#### **BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO**

Appeal of <u>SUNYA SMITH,</u>

Appellant(s)

vs.

DEPARTMENT OF BUILDING INSPECTION, PLANNING DEPARTMENT APPROVAL Respondent

#### **NOTICE OF APPEAL**

**NOTICE IS HEREBY GIVEN THAT** on January 29, 2024, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on January 12, 2024 to Sara Ahmadian and Andrew Swerdlow, of a Site Permit (Two-story top floor addition on two-story, single-family house; new third floor with two bedrooms, two bathrooms, washer/dryer; new fourth floor with one bedroom, one bathroom and one roof deck) at 163 28th Street.

#### APPLICATION NO. 2021/01/29/3667

#### FOR HEARING ON March 27, 2024

Address of Appellant(s):	Address of Other Parties:
Sunya Smith, Appellant(s) 170 Valley Street San Francisco, CA 94131	Sara Ahmadian & Andrew Swerdlow, Permit Holder(s) c/o David Cumby, Agent for Permit Holder(s) Cumby Architecture 2325 Third Street, Suite 401 San Francisco, CA 94107

Appeal No. 24-007



#### CITY & COUNTY OF SAN FRANCISCO BOARD OF APPEALS

### PRELIMINARY STATEMENT FOR APPEAL NO. 24-007

I / We, Sunya Smith, hereby appeal the following departmental action: ISSUANCE of Site Permit No.

2021/01/29/3667 by the Department of Building Inspection which was issued or became effective on: January

12, 2024, to: Sara Ahmadian and Andrew Swerdlow, for the property located at: 163 28th Street.

### **BRIEFING SCHEDULE:**

Appellant's Brief is due on or before: 4:30 p.m. on **March 7, 2024**, (**no later than three Thursdays prior to the hearing date**). The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: <u>boardofappeals@sfgov.org</u>, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org, sara.ahmadian@gmail.com and davidcumby@gmail.com

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **March 21, 2024**, (no later than one Thursday prior to hearing date). The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy shall be emailed to: <u>boardofappeals@sfgov.org</u>, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org, and sunyabr@gmail.com

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: Wednesday, March 27, 2024, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett **Place.** The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to <u>boardofappeals@sfgov.org</u>. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

**Please note** that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at <u>www.sfgov.org/boa</u>. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

#### The reasons for this appeal are as follows:

See attachment.

Appellant:

Signature: <u>Via Email</u>

Print Name: Sunya Smith, appellant

My concerns are as follows:

I am the property owner of 170 Valley street- located behind 163 28th street (diagonally adjacent). I am very concerned about the height of the proposed addition. Going from 2 to 4 stories this would be higher than both structures to either side. Additionally the proposed additions would create two large windows that would infringe on the privacy of my bedroom and yard- allowing a direct view into my bedroom. I would understand the necessity of going up maybe one floor for the structure but two seems excessive for the neighborhood. I appreciate the desire to expand the current home but I would like to ensure that measures are taken to improve my privacy- and the privacy of other neighbors.

### Permit Details Report

Report Date:	1/29/2024 4:24:51 PM
Application Number:	202101293667
Form Number:	3
Address(es):	6615 / 032 / 0 163 28TH ST
Description:	2 STORY TOP FLOOR ADDITION ON 2-STORY SINGLE FAMILY HOUSE. NEW 3RD FLOOR WITH 2 BEDROOMS, 2 BATHROOMS, WASHER/DRYER. NEW 4TH FLOOR WITH 1 BEDROOM, 1 BATHROOM, & 1 ROOF DECK.
Cost:	\$512,678.87
Occupancy Code:	R-3
Building Use:	27 - 1 FAMILY DWELLING

#### Disposition / Stage:

Action Date	Stage	Comments
1/29/2021	TRIAGE	
1/29/2021	FILING	
1/29/2021	FILED	
9/29/2023	APPROVED	
1/12/2024	ISSUED	

#### Contact Details:

#### **Contractor Details:**

License Number:	OWN
Name:	OWNER OWNER
Company Name:	OWNER
Address:	OWNER * OWNER CA 00000-0000
Phone:	

#### Addenda Details:

#### Description:SITE PERMIT

Station	Rev#	Arrive	Start	ln Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
СРВ		1/29/21	1/29/21			2/19/21	CHEUNG DEREK		1/29: FILING FEE SENT TO APPICANTDC
BID- INSP		2/19/21	2/19/21			2/19/21	GREENE MATT		OK TO PROCESS
CP-ZOC		2/19/21	7/19/22			7/19/22	JIMENEZ SYLVIA		3/1/21: Requested via email - Please submit Digital Project Application (PRJ) and plans directly to victoria.lewis@sfgov.org. 7/19/22: Application approved for a 2-story vertical addition (3rd and 4th floor), including new roof decks. No DR applications filed. Approved for C. Campbell (SJ)
CP-NP		5/10/22	5/10/22			5/16/22	JIMENEZ SYLVIA		5/10/22: Emailed the 311 cover letter. (JL) 5/16/22: Mailed the 311 notice on 5/25/22; expires on 6/24/22. (JL)

BLDG	7/20/22	9/14/22	9/16/22	11/10/22	11/10/22	BENDEZU SEBASTIAN		9/16/22: In hold. Emailed the architect comments. Comments also traveling with plans.
BLDG	11/10/22	11/15/22	12/7/22	1/18/23	1/18/23	BENDEZU SEBASTIAN		12/7/22: In Hold. Comments issued in unofficial Bluebeam session #: 274-002-224. Contacted architect. sebastian.bendezu@sfgov.org
BLDG	1/18/23	1/19/23			1/30/23	BENDEZU SEBASTIAN		1/30/23: Approved. Paper plans stamped and logged with PPC.
MECH	12/8/22	1/20/23			1/20/23	LAI JEFF		1/20/2023-N/A. site permit
DPW- BSM		1/23/23			1/23/23	DENNIS		1.23.23 Approved SITE Permit only. ADDENDA requirement(s) for sign off: Minor Sidewalk Encroachment (meter door shown on A1.1) Inspection Conformity (final inspection). All sidewalk applications and plans MUST be applied online. Download sidewalk applications at http://www.sfpublicworks.org/services/permits. Your application will be ON-HOLD until all necessary PUBLIC WORKS-BSM permits are completed or plan checker(s) could recommend sign off to the satellite office via email. - RD
SFPUC	1/24/23	1/30/23	1/30/23	2/8/23	2/8/23	GARCIA JOBEL		Requested documents received, hold released - 02/08/23. On Hold until PDFs of the requested drawings are received - 01/30/23. Permit has been assessed a Capacity Charge. DBI will collect charges. See Invoice attached to application. Route to PPC - 01/30/23.
PERMIT- CTR	7/1/22	7/1/22			7/1/22			07/01/2022: Project received by Permit Center Team and transferred to SF Planning Intake for review (CP-ZOC). Applicants may contact pic@sfgov.org for further project updatesHB
DPW- BSM	1/30/23	2/1/23	2/8/23		7/28/23	CHOY CLINTON	Approved- Stipulated	Approved SITE Permit only *revision*. ADDENDUM requirement(s) for sign off: Inspection Right-of-Way Conformity (final inspection). Download application(s) at http://www.sfpublicworks.org/services/permits/application- forms and submit electronically to bsmpermitdivision@sfdpw.org. Your construction addendum will be ON-HOLD until all necessary permit(s) are approved or the assigned BSM plan checker(s) may recommend sign off. Please call the office at (628) 271- 2000 or email at bsmpermitdivision@sfdpw.org for more information. (clinton.choy@sfdpw.org) On hold (SITE). 3/16/23: Designer emailed back about door will need to remain. BSM has no record/permit on file and cannot approve as-built installation conflicting with CBC 3202.2. Must relocate door inside property line to meet CBC 3202.2CC On hold (SITE). 2/8/23: Waiting for designer's response from email dated 2/1/23 to clarify (E) gas door encroachment on plansCC
SFPUC	2/8/23	2/9/23			2/9/23	GARCIA JOBEL		RESTAMP - Permit has been assessed a Capacity Charge. DBI will collect charges. See Invoice attached to application. Route to PPC - 02/09/23.
CP-ZOC	2/10/23	7/19/23			7/19/23	JIMENEZ SYLVIA		7/19/23: Restamped updated plans; routed back to DBI. SJ
PPC	7/28/23	7/28/23			7/28/23	WAI CHUNG WONG	Administrative	7/28/23: To CPB; kw 7/25/23: To DPW-BSM per Clinton Choy request; kw 7/20/23: To hold bin pending for DPW- BSM approval; kw 2/10/23: To Planning for restamp of plans received on 01/25/23. TW 2/8/23: To SFPUC for restamp of plans received on 01/25/23 (then to Planning).

							TW 01/30/23: TO BSM for re stamp of plans received on 01/25/23 (then to PUC, & Planning);me 01/30/23: TO HOLD BIN pending PUC approval;me 01/24/23: TO PUC;me 1/20/23: To BSM. TW 12/8/22: To MECH; ST 12/01/22: Sebastian Bendezu self checkout;me 9/16/2022: To hold bin per BLDG plan checker;nl 7/20/22: to BLDG;EC. 2/19/21: CP-ZOC (Planning); NL
СРВ		7/28/23	7/31/23	7/31/23	CHAN AMARIS	Administrative	7/31/23: RETURN TO PPC FOR FIRE REVIEW PER FS- 03. AMARIS.
SFFD		7/31/23	8/14/23	8/14/23	LY ROGER	Issued Comments	Routed to Ly desk 8/11/23. pf 8/14/23 NOT APPROVED COMMENTS ISSUED PLANS TO CPB
SFFD	1	8/17/23	8/17/23	 8/17/23	LY ROGER	Issued Comments	DISCUSS WITH DBI. PLANS TO PPC 8/17/23 RL
SFFD	2	8/24/23	8/24/23	8/24/23	LY ROGER	lssued Comments	APPROVED OTC PLANS TO PPC WILL HAVE TO VERIFY IN FIELD 22 FT. LADDER ACCESS 8/28/23 ADDITIONAL INFORMATION REQUESTED FOR WATER FLOW
SFFD		9/20/23	9/27/23	9/27/23	LY ROGER	Approved	routed to Ly 9-22-23. LP APPROVED PLANS TO PPC RL 9/27/23
BLDG		8/24/23	8/25/23	8/25/23	BENDEZU SEBASTIAN	Approved	8/25/23: Approved. Re-stamped sheet A1.1. SB
CP-ZOC		8/25/23	9/19/23	9/19/23	JIMENEZ SYLVIA	Approved	Restamped SJ
PPC		9/27/23	9/27/23	9/27/23	WAI CHUNG WONG	Administrative	9/27/23: To CPB; kw 9/20/23: To Roger Ly of SFFD per request; kw !!!Route to Roger Ly of SFFD to review water flow when plan back from CP-ZOC; kw 8/25/23: To CP- ZOC for review Sheet A1.1; kw 8/24/23: To BLDG (then to CP-ZOC) for review Sheet A1.1; kw 8/24/23: Self checkout by Roger Ly; kw 8/18/23: To hold bin pending for SFFD approval; kw 8/17/23: Self checkout by Roger Ly of SFFD; kw 8/14/23: To hold bin pending for SFFD approval; kw 7/31/23: To SFFD; kw
СРВ		9/27/23	9/29/23	1/12/24	VICTORIO CHRISTOPHER	Administrative	01/12/2024: Site Permit Issued, to Permit Center for Pick- Up at 40 South Van Ness Avenue, 2nd Floor, CV 12/22/2023: SFUSD fee included to issuance fee.ay sent to AoR, CV 11/01/2023: Per Plan Review Services Acting Manager Willy Yau waived extension fee if issued by 01/20/2024.ay 10/31/2023: Extension fee required. 1st extension fee \$1,234.69. When pay fee, New Cancel Date: 07/09/2024.ay 9/29/2023: Approved, pending docs prior to sending invoice for payment; cm

# **APPELLANT(S) DID NOT SUBMIT A BRIEF**

## **BRIEF SUBMITTED BY THE PERMIT HOLDER(S)**

1951 Taylor Street San Francisco CA 94133 Tel 415 505 1536 E-mail david@cumbyarchitecture.com

March 20, 2024

President Jose Lopez And Members of the San Francisco Board of Appeals 49 South Van Ness Avenue, Suite 1475 (14th Floor) San Francisco, CA 94103

> RE: Appeal No.: 24-007 Subject Property: 163 28th Street Site Permit No.: 2021-0129-3667

#### Dear President Lopez and Board Members

I represent Sara Ahmadian, permit holder of Site Permit No. 2021-0129-3667 (the "Permit") and owner of the subject property, 163 28th Street (the "Property"). The Permit authorizes the renovation and expansion of the family home at the Property (the "Project"). The Appellant owns the home at 170 Valley Street, located behind and to the southwest of the Property, so that the boundaries of the two parcels intersect at the corners of the two rear yards.

#### Background

The owner of the Property applied for the Permit in 2021. Section 311 Neighbor Notification was completed in June of 2022 and no Discretionary Review was filed for this application. There was no Conditional Use or Variance required for this application. The Site Permit was issued in January of 2024 (The approved plans are attached as <u>Exhibit A</u>).

#### **Appellant's Arguments**

The Appellant has noted the following concerns regarding the Project:

1951 Taylor Street San Francisco CA 94133 Tel 415 505 1536 E-mail david@cumbyarchitecture.com

#### 1-Height of the proposed vertical addition

There are multiple 4 story tall structures in the immediate vicinity of the Property on 28th Street (see <u>Exhibit B</u>). Some of these existing 4 story tall structures have no front setback at the uppermost floor level. The Project was designed in response to Planning Department comments during the permit approval process and has a front setback at the uppermost floor and modest floor to floor heights at the new 3rd and 4th floor levels. The ceiling height in the new 3rd and 4th floor levels is 8 feet (the building code minimum is 7'-6").

#### 2-Windows on the proposed addition with views to the Apellant's rear yard and house

The Project is a vertical addition only, there is no extension further into the rear yard beyond the existing rear wall of the house. This wall is set back 59'-5" away from the rear property line. The rear wall of the adjacent building to the west of the Property, 175 28th Street, is 35'-0" from the rear property line and directly behind the Appellant's property. The Appellant's property has a rear yard depth of approximately 35'-0" to 40'-0", so the distance between the back wall of 163 28th Street and 170 Valley Street (the Apellant) is approximately 95'-0" to 100'-0" (see Exhibit <u>C</u> and Exhibit D). Given the substantial distance between the houses there is not a significant privacy concern established by having windows facing the rear yards of each property.

At the proposed 3rd and 4th floor levels of the Project, facing the rear yard, are bedroom windows. These windows are shifted over toward the east side of the rear wall, away for the Appellant's property (see <u>Exhibit E</u>).

1951 Taylor Street San Francisco CA 94133 Tel 415 505 1536 E-mail david@cumbyarchitecture.com

The living room, dining room and kitchen, the most social and active spaces at the Property, are all on the 2nd floor level, with very limited visual connection to 170 Valley Street. The only deck at the rear yard of the Property is also at the 2nd floor level and shifted over toward the east side of the Property, away from 170 Valley Street (see <u>Exhibit E</u>).

#### 3-Privacy for the Appellant and other neighbors

Currently there are trees in the rear yard of the Property, 175 28th Street, and 170 Valley Street which provide some measure of privacy between the parcels (see Exhibit F).

#### Conclusion

The Permit was properly approved by the Planning Department. The height of the proposed addition is consistent with nearby properties on 28<sup>th</sup> Street. The distance between the back wall of 163 28th and the back wall of 170 Valley Street is approximately 100'-0" and therefore there is not a significant privacy concern due to windows facing the rear yards. I respectfully request that the Board deny the appeal and uphold the issuance of the Permit.

