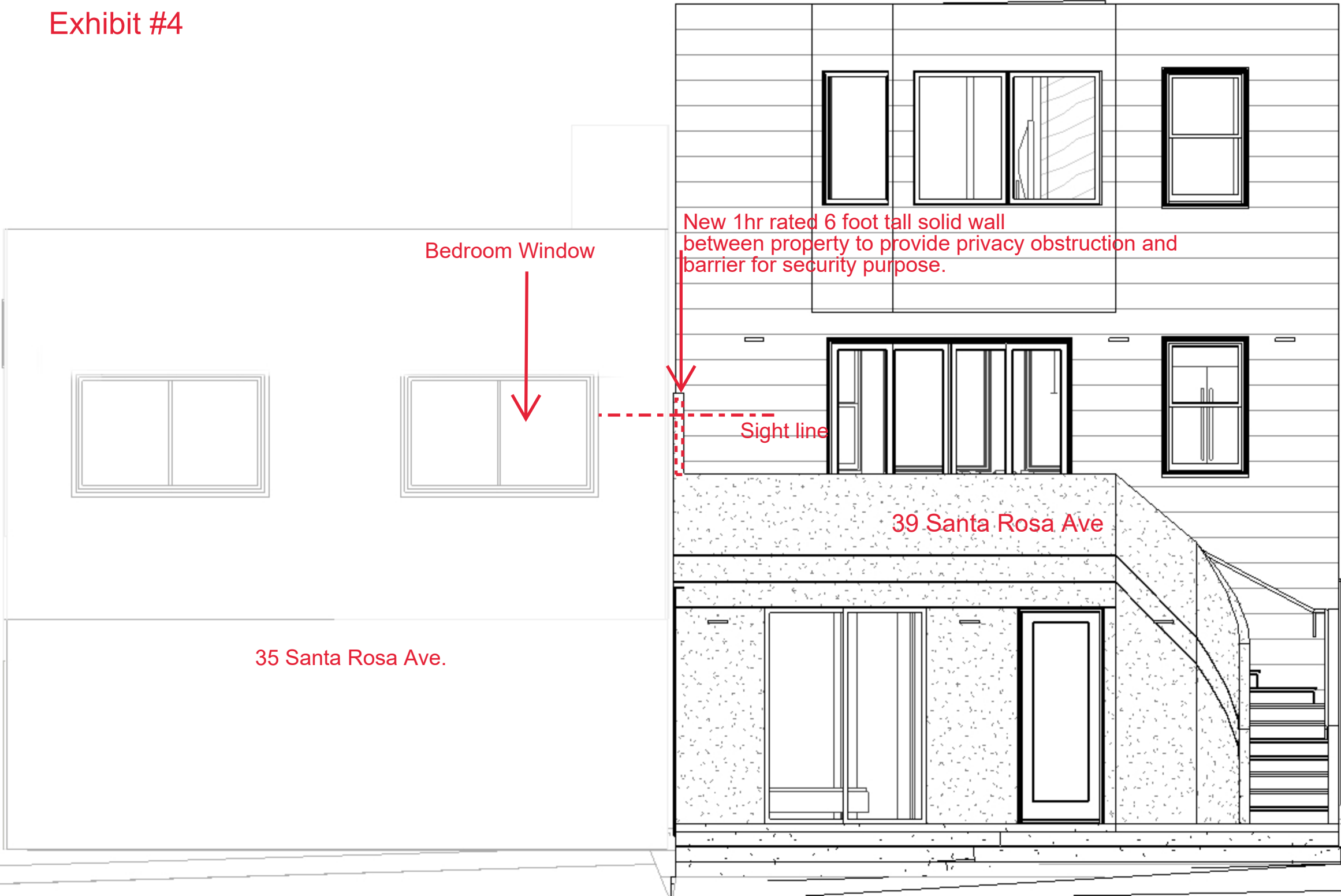
No.	Description	Date
1	Planning	Jul 28th, 22
2	Fire	Mar 17th, 23
3	Bldg - DBI	Apr 27th, 23
4	Bldg - DBI	Jul 05th, 23
5	FIRE - REV1	Jul 31st, 23
7	BLDG - REV3	Oct 04th, 23

Drawn: BKA, EE  
Checked: AT  
Scale: 1/4" = 1'-0"  
Project Number: 21007  
Sheet Title: PROPOSED 1ST AND 2ND FLOOR  
Sheet Number: A2.0

### FLOOR PLAN LEGEND

- NEW PROPOSED NON FIRE RATED WALL
- NEW 1-HR FIRE RATED WALL
- (N) COLUMNS w/ 1-HR FIRE RATED CASING
- PROPERTY LINE

Exhibit #4



Bedroom Window

New 1hr rated 6 foot tall solid wall between property to provide privacy obstruction and barrier for security purpose.

Sight line

39 Santa Rosa Ave

35 Santa Rosa Ave.

Exhibit #5

35 Santa Rosa

39 Santa Rosa

New 6 foot tall solid 1hr rated wall to block off visual connection and provide security barrier between 2 properties



# Exhibit #6

New 6foot solid 1hr rated wall  
in between 2 properties

35 Santa Rosa

39 Santa Rosa

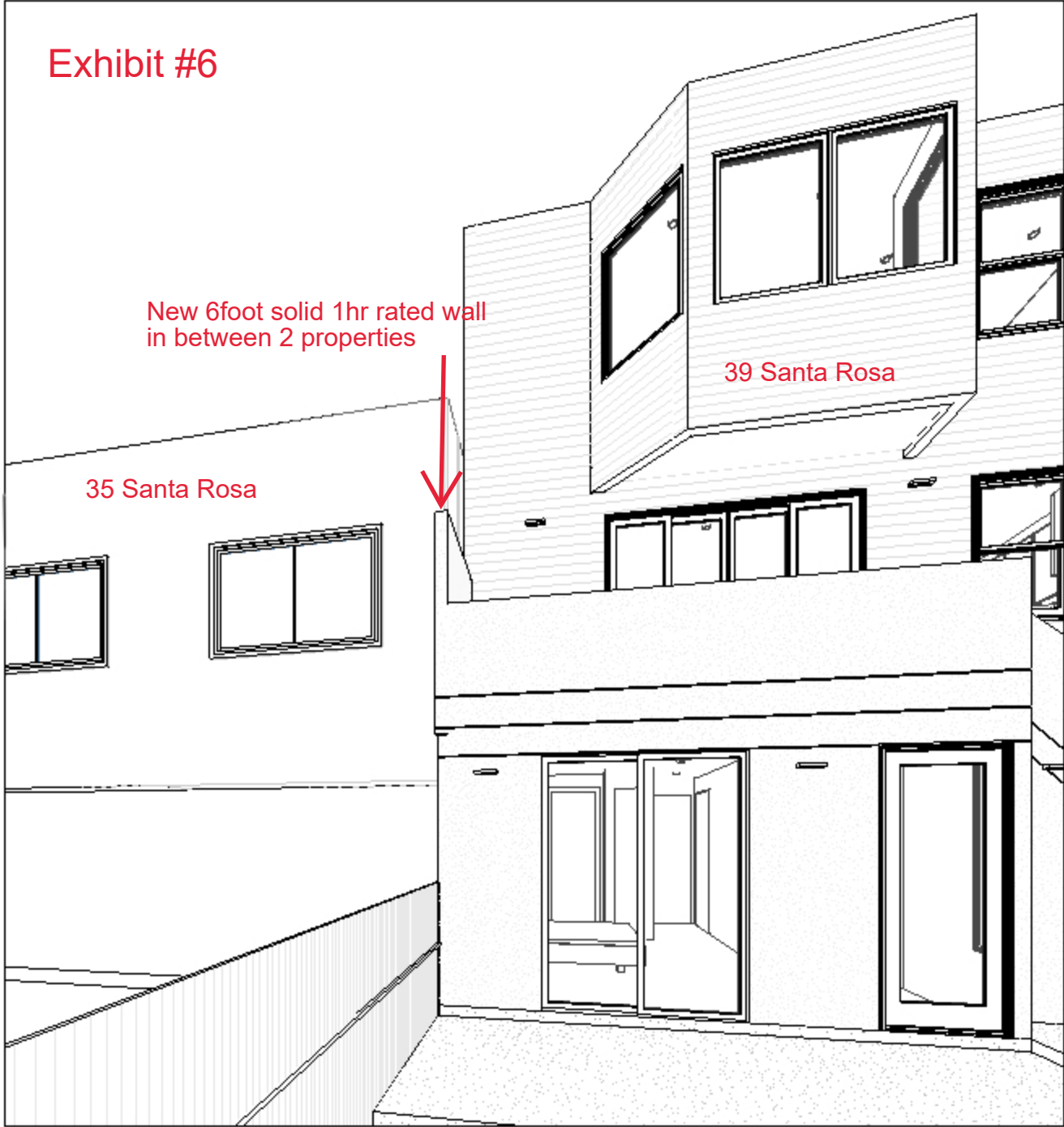


Exhibit #7

New 6 foot tall 1hr rated solid wall between 2 properties

39 Santa Rosa

35 Santa Rosa

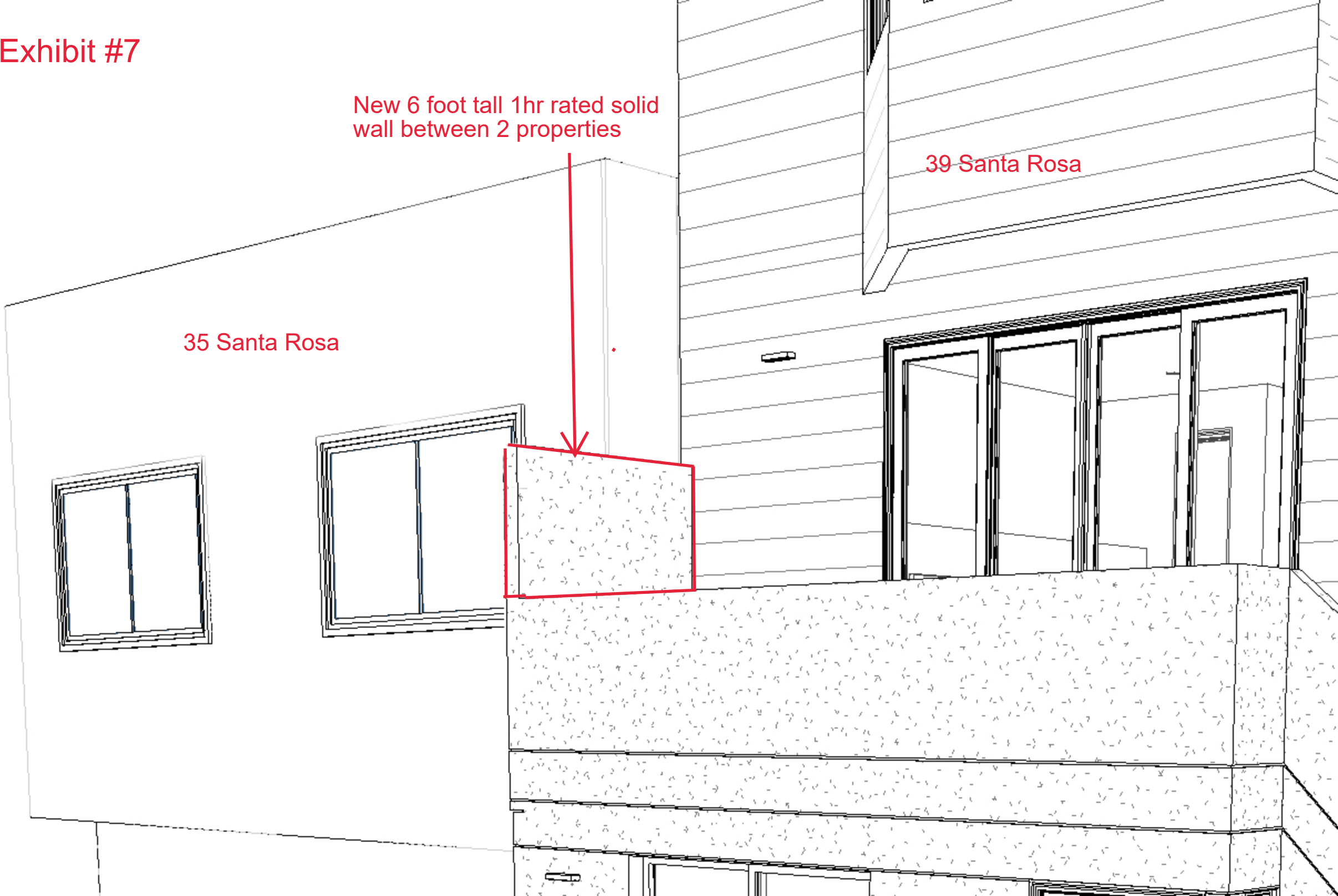


Exhibit #8

View from Balcony looking toward 35 Santa Rosa

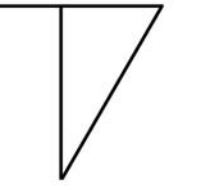




# Exhibit # 9

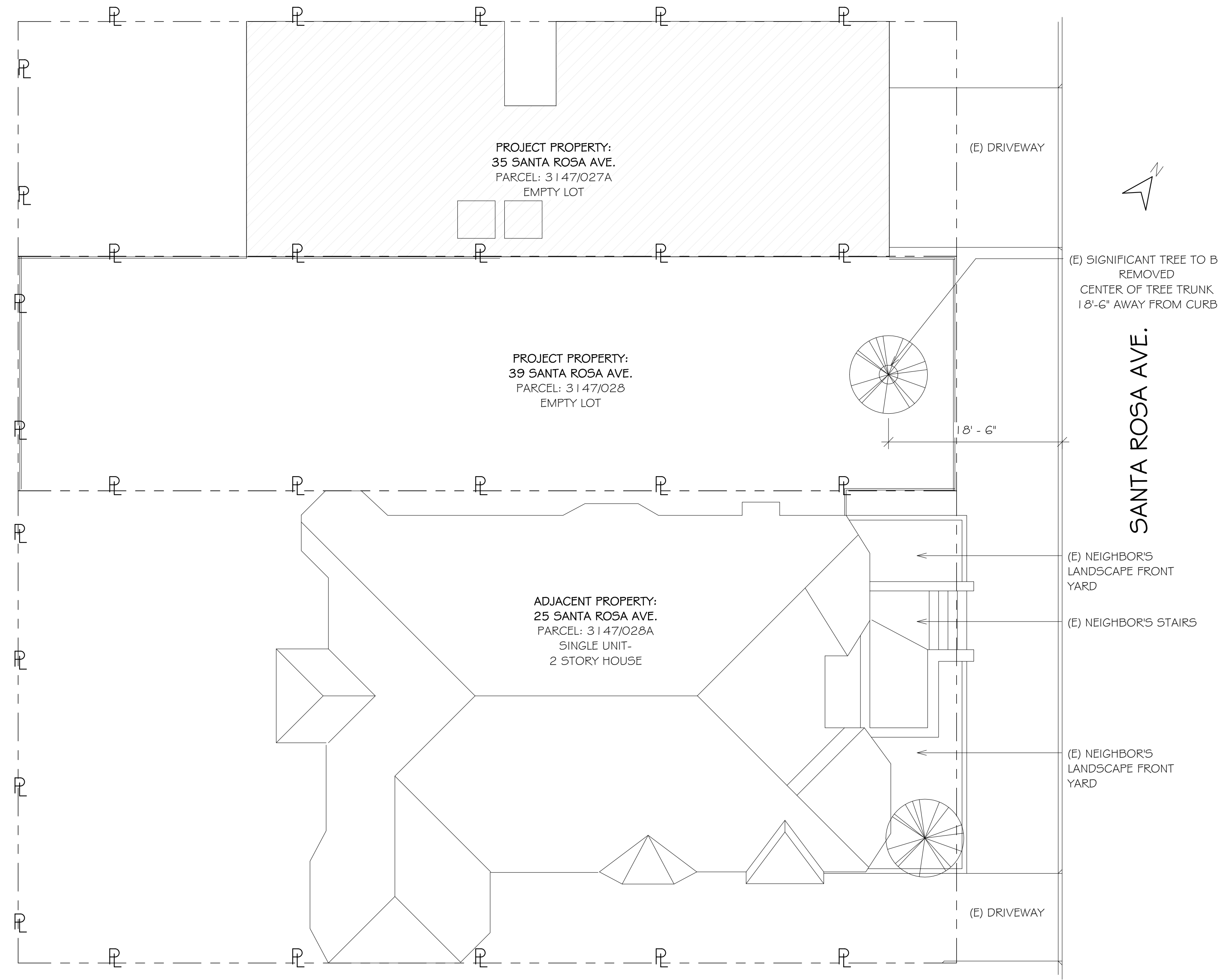
39 SANTA ROSA AVE.

39 Santa Rosa Ave.  
San Francisco, CA 94112



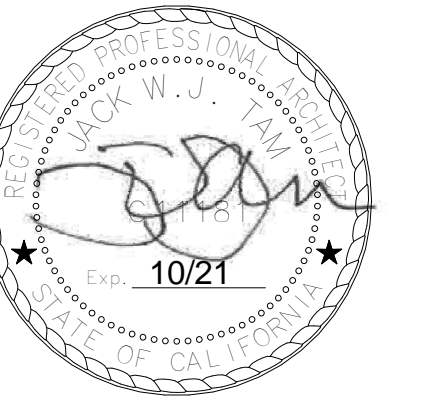
Team 7 International  
Architecture . Interior . Planning

1648 Union Street  
Suite 101  
San Francisco  
California 94123  
t: 415 409 8808  
f: 415 409 8809



Site plan sent to Urban Forestry on March 2021 for review and verification during tree removal permit process

SEAL



REVISIONS		
No.	Description	Date

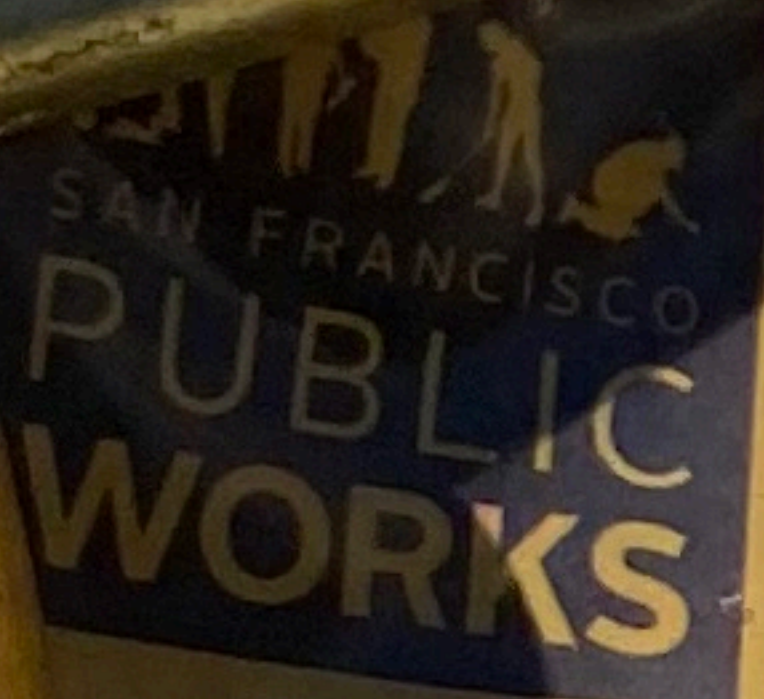
① PROPOSED TREE REMOVAL SITE PLAN  
1/8" = 1'-0"

Drawn      Checked  
AT              AT  
Scale              1/8" = 1'-0"  
Project Number              PENDING

Sheet Title  
**TREE REMOVAL SITE PLAN**

Sheet Number  
**AO.2**

Exhibit #10



# Tree Removal Notice

Aviso de Corte de Árbol

樹木移

The Bureau of Urban Forestry has reviewed and approved this tree for removal.