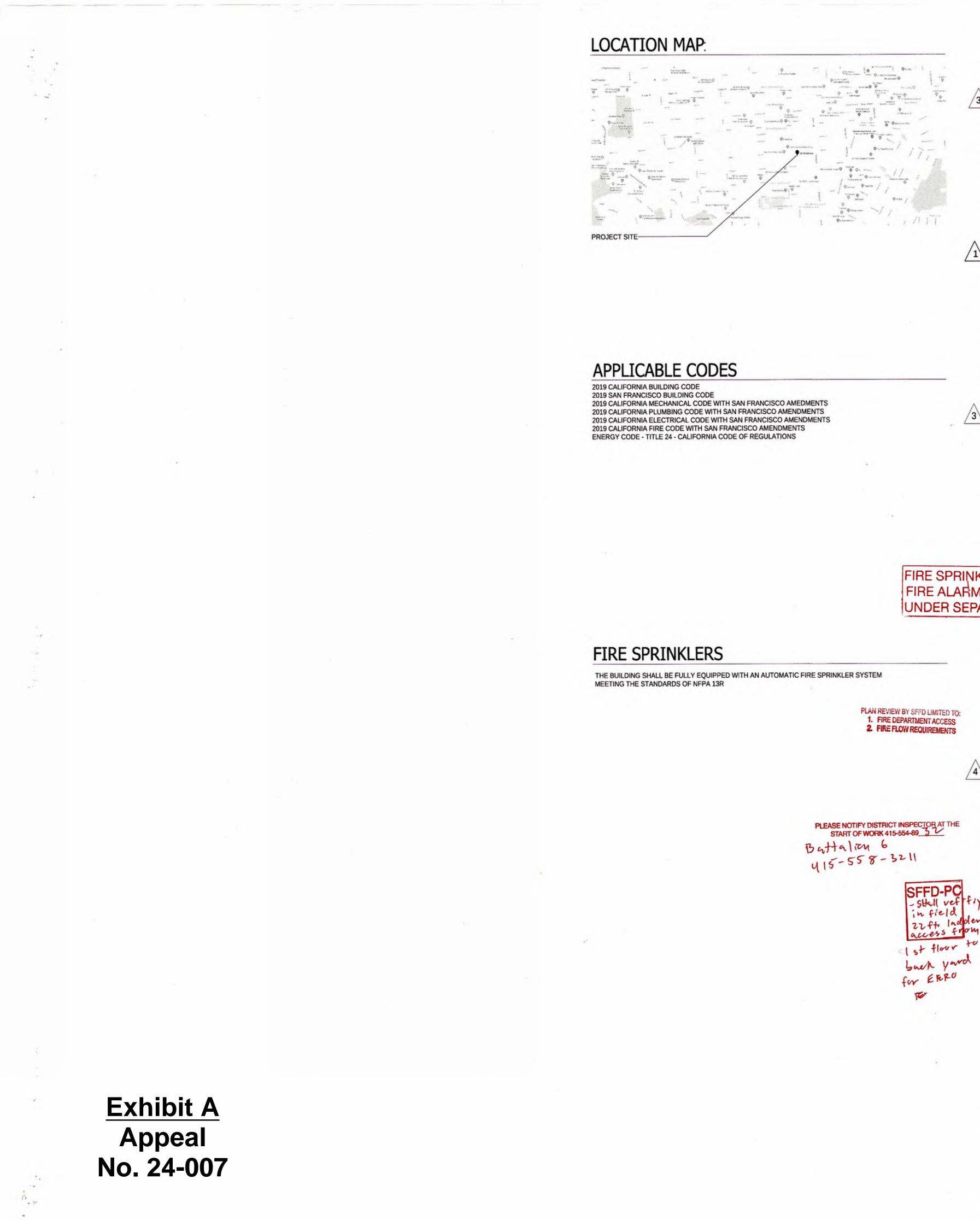
Regards

Doil & Cuy

David Cumby, Architect, License #29182 1951 Taylor Street San Francisco, CA 94133

Tel: 415-505-1536

<u>Exhibit A</u> Appeal No. 24-007



# DRAWING LIST

#### ARCHITECTURAL

3 A1.0A AB-05 FORMS

A1.0 PROJECT INFORMATION

A1.0C GREEN BUILDING

A1.0D GENERAL NOTES

A1.0E SITE PHOTOS

A1.0F SITE PHOTOS

A1.1 EXISTING FIRST FLOOR PLAN

MOLS SRB

A1.2 DEMO AND PROPOSED SECOND FLOOR PLANS

A1.3 DEMO AND PROPOSED THIRD FLOOR PLANS

A1.4 PROPOSED FOURTH FLOOR AND ROOF PLANS

A1.0B EXISTING AND PROPOSED PLOT PLANS

A3.4 EXISTING AND PROPOSED WEST EXTERIOR ELEVATIONS (SIDE) A3.5 EXISTING AND PROPOSED BUILDING LONGITUDINAL SECTIONS

A3.1 EXISTING AND PROPOSED NORTH EXTERIOR ELEVATIONS (STREET)

A3.3 EXISTING AND PROPOSED SOUTH EXTERIOR ELEVATIONS (REAR YARD)

A3.2 EXISTING AND PROPOSED EAST EXTERIOR ELEVATIONS (SIDE)

- A3.6 PROPOSED BUILDING LONGITUDINAL SECTION
- A3.7 PROPOSED BUILDING LONGITUDINAL SECTION

PROJECT INFORMATION:

6615/032

- A3.8 PROPOSED BUILDING CROSS SECTIONS
- A8.1 DETAILS
- A9.1 DOOR SCHEDULE
- A9.2 WINDOW SCHEDULE

SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (628) 271-2000 TO SCHEDULE Clinton Choy, PW-BSM

JUL 2 6 2023

### FIRE SPRINKLER AND / OR FIRE ALARM IS REQUIRED UNDER SEPARATE PERMIT

BLOCK/LOT:

PLAN REVIEW BY SFFD LIMITED TO: 1. FIRE DEPARTMENT ACCESS 2. FIRE FLOW REQUIREMENTS

OCCUPANCY:	R3	PROPOSED BUILDING H
ZONING:	RH-2 / 40-X	EXISTING CAR PARKING
LOT AREA:		TO REMAIN:
CONSTRUCTION TYPE EXISTING: V-B PROPOSED: V-B		EXISTING BIKE PARKING TO REMAIN:
	EXISTING	ADDITION
FIRST FLOOR	1,323 SQ FT (includes 253 SQ FT Garage	) -
SECOND FLOOR	1,298 SQ FT	
THIRD FLOOR	-	2 1,242 SQ FT
FOURTH FLOOR		
roominicoon		2 872 SQ FT

+0

TOTAL FLOOR AREA
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1,864 SQ FT 2,621 SQ FT (includes 253 SQ FT Garage)

2

1

/2\

EXISTING BUILDING HEIGHT: 20'-10"

PEN SPACE		
	EXISTING	ADDITION
EAR YARD	1,164 SQ FT	
ECOND FLOOR	201 SQ FT (Deck at Rear Yard)	
HIRD FLOOR		2-
OURTH FLOOR	-	2 140 SQ FT
OTAL FLOOR AREA	1,365 SQ FT	, 140 SQ FT

# PROJECT DESCRIPTION

TWO STORY TALL ADDITION ON TWO STORY TALL SINGLE FAMILY HOUSE NEW THIRD FLOOR WITH 2 BEDROOMS, 2 BATHROOMS, OFFICE AND WASHER/DRYER /2

#### NEW FOURTH FLOOR WITH 1BEDROOM, 1 BATHROOM, 1 ROOF DECK

# Cumby Architecture

1951 Taylor Street San Francisco, CA 94133 Tel 415.505.1536 mail david&cumbyarchitecture.com

Veb www.cumbyarchitecture.com

PROJECT/CLIENT: Residential Addition 163 28th Street San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow 163 28th Street San Francisco, CA 94131

650.224.2539

# PROJECT DIRECTORY

#### CLIENT

SARA AHMADIAN AND ANDREW SWERDLOW 163 28TH STREET

SAN FRANCISCO, CA 94131 TEL: 415.515.5286 EMAIL: sara.ahmadian@gmail.com

ARCHITECT

CUMBY ARCHITECTURE CONTACT: DAVID CUMBY 1951 TAYLOR STREET SAN FRANCISCO, CA 94133 TEL: 415.505.1536 EMAIL: david@cumbyarchitecture.com

STRUCTURAL ENGINEER SEDR CONSULTING CONTACT: JOE IGBER 6250 THORNHILL DRIVE, UPPER OFFICE OAKLAND, CA 94611 TEL: 510.525.9491 EMAIL: joe@sedrconsulting.com

EXISTING REAR YARD OPEN SPACE TO REMAIN:

SFPUC - Please be advised Your plans and fixtures count indicate a larger water meter is required. Please apply for a water meter upgrade at SFPUC New Service Installations, 525 Golden Gate Ave, 2td Floor, San Francisco, CA 94102, Tel: (415) 551-2900. SFPUC Capacity Charges

2

See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges.



1,164 SQ FT

PERMIT NUMBER

2021 0129366

# ISSUE/DATE: 2-08-2021 Site Permit Set

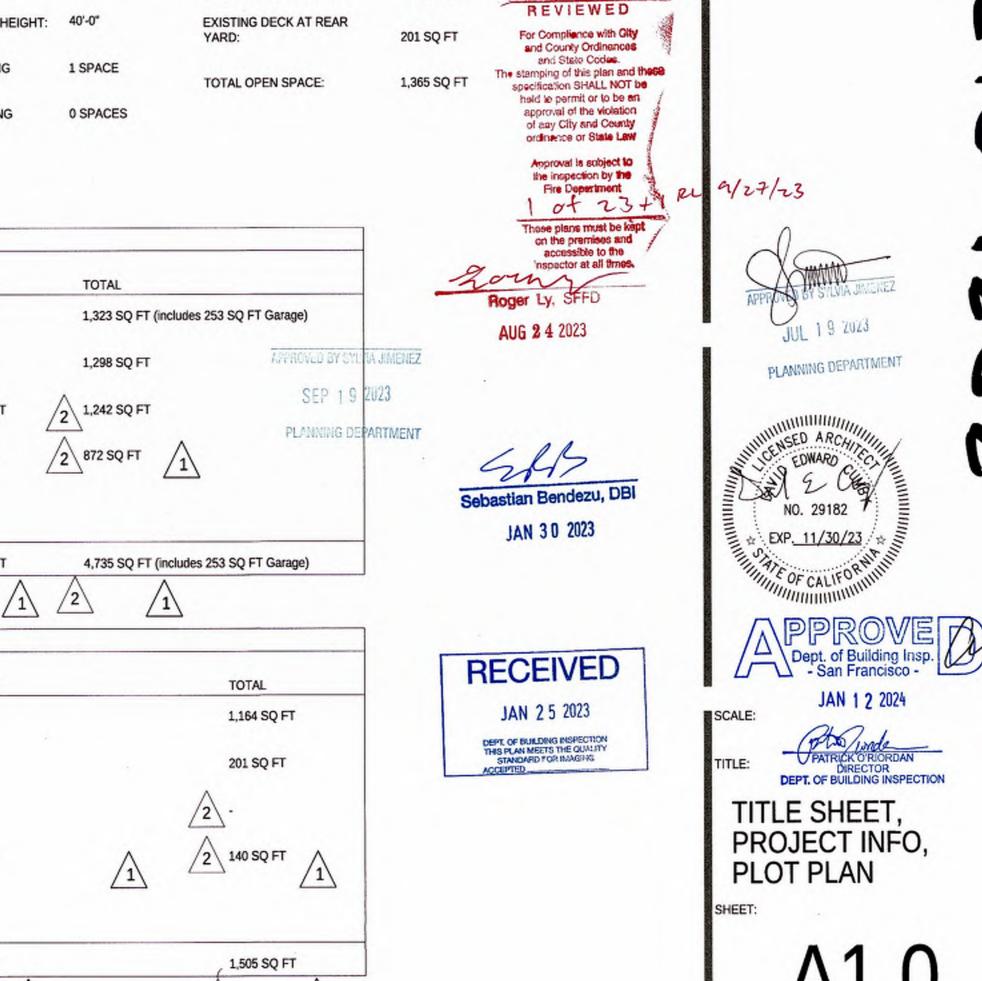
**Residential Addition** 

	Plan Check 1	1-20-2022
	Plan Check 2	3-30-2022
	Plan Check 3	10-24-2022
1	4 Plan Check 4	1-10-2023

DBI STAMP:

NTS

V



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2019 SAN FRANCISCO BUILDING CODE



DEPARTMENT OF BUILDING INSPECTION City & County of San Francisco 1660 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED 11-8-2022

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0129-3667

Property Address: 163 28th Street

Block and Lot: <u>6615/032</u> Occupancy Group: <u>R3</u> Type of Construction: <u>VA</u> No. of Stories: <u>4</u>

Describe Use of Building Single Family House

Under the authority of the 2019 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2019 San Francisco Mechanical Code, Section 302.2; the 2019 San Francisco Electrical Code, Section 89.117; and the 2019 San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)

CBC 1030 : Emergency escape and rescue openings shall open to a public way access to a public way

1/1/2020

2019 SAN FRANCISCO BUILDING CODE



DEPARTMENT OF BUILDING INSPECTION City & County of San Francisco 1660 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED 11-8-2022

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0129-3667

Property Address: 163 28th Street

Block and Lot: 6615/032 Occupancy Group: R3 Type of Construction: VA No. of Stories: 4 Describe Use of Building Single Family House

Under the authority of the 2019 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2019 San Francisco Mechanical Code, Section 302.2; the 2019 San Francisco Electrical Code, Section 89.117; and the 2019 San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval

Regular Code Requirement (specify Code and Sections)

CBC 1011.12 - In buildings with 4 or more stories, one stair shall extend to the

# Exhibit A Appeal No. 24-007

1/1/2020

A	B-	05	P

AB-05

Proposed Modification or Alternate

ATTACHMENT A

[Note: This form shall be recorded as part of the permanent construction records of the property]

oraya	rd or o	ourt pr	ovidin	g	
					_
	_				
					_
					-

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AB-057

ATTACHMENT A

[Note: This form shall be recorded as part of the permanent construction records of the property]

of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

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 	 	_

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2019 SAN FRANCISCO BUILDING CODE

Per SF DBI EG-02, emergency escape and rescue openings shall provide access to the rear yard which exceeds 25 feet in depth

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the

code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for

each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test

reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

Given the existing ground floor conditions, providing a passage to the public way from the rear yard would require

removal of a bedroom, relocation of an interior stair, and other changes to comply with CBC 1030

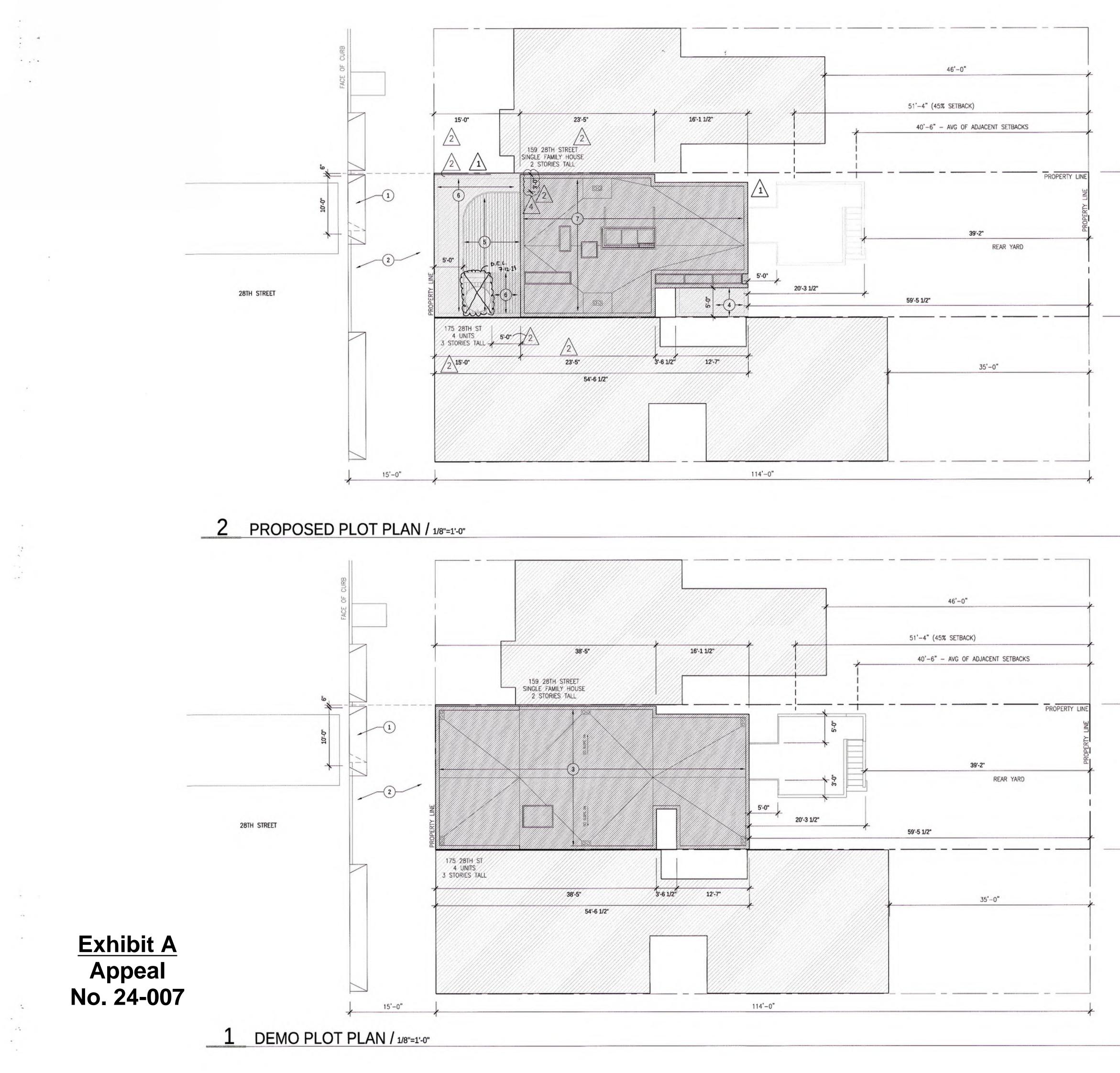
	Cumby
2019 SAN FRANCISCO BUILDING CODE AB-05	Architecture
PLAN REVIEWER COMMENTS:	1951 Taylor Street San Francisco, CA 94133
	Tel: 415-505-1536 Email: david@cumbyarchitecture.com
	Web: www.cumbyarchitecture.com
RECOMMENDATIONS: Approve Approve with conditions Disapprove [signed off/dated by:]	
Plan Reviewer: Surlich 1/30/23	
Division Manager: for Director of Bldg. Inspection	PROJECT/CLIENT: Residential Addition 163 28th Street
for Fire Marshal:	San Francisco, CA 94131
	Sara Ahmadian 163 28th Street San Francisco, CA 94131
	650.224.2539
	Residential Addition
	ISSUE/DATE:
	Site Permit Set 2-08-2021
	Plan Check 1 1-20-2022
	Plan Check 2 3-30-2022
	Plan Check 3 10-24-2022
1/1/2020 Page 5-:	5 Plan Check 4 1-10-2023
2019 SAN FRANCISCO BUILDING CODE AB-05	7
PLAN REVIEWER COMMENTS:	DBI STAMP:
RECOMMENDATIONS: Approve Approve with conditions Disapprove [signed off/dated by:]	
Plan Reviewer: <u>Sublan 1/30-23</u>	
for Director of	
for Fire Marshal:	Roger Ly, SFFD AUG 2 4 2023
CONDITIONS OF APPROVAL 21 OTHER COMMENTS	
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	NO. 29182 EXP. 11/30/23
	THE OF CALIFORNIUM
	APPROVED
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JAN 2	5 2023 SCALE:
APPROVED BY SYLVA JUNENEZ JAN 3 0 2023	
CEP 19 1010	AB-05 FORMS
1/1/2020 FLORENG DEPARTMENT Page 5-	
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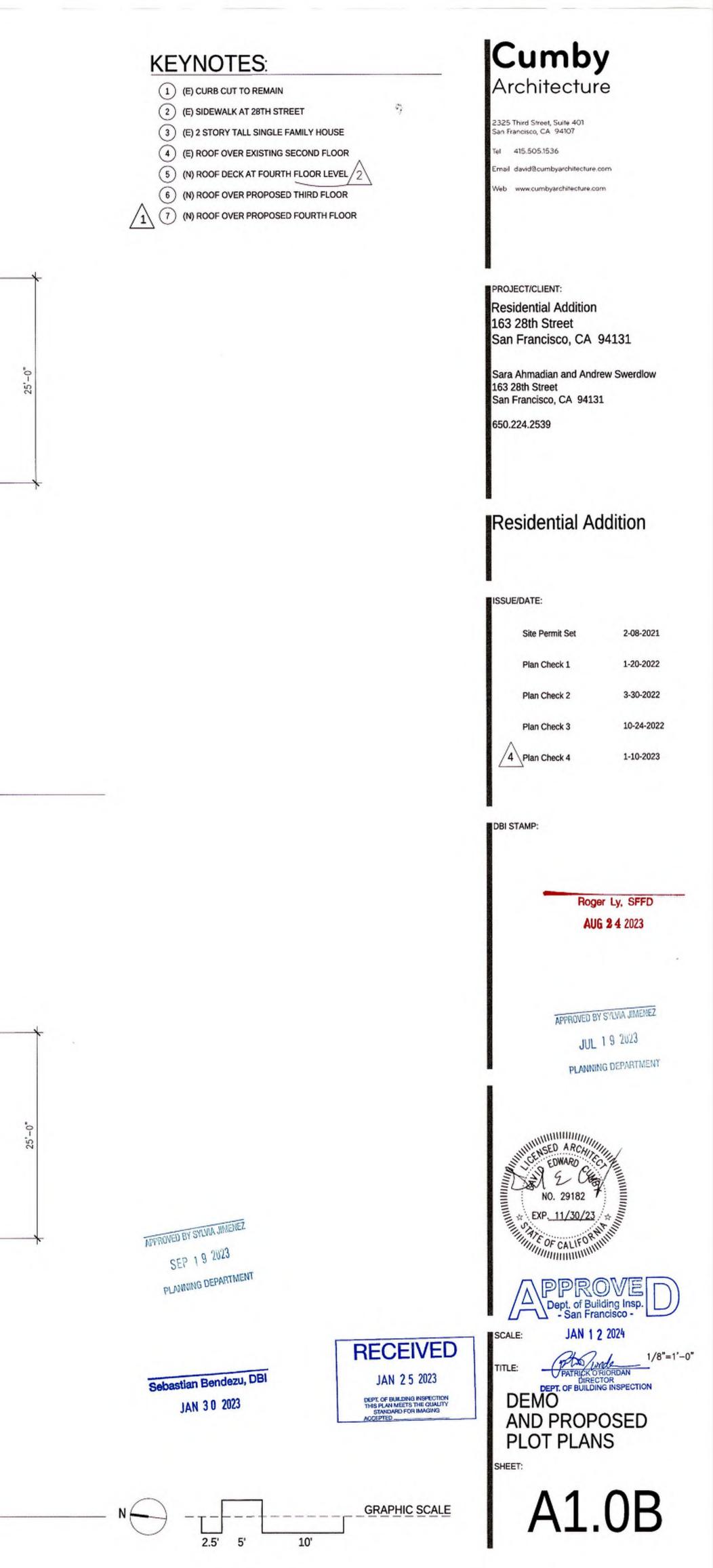
Requested by:	PROJECT SPONSOR	ARCHITECT/ENGINEER	WILLISED ARCHING
Print Name:		David Cumby	EDWARD CC
Signature:		Durry	NO 29182
elephone:		415-505-1536	NO. 29182 * EXP. 11/30/23
ige 5-4			1/1/2020
AB-057		2010 SAN EP	ANCISCO BUILDING CODE
	inn an Altannata	2019 341114	ANCISCO BOILDING CODE
roposed Modificat	, provide roof access with a roof		
er SF DBI 1011.1	2, for buildings without occupied	roofs, an alternating tread device	shall be permitted to provide
oof access			
Case-by-Case Basis code and how the p each requested more eports, expert opin nired by the applica The small footprint	s of Request - Describe the practi roposed modification or alternate lification or alternate. Attach cop ions, etc., which support this requ nt to perform tests or analysis and of the 4th floor leaves limited spa		ng the specific conditions of the parate form should be filled for in, Code Ruling, reference, test that an approved consultant be e Department for consideration. s, 10" treads
Case-by-Case Basis code and how the p each requested model reports, expert opin nired by the applica The small footprint	s of Request - Describe the practi- roposed modification or alternate lification or alternate. Attach cop ions, etc., which support this requ- nt to perform tests or analysis and of the 4th floor leaves limited spa-	cal difficulties presented in meetir meets the intent of the code. A se pies of any Administrative Bulleti uest. The Department may require to submit an evaluation report to th ace for a stair with max 7.75" riser	ng the specific conditions of the parate form should be filled for in, Code Ruling, reference, test that an approved consultant be e Department for consideration. s, 10" treads
Case-by-Case Basis code and how the p each requested mode eports, expert opin hired by the applica The small footprint	s of Request - Describe the practi roposed modification or alternate lification or alternate. Attach cop ions, etc., which support this requ nt to perform tests or analysis and of the 4th floor leaves limited spa	cal difficulties presented in meetir meets the intent of the code. A se pies of any Administrative Bulleti uest. The Department may require to submit an evaluation report to th ace for a stair with max 7.75" riser	ng the specific conditions of the parate form should be filled for in, Code Ruling, reference, test that an approved consultant be e Department for consideration. s, 10" treads
Case-by-Case Basis ode and how the p each requested model eports, expert opin tired by the applica The small footprint	s of Request - Describe the practi- roposed modification or alternate lification or alternate. Attach cop ions, etc., which support this requ- nt to perform tests or analysis and of the 4th floor leaves limited spa-	cal difficulties presented in meetir meets the intent of the code. A se pies of any Administrative Bulleti uest. The Department may require to submit an evaluation report to th ace for a stair with max 7.75" riser	ng the specific conditions of the parate form should be filled for in, Code Ruling, reference, test that an approved consultant be e Department for consideration.