39 Santa Rosa Ave

# of trees: one (1)

Proposed for removal and to be replaced (if applicable) by:

- Permit applicant. Permit number 788256
- Public Works Bureau of Urban Forestry
- Other:

Reason(s) for removal:

- Dead and/or posing a structural public safety hazard
- Dying / in poor condition / weak / diseased
- Sewer repair or required root pruning will destabilize tree
- Other: tree is in the footprint of the building

Will tree be replaced?

- Yes, meets all planting guidelines
- Yes, unless conflicting underground utilities found
- No because:
  - Inadequate spacing between adjacent trees
  - Conflict with underground utilities identified
  - Other: A significant tree cannot be replaced in property. Approved Value to be paid. Project will separately trigger street tree planting requirement

This tree removal notice must remain posted from 5/31/2021 to 6/30/2021

For more information / Para más información / 想要查询更多信息

Bureau of Urban Forestry, 49 South Van Ness Avenue, Suite 1000, San Francisco, CA 94103  
(628) 652-TREE (8733), [urbanforestry@sfdpw.org](mailto:urbanforestry@sfdpw.org), [sfpublicworks.org/tree-removal-notification](http://sfpublicworks.org/tree-removal-notification)



In accordance with Public Works Code, Article 16, Section 806, providing for the care and maintenance of San Francisco's street trees, the Department shall post a notice on the affected tree(s) for 15 or 30 days. A written appeal may be made in regard to the removal of a tree within the posting period. Each tree that is removed will be replaced barring conflicts with any existing infrastructure (street lights, traffic lights, stop signs, bus stops, etc.), conflicts with any underground utilities or lack of compliance with Public Works Director's Planting Order 187,246, as well as with the Minimum Guidelines for Planting Street Trees.

STAPLES

# Exhibit #11

39

**Tree Removal Notice**  
Aviso de Corte de Árbol  
樹木移除通知

City of San Francisco, Department of Public Works, Bureau of Urban Forestry has reviewed and approved this tree for removal.

Address: \_\_\_\_\_ # of trees: one (1)

Reason(s) for removal and to be replaced (if applicable) by:  
 Permit Applicant, Permit number: \_\_\_\_\_  
 Public Works Bureau of Urban Forestry  
 Other: \_\_\_\_\_

Reason(s) for removal:  
 Dead and/or posing a structural public safety hazard  
 Dying / in poor condition / weak / diseased  
 Sucker repair or required root pruning will destabilize tree  
 Other: tree is in the location of the building

Will tree be replaced?  
 Yes, meets all planting guidelines  
 Yes, unless conflicting underground utilities found  
 No because:  
 Inadequate spacing between adjacent trees  
 Conflict with underground utilities identified  
 Other: A replacement tree cannot be raised in proximity. Replaced Natural Area Plant Project will separately trigger street tree planting requirement.

This tree removal notice must remain posted from 5/31/2021 to 6/30/2021

For more information / Para más información / 請查詢更多資訊  
Bureau of Urban Forestry, 49 South Van Ness Avenue, Suite 1030, San Francisco, CA 94103  
(415) 632-7888 (8733) [urbanforestry@sf.gov](mailto:urbanforestry@sf.gov) <http://www.sfdph.org/tree-removal-notice>

In accordance with Public Works Code Article 26, Section 804, posting of this notice is a condition of the permit for the removal of a tree. The Department shall post a notice on the affected property for 30 days before a removal permit is issued. The notice shall be posted in the location of a tree which has been approved for removal. The notice shall be posted in a location which is clearly visible to the public and shall be posted in a location which is clearly visible to the public. The notice shall be posted in a location which is clearly visible to the public. The notice shall be posted in a location which is clearly visible to the public.

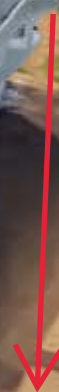
# Exhibit #12

3 story apartment on Mission



The Korner Store  
Bites & Vibes  
Korean • \$S

Project location  
39 Santa Rosa



# Exhibit #13

39 Santa Rosa



3 story Victorian



Santa Rosa Ave  
Google



Exhibit # 14

3 story Church



Corpus Christi Church

Corpus Christi Church

39 Santa Rosa



Google



ABBREVIATIONS

Table of abbreviations for construction terms including terms like 'And', 'Angle', 'At', 'Centerline', 'Diamond or Round', etc.

GENERAL NOTES

- 1. The contract document include the working drawing, addenda, modifications, the conditions of the construction contract, and specifications.
2. The contract documents are instruments of service and shall remain the property of the architect...

- F. Architectural Aluminum Manufacturer's Association (AAMA)
G. Aluminum Association, INC. (AA)
H. Concrete Reinforcement Steel Institute (CRSI)

SCOPE OF WORK

NEW 3-STORY CONSTRUCTION BUILDING WITH 2 RESIDENTIAL UNITS (1 SINGLE FAMILY + 1ADU). ADU UNDER STATE GOVERNMENT SECTION CODE 65852.2. ADU (UNIT 2) ON THE GROUND FLOOR WITH OPEN KITCHEN/ LIVING/ DINING ROOM, 2 BEDROOMS, & 2 BATHROOMS...

39 SANTA ROSA ROSA

39 Santa Rosa Ave, San Francisco, CA

INDEX OF DRAWINGS

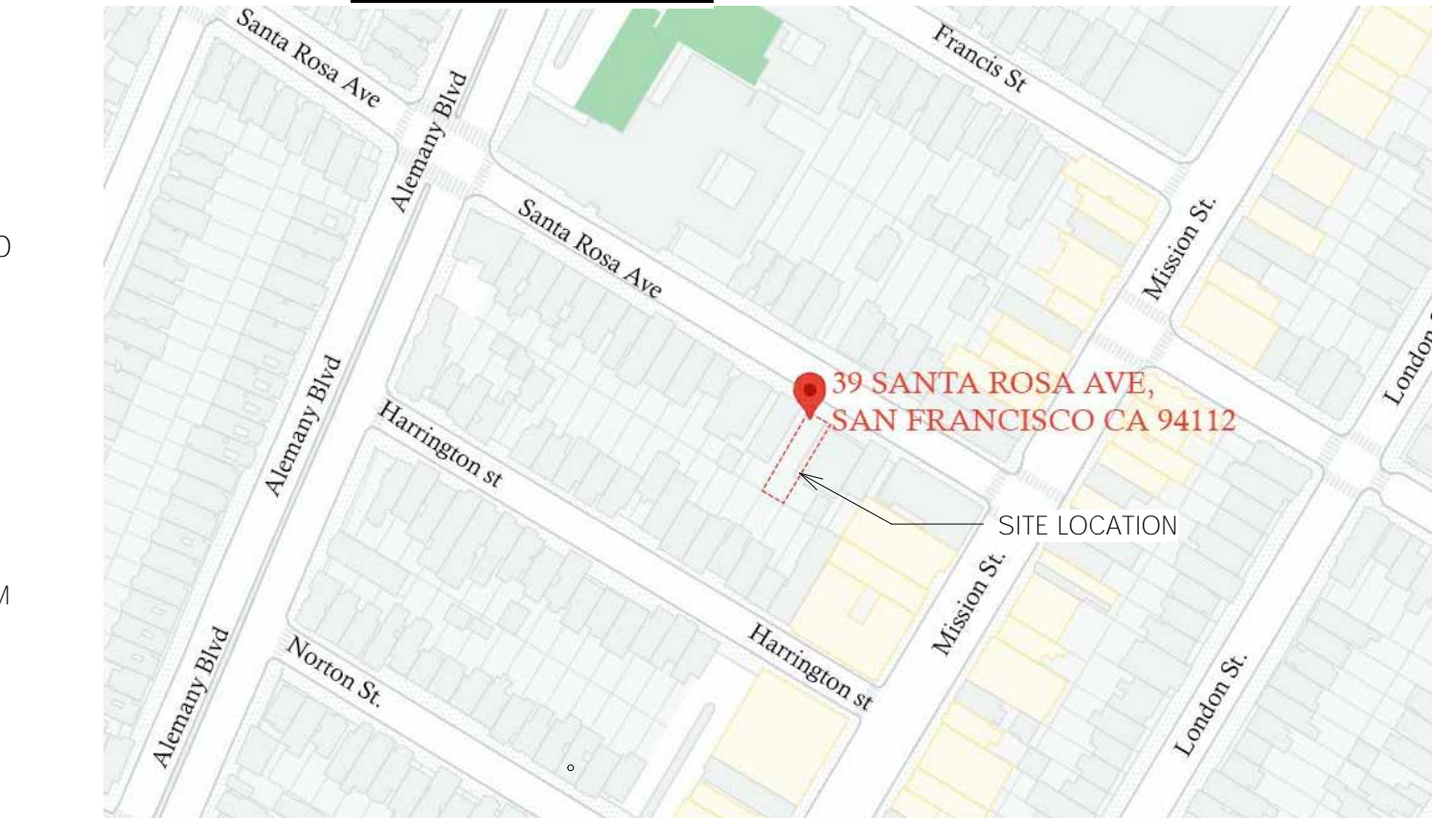
Table listing drawing sheets: AO.1 PROJECT DATA, AO.2 S-19 ATTACHMENT A, AO.3 AB-005 & BG-02, etc.

- 37. Only new items of recent manufacturer, of standard quality, free from defects, will be permitted on the work. Rejected items shall be removed immediately from the work and replaced with items of the quality specified.
38. The finished work shall be firm, well anchored, in true alignment, plumb, level, with smooth, clean, uniform appearance without waves, distortions, holes, marks, cracks, stains...

SYMBOLS

Legend for drawing symbols: Dashed line for existing construction to be removed, solid line for structural walls to remain, circle for grid line bubble, etc.

VICINITY MAP



PROJECT TEAM

OWNER: RUO WU CHEN, 821 MORNINGSIDE DR, MILLBRAE, CA 94030
GENERAL CONTRACTOR: RUO WU CHEN, 821 MORNINGSIDE DR, MILLBRAE, CA 94030

BUILDING DATA

BLOCK LOT: 3147/028
ZONING: RH-1
TOTAL LOT SQUARE FOOTAGE: 2,500 SQ. FT.
EXISTING STORY: 0
PROPOSED STORY: 3

BUILDING SQUARE FOOTAGE

Table showing building square footage: 1ST FLOOR 0 SQ. FT., 2ND FLOOR 0 SQ. FT., 3RD FLOOR 0 SQ. FT., TOTAL SQ. FT. 0 SQ. FT.



1648 Union Street
Suite 101
San Francisco
California 94123
t: 415 409 8808
f: 415 409 8809



REVISIONS

Revisions table with columns: No., Description, Date. Includes entries for Planning, Fire, Bldg - DBI, Bldg - REV3, Fire - REV3.

Drawn: BA, MI
Checked: AT
Scale: NTS
Project Number: 21007

PROJECT DATA

Sheet Title: AO.1



Attachment A

**SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST**

A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

JOB ADDRESS 39 Santa Rosa Ave. APPLICATION NO. 202110291497 ADDENDUM NO. \_\_\_\_\_  
OWNER NAME Joseph Chen OWNER PHONE NO. (415) 810 - 2408

1: PROPERTY LOCATION		3: PROPOSED CONSTRUCTION			
EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2000.	YES	NO	CONSTRUCTION OF NEW BUILDING OR STRUCTURE HAVING OVER 1000 SQFT OF NEW PROJECTED ROOF AREA	YES	NO
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	HORIZONTAL OR VERTICAL ADDITIONS HAVING OVER 500 SQFT OF NEW PROJECTED ROOF AREA	<input checked="" type="checkbox"/>	<input type="checkbox"/>
			SHORING	<input checked="" type="checkbox"/>	<input type="checkbox"/>
			UNDERPINNING	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2: AVERAGE SLOPE OF PROPERTY		GRADING, INCLUDING EXCAVATION OR FILL, OF OVER 50 CUBIC YARDS OF EARTH MATERIAL	YES	NO	
PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE <i>(APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)</i>	YES	NO	CONSTRUCTION ACTIVITY LISTED BELOW DETERMINED BY THE BUILDING OFFICIAL THAT MAY HAVE A SUBSTANTIAL IMPACT ON THE SLOPE STABILITY:	YES	NO
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RETAINING WALL:	<input type="checkbox"/>	<input type="checkbox"/>
			OTHERS: _____	<input type="checkbox"/>	<input type="checkbox"/>

**SECTION 4: LICENSED DESIGN PROFESSIONAL VERIFICATION AND SIGNATURES**

Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.

Prepared by: Jack Tam  
Engineer/Architect of Record  
(415) 409 - 8808 miquel@team7.com  
Telephone: \_\_\_\_\_ Email: \_\_\_\_\_  
[Signature] 06/26/2023  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_



Technical Services Division  
1660 Mission Street - San Francisco CA 94103  
Office (415) 558-6205 - FAX (415) 558-6401 - www.sfdbi.org

**FOR DBI USE ONLY**

**ASSIGNMENT OF REVIEW TIER**

**EXEMPTED: Reports per Section E and Third Party Peer Review Not Required**

If the box in Section 1 "Property Location" **AND** the box in Section 2 "Average Slope of Property" are marked "No" **OR** if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.

**TIER I: Reports per Section E Required but Third Party Peer Review Not Required**

If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.

**TIER II: Reports per Section E and Third Party Peer Review Required**

If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property lies within the areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.

If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.

**TIER III: Structural Advisory Committee (SAC) Review**

If the box in Section 1 "Property Location" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBC Section 105A.6.

Tier assigned by: \_\_\_\_\_ Phone: (415)  
DBI Plan Review Engineer

Comment: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

39 SANTA ROSA

39 Santa Rosa Ave, San Francisco, CA



1648 Union Street  
Suite 101  
San Francisco  
California 94123  
t: 415 409 8808  
f: 415 409 8809

SEAL



REVISIONS

No	Description	Date

Drawn \_\_\_\_\_ Checked \_\_\_\_\_  
MI  
Scale \_\_\_\_\_  
Project Number \_\_\_\_\_ 21007  
Sheet Title \_\_\_\_\_

S-19 ATTACHMENT A

Sheet Number  
**AO.2**





INFORMATION SHEET

No. EG-02  
DATE : December 13, 2021  
CATEGORY : Egress  
SUBJECT : Emergency Escape and Rescue Openings (EERO) into a Yard or Court of an Existing or New Building with an R-3 Occupancies

REFERENCE : Currently adopted San Francisco Building Code  
Section 1030 Emergency Escape and Rescue  
AB-005 Local Equivalency Case-by-Case Application Procedures  
AB-028 Pre-application and Pre-addendum Plan Review Procedures

INTENT : To clarify the local equivalency requirements for emergency escape and rescue openings that open into a yard or court that does not open directly to a public way for R-3 occupancies

DISCUSSION :  
SFBC Section 1030 requires emergency escape and rescue openings (EEROs) to open directly into a public way or to a yard or court that opens to a public way. This information sheet addresses the condition where the EERO's open to a yard or court that does not open directly to a public way for R-3 occupancies.

The intent of the code is that windows required by SFBC Section 1030 be available so that one may escape from that window to the exterior of the building without having to travel through the building itself, and so that rescue can be performed from the exterior. If the EERO's open into a yard that has no access to a public way, they do not meet the requirements of the code where both escape and rescue can be accomplished.

Projects may request for approval of local equivalency where both of the following conditions are met:  
1. The escape criteria of the EERO may be accomplished where the EERO open into a yard with a minimum of 25' depth  
2. The rescue criteria of the EERO at a yard or court that has no direct access to the public way shall be proposed by the project sponsor and evaluated on a case by case basis by the Supervisor or Manager.

All other conditions will also be evaluated on a case-by-case basis by the Supervisor or Manager. A pre-application meeting and/or approval of AB-005 is required.

Ken Coffin, Fire Marshal & Assistant Deputy Chief, San Francisco Fire Department (Signature, Date 12-21-21)  
Patrick O'Riordan, C.B.O., Interim Director, Department of Building Inspection (Signature, Date 12/22/21)

This Information Sheet is subject to modification at any time. For the most current version, visit our website at <https://sfdbi.org/information-sheets>.

Technical Services Division  
49 South Van Ness Avenue, Suite 500 - San Francisco CA 94103  
Office (628) 652-3720 - www.sfdbi.org

2022 SAN FRANCISCO BUILDING CODE

AB-005

ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION  
City & County of San Francisco  
49 South Van Ness Ave, 5th Floor, San Francisco, California 94103

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED 11/14/2023 [Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.  
Permit Application # 202110291497  
Property Address: 39 Santa Rosa Ave  
Block and Lot: 3147 / 028 Occupancy Group: R-3 Type of Construction: V-B No. of Stories: 3  
Describe Use of Building New 3-story Single Family Custom house with ADU and 1-car attached garage.

Under the authority of the San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the San Francisco Mechanical Code, Section 302.2; the San Francisco Electrical Code, Section 89.117; and the San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)  
Section 1030 Requires EERO to open directly into a public way or to a yard or court opens to a public way.

AB-005

2022 SAN FRANCISCO BUILDING CODE

Proposed Modification or Alternate  
Both units will provide EERO to 25 ft deep rear yard.  
Fire Department ladder will be able to access to the rear yard from the front garage through the ADU open living/dining/kitchen area and the ADU bedroom, then through a 36" wide door with access to the 25 feet deep rear yard that has permits access to the EERO windows of unit above.