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1/1/2020

Page 5-4





# GS1: San Francisco Green Building Site Permit Submittal Form

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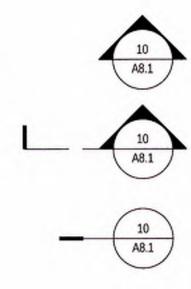
	RUCTIONS:	uiromonte faatha aad	ect. For addition and alteration projects, applicability		NEW CONS	TRUCTION			ALTE
of spec 2. Prov To ens Scored	cific requirements may depend u vide the Project Information in the sure legibility of DBI archives, su card is not required with site per	upon project scope. le box at the right. Ibmittal must be a mini mit application, but us	imum of 24" x 36". A LEED or GreenPoint Rated ing such tools as early as possible is recommended.	LOW-RISE RESIDENTIAL	HIGH-RISE RESIDENTIAL	LARGE NON- RESIDENTIAL	OTHER NON- RESIDENTIAL	RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	OTHER RESIDENTIA ALTERATION + ADDITIONS
VERIE	ICATION <sup>®</sup> form will be required prio inicipal projects, additional Environ	or to Certificate of Comp ment Code Chapter 7 n SOURCE OF	plicable addendum. A separate "FINAL COMPLIANCE letion. For details, see Administrative Bulletin 93. equirements may apply; see GS6. DESCRIPTION OF REQUIREMENT	R 1-3 Floors	R 4+ Floors	A,B,E,I,M 25,000 sq.ft. or greater	F,H,L,S,U OF A,B,E,I,M less than 25,000 sq.ft.	R 25,000 sq.ft. or greater	R adds any amoun conditioned are
R	TITLE Required LEED or	REQUIREMENT SFGBC 4.103.1.1, 4.103.2.1, 4.103.3.1, 5.103.1.1, 5.103.3.		LEED SILVER (50+) or GPR (75+)	LEED SILVER (50+) or GPR (75+)	LEED GOLD (60+) CERTIFIED	n/r	LEED GOLD (60+) or GPR (75+) CERTIFIED	n/r
EED/G	GPR Certification Level Adjustment for Retention/Demolition of Historic Features/Buildings	& 5.103.4.1 SFGBC 4.104, 4.105, 5.104 & 5.105	Enter any applicable adjustments to LEED or GPR point requirements in box at right.	CERTIFIED	CERTIFIED		n/r	GERTIFIED	n/r
	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5 & 5.504.4.1-6, SFGBC 4.103.3.2, 5.103.1.9, 5.103.3.2 & 5.103.4.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products. Major alterations to existing residential buildings must use low-emitting coatings, adhesives and sealants, and carpet systems meeting GPR measures K2, K3 and L2 or LEED EQc2. New large non-residential interiors and major alterations to existing residential and non-residential buildings: interior paints, coatings, sealants, adhesives when applied on-site, flooring and composite wood must meet the requirements of LEED credit Low-Emitting Materials (EQc2).	4.504.2.1-5	4.504.2.1-5	LEED EQc2	5.504.4.1-6	LEED EQc2 or GPR K2, K3 & L2	4.504.2.1-5
œ	INDOOR WATER USE REDUCTION	DUCTION SF Building Code sec.12A10, SF Building Code sec.12A10, SF Building Code ch.13A. New large non-residential buildings must also achieve minimum 30% indoor potable water use reduction as calculated to meet LEED credit Indoor Water Use Reduction (WEc2).		•	•	LEED WEc2 (2 pts)	•	•	•
WATE	NON-POTABLE WATER REUSE	Health Code art.12C	New buildings ≥ 40,000 sq.ft. must calculate a water budget. New buildings ≥250,000 sq.ft. must treat and use available rainwater, graywater, and foundation drainage and use in toilet and urinal flushing and irrigation. See www.sfwater.org for details.	n/r	•	•	n/r	n/r	n/r
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	New construction projects with aggregated landscape area ≥500 sq.ft., or existing projects with modified landscape area ≥1,000 sq.ft. shall use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF (.55 for residential, .45 for non-residential or less) or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area. See www.sfwater.org for details.	•	•	•	•	•	•
	WATER METERING	CALGreen 5.303.1, Plumbing Code 601.2.1	individual residential dwelling unit.	•	•	•	•	n/r	1//
	ENERGY EFFICIENCY	CA Title 24 Part 6, SFGBC 4.201.3, 5.201.1.1	Application for Permit Jan 2 through Feb 16, 2020: Comply with Title 24 Part 6 (2019) and meet GreenPoint Rated or LEED energy prerequisites. See Attachment H for details. Application for permit Feb 17, 2020 or after: All-Electric buildings of any occupancy: Comply with all provisions of Title 24 2019. New low-rise residential with natural gas: Demonstrate Total Energy Design Rating <14. New buildings with natural gas of any occupancies excepting F, L, or H: Reduce energy use at least 10% compared to Title 24 2019.	•			•	•	•
ENERGY	BETTER ROOFS $SFGBC 4.201.1$ $\frac{8 5.201.1.2}{124 110.10; 150.1(c)14;}{8 150.1(c)8.iv}$ New non-residential buildings >2,000 square feet and ≤ 10 floors, and new residential buildings of ≥4 and ≤10 floors, must designate 15% of roof as Solar Ready, applying Title 24 rules. Install photovoltaics or solar hot water systems in this area. With Planning Department approval, projects subject to SFPUC Stormwater Requirements may substitute living roof for solar energy systems. New single family buildings and residential buildings of ≤3 floors must install photovoltaics.		•	n/r	n/r				
	RENEWABLE ENERGY SFGBC 5.201.1.3 New commercial buildings ≥ 11 floors must Generate ≥1% of annual energy cost on-site with renewables (LEEDv4 EAc5), OR Reduce energy use an additional ≥10% compared to Title 24 Part 6 2019, OR Purchase Green-E renewable energy for 50% of electricity use (LEEDv4 EAc7).		n/r	n/r	•	•	n/r	n/r	
	COMMISSIONING (Cx)	CALGreen 5.410.2 - 5.410.4.5.1	For projects ≥10,000 sq.ft, include Owners Project Requirements, Basis of Design, and commissioning plan in design & construction. Perform commissioning. Alterations & additions with new HVAC equipment must test and adjust all equipment.	n/r	n/r	LEED EAc1 opt. 1	•	n/r	n/r
g	BICYCLE PARKING	CALGreen 5.106.4, Planning Code 155.1-2	Provide short- and long-term bike parking equal to 5% of motorized vehicle parking, or meet SF Planning Code sec. 155. 1-2, whichever is greater.	SF Planning Code sec.155.1-2	SF Planning Code sec.155.1-2	•	•	if applicable SF Planning Code sec.155.1-2	if applicable SF Planning Code sec.155.1
SKING	DESIGNATED PARKING	CALGreen 5.106.5.2	Mark 8% of total parking stalls for low-emitting, fuel efficient, and carpool/van pool vehicles.	n/r	n/r	•	•	n/r	n/r
PAI	WIRING FOR EV CHARGERS	SFGBC 4.106.4 & 5.106.5.3	Permit application January 2018 or after: Construct all new off-street parking spaces for passenger vehicles and trucks with dimensions capable of installing EVSE. Install service capacity and panelboards sufficient to provide ≥40A 208 or 240V to EV chargers at 20% of spaces. Install ≥40A 208 or 240V branch circuits to ≥10% of spaces, terminating close to the proposed EV charger location. Installation of chargers is not required. Projects with zero off-street parking exempt. See SFGBC 4.106.4 or SFGBC 5.106.5.3 for details. Installation of chargers is not required.	•	•	•	•	applicable for permit application January 2018 or after	n/r
RYCE	RECYCLING BY OCCUPANTS	SF Building Code 106A.3.3 CalGreen 5.410.1, AB-088	Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials.	•	•	•	•	•	•
RESOURCE RECOVERY	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	SFGBC 4.103.2.3, 5.103.1.3.1, CalGreen, Environment Code ch.14, SF Building Code ch.13B	100% of mixed debris must be taken by a Registered Transporter to a Registered Facility and be processed for recycling. Divert a minimum of 65% or 75% of total C&D debris as noted at right. See www.sfdbi.org for details.	≥65% diversion	≥75% diversion	≥75% diversion	≥65% diversion	≥65% diversion	≥65% diversio
	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained and certified in best practices.	•	•	n/r	n/r	•	•
HVAC	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	•	•	n/r	n/r	•	•
	REFRIGERANT MANAGEMENT	CALGreen 5.508.1	Use no halons or CFCs in HVAC.	n/r	n/r	•	•	n/r	n/r
~	LIGHT POLLUTION REDUCTION	CA Energy Code, CALGreen 5.106.8	Comply with CA Energy Code for Lighting Zones 1-4. Comply with 5.106.8 for Backlight/Uplight/Glare.	n/r	n/r	•	•	n/r	n/r
GOOD	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	•	· ·	•	•	· ·	•
NEIG	TOBACCO SMOKE CONTROL	CALGreen 5.504.7, Health Code art.19F	For non-residential projects, prohibit smoking within 25 feet of building entries, air intakes, and operable windows. For residential projects, prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	•	•	•	•	•	•
	SHADE TREES	CalGreen 5.106.12	Plant trees to sufficient to provide shade within 15 years for 20% of landscape and hardscape area. Exclude shade structures covered by photovoltaics or cool roof materials from total area calculation.	n/r	n/r	•	•	n/r	n/r
NTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements. See www.sfwater.org for details.	•	•	•	•	if project extends outside envelope	if project exten outside envelo
POLLUTION	CONSTRUCTION SITE RUNOFF CONTROLS	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices. See www.sfwater.org for details.	if disturbing ≥5,000 sq.ft.	•	if disturbing ≥5,000 sq.ft.	if disturbing ≥5,000 sq.ft.	if project extends outside envelope	if project exten outside envelo
TAL	ACOUSTICAL CONTROL	CALGreen 5.507.4.1-3, SF Building Code sec.1207	Non-residential projects must comply with sound transmission limits (STC-50 exteriors near freeways/airports; STC-45 exteriors if 65db Leq at any time; STC-40 interior walls/floor- ceilings between tenants). New residential projects' interior noise due to exterior sources shall not exceed 45dB.	•	•	•	•	n/r	n/r
00R NMEN	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1-3 & 5.504.1-3	Seal permanent HVAC ducts/equipment stored onsite before installation.	•	•	•	•	•	•
	AIR FILTRATION (OPERATIONS)	CALGreen 5.504.5.3, SF Health Code art.38	Non-residential projects must provide MERV-13 filters on HVAC for regularly occupied, actively ventilated spaces. Residential new construction and major alteration & addition projects in Air Pollutant Exposure Zones per SF Health Code art.38 must provide MERV-13 filters on HVAC.	if applicable	if applicable	•	•	if applicable	n/r
EN	CONSTRUCTION IAQ MANAGEMENT PLAN	SFGBC 5.103.1.8	During construction, meet SMACNA IAQ guidelines; provide MERV-13 filters on all HVAC.	n/r	n/r	LEED EQc3	n/r	n/r	n/r
	ELECTRIC READY	Title 24 2019 150.0(n) SFGBC 4.103.1, 4.103.2	For each gas water heater serving an individual dwelling unit, include a dedicated 125v 20A electrical receptacle with 120/240v 3-conductor 10AWG copper branch circuit adjacent to the water heater. Label both ends of the unused conductor "spare". Reserve one circuit breaker in the electrical panel and label "Future 240V Use". Pre-wire gas dryers with conductor rated for 50-amp circuit.	•	•	n/r	n/r	n/r	n/r
AL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	•	•	n/r	n/r	if applicable	if applicable
ENTI	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	•	•	n/r	n/r	•	•
KESID	FIREPLACES & WOODSTOVES	CALGreen 4.503.1 CALGreen 4.505.2	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances. Slab on grade foundation with vapor retarder requires capillary break, such as 4 inches 1/2-in aggregate & slab design by licensed professional.		•	n/r n/r	n/r n/r		•
Ľ.	CAPILLARY BREAK MOISTURE CONTENT	CALGreen 4.505.2 CALGreen 4.505.3	Slab on grade foundation with vapor retarder requires capiliary break, such as 4 incres 1/2-in aggregate & slab design by licensed professional. Wall and floor wood framing must have <19% moisture content before enclosure.	•	•	n/r	n/r	•	•
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80%. (Humidistat may be separate component).	•	•	n/r	n/r	•	•



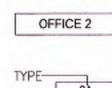


				ne January 2020 December 2022)	Cumby Architecture
ERA	TIONS + ADI		20 (For permit application	PROJECT INFO	1951 Taylor Street San Francisco, CA 94133
					Tel: 415-505-1536 Email: david@cumbyarchitecture.com
AL NS NS	ION-RESIDENTIAL MAJOR ALTERATIONS + ADDITIONS	FIRST-TIME NON-RESIDENTIAL INTERIORS	OTHER NON- RESIDENTIAL INTERIORS, ALTERATIONS + ADDITIONS	PROJECT NAME	Web: www.cumbyarchitecture.com
int of rea	B,M 25,000 sq.ft. or greater	A,B,I,M 25,000 sq.ft. or greater	A,B,E,F,H,L,I,M,S,U more than 1,000 sq.ft. or \$200,000	BLOCK/LOT	
	LEED GOLD (60+) CERTIFIED	LEED GOLD (60+) CERTIFIED	n/r	ADDRESS	PROJECT/CLIENT:
			n/r	PRIMARY OCCUPANCY	Residential Addition 163 28th Street San Francisco, CA 94131
5	LEED EQc2	LEED EQc2	5.504.4.1-6	GROSS BUILDING AREA	Sara Ahmadian 163 28th Street
	•	•	•	DEGION DROEESSIONAL	San Francisco, CA 94131 650.224.2539
	n/r	n/r	n/r	DESIGN PROFESSIONAL or PERMIT APPLICANT (sign & date)	
		•	•		
	•	•	•		Residential Addition
			•		
	n/r	n/r	n/r		ISSUE/DATE:
	n/r	n/r	n/r		Site Permit Set 2-08-2021
	•	•	•		Plan Check 3 10-24-2022 Plan Check 4 1-10-2023
le 1g 5.1-2	•	•	if >10 stalls added		Pian Check 4 1-10-2020
	•	•	if >10 stalls added		
	applicable for permit application January 2018 or after	n/r	n/r		
	•	•	•		
sion	≥65% diversion	≥75% diversion	≥65% diversion		DBI STAMP:
	n/r n/r	n/r n/r	n/r n/r		
	•	•	•		
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	•	•	•		Roger Ly, SFFD AUG 2 4 2023
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ends	n/r	n/r	n/r		
lope	outside envelope	outside envelope	if project extends outside envelope	-	
ends lope	if project extends outside envelope	if project extends outside envelope	if project extends outside envelope		
	•	•	•		
	•	•	•		SUNTICENSED ARCHING
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_	n/r n/r	n/r n/r	n/r n/r		Dept. of Building Insp.
	n/r	n/r	n/r		JAN 1 2 2024
A JUNEN 2023 CEPART	n/r	n/r n/r ebastian Bendezu JAN 30 2023	n/r	RECEIVED JAN 2.5 2023 DEPT OF BUILDING INSPECTION THIS PLAN MEETS THE DUMINY THIS PLAN MEETS THE DUMINY THIS PLAN MEETS THE DUMINY ACCEPTED	SCALE: TITLE: DEPT. OF BUILDING INSPECTION GREEN BUILDING INSPECTION SHEET: A100C

### SYMBOLS







3A RATING

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CENTERLINE

REVISION TAG AND CLOUD

ELEVATION REFERENCE

SECTION REFERENCE

DETAIL REFERENCE

NORTH ARROW

ROOM NAME

PARTITION TYPE

WINDOW TYPE

GRID LINE

GRID BUBBLE AND

# ABBREVIATIONS:

ABOVE ABV. ACOUSTIC TILE A.C. TILE ACCESS. ACCESSIBLE ACOUST. ACOUSTICAL A.D. AREA DRAIN ADJ. ADJACENT ADJUSTABLE ADJST. A.E.S. ABOVE EXISTING SLAB ARCHITECTURAL EXPOSED A.E.S.S. STRUCTURAL STEEL ABOVE FINISHED FLOOR A.F.F. AGGR. AGGREGATE ALUM. ALUMINUM APPROX. APPROXIMATELY ARCH. ARCHITECTURAL ASB. ASBESTOS ASPH. ASPHALT BOARD BITUM. BITUMINOUS BLDG. BUILDING BLK. BLOCK BLOCKING BLK'G BLW BELOW BM. BEAM B.O. BOTTOM OF BETWEEN BTWN. CABINET CAB. C.B. CATCH BASIN CEM. CEMENT CER. CERAMIC C.I. CAST IRON CENTER LINE C.L. CLG. CEILING CLKG. CAULKING CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT CNTR. COUNTER COL. COLUMN COM. COMPACT CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CORR. CORRIDOR C.S.C.L CONTRACTOR SUPPLIED CONTRACTOR INSTALLED CERAMIC TILE C.T. CTR. CENTER CTSK. COUNTERSUNK DOUBLE DBL. DEPT. DEPARTMENT DETAIL D.F. DRINKING FOUNTAIN DIA. DIAMETER DIM. DIMENSION DN. DOWN D.O. DOOR OPENING DOWNSPOUT DS D.S.P. DRY STANDPIPI DTL. DETAIL DWG. DRAWING EXISTING EACH EA E.J. EXPANSION JOINT ELEVATION EL. ELEC. ELECTRICAL ELEV. ELEVATOR EMER. EMERGENCY ENCL. ENCLOSURE E.P. ELECTRICAL PANEL BOARD EQUAL EO. EQPT. EQUIPMENT ESC. ESCALATOR EXIST. EXISTING EXP. EXPANSION EXPO. EXPOSED EXT. EXTERIOR FIRE ALARM E.A. FLAT BAR F.B. F.D. FLOOR DRAIN FDN. FOUNDATION F.E.C. FIRE EXTINGUISHER CABINET FIRE HOSE CABINET F.H.C. FINISH FLOOR FIN. FLR.

FINISH FIN. FIXTURE FIXT. FLOW LINE F.L. FLASH. FLASHING FLUOR. FLUORESCENT F.O. FACE OF F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS F.P. FIRE PROOF FPRFG FIRE PROOFING F.R. FIRE RETARDANT E.L. FIRE TREATED FT. FOOT/FEET FTG. FOOTING FULL SIZE F.S. FURR. FURRING FUT. FUTURE GAUGE GA. GALV. GALVANIZED GRAB BAR G.B. G.C. GENERAL CONTRACTOR GLASS GND. GROUND GR. GRADE GSM GALVANIZED SHEET METAL G.W.B. GYPSUM WALLBOARD GYP. GYPSUM GYP. BD GYPSUM BOARD HOSE BIBB H.B. H.C. HOLLOW CORE HAND HD. HARDWOOD HDWD. HOLLOW METAL H.M. HORIZ. HORIZONTAL HOUR HR HT. HEIGHT INSIDE DIAMETER LD. INSUL. INSULATION INT. INTERIOR JOINT KITCHEN KIT. LAMINATE LAM. LAVATORY LAV. LOCKER LKR. LT. LIGHT MANUF. MANUFACTURER MAX. MAXIMUM M.C. MEDICINE CABINET MEDIUM DENSITY MDF FIBERBOARD MECHANICAL MECH. MEMB. MEMBRANE MFR. MANUFACTURER MILL WK. MILLWORK MANHOLE M.H. MINIMUM MIN. MR. MIRROR MISC. MISCELLANEOUS M.O. MASONRY OPENING MTL. METAL MOUNTED MTD. MUL. MULLION MWC MILLWORK CONTRACTOR NEW N.I.C. NOT IN CONTRACT NO. NUMBER NOM. NOMINAL NOT RATED NR N.T.S. NOT TO SCALE NUMBER OVERALL O.A. OBS. OBSCURE O.C. ON CENTER O.D. OUTSIDE DIAMETER OFF. OFFICE OPNG OPENING OPP. OPPOSITE **OPPOSITE HAND** OPP. HD.

0.S.C.I.

OWNER SUPPLIED

CONTRACTOR INSTALLED

P. PC. PF PLAM. PLAS. PLYWD. POL. PR. PRCST. PT. PTD. PTN. PU. PY. 0.T. RAD. RCP R.D. RDWD. REF. REFR. REINF. REG. REQ. RESIL. RET. RGTR. RM. R.O. R.W.L. S.B.O. S.C. S.C.D. SCH. S.D. SECT. S.E.D. SH. SHR. SHT. SIM. S.M.D. S.P.D. SPEC. SQ. SPECID S.S.D. S.S.K. SST. ST. STA. STD. STL. STOR. STRUCT. SUSP. SYM. T.B. TC T.C. TEMP. TER. THK. T.O. T.O.C. T.O.P. T.O.S. T.S. TYP. UNEQ. U.O.N. UR. V.LF. VERT. VEST. w W.C. WD. WDO. WO WP. WT.

PAINT

PLATE

PLASTER

PLYWOOD

POLISHED

PRECAST

PAINTED

PARTITION

POLYURETHANE

POLYCARBONATE

**OUARRY TILE** 

ROOF DRAIN

REDWOOD

REFERENCE

REFRIGERATOR

REINFORCED

REGISTER

REQUIRED

RESILIENT

RETARDANT

ROOM

REGISTER (CASH)

ROUGH OPENING

RAIN WATER LEADER

SUPPLIED BY OWNER

SEAT COVER DISPENSER

SEE ELECTRICAL DRAWINGS

SOLID CORE

SCHEDULE

SECTION

SHELF

SHEET

SHOWER

SIMILAR

DRAWINGS

SQUARE

SPECIFIED

SEE MECHANICAL

SPECIFICATION

SEE STRUCTURAL

STAINLESS STEEL

SERVICE SINK

STONE

STEEL

STORAGE

STRUCTURAL

SUSPENDED

SYMMETRICAL

TEMPERED

TOWEL BAR

TOP OF CURB

TERRA COTTA

TEMPERED

TERRAZZO

THICK

TOP OF

TOP OF CONCRETE

TOP OF PAVEMENT

TOP OF SLAB

TUBE STEEL

TYPICAL

UNEQUAL

URINAL

VERTICAL

VESTIBULE

WITH

WOOD

WINDOW

WITHOUT

WEIGHT

WALLPAPER

VERIFY IN FIELD

WATER CLOSET

UNLESS OTHERWISE NOTED

STATION

STANDARD

SEE PLUMBING DRAWINGS

SOAP DISPENSER

REFLECTED CEILING PLAN

RISER

RADIUS

POINT

PAIR

PRECAST CONCRETE

PREFINISHED

PROPERTY LINE

PLASTIC LAMINATE



### APPLICABLE CODES:

2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA FIRE CODE ENERGY CODE - TITLE 24 - CALIFORNIA CODE OF REGULATIONS

### DEMO NOTES:

ANY DESIGN / BUILD DRAWINGS.

1. OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.

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5. ANY (E) MECHANICAL TO BE REMOVED SHALL BE TERMINATED PER 2016 CALIFORNIA MECHANICAL CODE AND ANY DESIGN / BUILD DRAWINGS.

- 6. DEMOLITION IN ENTIRE AREA TO BE COORDINATED WITH FUTURE CONSTRUCTION PHASE
- 7. CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
- 8. EXPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS, NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY FRAMING CONFLICTS.
- MOISTURE RESISTANT GYPSUM BOARD SHALL BE INSTALLED AT WET AREAS.

### GREEN BUILDING NOTES:

1. ANNULAR SPACES AROUND PIPE, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTED BY THE LOCAL ENFORCING AGENCY.

2. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS

3. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OWNER

4. DUCT OPENINGS AND OTHER AIR DISTRIBUTION RELATED COMPONENTS SHALL BE COVERED AND PROTECTED DURING CONSTRUCTION TO PREVENT THE INFILTRATION OF DUST AND DEBRIS

5. ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER APPLICABLE TOXIC COMPOUND LIMITS

6. PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS

7. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS

8. DOCUMENTATION SHALL BE PROVIDED TO VERIFY COMPLIANT VOC LIMIT FINISH MATERIALS

9. ALL CARPET SHALL MEET THE PROJECT AND TESTING REQUIREMENTS OF CALGreen SECTION 4.504.3 ALL CARPET CUSHION INSTALLED IN THE INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE'S GREEN LABEL PROGRAM. ALL CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF CALGreen TABLE 4.504.1

10. AT LEAST 80% OF AREAS RECEIVING RESILIENT FLOORING SHALL MEET THE REQUIREMENTS OF CALGreen TABLE 4.504.4

11. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD (MDF) USED ON THE INTERIOR AND EXTERIOR SHALL COMPLY WITH FORMALDEHYDE EMISSION LIMITS PER CALGreen TABLE 4.504.5

12. AT CONCRETE SLAB FOUNDATIONS, A VAPOR RETARDER AND CAPILLARY BREAK SHALL BE INSTALLED 13. THE MOISTURE CONTENT OF BUILDING MATERIALS TO BE ENCLOSED WITHIN WALL AND FLOOR FRAMING SHALL

NOT EXCEED 19% AT THE TIME OF ENCLOSURE. INSULATION OR OTHER MATERIALS THAT ARE VISIBLY WET SHALL BE REPLACED OR PERMITTED TO DRY PRIOR TO ENCLOSURE.

14. BATHROOM EXHAUST SHALL BE ENERGY STAR DUCTED TO THE EXTERIOR. BATHROOM EXHAUST FANS SHALL BE CONTROLLED BY A HUMIDISTAT BETWEEN A RELATIVE HUMIDITY OF 50% AND 80% (UNLESS THE EXHAUST IS PART OF A WHOLE HOUSE VENTILATION SYSTEM)

15. DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT SELECTED

1-ESTABLISH HEAT GAIN AND LOSS VALUES ACCORDING TO ANSIIACCA 2 MANUAL J-2004 OR EQUIVALENT 2-SIZE DUCT SYSTEMS ACCORDING TO ANSIACCA 1 MANUAL D-2009 OR EQUIVALENT

3-SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI ACCA 3-MANUAL 2004 OR EQUIVALENT

16. HVAC SYSTEM INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE INSTALLATION OF HVAC SYSTEMS AND EQUIPMENT

17. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING

18. VERIFICATION OF COMPLIANCE WITH GREEN BUILDING STANDARDS MAY INCLUDE CONSTRUCTION DRAWINGS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATIONS, INSPECTION REPORTS OR OTHER METHODS ACCEPTED BY THE ENFORCING AGENCY

### GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CIRCUMSTANCES TO THE ARCHITECT PRIOR TO FINALIZING BIDS AND COMMENCEMENT OF CONSTRUCTION.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK, VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH THE SAME DISCIPLINES

3. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.

4. DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS GOVERN.

5. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.

6. DIMENSIONS NOTED "CLEAR" OR "CLR" ARE MINIMUM REQUIRED DIMENSIONS AND CLEARANCE SHALL BE ACCURATELY MAINTAINED TO WITHIN 1/8" ±

BEAR THE COST OF REPAIRING WORK NOT COMPLETED IN ACCORDANCE WITH THE INTENT OF THE DRAWINGS

8. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY THE LAYOUT AND EXACT LOCATION OF ALL PARTITIONS, DOORS, ELECTRICAL/DATE AND COMMUNICATION OUTLETS, LIGHT FIXTURES AND SWITCHES WITH ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION

ALL EXISTING ITEMS INDICATED TO REMAIN/REUSE SHALL BE BROUGHT UP TO LIKE NEW WORKING ORDER AND APPEARANCE, INCLUDING BUT NOT LIMITED TO: CLEAN LIGHT FIXTURE LENSES, EXIT SIGNS, WALL/CEILING DEVICES, WINDOW COVERINGS, ETC.

10, PATCH OR REPAIR ALL EXISTING CONSTRUCTION TO "LIKE NEW" CONDITION. PREPARE FOR NEW FINISHES AS SCHEDULED.

12. PROVIDE FIRE-BLOCKING AND DRAFT STOPPING AT ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AS PER 2016 CBC SECTION 718. FIRE BLOCKING AND DRAFT STOPS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS

A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. B) IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF THE STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED. C) IN OPENINGS AROUND VENTS, PIPES, DUCTS, AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

13. THERMAL AND SOUND INSULATING INSULATION SHALL COMPLY WITH 2016 CBC SECTION 720

14. INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND CODE REQUIREMENTS. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.

15. VERIFY CLEARANCES FOR VENTS, CHASES, SOFFITS, FIXTURES BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.

16. PROVIDE ALL LIGHTS, GUARDRAILS, BARRICADES, SIGNS AND PROTECTIVE MEASURES AS MAY BE REQUIRED BY THE OWNER, LOCAL AUTHORITIES, OR OTHERS HAVING JURISDICTION.

17. ALL WALL AND CEILING FINISHES SHALL COMPLY WITH 2016 CBC CHAPTER 8.

19. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AND BACKING AS REQ'D FOR ALL NAILING OF INTERIOR TRIM AND FINISHES, AND SHALL COORDINATE AND PROVIDE ALL FRAMING, BACKING AND BRACING AS NECESSARY FOR INSTALLATION OF EQUIPMENT INDICATED ON THE DRAWINGS. PROVIDE BACKING PLATES AT ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.

20. NOTE THAT MECHANICAL, ELECTRICAL, FIRE PROTECTION, PLUMBING AND COMMUNICATIONS ARE DESIGN BUILD ITEMS ARCHITECTURAL DRAWINGS SHOW DESIGN INTENT, CONTRACTOR TO CONFIRM ALL SYSTEM REQUIREMENTS WITH BUILDING OWNER AND ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR/SUBCONTRACTOR SHALL SUBMIT PLANS FOR THEIR RESPECTIVE WORK TO THE BUILDING DEPARTMENT AS REQUIRED FOR PLAN CHECK AND PERMIT ISSUANCE, INCLUDING PAYING FOR ALL PLAN CHECK AND PERMIT FEES.

BUILDING AND FIRE CODES

23. WINDOW SIZES ON DRAWINGS ARE NOMINAL, REFER TO MANUFACTURES FOR ACTUAL ROUGH OPENING DIMENSIONS

24. ALL EXTERIOR DOORS AND WINDOWS ARE TO BE WEATHER-STRIPPED PER TITLE 24 REQUIREMENTS

7. CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES IN THE DRAWINGS - EITHER APPARENT OR NOT - OR

11. DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.

18. ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHER WISE NOTED.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL

22. ALL CHANGES IN FLOOR MATERIALS OCCUR AT THE CENTERLINE OF DOOR OR FRAMED OPENING UNLESS OTHERWISE NOTED.

25. PROVIDE SAFETY GLAZING AT ALL HAZARDOUS LOCATIONS INCLUDING, BUT NOT LIMITED TO GLAZING WITHIN 18" OF A WALKING SURFACE, GLAZING IN DOORS AND WINDOWS ADJACENT TO DOORS IN ACCORDANCE WITH 2016 CBC SECTION 2406.4.

26. ALL TEMPERED GLASS SHALL BE AFFIXED WITH A PERMANENT LABEL PER 2016 CBC SECTION 2406.3.

27. ALL NEW SMOKE ALARMS TO COMPLY WITH 2016 CBC SECTION 907.2.11

APPROVED BY SYLVIA JIMENEZ SEP 1 9 2023 PLANNING DEPARTMENT

> RECEIVED JAN 2 5 2023 DEPT. OF BUILDING INSPECTION THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING

# Cumby Architecture

1951 Taylor Street San Francisco, CA 94133 Tel: 415-505-1536 Email: david@cumbyarchitecture.com Web: www.cumbyarchitecture.com

PROJECT/CLIENT: Residential Addition 163 28th Street San Francisco, CA 94131

Sara Ahmadian 163 28th Street San Francisco, CA 94131

650.224.2539

## Residential Addition

ISSUE/DATE:

Site Permit Set Plan Check 3 Plan Check 4

2-08-2021 10-24-2022 1-10-2023



Roger Ly, SFFD AUG 2 4 2023



NTS GENERAL NOTES

SHEET:

SCALE:

TITLE

Sebastian Bendezu, DBI JAN 30 2023



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DEPT. OF BUILDING INSPECTION THIS PLAN MEETS THE QUALITY STANDARD FOR MACING

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# **Residential Addition**

ISSUE/DATE:

**Residentail Addition** 

Plan Check 3

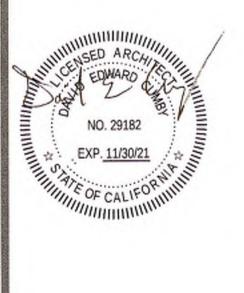
Plan Check 4

10-26-2020 10-24-2022 1-10-2023



Roger Ly, SFFD AUG 2 4 2023

APPROVED BY SYLVIA JUNEWER JUL 1 9 2023 PLANNING DEPARTMENT





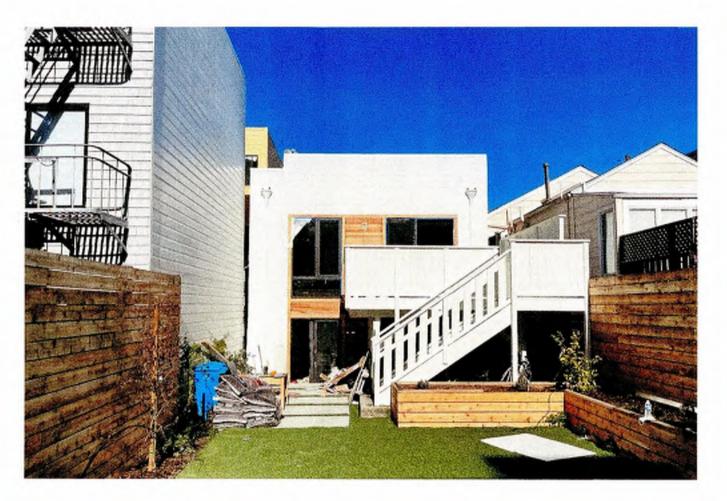


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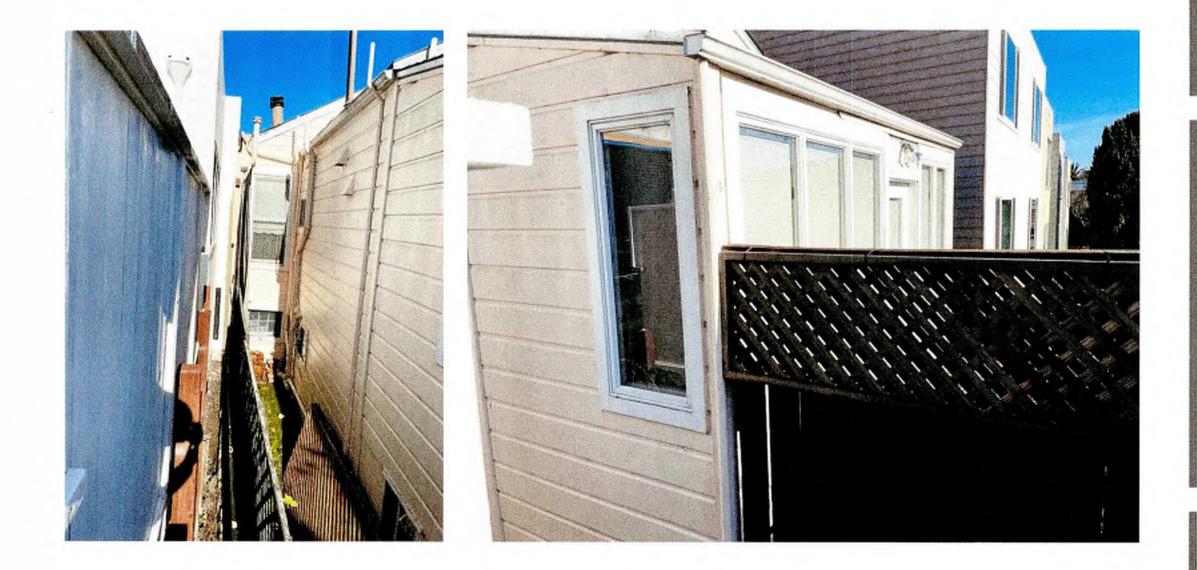
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# Exhibit A Appeal No. 24-007

# Cumby Architecture

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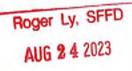
# Residential Addition

SSUE/DATE:





DBI STAMP: DEPT. OF BUILDING INSPECTION



APPROVED BY SYLVIA JM/ENEZ JUL 1 9 2023 PLANNING DEPARTMENT



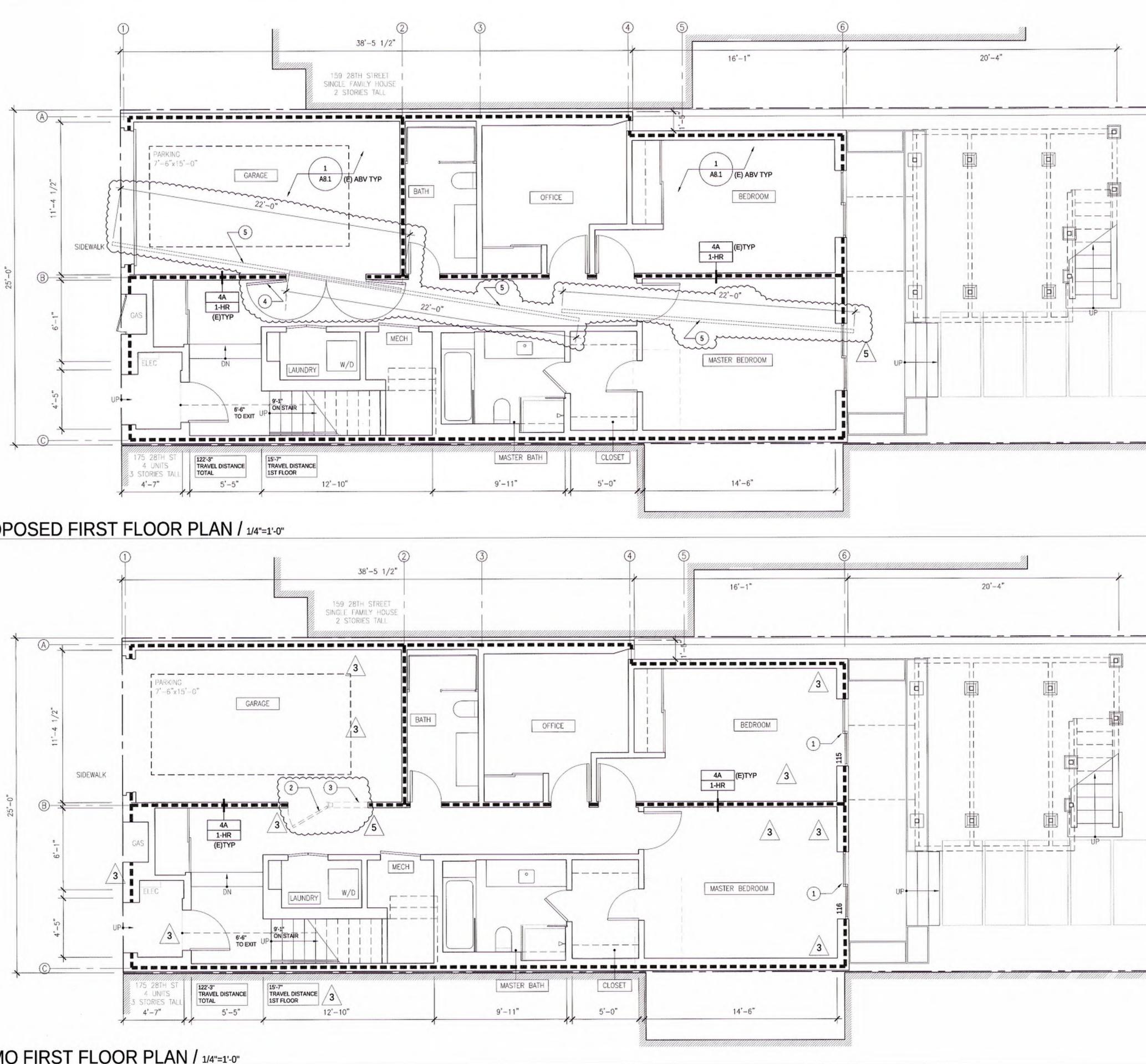
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NTS TITLE: SITE PHOTOS SHEET: A1.0F

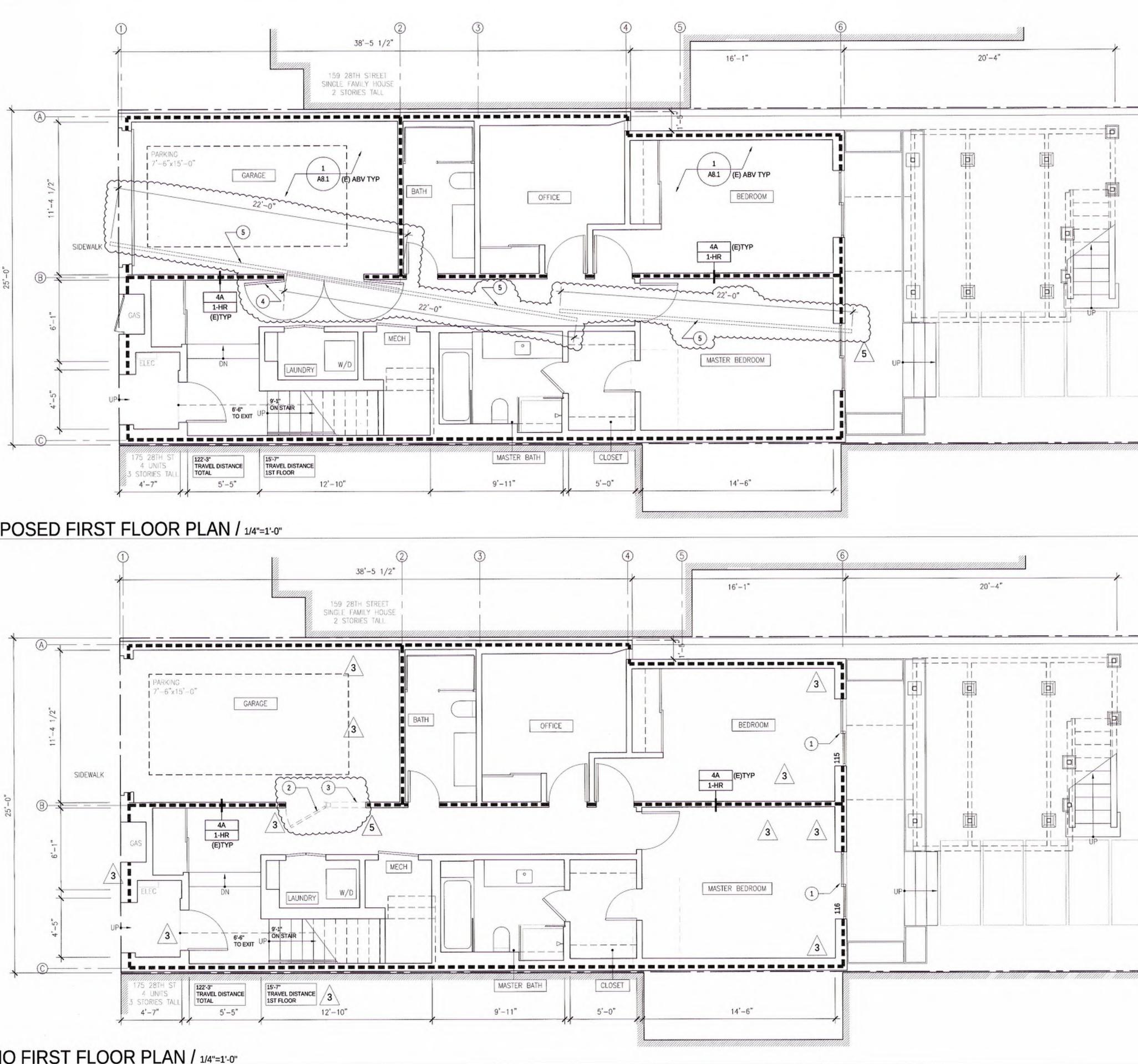


Sebastian Bendezu, DBI JAN 30 2023

RECEIVED JAN 2 5 2023 DEPT. OF BUILDING INSPECTION THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING



2 PROPOSED FIRST FLOOR PLAN / 1/4"=1'-0"



# DEMO FIRST FLOOR PLAN / 1/4"=1'-0"

# KEYNOTES:

1 REPLACE (E) SLIDING DOOR W/ (N) SLIDING DOOR /3

(2) (E) DOOR TO BE REMOVED

- 3 EXPAND WIDTH OF (E) OPENING; PROVIDE TEMPORARY BRACING AS REQUIRED
- (4) (N) PAIR OF 36x80 20 MIN RATED DOORS W/CLOSERS
- (5) 22'-0" LADDER W/ ACCESS FROM GARAGE DOOR TO REAR YARD

Exhibit A Appeal No. 24-007

APPROVED BY SYLMA JIMEWEZ SEP 1 9 2023 PLANNING DEPARTMENT

# GENERAL NOTES:

1. OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.

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# DRAWING LEGEND

NEW WALL; 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED

DENOTES

DENOTES FIRE RATING

DENOTES

ROOM NAME -

DENOTES ROOM NUMBER

STORAGE

103

(E) 1-HOUR RATED WALL PER UL U305 /3\

> (E) DENOTES EXISTING FIXTURE TO REMAIN

(X) DENOTES EXISTING FIXTURE TO BE REMOVED

101 DENOTES DOOR NUMBER

(A) DENOTES WINDOW TYPE

WALL TYPE DESIGNATION 4A WALL TYPE NR

ROOM LABEL AND NUMBER

# Cumby Architecture

2325 Third Street, Suite 401 San Francisco, CA 94107

Tel 415.505.1536

mail davd@cumbyarchitecture.com Web www.cumbyarchitecture.com

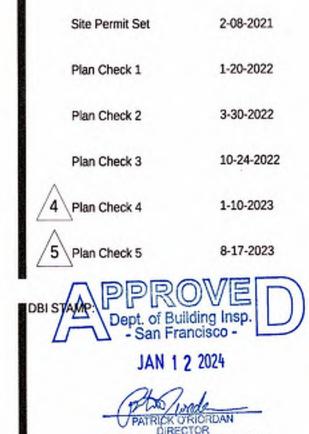
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Sara Ahmadian and Andrew Swerdlow 163 28th Street San Francisco, CA 94131

650.224.2539

# **Residential Addition**

ISSUE/DATE:



DEPT. OF BUILDING INSPECTION Roger Ly, SFFD

AUG 2 4 2023

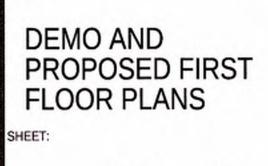
Sebastian Bendezu, DBI AUG 2 5 2023



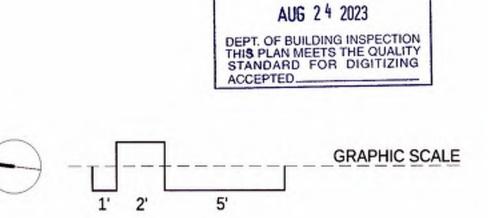
SCALE:

TITLE:

1/4"=1'-0"

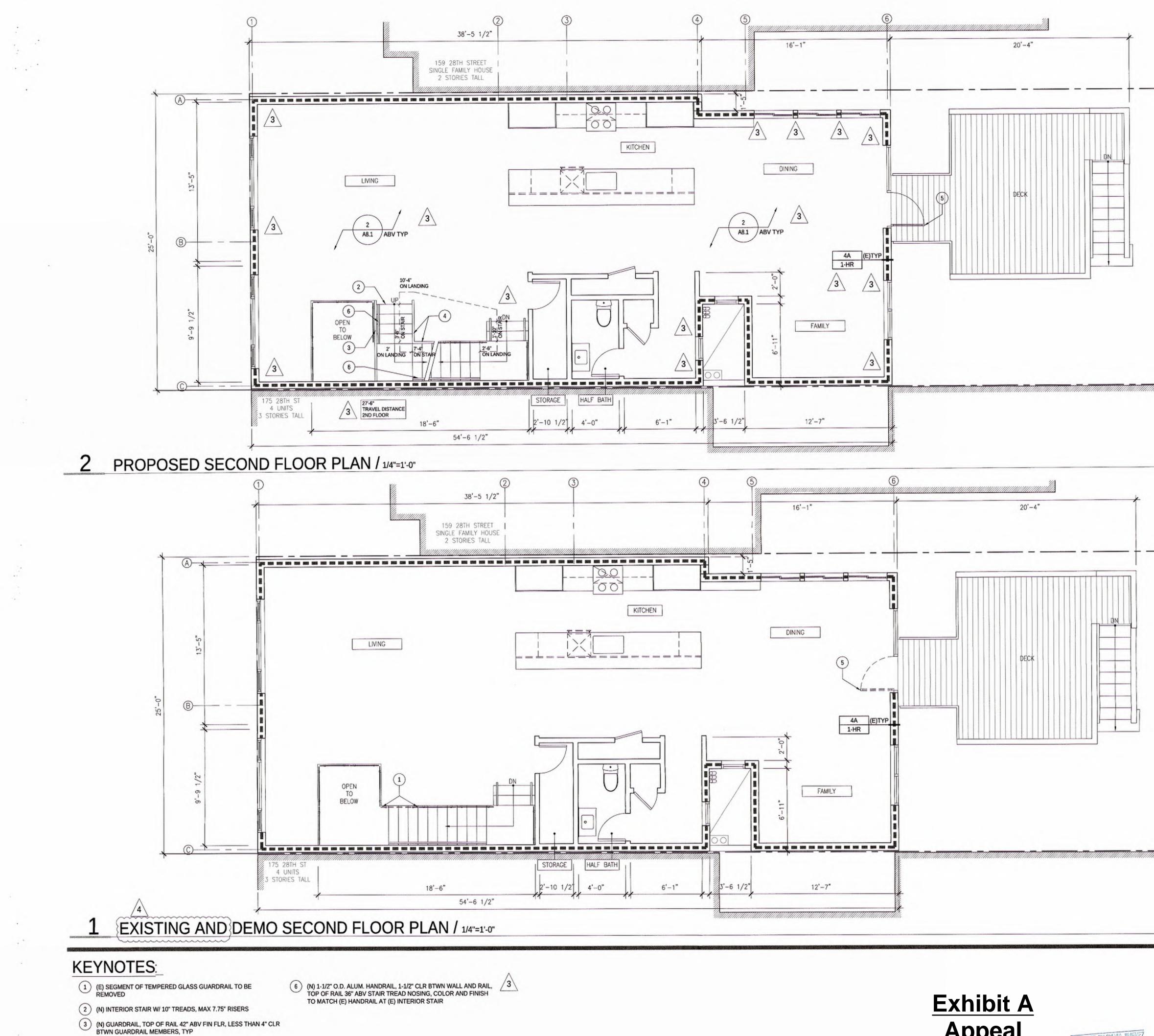






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A1.



(N) GUARDRAIL WITH GRASPABLE TOP RAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING, LESS THAN 4" CLR BTWN GUARDRAIL

5 REMOVE (E) DOOR AND REINSTALL WITH SWING TO EXTERIOR

MEMBERS, TYP

<u>Exhibit A</u> Appeal No. 24-007

APPROVED BY SYLVIA JIMENEZ SEP 1 9 2023 PLANNING DEPARTMENT

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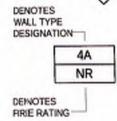
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NEW WALL; 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED

- (E) 1-HOUR RATED WALL PER UL U305 /3
  - DENOTES EXISTING FIXTURE TO REMAIN (E)
  - (X) DENOTES EXISTING FIXTURE TO BE REMOVED
  - 101 DENOTES DOOR NUMBER

 $\otimes$ DENOTES WINDOW TYPE

WALL TYPE



RRE	RATING	
	OTES	
	STORAGE	
	103	

DENOTES	 	100	
ROOM NUMBER	 		

ROOM	LABEL	AND	NUMBER	

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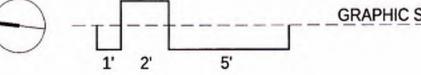
Sara Ahmadian and Andrew Swerdlow 163 28th Street San Francisco, CA 94131

650.224.2539

## **Residential Addition**

SSUE/DATE:	
Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023
	IAN 1 2 2024
DEPT. OF	TRICK ORICRDAN DIRECTOR F BUILDING INSPECTION
	y, SFFD
AUG 2	4 2023
	9 2023 B DEPARTMENT
NO. 29182 EXP_11/30/23	
SCALE:	1/41-11 08
TITLE:	1/4"=1"-0"
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Sebastian Bendezu, DBI