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.  
Current Project is an interior lot with no access to public way. The building will provide at least 25 feet of rear yard to meet alternative local equivalency as state on EG-02

Requested by: PROJECT SPONSOR  
Print Name: Ruo Wu Chen  
Signature: [Signature]  
Telephone: 415-810-2408  
ARCHITECT/ENGINEER  
Jack Tam  
Signature: [Signature]  
Telephone: 415-409-8808



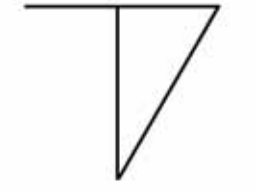
2022 SAN FRANCISCO BUILDING CODE

AB-005

PLAN REVIEWER COMMENTS:  
RECOMMENDATIONS: Approve Approve with conditions Disapprove  
[signed off/dated by:]  
Plan Reviewer:  
Division Manager:  
for Director of Bldg. Inspection:  
for Fire Marshal:  
CONDITIONS OF APPROVAL or OTHER COMMENTS:

39 SANTA ROSA

39 Santa Rosa Ave, San Francisco, CA



Team 7 International  
Architecture - Interior - Planning

1648 Union Street  
Suite 101  
San Francisco  
California 94123  
t: 415 409 8808  
f: 415 409 8809

SEAL

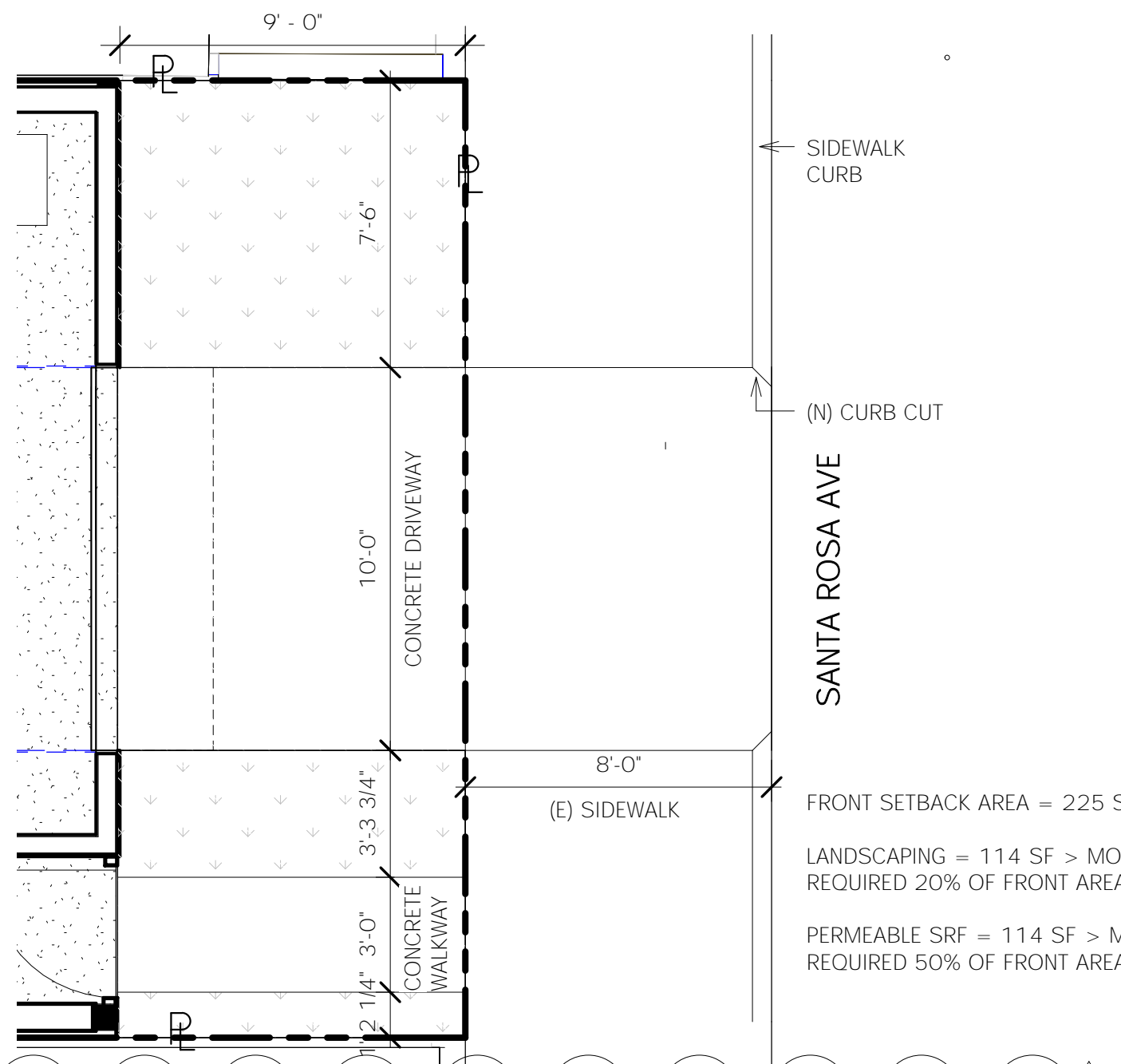


REVISIONS table with columns: No, Description, Date. Includes revisions 6 and 8.

Drawn MI  
Checked MI  
Scale  
Project Number 21007

Sheet Title AB-005 & EG-02

Sheet Number AO.3



**3 PROPOSED FRONT SETBACK LANDSCAPE**  
1/4" = 1'-0"

SAN FRANCISCO FIRE DEPARTMENT  
BUREAU OF FIRE PREVENTION  
PLAN CHECK DIVISION / WATER FLOW  
49 South Van Ness Ave., Suite 500  
SAN FRANCISCO, CA 94108  
Email: [WaterflowSFFD@sffpd.gov](mailto:WaterflowSFFD@sffpd.gov)  
Phone: 628-652-3473  
Payment (VISA/MC): Email best time to contact you.

**REQUEST FOR WATER FLOW INFORMATION**  
(For additional information, see Water Flow FAQs at: <https://www.sffpd.gov/permits/water-flow>)

REQUEST IS FOR: FIRE FLOW- YES  NO  SPRINKLER DESIGN- YES  NO

DATE: 2023/08/10  
CONTACT PERSON: Miguel Im ADDRESS: 1648 Union St., #101  
PHONE #: 415-409-8808 EMAIL: miguel@team7.com  
OWNER'S NAME: Joseph Fluo Wu Chen PHONE #: 415-810-2408

ADDRESS FOR WATER FLOW INFORMATION: 39 Santa Rosa Ave  
CROSS STREETS (BOTH ARE REQUIRED): Mission St/ Alemany Blvd  
SPECIFY STREET FOR WATER DEPT CONNECTION: Santa Rosa Ave  
PROVIDE PROJECT LOCATION SKETCH HERE:

Field Flow Test Required. Submit Payment to SFFD for \$ P&D

OCCUPANCY TYPE (CIRCLE ONE): R2 LIVEWORK COMMERCIAL OTHER \_\_\_\_\_  
HAZARD CLASSIFICATION: LIGHT ORD 1 ORD 2 EXT 1 EXT 2 OTHER \_\_\_\_\_  
CAR-STACKER: YES  NO  NUMBER OF STORIES: 3 HEIGHT OF BLDG (FT): 30 ft

- SUBMIT FORM WITH A SEAL CHECK (AVAILABLE TO "OFFY" OR PAY BY CREDIT CARD (PHONE # ABOVE)
- REQUESTS REQUIRING A FIELD FLOW TEST WILL BE NOTIFIED BY EMAIL AND AN ADDITIONAL FEE OF \$275.00 WILL BE REQUIRED.
- WATER FLOW INFORMATION WILL BE RETURNED BY EMAIL.
- INCOMPLETE FORMS WILL NOT BE PROCESSED.
- PLEASE ALLOW FOR A MINIMUM OF 7 TO 14 BUSINESS DAYS FOR PROCESSING.

Flow data provided by: Miguel Im / Team7.com Date forwarded: 9/15/23

Flow data: FIELD FLOW TEST STATIC 81 PSI  
RECORDS ANALYSIS RESIDUAL 78 PSI  
Gate Page 161 FLOW 860 GPM  
6 INCH MAIN on SANTA ROSA AVE  
Rev. 10/2022

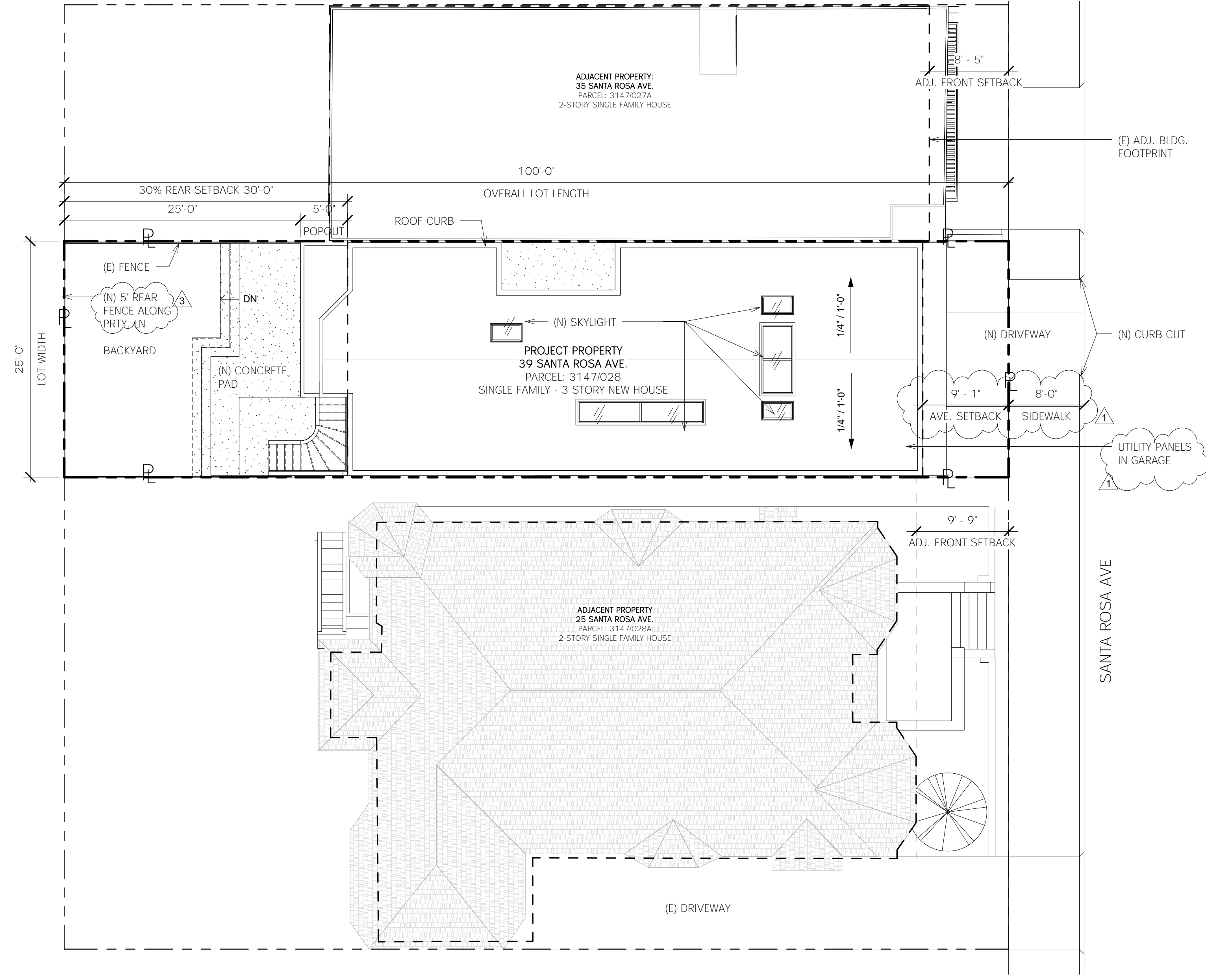
39 SANTA ROSA ROSA

39 Santa Rosa Ave, San Francisco, CA

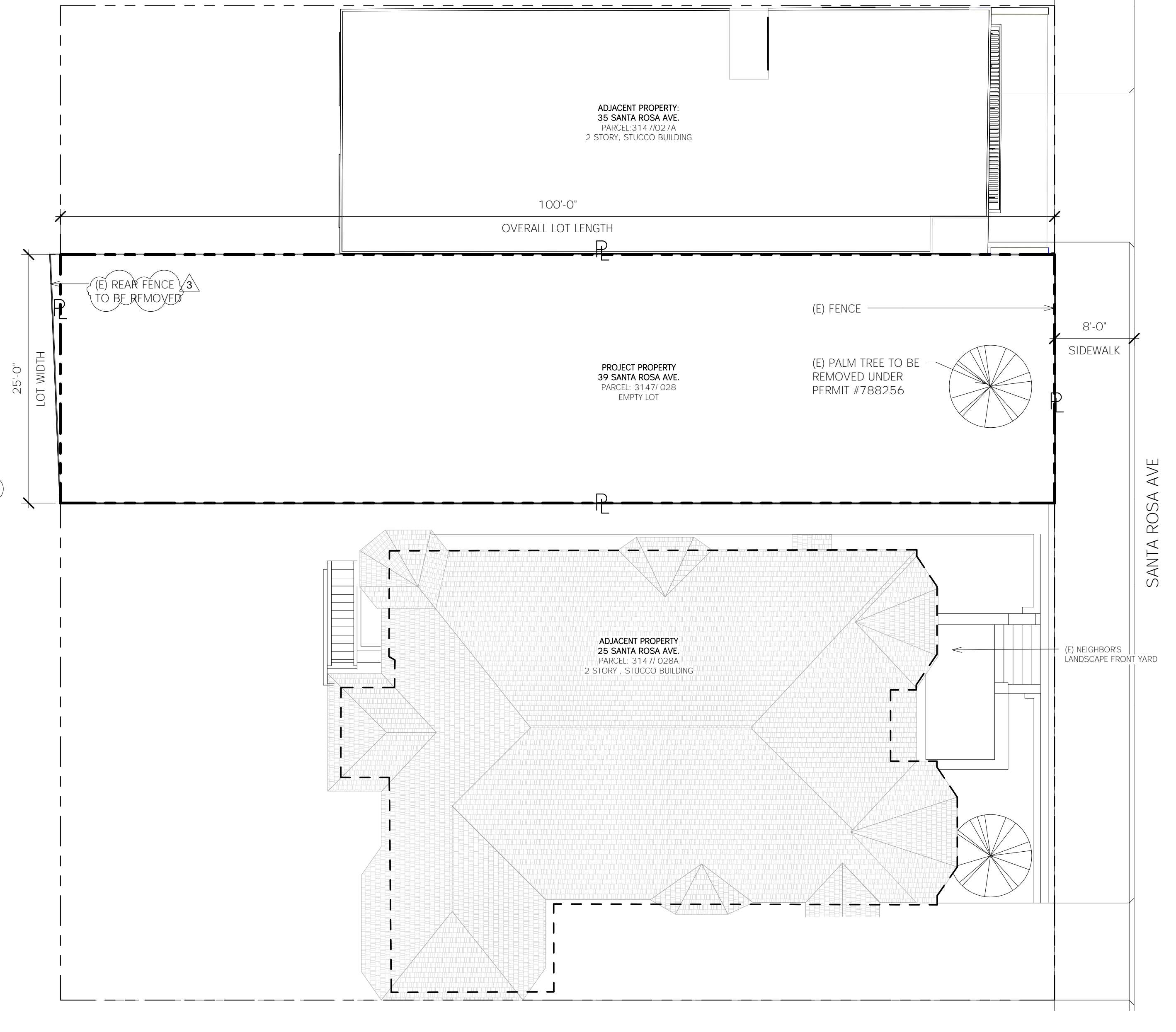


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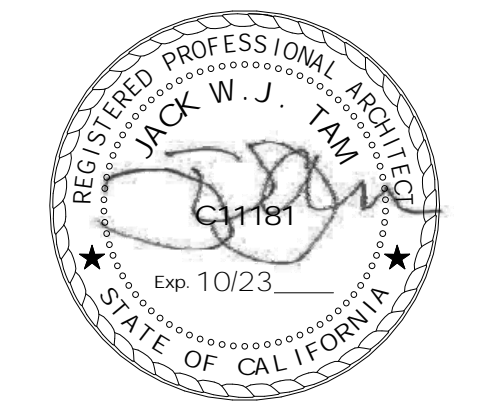


**1 PROPOSED SITE PLAN**  
1/8" = 1'-0"



**2 EXISTING SITE PLAN**  
1/8" = 1'-0"

SEAL



REVISIONS

No.	Description	Date
1	Planning	Jul 28th, 22
3	Bldg - DBI	Apr 27th, 23
5	FIRE - REV1	Jul 31st, 23

Drawn: BKA, EE  
Checked: AT  
Scale: As indicated  
Project Number: 21007  
Sheet Title: EXISTING & PROPOSED SITE PLAN

Sheet Number: A1.0

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Architecture - Interior Design - Planning

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No.	Description	Date
1	Planning	Jul 28th, 22
2	Fire	Mar 17th, 23
3	Bldg - DBI	Apr 27th, 23
4	Bldg - DBI	Jul 05th, 23
5	FIRE - REV1	Jul 31st, 23
7	BLDG - REV3	Oct 04th, 23

Drawn: BKA, EE  
Checked: AT  
Scale: 1/4" = 1'-0"  
Project Number: 21007

Sheet Title: PROPOSED 1ST AND 2ND FLOOR

Sheet Number: A2.0

2ND FLOOR SQ.FT.		
ROOM NO.	ROOM NAME	AREA SQ.FT.
201	LIVING ROOM	482 SF
202	DINING	365 SF
203	GUEST BATH	29 SF
204	BAR	47 SF
205	COAT CLO.	23 SF
206	KITCHEN	201 SF
207	FAMILY ROOM	203 SF

GROUND FLOOR SQ.FT.		
ROOM NO.	ROOM NAME	AREA SQ.FT.
101	GARAGE	348 SF
102	ADU - LIVING AREA	132 SF
103	ADU - KITCHEN/ DINING	279 SF
104	ADU BATH #2	40 SF
105	ADU - BEDRM #2	128 SF
106	ADU BATH #1	38 SF
107	ADU - BEDRM #1	171 SF
108	MAIN HOUSE ENTRY	89 SF
109	ENTRYWAY	80 SF