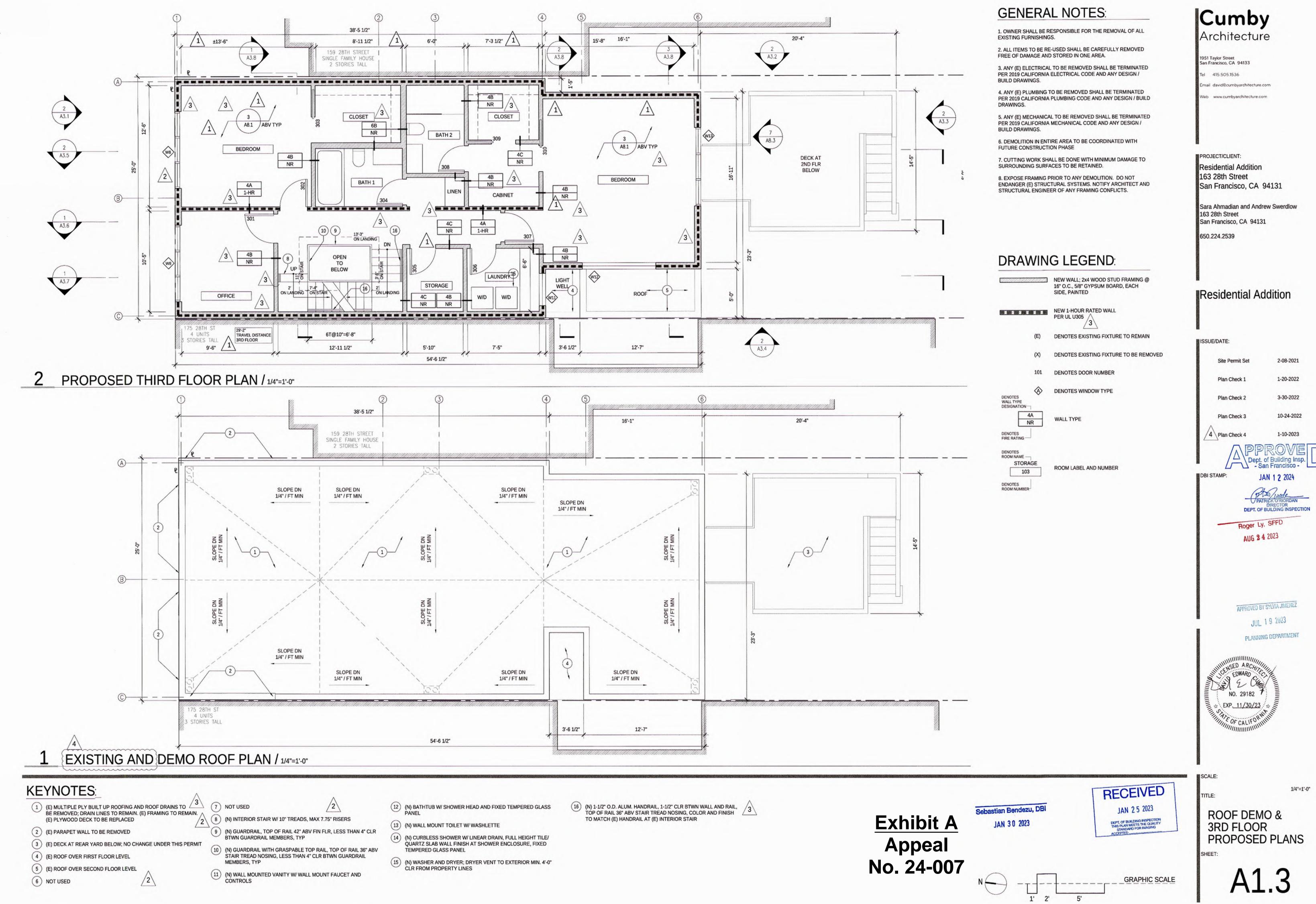
JAN 30 2023

GRAPHIC SCALE

AJ

JAN 2 5 2023
DEPT. OF BUILDING INSPECTION THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING ACCEPTED

RECEIVED



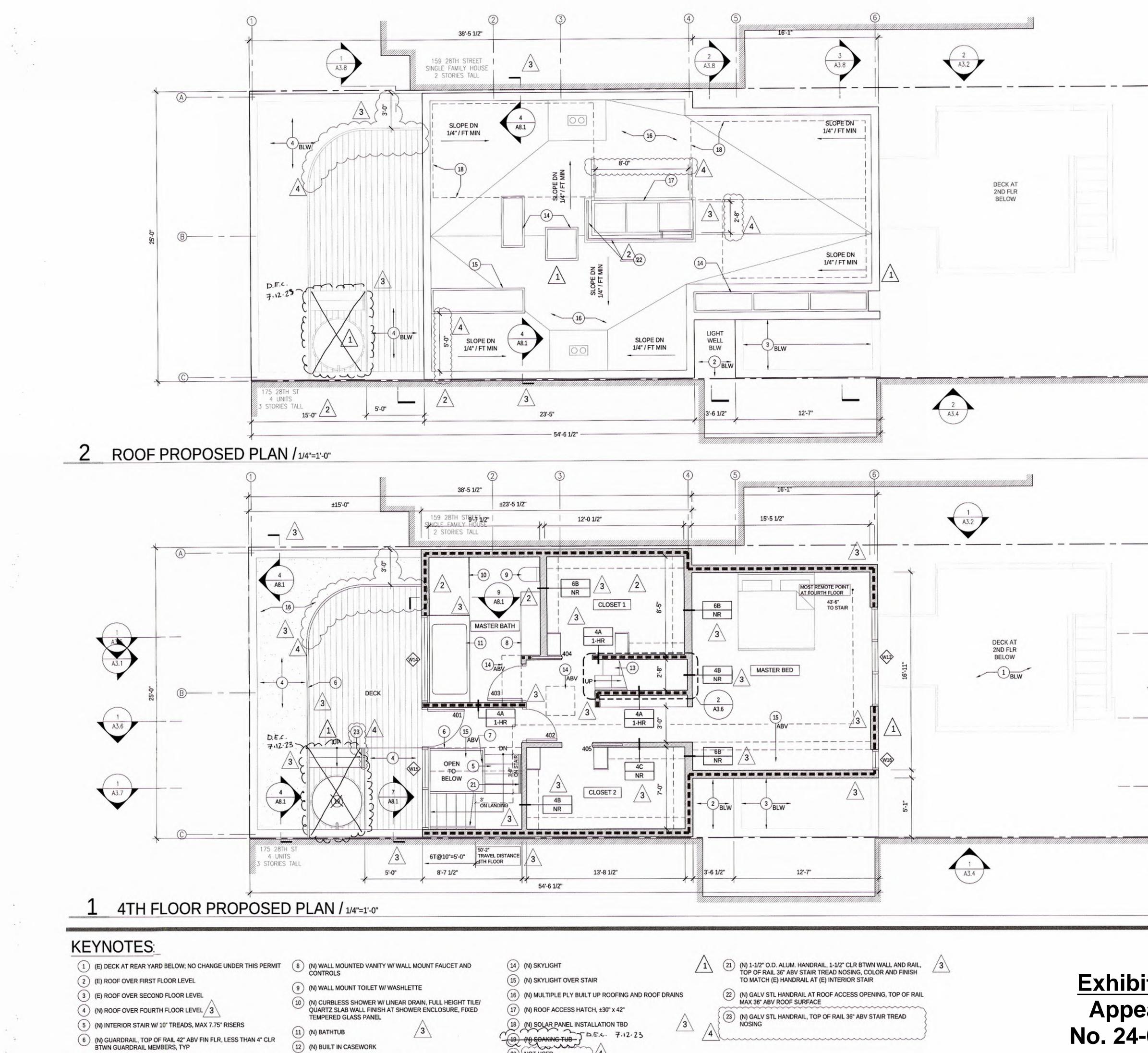












- (6) (N) GUARDRAIL, TOP OF RAIL 42" ABV FIN FLR, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP
- (N) GUARDRAIL WITH GRASPABLE TOP RAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP

- (12) (N) BUILT IN CASEWORK
- (13) (N) ALTERNATING TREAD DEVICE ROOF ACCESS

- (20) NOT USED

humant

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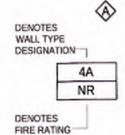
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NEW 1-HOUR RATED WALL PER UL U305 / /3

- (E) DENOTES EXISTING FIXTURE TO REMAIN
- DENOTES EXISTING FIXTURE TO BE REMOVED (X)
- 101 DENOTES DOOR NUMBER
- DENOTES WINDOW TYPE

WALL TYPE



ROOM	NAME -
	STORAGE
	103
DENOT ROOM I	ES NUMBER

ROOM LABEL AND NUMBER



7777)	-	-	 -
1			
1			

t A al	Sebastian Bendezu, DBI JAN 30 2023	RECEIVED JAN 25 2023 DEPT, OF BUILDING INSPECTION THIS PLAN MEETS THE OLIALITY STANDARD FOR IMAGING ACCEPTED	SCALE: 1/4"=1'-0" 4TH FLOOR AND ROOF PROPOSED PLANS
007	N	GRAPHIC SCALE	SHEET: A1.4

# Cumby Architecture

2325 Third Street, Suite 401 San Francisco, CA 94107 Tel 415.505.1536 mail david@cumbyarchitecture.com Veb www.cumbyarchitecture.com

PROJECT/CLIENT: Residential Addition 163 28th Street San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow 163 28th Street San Francisco, CA 94131

650.224.2539

# **Residential Addition**

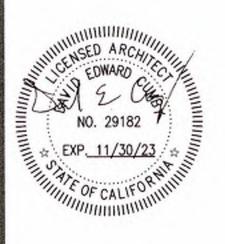
ISSUE/DATE:

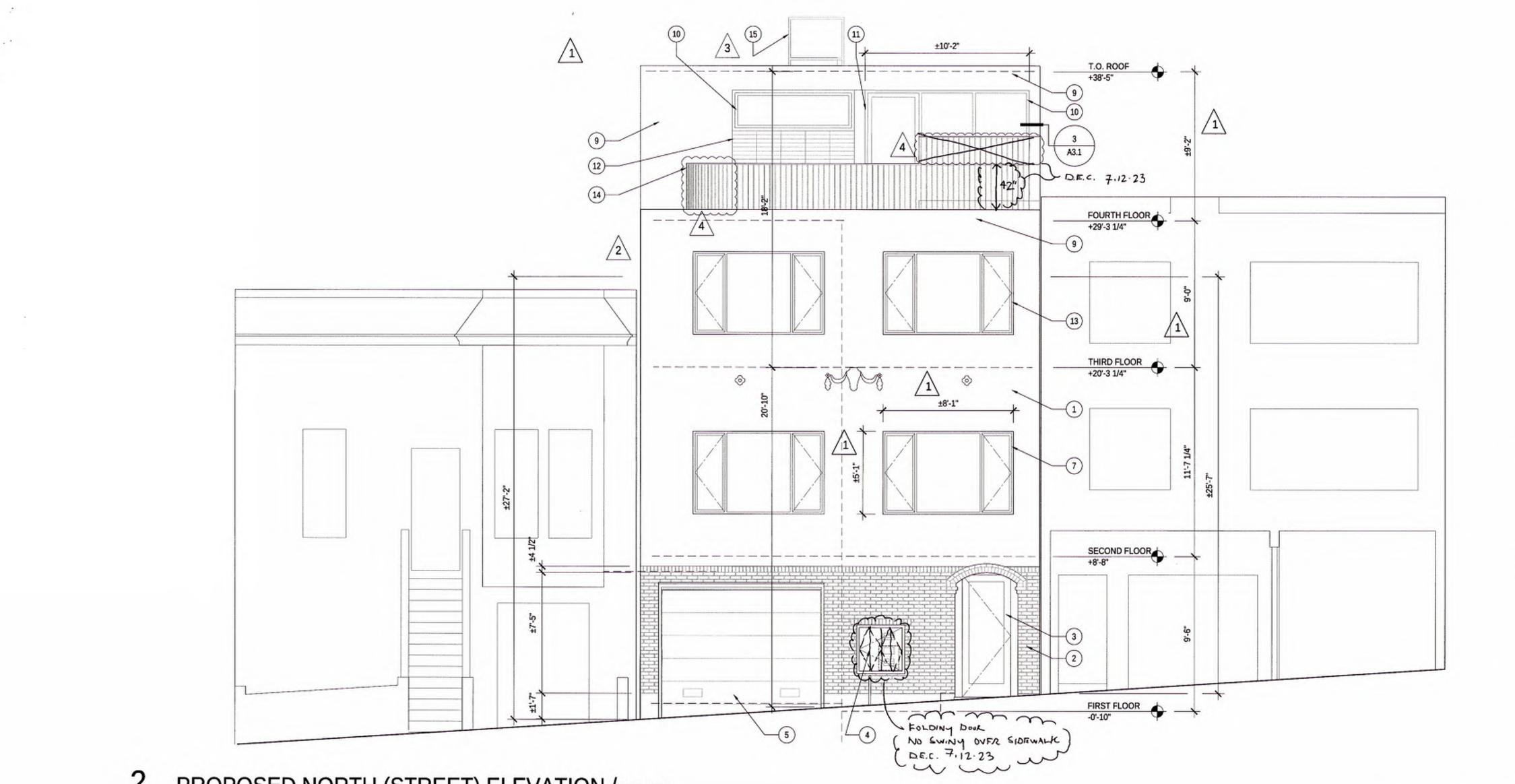
Site Permit Se	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023
A	Dept. of Building Insp.
STAMP:	JAN 1 2 2024
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DEPT. OF BUILDING INSPECTION Roger Ly, SFFD AUG 2 4 2023