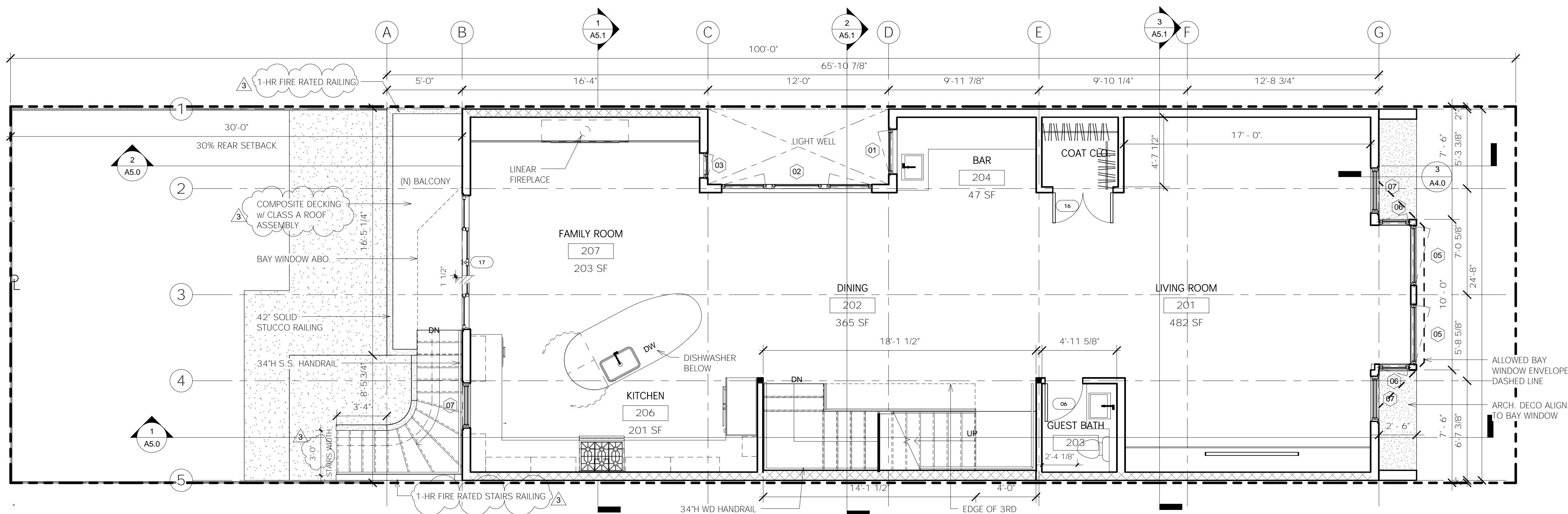
LIGHT & VENTILATION CALCULATION

**GROUND FLOOR**

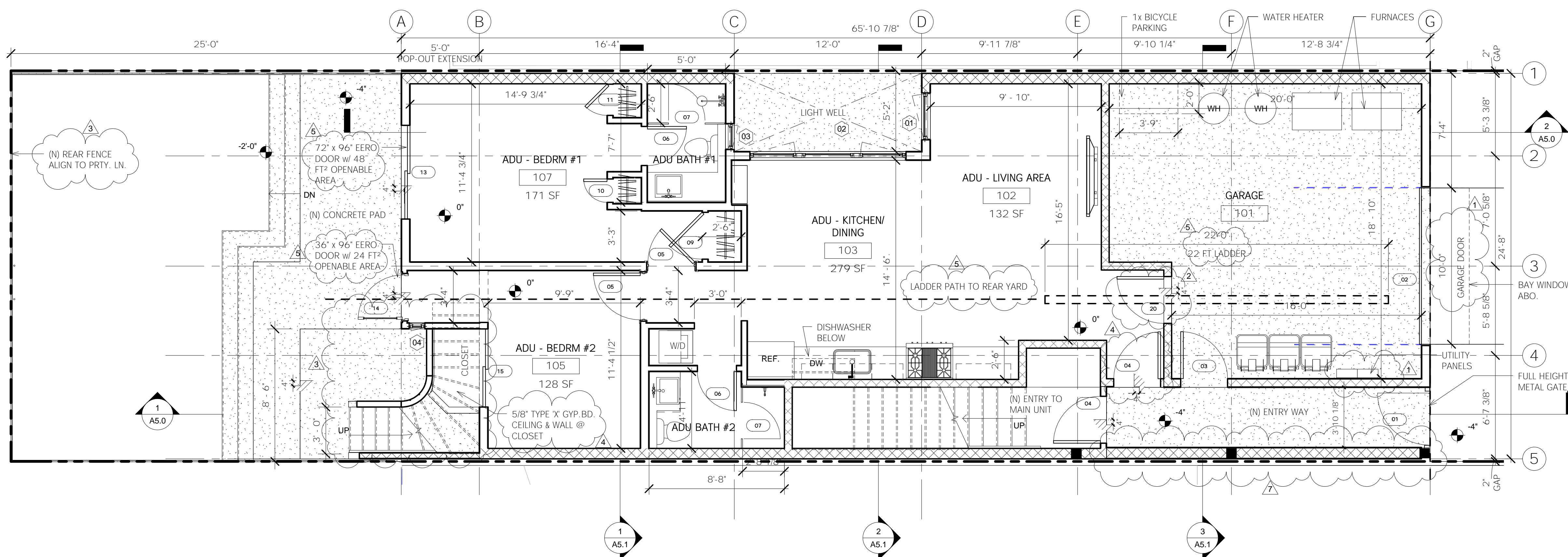
- ADU BEDRM #1  
REQ. DAYLIGHT: 13.76 FT<sup>2</sup>; REQ. VENT: 6.88 FT<sup>2</sup>  
PROVIDED DAYLIGHT (DOOR #13): 48 FT<sup>2</sup>  
PROVIDED VENT (DOOR #13): 24 FT<sup>2</sup>
- ADU BEDRM #2  
REQ. DAYLIGHT: 10.32 FT<sup>2</sup>; REQ. VENT: 5.16 FT<sup>2</sup>  
PROVIDED DAYLIGHT (DOOR #14 & WDW #4): 27 FT<sup>2</sup>  
PROVIDED VENT (DOOR #14 & WDW #4): 25 FT<sup>2</sup>

**3RD FLOOR**

- MAIN UNIT M. BEDROOM  
REQ. DAYLIGHT: 26.56 FT<sup>2</sup>; REQ. VENT: 13.28 FT<sup>2</sup>  
PROVIDED DAYLIGHT (WDW 8,10,11): 69 FT<sup>2</sup>  
PROVIDED VENT (WDW 8,10,11): 64 FT<sup>2</sup>
- MAIN UNIT BEDROOM #2  
REQ. DAYLIGHT: 11.04 FT<sup>2</sup>; REQ. VENT: 5.52 FT<sup>2</sup>  
PROVIDED DAYLIGHT (WDW 5,6,7): 41 FT<sup>2</sup>  
PROVIDED VENT (WDW 5,6,7): 40 FT<sup>2</sup>
- MAIN UNIT BEDROOM #3  
REQ. DAYLIGHT: 11.04 FT<sup>2</sup>; REQ. VENT: 5.52 FT<sup>2</sup>  
PROVIDED DAYLIGHT (WDW 5,6,7): 41 FT<sup>2</sup>  
PROVIDED VENT (WDW 5,6,7): 40 FT<sup>2</sup>



1 PROPOSED 2ND FLOOR PLAN  
1/4" = 1'-0"



2 PROPOSED GROUND FLOOR PLAN  
1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW PROPOSED NON FIRE RATED WALL
- NEW 1-HR FIRE RATED WALL
- (N) COLUMNS w/ 1-HR FIRE RATED CASING
- PROPERTY LINE



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3RD FLOOR SQ.FT.

ROOM NO.	ROOM NAME	AREA SQ.FT.
301	BEDRM #1	139 SF
302	BATHROOM 01	38 SF
303	BEDRM #2	139 SF
304	BATH #2	37 SF
305	LAUNDRY	29 SF
306	HOME OFFICE	141 SF
307	BATH #3	53 SF
308	CORRIDOR	248 SF
309	M. BEDROOM	333 SF
310	M. BATHRM	80 SF
311	W.I.C.	34 SF

LIGHT & VENTILATION CALCULATION

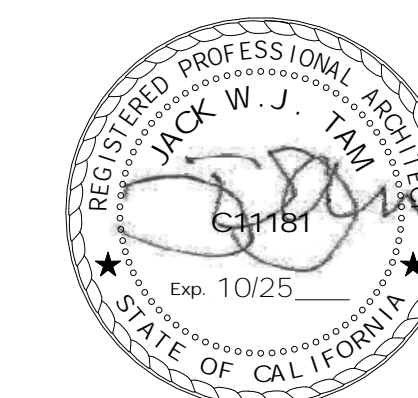
GROUND FLOOR

- ADU BEDRM #1  
REQ. DAYLIGHT: 13.76 FT<sup>2</sup>; REQ. VENT: 6.88 FT<sup>2</sup>  
PROVIDED DAYLIGHT (DOOR #13): 48 FT<sup>2</sup>  
PROVIDED VENT (DOOR #13): 24FT<sup>2</sup>
- ADU BEDRM #2  
REQ. DAYLIGHT: 10.32 FT<sup>2</sup>; REQ. VENT: 5.16FT<sup>2</sup>  
PROVIDED DAYLIGHT (DOOR #14 & WDW #4): 27 FT<sup>2</sup>  
PROVIDED VENT (DOOR #14 & WDW #4): 25 FT<sup>2</sup>

3RD FLOOR

- MAIN UNIT M. BEDROOM  
REQ. DAYLIGHT: 26.56 FT<sup>2</sup>; REQ. VENT: 13.28 FT<sup>2</sup>  
PROVIDED DAYLIGHT (WDW 8,10,11): 69 FT<sup>2</sup>  
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REQ. DAYLIGHT: 11.04 FT<sup>2</sup>; REQ. VENT: 5.52 FT<sup>2</sup>  
PROVIDED DAYLIGHT (WDW 5,6,7): 41 FT<sup>2</sup>  
PROVIDED VENT (WDW 5,6,7): 40FT<sup>2</sup>
- MAIN UNIT BEDROOM #3  
REQ. DAYLIGHT: 11.04 FT<sup>2</sup>; REQ. VENT: 5.52 FT<sup>2</sup>  
PROVIDED DAYLIGHT (WDW 5,6,7): 41 FT<sup>2</sup>  
PROVIDED VENT (WDW 5,6,7): 40FT<sup>2</sup>

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REVISIONS

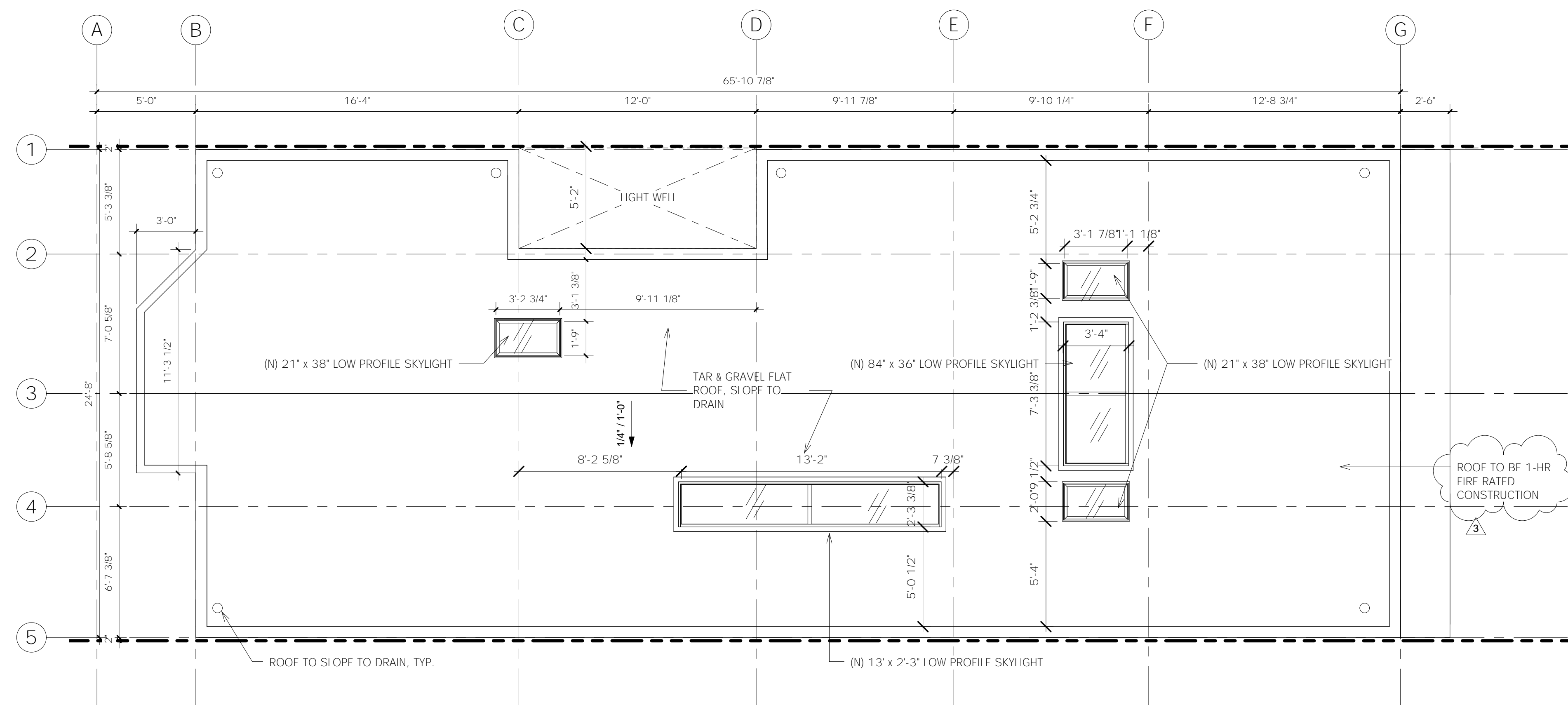
No.	Description	Date
3	Bldg - DBI	Apr 27th, 23
4	Bldg - DBI	Jul 05th, 23

Drawn: BKA, EE, MI  
Checked: AT  
Scale: 1/4" = 1'-0"  
Project Number: 21007

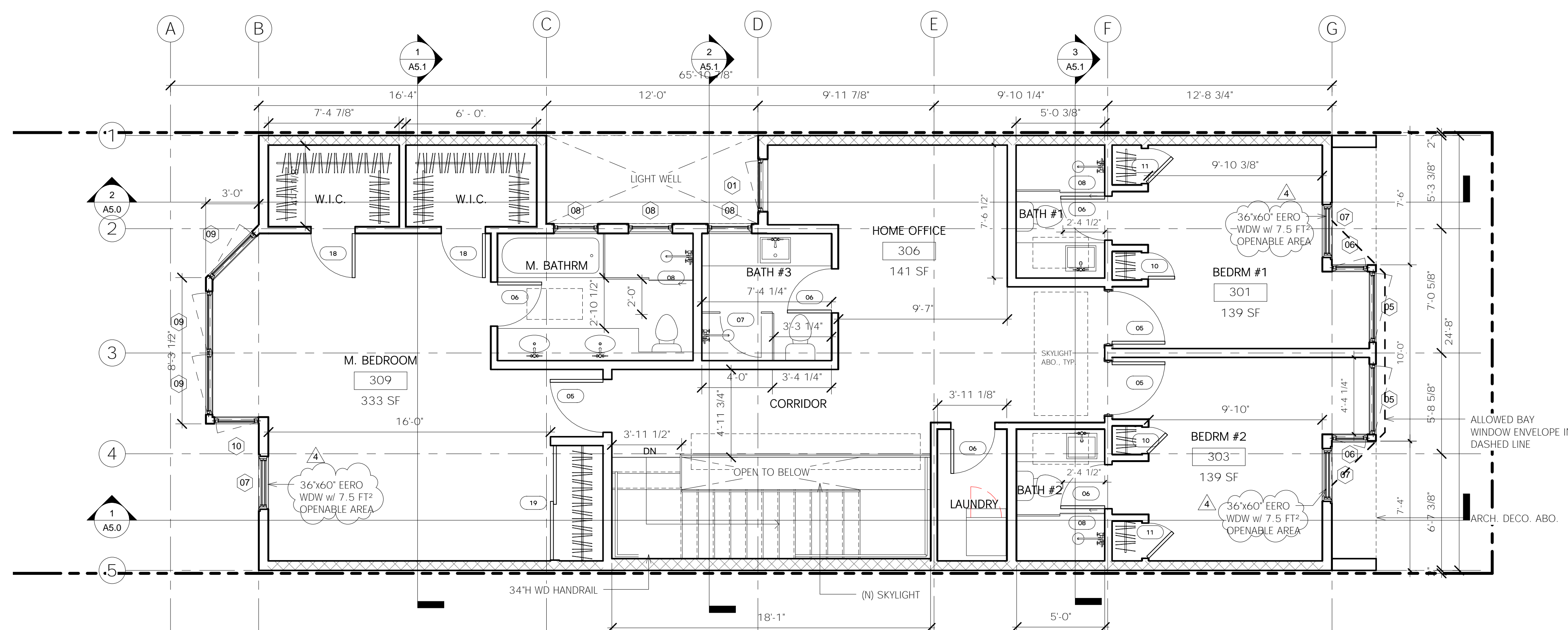
PROPOSED 3RD AND ROOF FLOOR

Sheet Number

A2.1



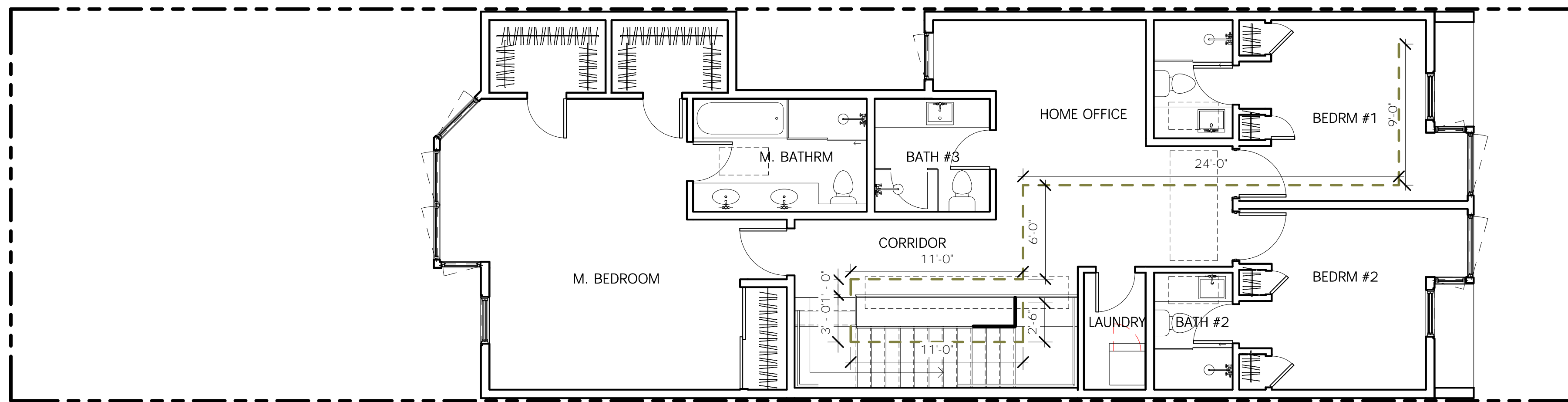
2 ROOF  
1/4" = 1'-0"



1 PROPOSED 3RD FLOOR PLAN  
1/4" = 1'-0"

FLOOR PLAN LEGEND

- NEW PROPOSED NON FIRE RATED WALL
- NEW 1-HR FIRE RATED WALL
- (N) COLUMNS w/ 1-HR FIRE RATED CASING
- PROPERTY LINE



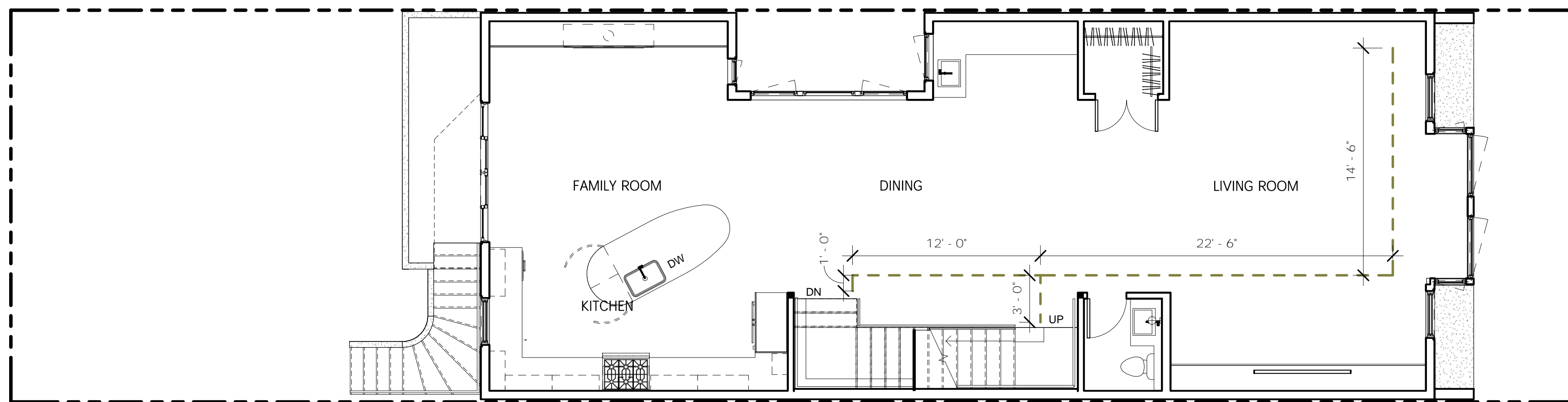
**FIRE EXIT ROUTE LEGEND**

- UNIT 1 EXIT ROUTE (MAIN UNIT)
- UNIT A EXIT ROUTE (ADU)

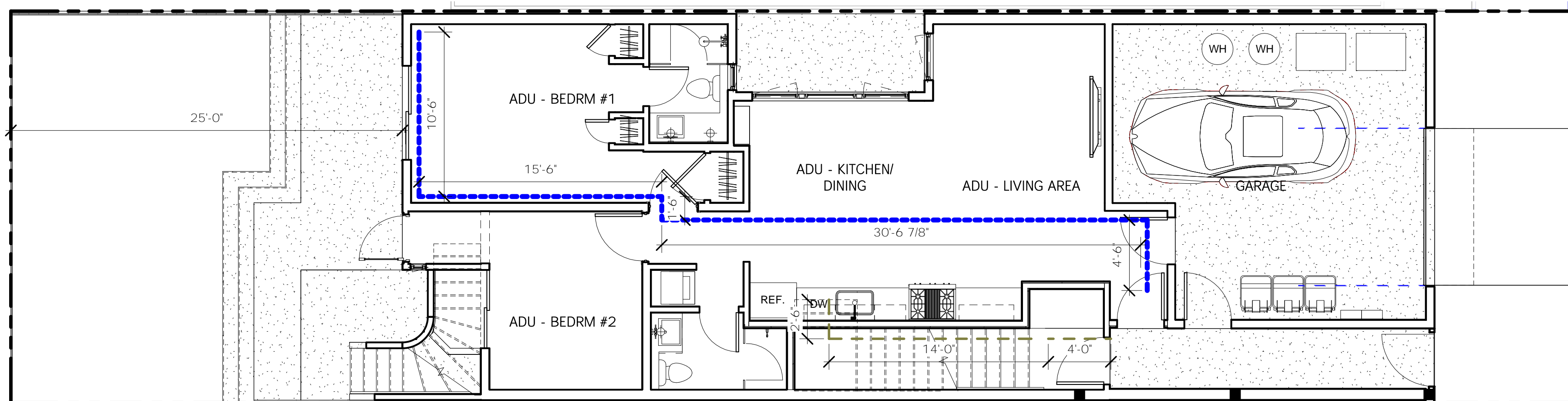
**FIRE EXIT CALCULATIONS**

- UNIT 1 EXIT ROUTE (MAIN UNIT)
  - 3RD FL TO STAIRS (50 FT) + 2ND FL STAIRS TO STAIRS (16 FT) + 1ST FL STAIRS TO EXIT (20.5 FT) = 86.5 FT TOTAL
  - 2ND FL DISTANCE TO STAIRS = 50 FT
- UNIT A EXIT ROUTE (ADU)
  - 1ST FL TO EXIT = 62.5 FT

1 FIRE EXIT ROUTE - 3RD FLOOR PLAN  
3/16" = 1'-0"



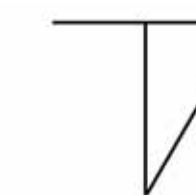
2 FIRE EXIT ROUTE - 2ND FLOOR  
3/16" = 1'-0"



3 FIRE EXIT ROUTE - GROUND FLOOR  
3/16" = 1'-0"

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**REVISIONS**

No	Description	Date
3	Bldg - DBI	Apr 27th, 23

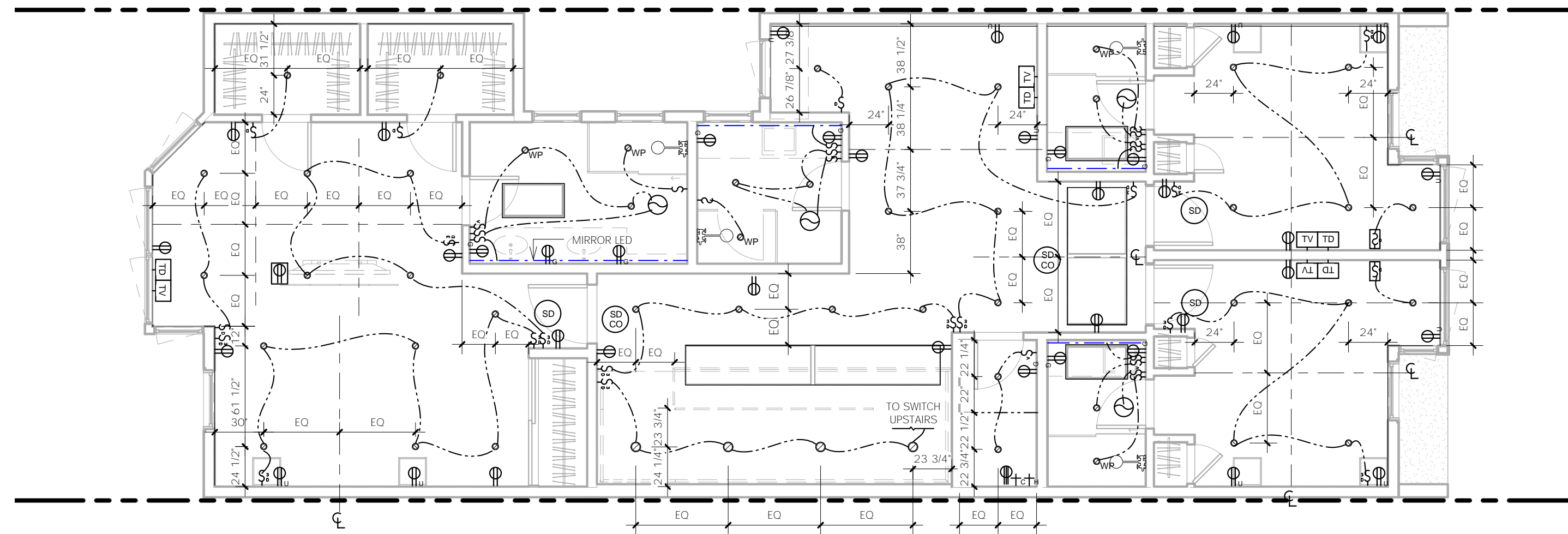
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Scale As indicated  
Project Number 21007  
Sheet Title  
EGRESS ANALYSIS

Sheet Number

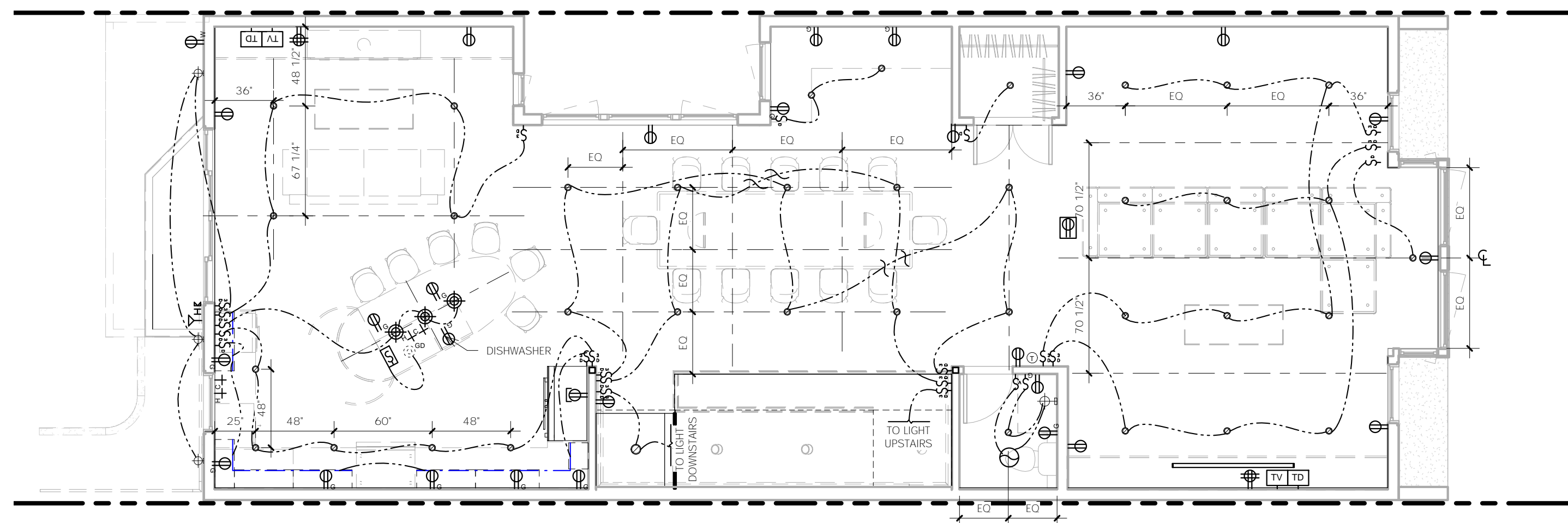
A2.2



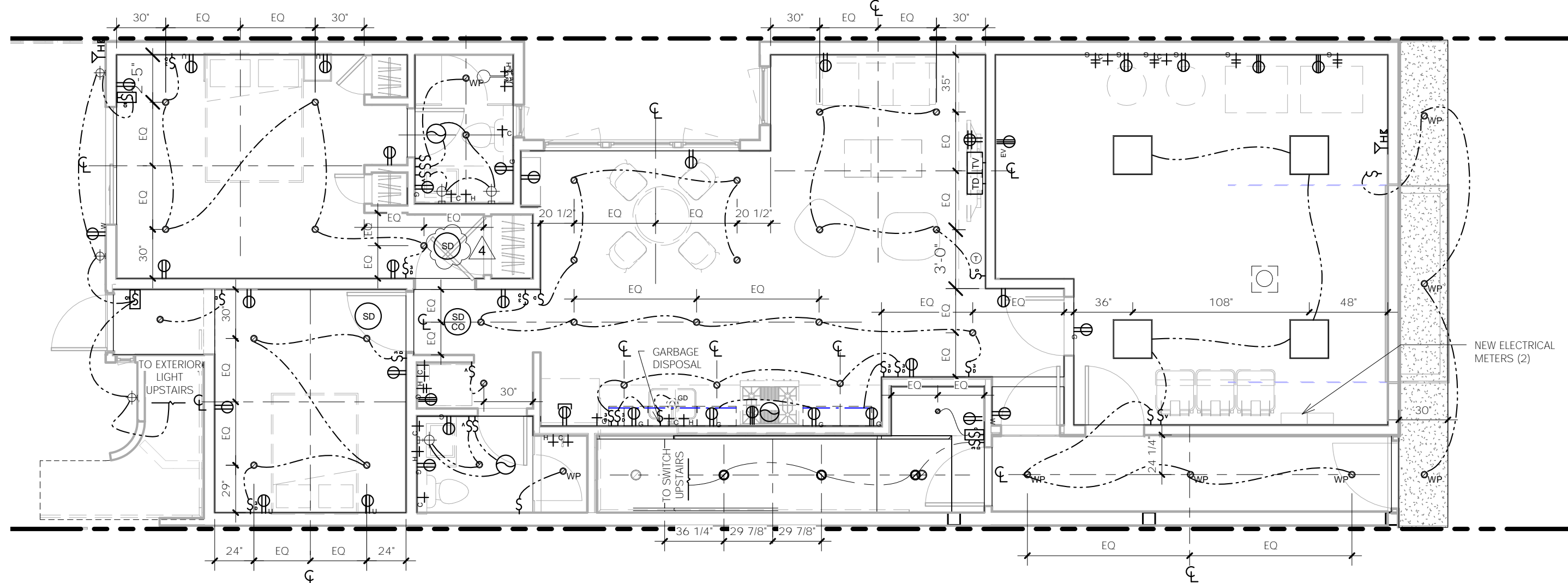
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California 94123  
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3 THIRD FLOOR  
3/16" = 1'-0"



2 SECOND FLOOR  
3/16" = 1'-0"



1 GROUND FLOOR  
3/16" = 1'-0"

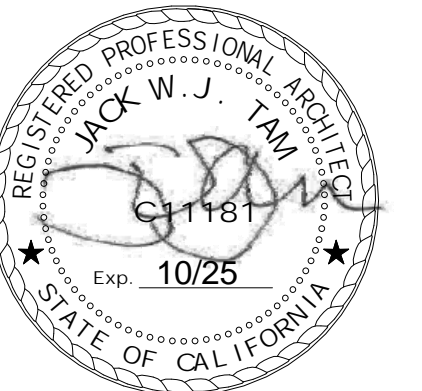
CEILING & ELECTRICAL PLAN LEGEND

- 4" LED RECESSED LIGHT
- 4" WATERPROOF LED RECESSED LIGHT
- 6" LED RECESSED LIGHT
- 2x2 SURFACE MOUNT LED PANEL
- 4" CYLINDER PENDANT LIGHT
- WEATHERPROOF WALL MOUNTED EXTERIOR LIGHT
- WEATHERPROOF EXT. WALL MOUNTED LIGHT W/ PHOTOCELL & MOTION SENSOR
- EXHAUST FAN (H = HEAT LAMP)
- LED LIGHT STRIP
- WALL MOUNTED SMOKE DETECTOR
- WALL MOUNTED SMOKE & CARBON MONOXIDE DETECTOR
- RECESSED MOTION SENSOR SPOT LIGHT + PHOTOCELL OPTION
- TELEVISION CABLE
- TELEPHONE DATA CAT 6
- ONE-WAY SWITCH
- THREE-WAY SWITCH
- ONE-WAY SWITCH W/ DIMMER
- THREE-WAY SWITCH W/ DIMMER
- VACANCY SENSOR SWITCH
- THREE-WAY VACANCY SENSOR SWITCH
- THREE-WAY VACANCY SENSOR SWITCH W/ DIMMER
- SURFACE MOUNTED SWITCH
- DUPLEX W/ USB OUTLET @24" A.F.F.
- EXTERIOR DUPLEX OUTLET
- COUNTERTOP GFCI DUPLEX OUTLET W/ USB
- GFCI DUPLEX OUTLET
- QUADRUPLIX W/ USB PORT OUTLET @24" A.F.F.
- QUADRUPLIX OUTLET - GFCI
- GFCI QUADRUPLIX OUTLET W/ USB PORT
- 220v OUTLET (EV - ELECTRIC VEHICLE)
- FLOOR DUPLEX OUTLET
- WALL RECESSED 220V OUTLET
- HOSE BIBB
- GAS STUB
- GARBAGE DISPOSAL
- GARAGE DOOR OPENER
- THERMOSTAT
- 9FT HEIGHT, TYPE 'X' GYP.BD. CEILING
- 8FT HEIGHT, TYPE 'X' GYP.BD. CEILING
- 9FT HEIGHT, 5/8" GYP. BD. CEILING

ELECTRICAL, MECHANICAL, AND PLUMBING NOTES

- STRAP THE WATER HEATER AT UPPER AND LOWER 1/3 OF VERTICAL HEIGHT. THE LOWER STRAP SHALL MAINTAIN 4" ABOVE (507.2 CPC).
- SHOWERS & SHOWER-TUBS SHALL BE PROVIDED W/ INDIV. CONTROL VALVES OF THE PRESSURE BALANCE/THERMOSTATIC MIXING VALVE TYPE THAT PROVIDE SCALD & THERMAL SHOCK PROTECTION (408.2 CPC)
- EXHAUST FAN IN THE BATHROOM SHALL BE OF MIN. OF 4 AIR CHANGES PER HOUR W/ HUMIDITY CONTROL SENSOR.
- PROVIDE ARC-FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL OUTLETS FOR ALL DWELLING UNIT. (R303.3.1 GRC)
- A MIN. OF 2-20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, DINING ROOM, PANTRY, OR OTHER SIMILAR AREAS. (210.11(C)(1) CEC)
- AT LEAST ONE 20-AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM & LAUNDRY RECEPTACLE OUTLETS. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. (210.11(C)(3); 210.11(C)(2) CEC)
- ALL POWER OUTLETS & SIGNAL OUTLETS ARE LOCATED ABOVE FINISH FLOOR AS PER LOCAL STANDARD.
- ALL LIGHTING TO BE HIGH EFFICIENCY, PER CEC 150.0 (K)1(A)
- SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED AND HARDWIRED PER CRC R314.4, R314.5, R315.2.4 & R315.2.5
- EXHAUST DUCT TERMINATION SHALL BE 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 502.2
- DUCTS USED FOR DOMESTIC KITCHEN RANGE OR COOKTOP VENTILATION SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES, PER CMC 504.3
- ALL 120-VOLT, SINGLE PHASE, 75- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHEN, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SLEEPING ROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY ROOM, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT, PER CEC 210.12
- ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES, PER CEC 406.12.

SEAL



REVISIONS		
No	Description	Date
4	Bldg - DBI	Jul 05th, 23

Drawn \_\_\_\_\_ Checked \_\_\_\_\_  
 Author \_\_\_\_\_ Checker \_\_\_\_\_  
 Scale \_\_\_\_\_ As indicated  
 Project Number \_\_\_\_\_ 21007  
 Sheet Title  
**PROPOSED RCP & ELECTRICAL PLAN**  
 Sheet Number \_\_\_\_\_  
**A3.0**

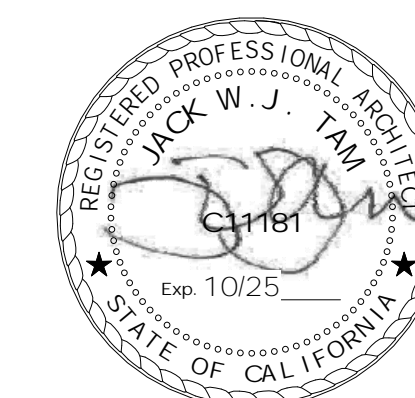
39 SANTA ROSA

39 Santa Rosa Ave, San Francisco, CA



1648 Union Street  
Suite 101  
San Francisco  
California 94123  
t: 415 409 8808  
f: 415 409 8809

SEAL



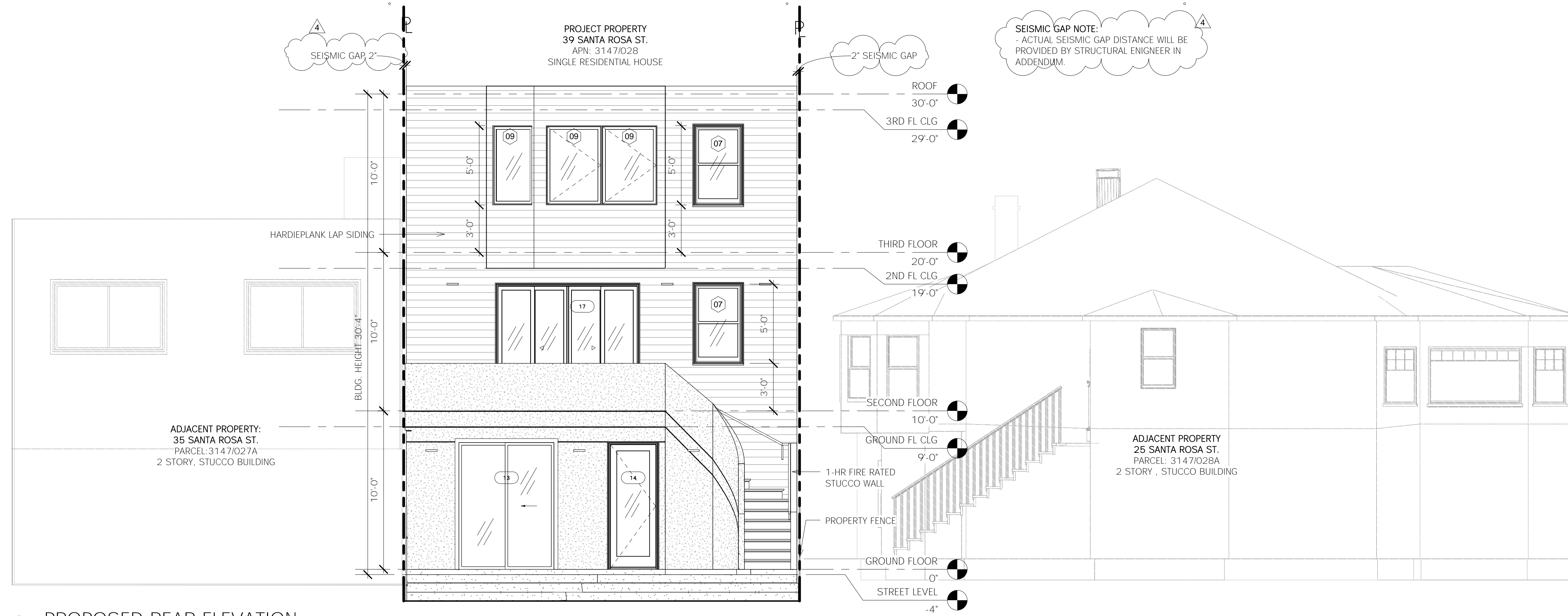
No.	Description	Date
1	Planning	Jul 28th, 22
3	Bldg - DBI	Apr 27th, 23
4	Bldg - DBI	Jul 05th, 23

Drawn: BKA, EE  
Checked: AT  
Scale: As indicated

Project Number: 21007

Sheet Title: **FACADE & REAR EXTERIOR ELEVATION**

Sheet Number: **A4.0**

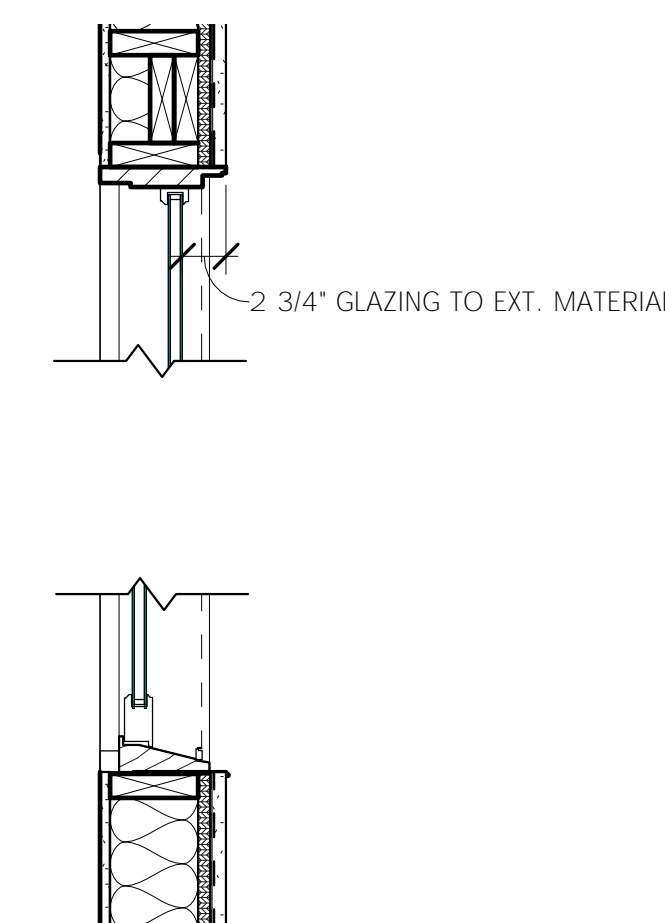


**2** PROPOSED REAR ELEVATION  
1/4" = 1'-0"



**1** PROPOSED FRONT ELEVATION  
1/4" = 1'-0"

**3** FRONT WINDOW DETAIL  
1" = 1'-0"



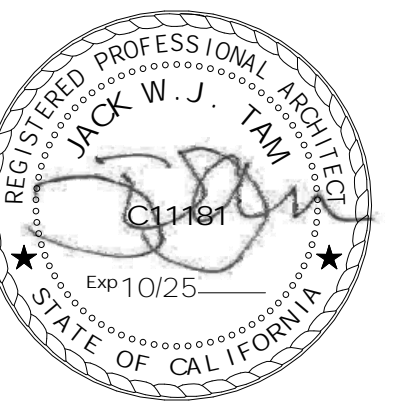
# 39 SANTA ROSA

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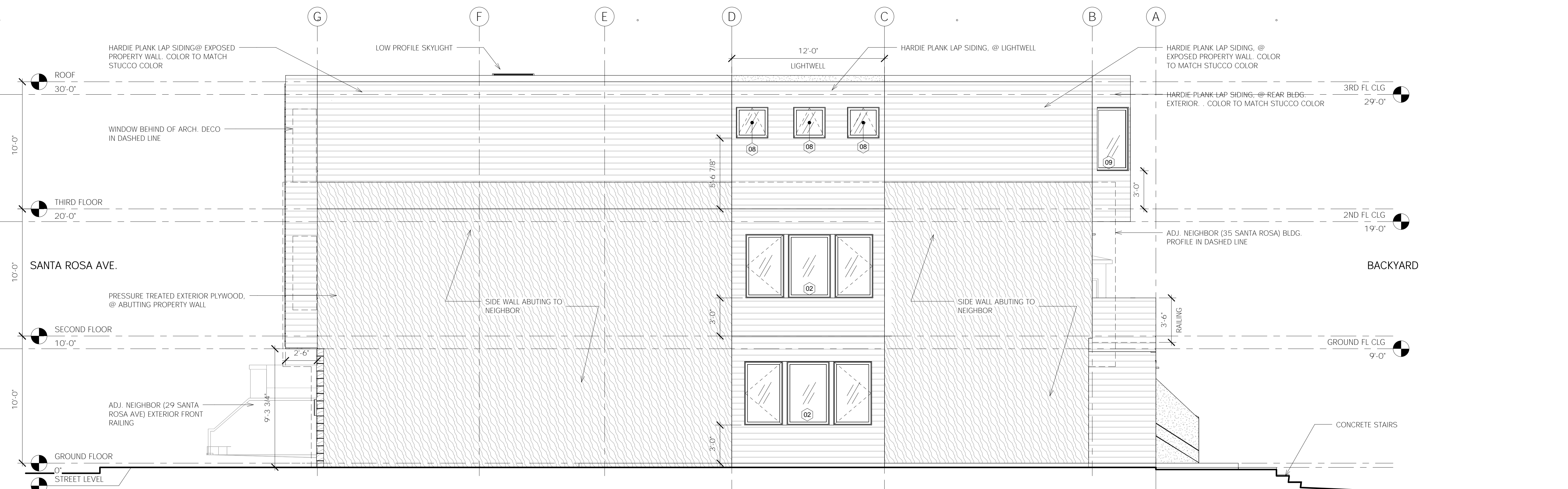


REVISIONS		
No.	Description	Date
7	BLDG - REV3	Oct 04th, 23

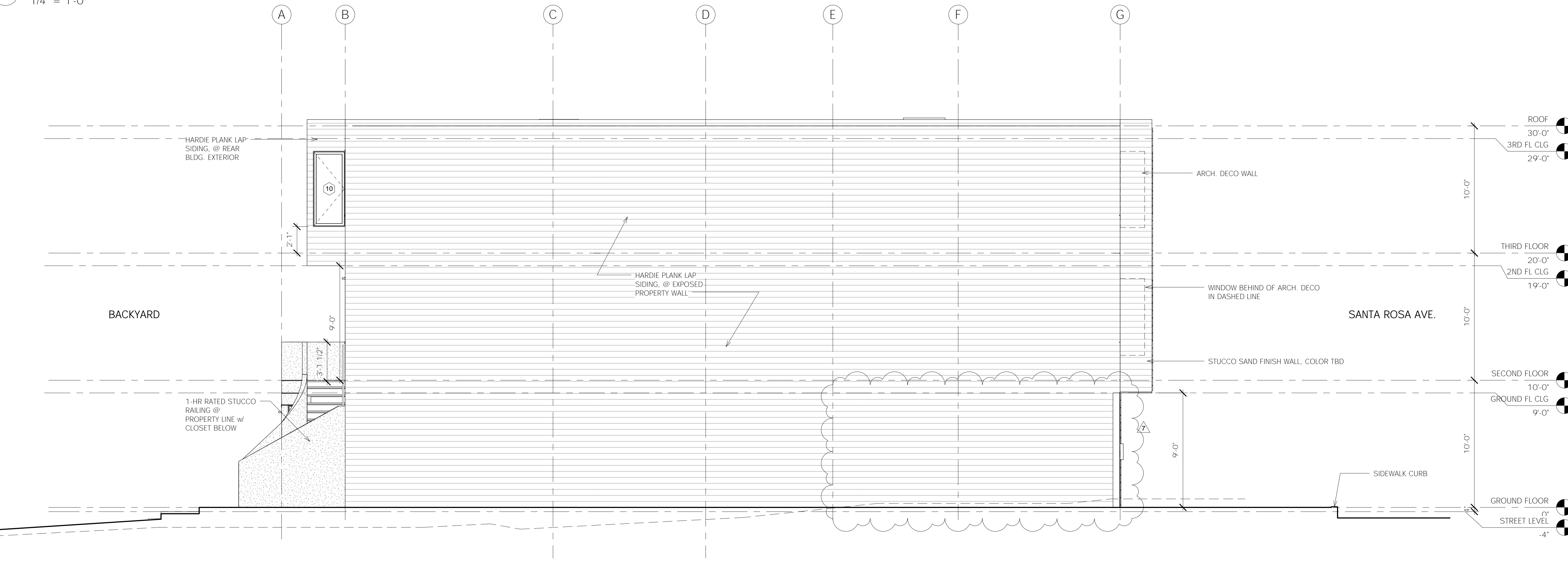
Drawn MI Checked Checker  
Scale 1/4" = 1'-0"  
Project Number 21007

Sheet Title  
**EXTERIOR SIDE ELEVATION**

Sheet Number  
**A4.1**



**1** PROPOSED NORTHWEST ELEVATION  
1/4" = 1'-0"



**2** PROPOSED SOUTH EAST ELEVATION  
1/4" = 1'-0"



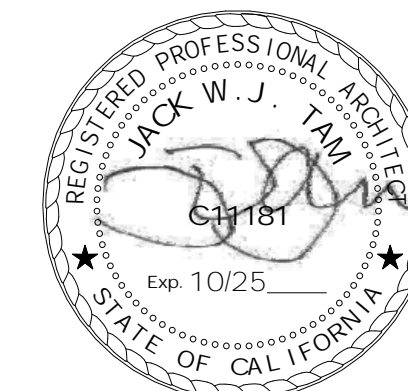
39 SANTA ROSA ROSA

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REVISIONS		
No.	Description	Date
3	Bldg - DBI	Apr 27th, 23

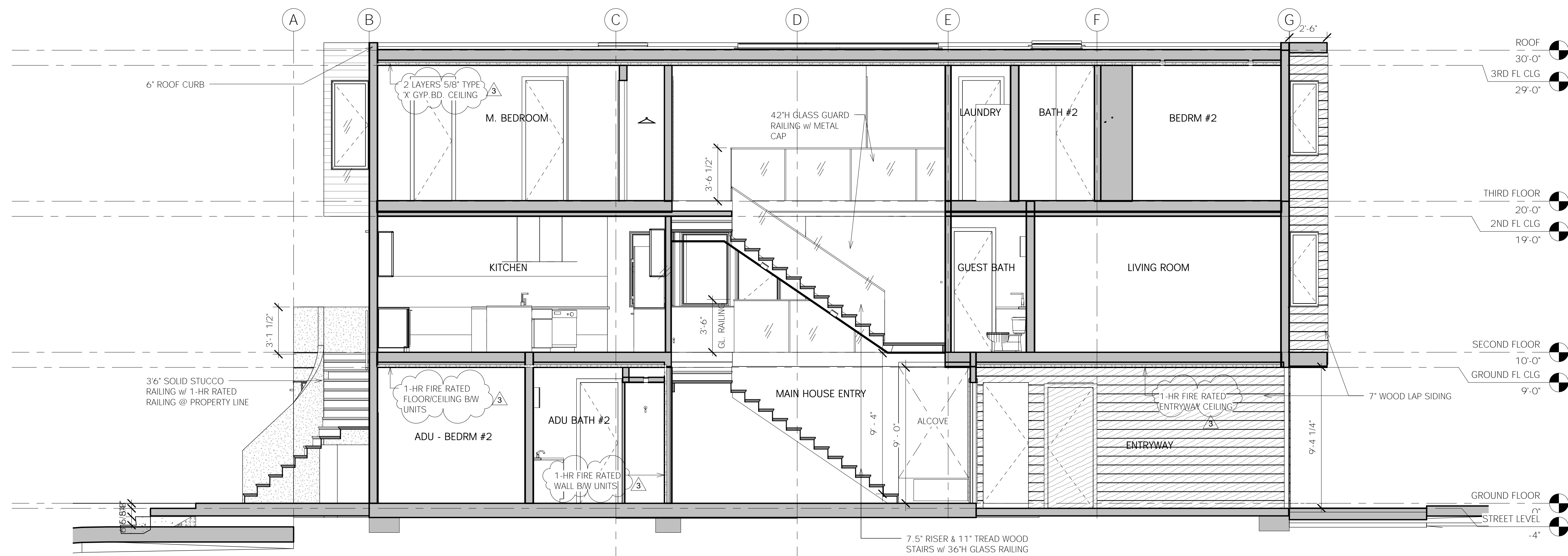
Drawn: EE, BKA, MI  
Checked: AT  
Scale: 1/4" = 1'-0"  
Project Number: 21007

SHEET TITLE  
**SECTIONS**

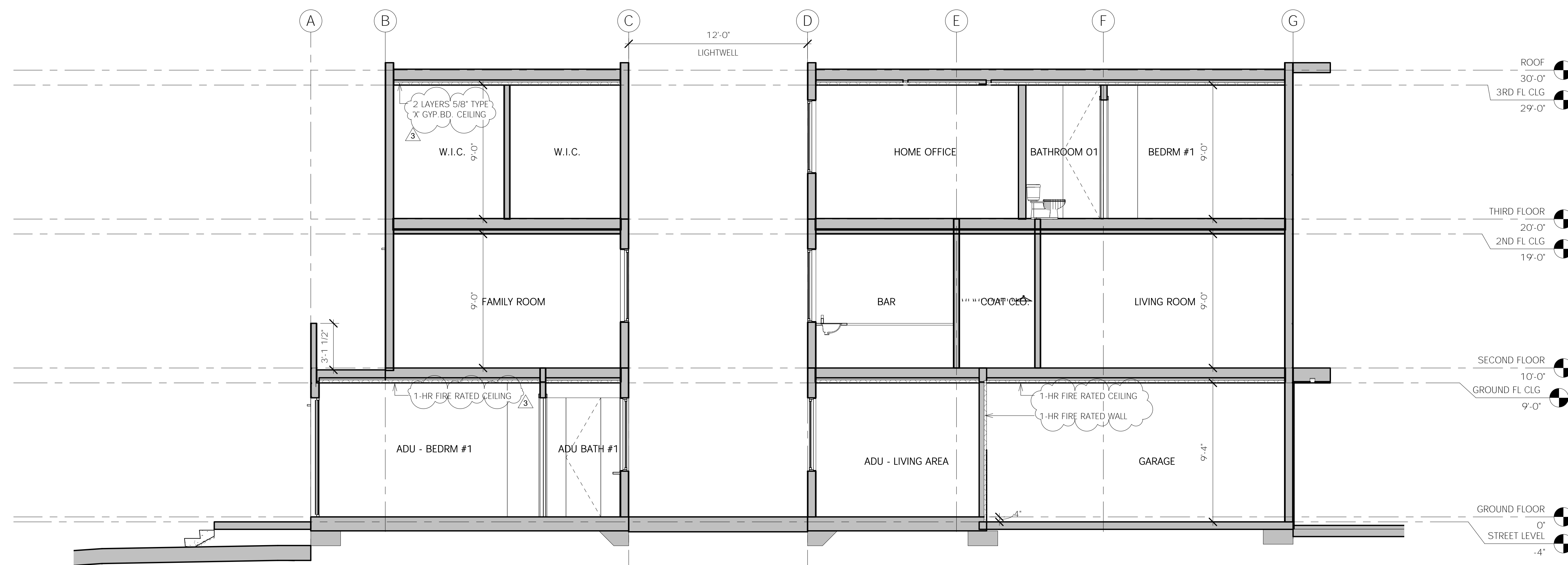
Sheet Number

A5.0

12/14/2023 12:00:32 PM



**1** LONGITUDINAL SECTION 01  
1/4" = 1'-0"



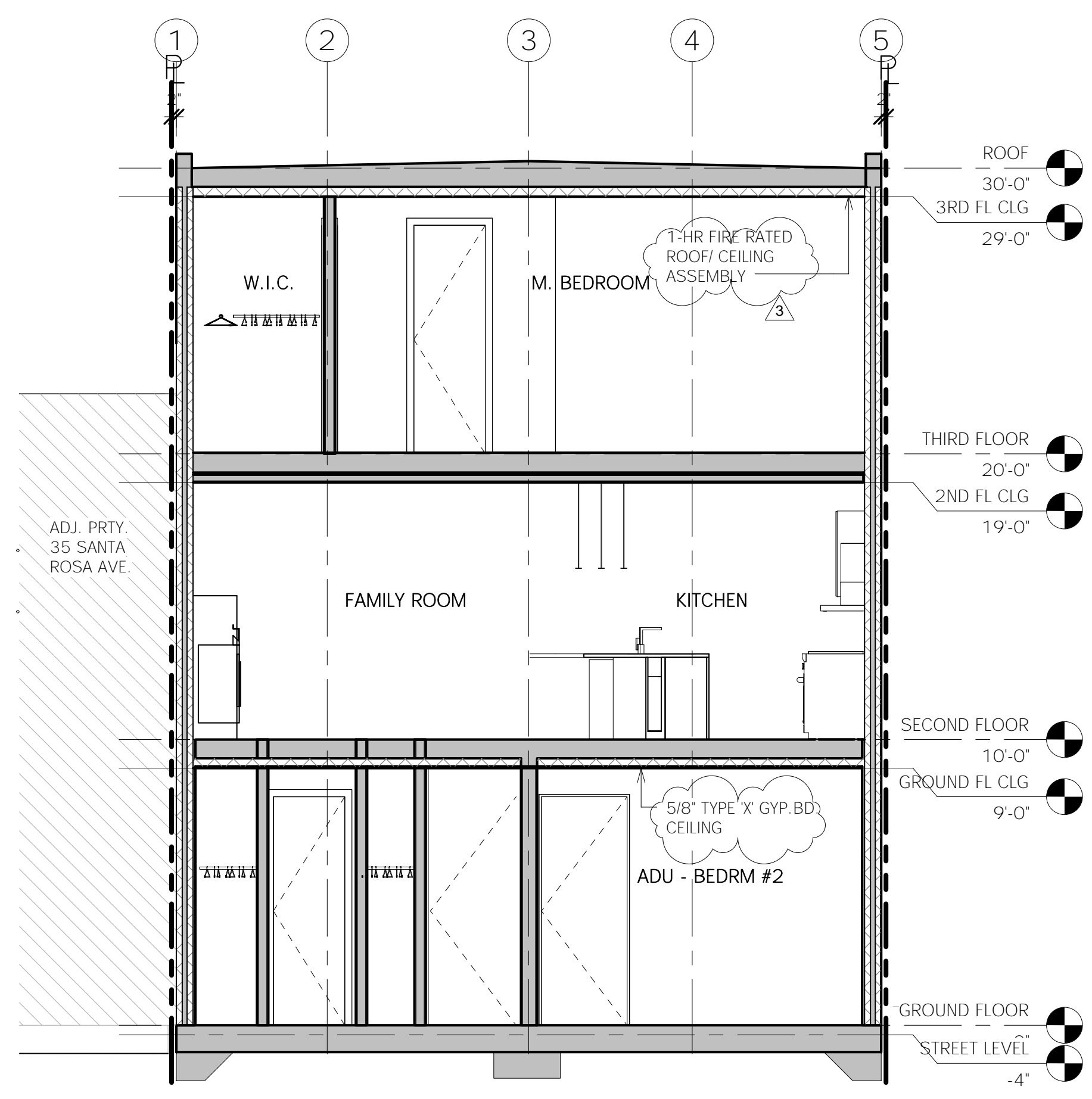
**2** LONGITUDINAL SECTION 02  
1/4" = 1'-0"

39 SANTA ROSA  
ROSA

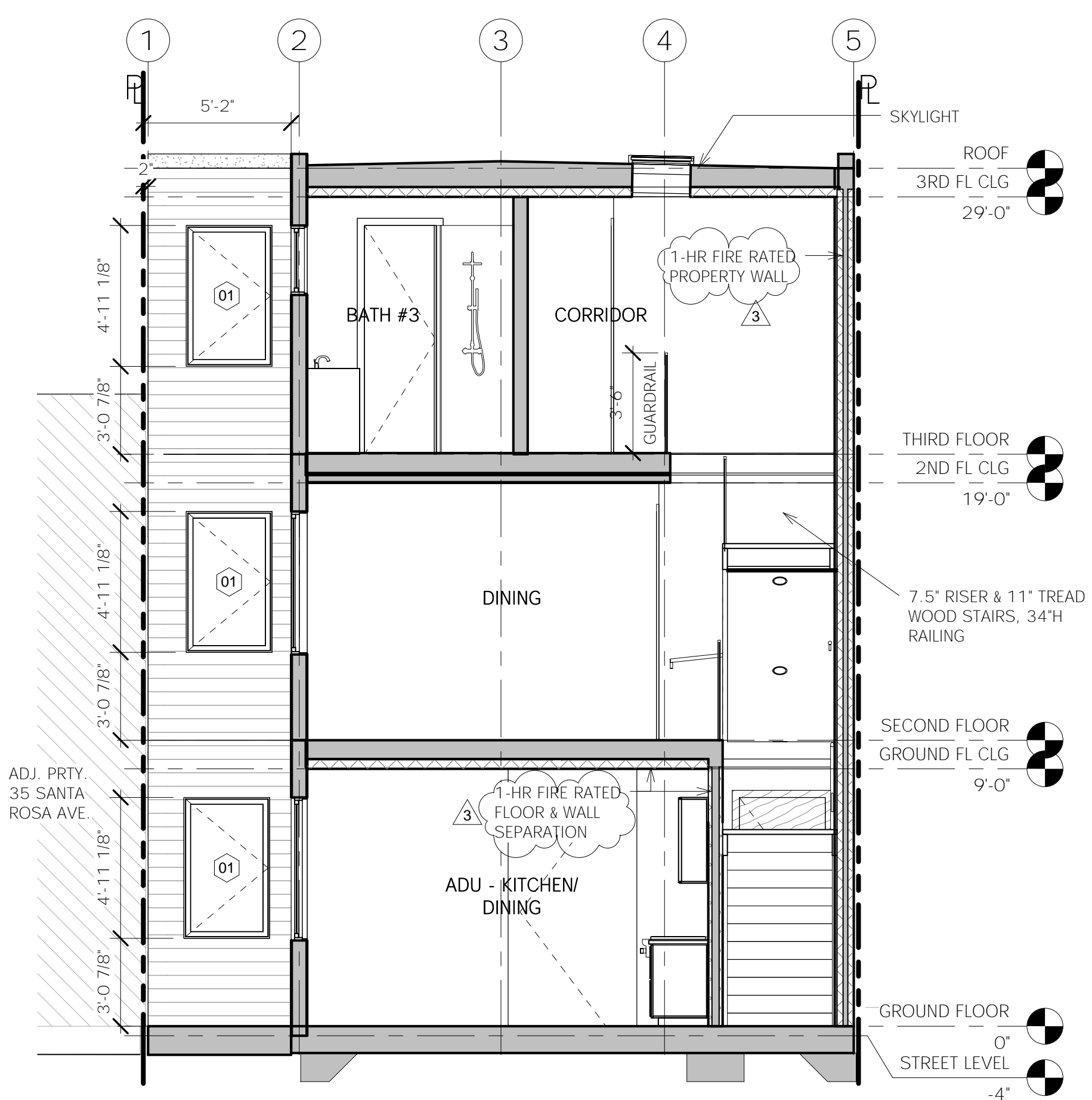
39 Santa Rosa Ave, San Francisco, CA



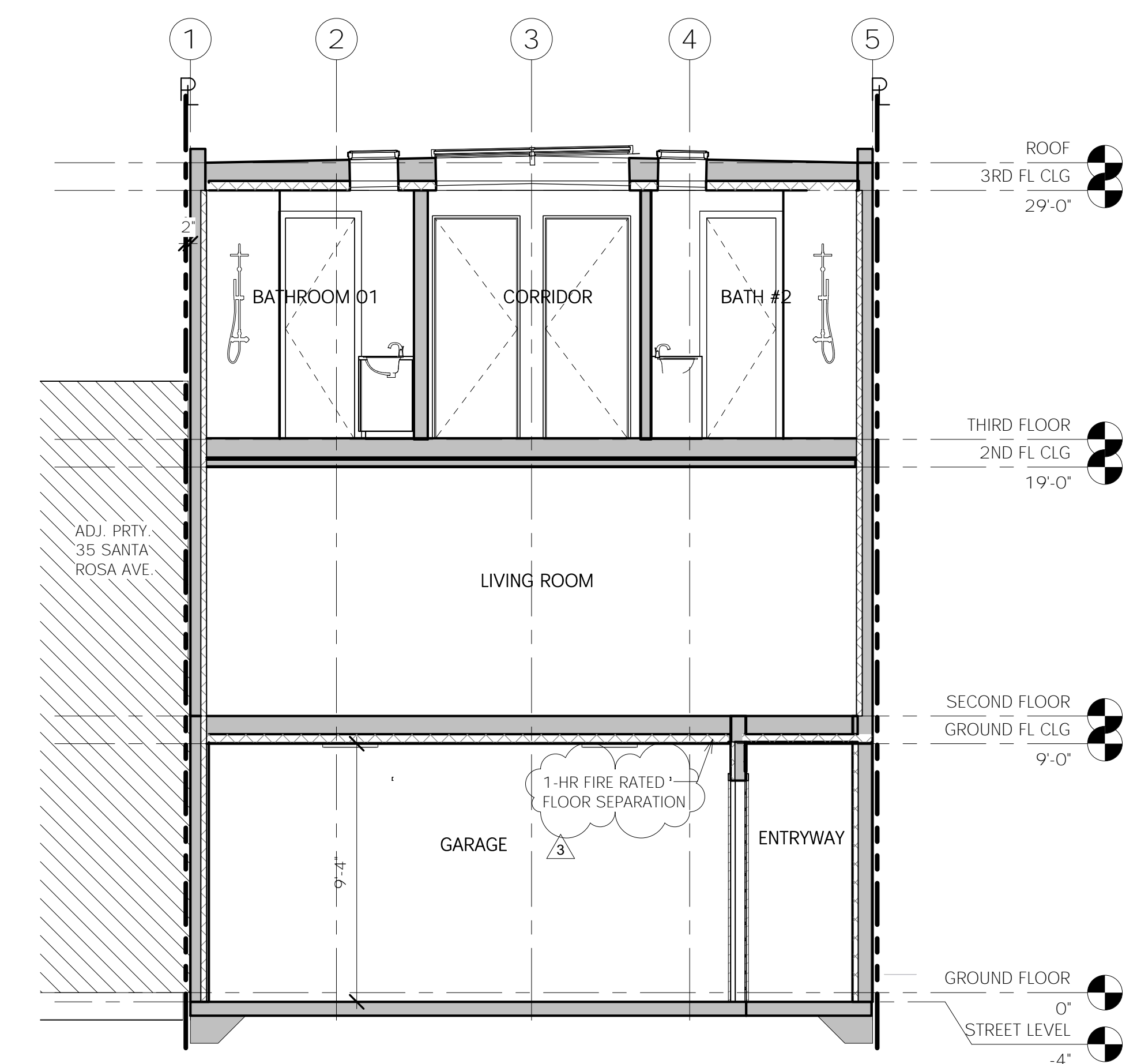
1648 Union Street  
Suite 101  
San Francisco  
California 94123  
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f: 415 409 8809



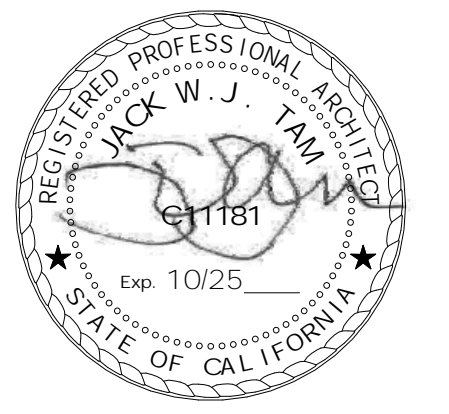
1 CROSS SECTION 01  
1/4" = 1'-0"



2 CROSS SECTION 02  
1/4" = 1'-0"



3 CROSS SECTION 03  
1/4" = 1'-0"



REVISIONS

No.	Description	Date
3	Bldg - DBI	Apr 27th, 23

Drawn EE, BKA  
Checked AT  
Scale 1/4" = 1'-0"  
Project Number 21007  
Sheet Title

SECTIONS

Sheet Number  
A5.1

DOOR SCHEDULE

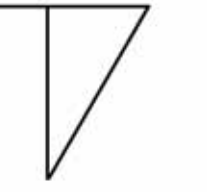
NO.	DESCRIPTION	WIDTH	HEIGHT	QTY.
01	EXT. METAL SWING GATE	3'-4"	9'-0"	1
02	1-CAR GARAGE DOOR w/ GLASS INSERTS	10'-0"	7'-0"	1
03	SELF-CLOSING, & SELF-LATCHING, 1 3/8" SOLID 20-MIN. FIRE RATED EXT. DOOR	3'-0"	8'-0"	1
04	ENTRY SOLID CORE SWING DOOR	3'-0"	8'-0"	2
05	INT. SOLID CORE SWING DOOR	3'-0"	8'-0"	5
06	INT. SOLID CORE SWING DOOR	2'-6"	8'-0"	8
07	TEMPERED GLASS SHOWER SWING DOOR	2'-4"	8'-0"	3
08	TEMPERED GLASS SHOWER SLIDING DOOR	2'-6"	9'-0"	3
09	INT. SOLID CORE SWING DOOR	3'-0"	8'-0"	1
10	INT. SOLID CORE SWING DOOR	1'-6"	8'-0"	3
11	INT. SOLID CORE SWING DOOR	2'-0"	8'-0"	3
13	EXT. TEMPERED GLASS PATIO SLIDING DOOR	6'-0"	8'-0"	1
14	EXT. TEMPERED GLASS SGL. SWING DOOR	3'-0 1/2"	7'-11 1/2"	1
15	INT. SOLID CORE BI-PASS CLOSET DOOR	5'-0"	6'-0"	1
16	INT. SOLID CORE DBL. DOOR	4'-0"	8'-0"	1
17	EXT. TEMPERED GLASS OXO SLIDING DOOR	8'-11"	7'-11 1/2"	1
18	INT. SOLID CORE SWING DOOR	2'-6"	8'-0"	2
19	INT. SOLID CORE BI-PASS CLOSET DOOR	6'-6"	8'-0"	1
20	SELF-CLOSING, & SELF-LATCHING, 1 3/8" SOLID 20-MIN. FIRE RATED INT. DOOR	3'-0"	8'-0"	1

WINDOW SCHEDULE

NO.	DESCRIPTION	WIDTH	HEIGHT	SILL HEIGHT	DAYLIGHT AREA	VENT AREA/ OPENING	QTY.
01	(N) DBL. GLAZED BLACK ALUM. CASEMENT w/ OPENING CONTROL DEVICE PER ASTM 2090	3'-0"	4'-11 1/8"	3'-0 7/8"	11 SF	11 SF	3
02	(N) DBL. GLAZED BLACK ALUM. SIDE 36"W CASEMENT & 48" FIXED CENTER WINDOW w/ OPENING CONTROL DEVICE PER ASTM 2090	10'-0"	5'-0"	3'-0"	36 SF	22 SF	2
03	(N) DBL. GLAZED BLACK ALUM. CASEMENT w/ OPENING CONTROL DEVICE PER ASTM 2090	1'-8"	4'-11 1/8"	3'-0 7/8"	5 SF	5 SF	2
04	(N) DBL. GLAZED BLACK ALUM. CASEMENT w/ OPENING CONTROL DEVICE PER ASTM 2090	1'-0"	5'-11 1/8"	2'-1"	3 SF	1 SF	1
05	(N) DBL. GLAZED WOOD CLAD ALUM. CASEMENT w/ OPENING CONTROL DEVICE PER ASTM 2090	4'-0"	4'-11 1/8"	3'-0 7/8"	16 SF	15 SF	4
06	(N) DBL. GLAZED WOOD CLAD ALUM. CASEMENT w/ OPENING CONTROL DEVICE PER ASTM 2090	2'-0"	5'-0"	3'-0"	7 SF	6 SF	4
07	(N) DBL. GLAZED BLACK ALUM. SINGLE HUNG w/ OPENING CONTROL DEVICE PER ASTM 2090	3'-0"	5'-0"	3'-0"	10 SF	6 SF	6
08	(N) DBL. GLAZED TEMPERED GLASS BLACK ALUM. AWNING	2'-6"	2'-5 1/8"	5'-6 7/8"	4 SF	4 SF	3
09	(N) DBL. GLAZED BLACK ALUM. CASEMENT w/ OPENING CONTROL DEVICE PER ASTM 2090	3'-6"	5'-0"	3'-0"	14 SF	13 SF	3
10	(N) DBL. GLAZED BLACK ALUM. CASEMENT w/ OPENING CONTROL DEVICE PER ASTM 2090	2'-6"	5'-11 1/8"	2'-1"	11 SF	10 SF	1

39 SANTA ROSA

39 Santa Rosa Ave, San Francisco, CA



Team 7 International  
Architecture - Interior - Planning

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REVISIONS

No	Description	Date
3	Bldg - DBI	Apr 27th, 23
4	Bldg - DBI	Jul 05th, 23

Drawn \_\_\_\_\_ Checked \_\_\_\_\_  
MI

Scale \_\_\_\_\_

Project Number \_\_\_\_\_ 21007

Sheet Title  
**SCHEDULES**

Sheet Number  
**A8.0**



STREET VIEW ON PROJECT SIDE SANTA ROSA AVE



STREET VIEW OPPOSITE SITE OF SANTA ROSA



EXISTING REAR VIEW OF LOT



ADJACENT PRTY. 25 SANTA ROSA ST REAR VIEW



ADJACENT PRTY. 35 SANTA ROSA ST REAR VIEW



3D FRONT VIEW



3D BACK VIEW

# 39 SANTA ROSA

39 Santa Rosa Ave, San Francisco, CA



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REVISIONS

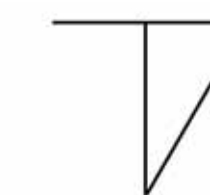
No.	Description	Date

Drawn: BKA, EE | Checked: AT  
Scale: NTS  
Project Number: 21007

Sheet Title: SITE PHOTOS & PROPOSED 3D VIEWS  
Sheet Number: A10.0

39 SANTA  
ROSA

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Francisco, CA



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Architecture - Interior - Planning

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REVISIONS

No	Description	Date

Drawn \_\_\_\_\_  
Author  
Checked \_\_\_\_\_  
Checker

Scale \_\_\_\_\_

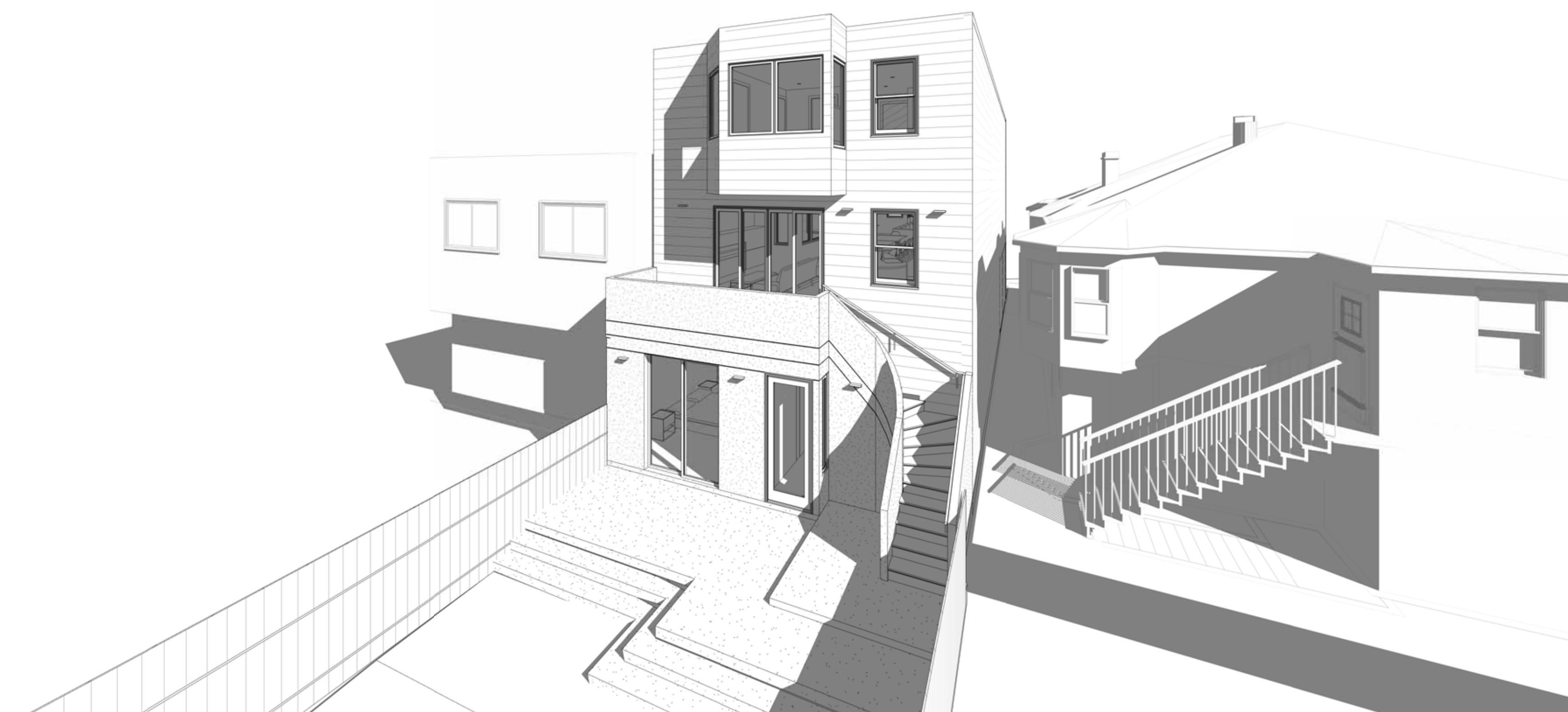
Project Number \_\_\_\_\_  
21007

Sheet Title  
3D VIEWS

Sheet Number  
A10.1



1 3D FRONT EXTERIOR

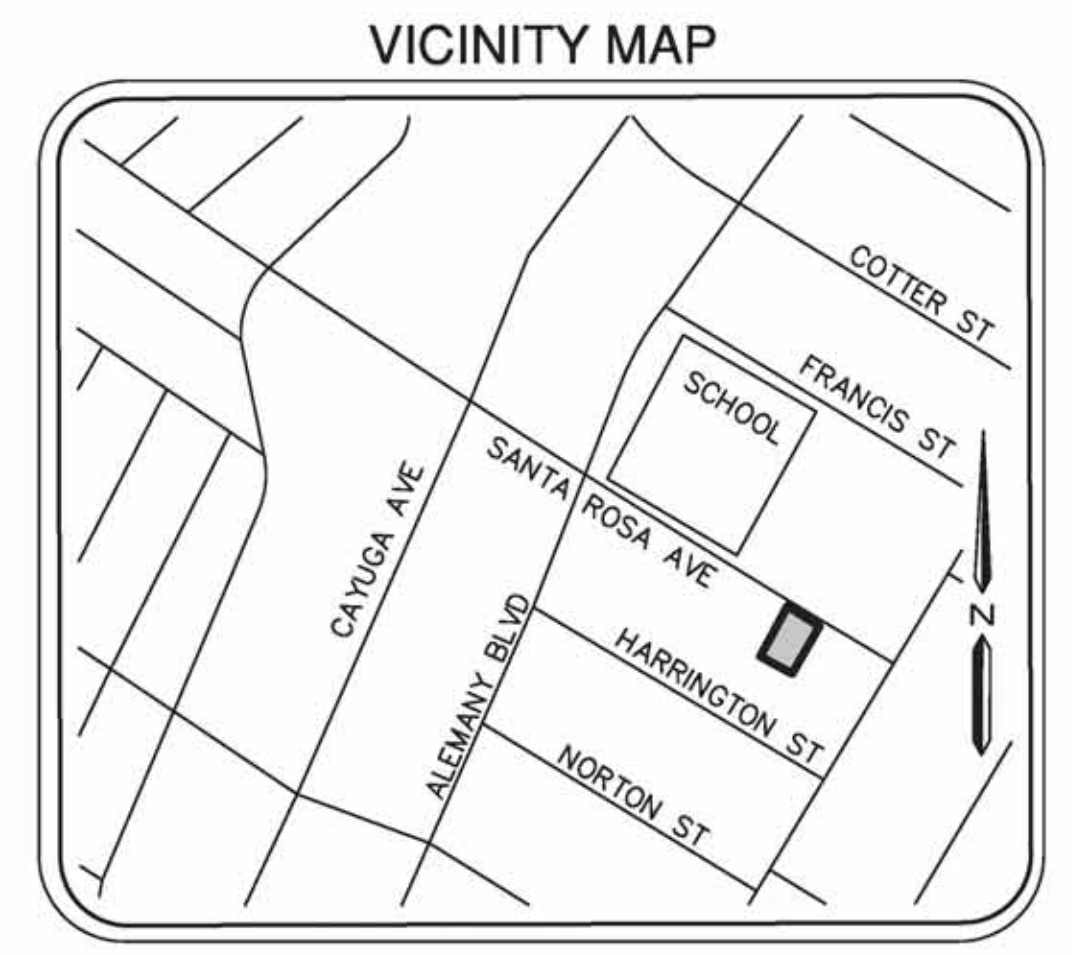


2 3D REAR EXTERIOR

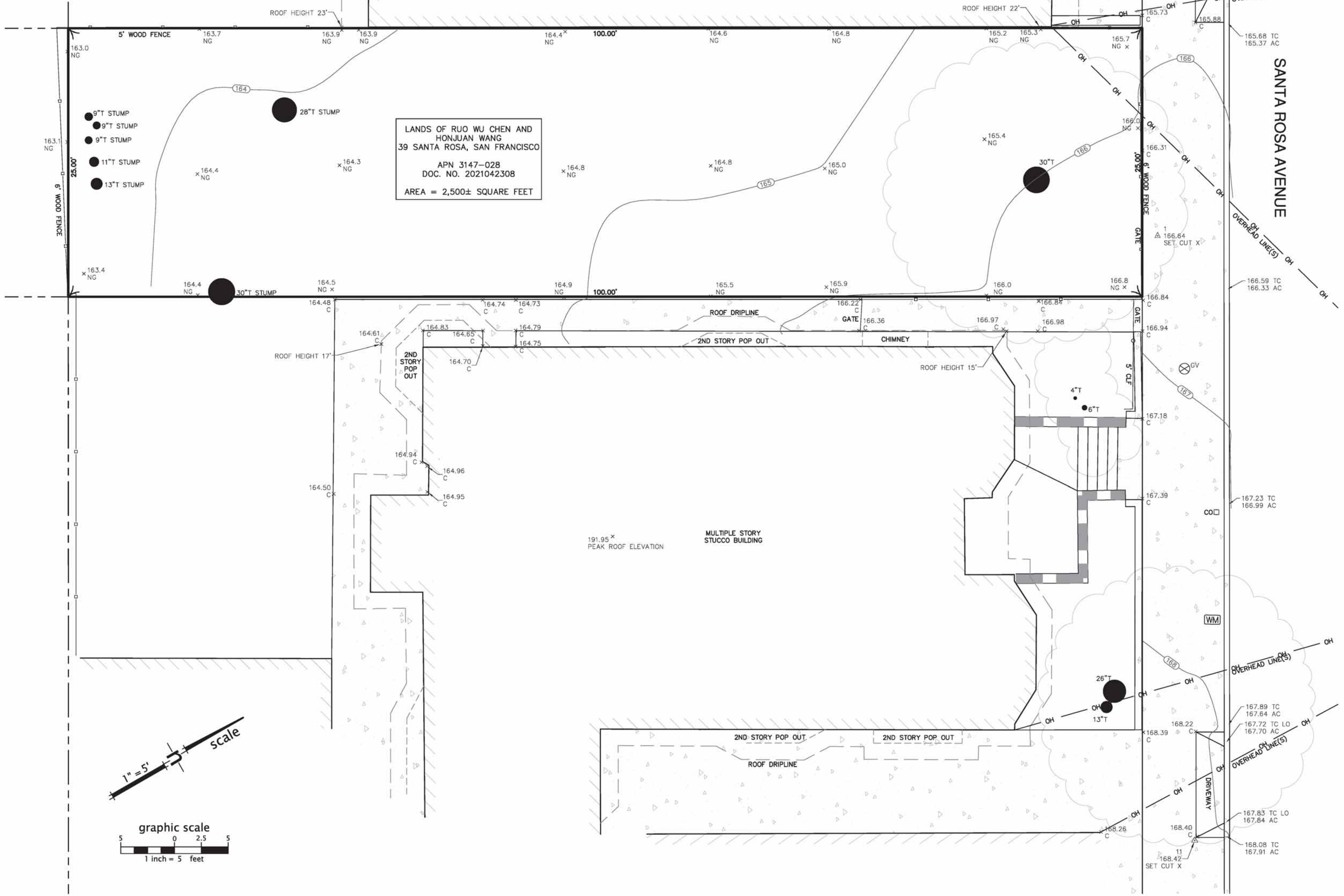


SYMBOLS		LEGEND	
	GAS VALVE	APN	ASSESSOR'S PARCEL NUMBER
	WATER METER	AC	ASPHALTIC CONCRETE
	SURVEY POINT W/ DESCRIPTION AND GRADE	CLF	CHAIN LINK FENCE
	SURVEY CONTROL POINT	CS	SANITARY SEWER CLEAN OUT
	TREE WITH DRIPLINE	GV	GAS VALVE
		NG	NATURAL GROUND
		T 22"	TREE W/ 22" DIAMETER TRUNK
		TC	TOP OF CURB AT FACE
		WM	WATER METER

LINE TYPES	
	FENCE LINE - HEIGHT NOTED
	CURB AND GUTTER
	WALL
	CONTOUR LINE - MAJOR INTERVAL
	CONTOUR LINE - MINOR INTERVAL
	BUILDING FOOTPRINT
	BUILDING LINE POPOUT
	BUILDING ROOF DRIPLINE
	CONCRETE
	CONCRETE GRADE BREAK



**PACIFIC CREST SURVEYING**  
Modesto, CA  
curt@pc-surveys.com



LANDS OF RUO WU CHEN AND HONJUAN WANG  
39 SANTA ROSA, SAN FRANCISCO  
APN 3147-028  
DOC. NO. 2021042308  
AREA = 2,500± SQUARE FEET

- ### TOPOGRAPHIC SURVEY NOTES
- ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
  - PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE OBJECTS NOT SHOWN MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION OR PER SITE IMPROVEMENT PLANS.
  - DIMENSIONAL TIES TO IMPROVEMENTS ARE 90° TO THE PROPERTY LINES UNLESS NOTED OTHERWISE.
  - THE FIELD DATA FOR THIS SURVEY WAS COLLECTED USING A LEICA BLK360 LASER SCANNER AND A TRIMBLE TOTAL STATION.
  - THE TOPOGRAPHIC POINTS AND LINE WORK SHOWN HEREON WERE MAPPED FROM THE LASER SCAN POINT CLOUD.
  - POINT ELEVATIONS ARE FOR THE FEATURE DESCRIBED AND DO NOT CORRESPOND PRECISELY TO THE ADJACENT HORIZONTAL LOCATION. PRECISE LINE WORK WAS DERIVED FROM THE LASER SCAN POINT CLOUD.

- ### UTILITY NOTES
- NO UNDERGROUND UTILITIES ARE SHOWN.
  - CONTRACTORS AND OTHER PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITHIN CONSTRUCTION AREA.
  - SPRINKLER HEADS AND IRRIGATION LATERAL LINES ARE NOT SHOWN HEREON.
  - ADDITIONAL UNDETECTED UTILITIES MAY EXIST WITHIN THE LIMIT OF THIS SURVEY.
  - CALL UNDERGROUND SERVICE ALERT (USA) 48 HOURS PRIOR TO ANY UNDERGROUND WORK.

### COPYRIGHT NOTE

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### TREE NOTE

TREE TYPES AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED WITH REGARD TO TREE INFORMATION.

### BOUNDARY NOTE

A BOUNDARY SURVEY WAS NOT PERFORMED FOR THE SUBJECT PROPERTY.

### BENCHMARK

ELEVATION: 171.18 FEET  
DATUM: SUPERSEDED OLD CITY DATUM  
POINT I.D.: N/A  
DESCRIPTION: CUT X W RIM PG&E MH  
LOCATION: SANTA ROSA AVE & MISSION ST INTERSECTION  
NE 7°W

### SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

*Curtis C. Chappell*  
CURTIS C. CHAPPELL, PROFESSIONAL LAND SURVEYOR  
LICENSE NUMBER 7992  
EXPIRATION DATE: DECEMBER 31, 2024

JUNE 26, 2023  
DATE

DATE OF FIELD SURVEY: MAY 11, 2021

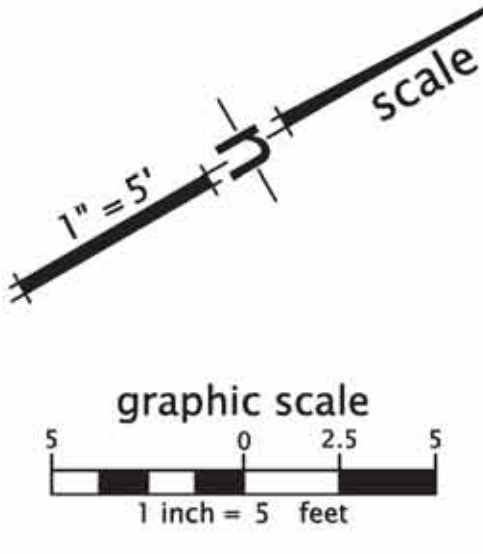


**TOPOGRAPHIC SURVEY**  
**39 SANTA ROSA AVENUE APN 3147-028**  
**LANDS OF RUO WU CHEN AND HONJUAN WANG**  
 SAN FRANCISCO COUNTY  
 CALIFORNIA

No.	Revisions
1	FENCE LINETYPE IN LEGEND

Date	6/20/2021
Scale	1" = 5'
Field	WJDF
Mapping	CW
Approved	CCC
Job No.	2021051

Drawing: 2021051 MASTER  
1 OF 1



# PUBLIC COMMENT

**Please redact our names and address at end of this letter**

To whom it may concern,

We support the appeal of Permit #202110291497 to build the as planned building at 39 Santa Rosa Ave in San Francisco, CA. We oppose the Permit #202110291497 as designed due to the following concerns:

1. A 3-story box building with no top level setback is not compatible with the scale of other homes and does not fit the neighborhood character defined in the Residential Design Guidelines. We want to cherish and preserve the authentic character where we all have chosen to make our homes.



2. Removal of a beautiful and historical palm tree situated within the property. According to City Assessors and URBAN Forestry records, Permit No 788256 was issued for the removal of this tree indicating its location as the sidewalk adjacent to the premises. The permit was not posted on the fence for the clear view, so the neighbors did not have a chance to appeal the permit.



The tree was cut down on August 8, 2021, 13 days after the permit was issued, violating the fifteen day period for standard time to appeal.

3. This property is designed for short-term rentals: every bedroom with an attached bathroom, common areas with individually secured areas. For the integrity and safety of our community, it is important for people to live in their homes and be part of the neighborhood, not just an unknown party reaping from overnight stays. We are fearful of a potential party house violating the sanctity of our street. This neighborhood is made of families and long term residents that live here.

4. A 2-family-dwelling with only one parking space on a street that is already congested will cause more safety concerns. We already have heavy traffic with Corpus Christi church service and events, and noise challenges with the illegal ongoing drag racing events down Mission st.

Pictures of the block during the regular church events:



Thank you,



**From:** [catherine consiglieri](#)  
**To:** [BoardofAppeals \(PAB\)](#)  
**Subject:** Reference appeal no 24008 Appealing the Issue pf 39 Santa Rosa Ave. Site permit 2021/10/29/1497  
**Date:** Thursday, March 28, 2024 2:34:52 PM

---

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

To whom it may concern: I sand in support of the Appeal against the 3-story Type 5b structure. Our family the DePaoli's built in 1902 the home at 45 Santa Rosa Ave. They were my Maternal great-grandparents. In 1947 my Parents purchased the home and raised 5 of us there. The block was always for single-family homes. John Consiglieri, my dad, an Iron Worker was proud to host the Excelsior District Improvement Association, monthly, at our home for over 50 years. It has been a block where people watch out for one another, watching families grow up, while building a sense of community. Dad was born in 1917 around the corner on Harrington Street while my Mother was born on Norton Street also in 1917. So within 3 blocks generations of families knew one another and contributed to the community.

AirBNB's have their place but not within tight-knit neighborhoods. Their emphasis is on financial gain. In and Out and in no way do they build community which is needed more than ever.

I wholeheartedly ask you to support this appeal on behalf of my dear neighbors and the neighborhood.

Thank you,  
Catherine Consiglieri

**From:** [JoAnn Consiglieri](#)  
**To:** [BoardofAppeals \(PAB\)](#)  
**Subject:** Ref. #24008-39 Santa Rosa Ave SF 94112  
**Date:** Thursday, March 28, 2024 1:31:32 PM

---

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

NO Issuance of January 23,2024 site permit

NO. 2021/10/29/1497 to erect a 3-story type 5 bedroom single family building with an accessory dwelling unit. I do not support this type of building on a busy block of single family homes, and blocking the light of windows in adjacent family homes and light to adjacent backyards. Traffic from the Air BnB use in 39 Santa Rosa Ave will bring more traffic and noise to an already very busy street in a busy neighborhood. Mission Street and Alemany Blvd will not be easy for those living on the Street . Corpus Christi Church is across Street from 39 Santa Rosa Ave.

Please deny the building of 3-Story Building.

Thank you.

JoAnn Consiglieri