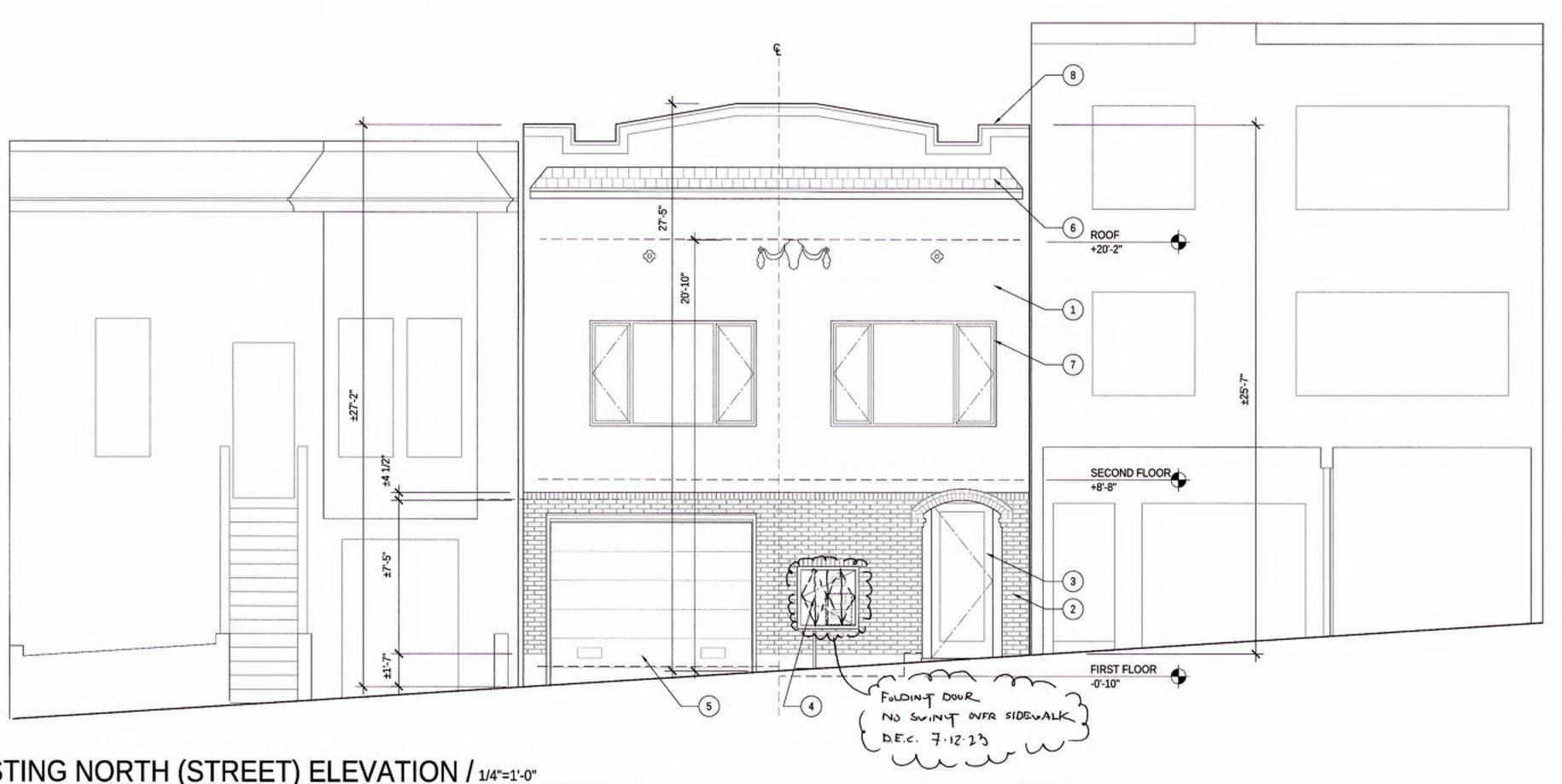
APPROVED BY SYLVIA JIMENEZ

JUL 1 9 2023 PLANNING DEPARTMENT



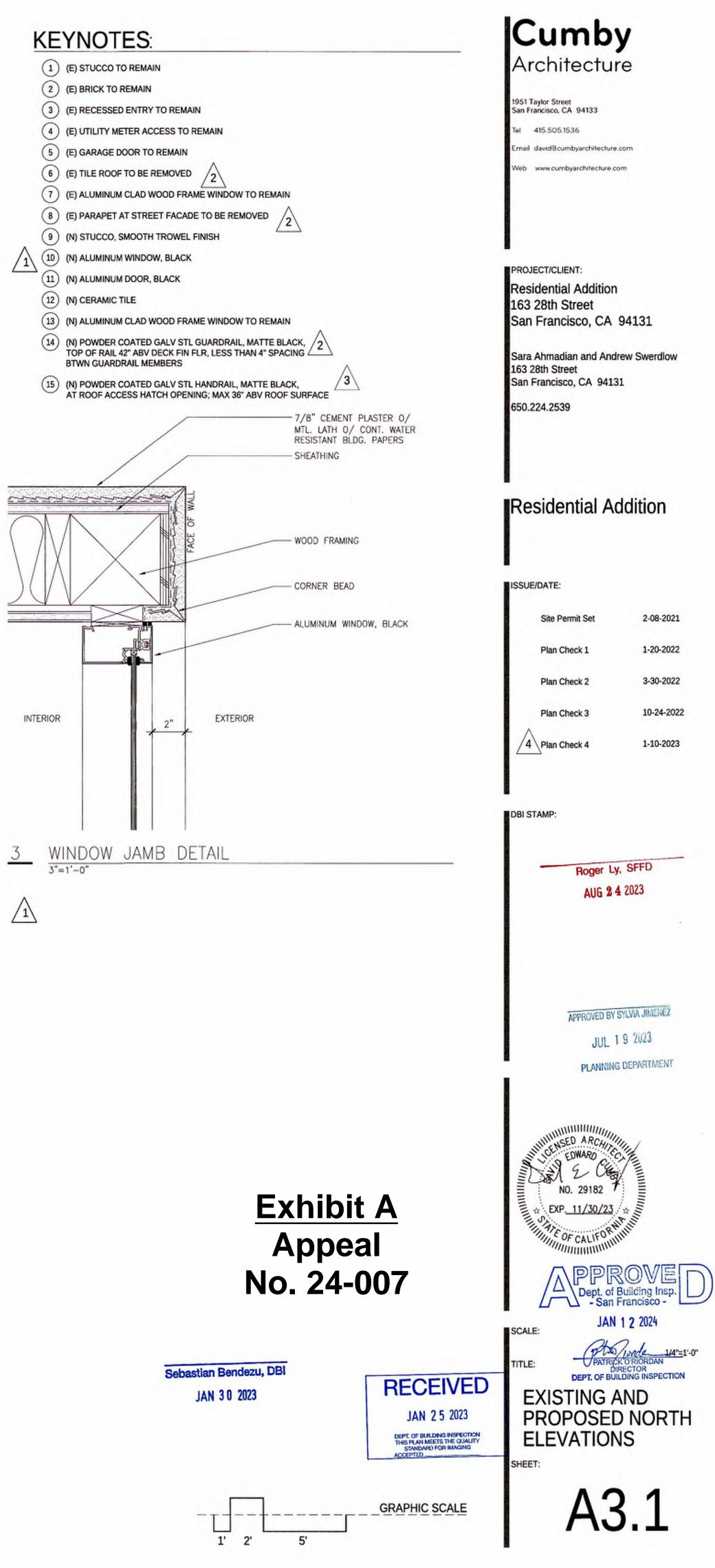


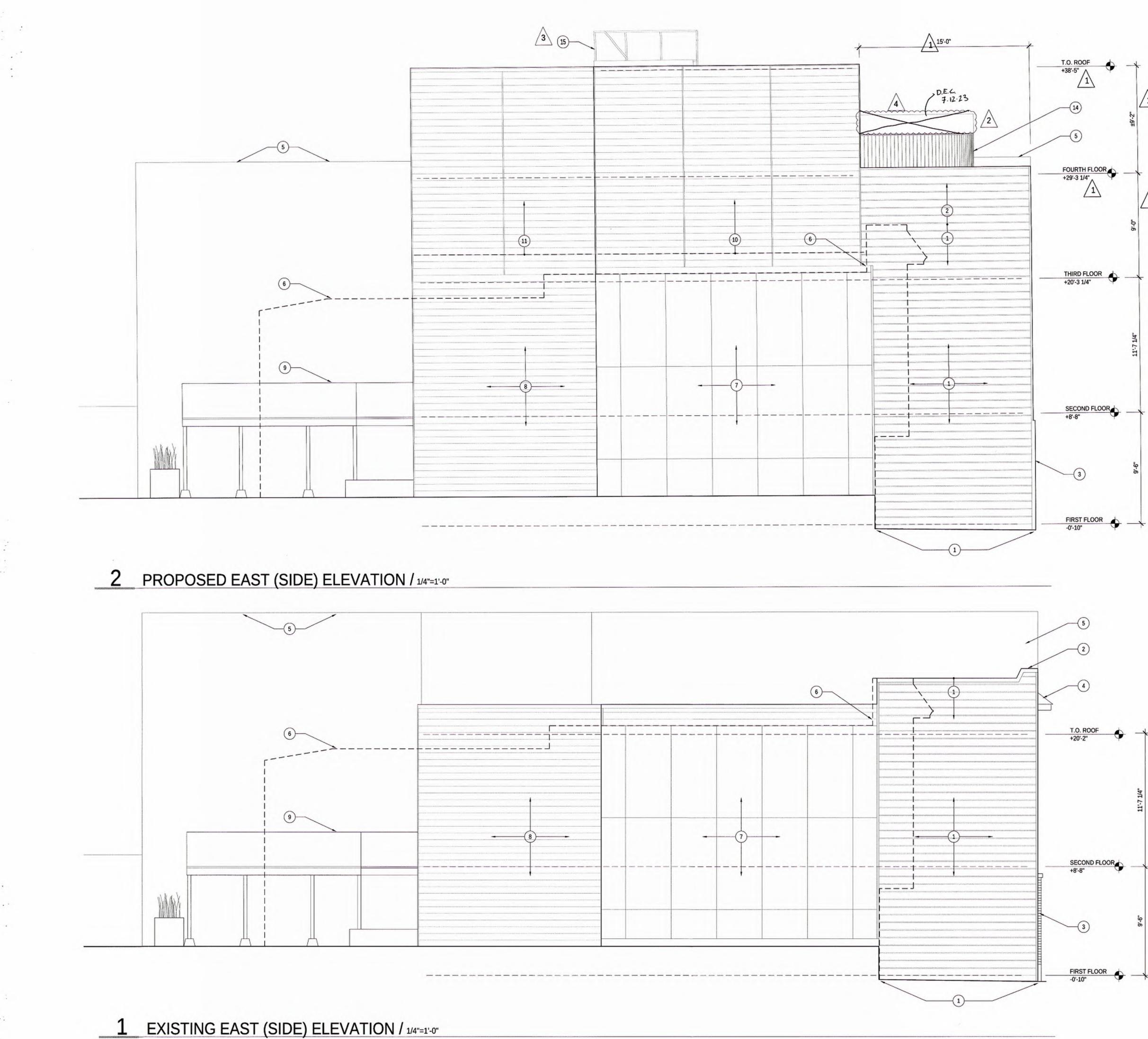
PROPOSED NORTH (STREET) ELEVATION / 1/4"=1'-0"



EXISTING NORTH (STREET) ELEVATION / 1/4"=1'-0" 1

-1





### **KEYNOTES**: (1) (E) WOOD SIDING TO REMAIN (2) (N) WOOD SIDING TO MATCH (E) SIDING, PAINTED (3) (E) BRICK TO REMAIN (4) (E) TILE ROOF TO REMAIN (5) (E) ADJACENT BUILDING AT 175 28TH STREET (6) (E) PROFILE OF 159 28TH STREET SHOWN DASHED $\left| \right|^{1}$ (7) (E) BLIND WALL AT SIDE PROPERTY LINE (8) (E) HARDIE SIDING ON SIDE WALL SETBACK 1'-8" FROM PROPERTY LINE

- (9) (E) DECK AT REAR YARD
- (10) (N) "HARDIE" SIDING, PAINTED, PROPERTY LINE WALL
- (1) (N) "HARDIE" SIDING, PAINTED, ON SIDE WALL SETBACK 1'-8" FROM PROPERTY LINE
- (12) (N) STUCCO, SMOOTH TROWEL FINISH
- (13) (N) ALUMINUM WINDOW, BLACK

1

/1\

(14) (N) POWDER COATED GALV STL GUARDRAIL, MATTE BLACK /2

2

(N) POWDER COATED GALV STL HANDRAIL, MATTE BLACK, AT ROOF ACCESS HATCH OPENING; MAX 36" ABV ROOF SURFACE

<u>Exhibit A</u>

Appeal

No. 24-007

stian Bendezu, DBI

JAN 30 2023

1' 2'

RECEIVED

JAN 2 5 2023

DEPT. OF BUILDING INSPECTION THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING

GRAPHIC SCALE



1951 Taylor Street San Francisco, CA 94133 Tel 415.505.1536 Email david@cumbyarchitecture.com Neb www.cumbyarchitecture.com

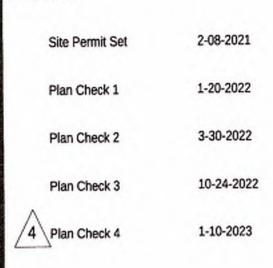
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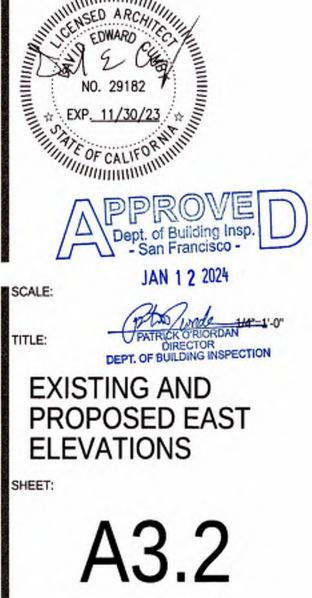
# **Residential Addition**

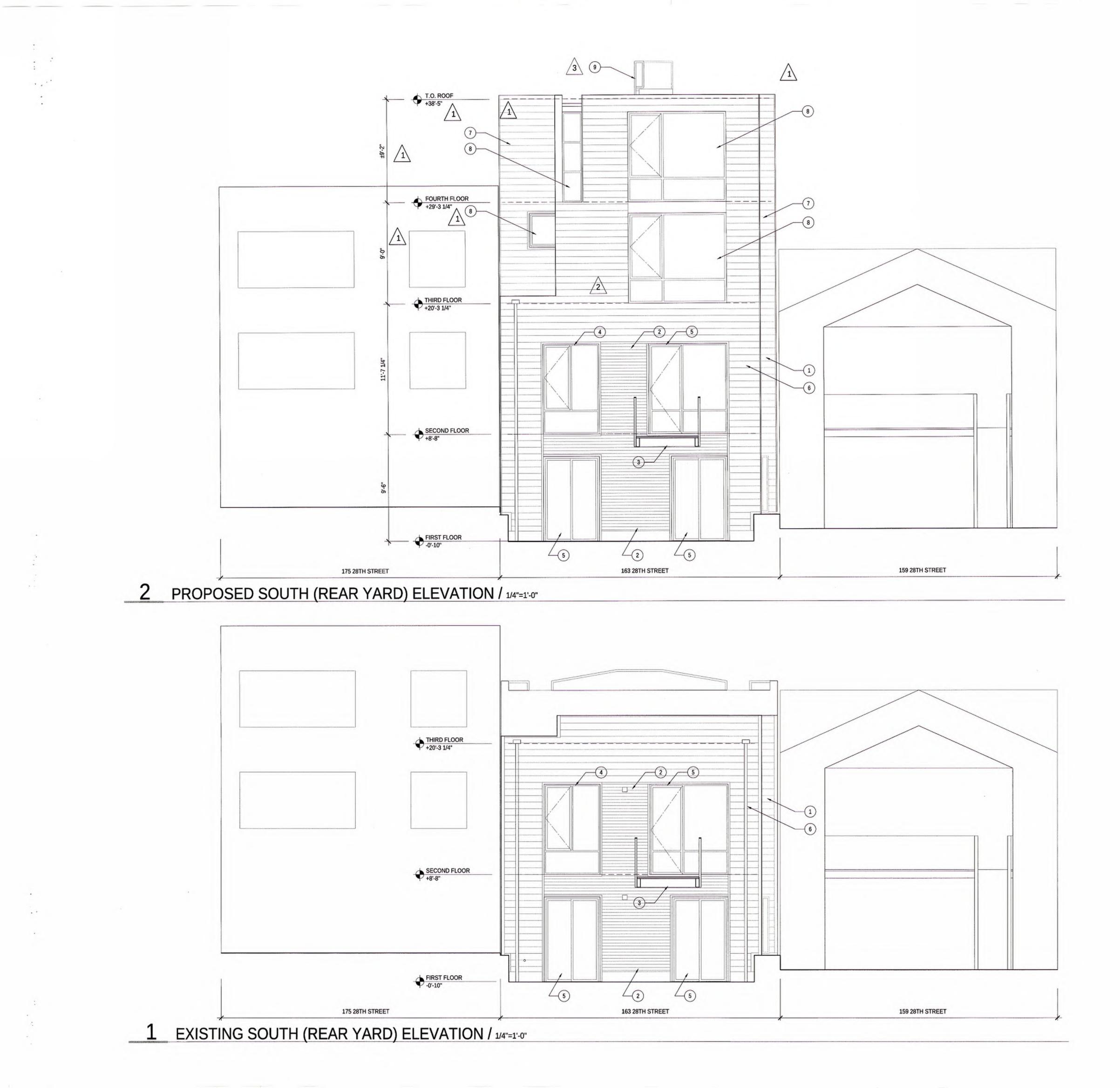
ISSUE/DATE:



DBI STAMP:

Roger Ly, SFFD AUG 2 4 2023 APPROVED BY SYLVIA JIMIENEZ JUL 1 9 2023 PLANNING DEPARTMENT





# KEYNOTES:

- (E) HARDIE SIDING, PAINTED
- (E) CEDAR SIDING, STAINED
- (E) DECK AT REAR YARD
- (E) ALUMINUM WINDOW
- 5 (E) ALUMINUM DOOR
- (E) DOWNSPOUT
- (N) "HARDIE" SIDING, PAINTED,
- 8 (N) ALUMINUM WINDOW
- (N) POWDER COATED GALV STL HANDRAIL AT ROOF ACCESS HATCH OPENING; MAX 36" ABV ROOF SURFACE

# **Cumby** Architecture

1951 Taylor Street San Francisco, CA 94133

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Email david@cumbyarchitecture.com

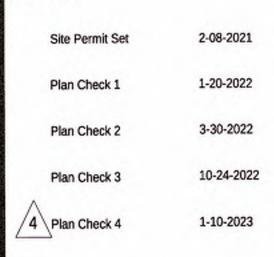
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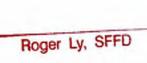
650.224.2539

# **Residential Addition**

### ISSUE/DATE:



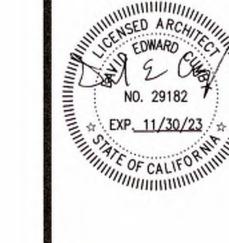
DBI STAMP:



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APPROVED BY SYLVIA JIMENEZ JUL 1 9 2023 PLANNING DEPARTMENT

1/4"=1'-0"



SCALE:

TITLE:



Exhibit A

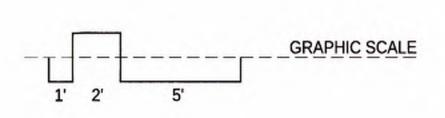
Dept. of Building Insp. - San Francisco -

JAN 1 2 2024

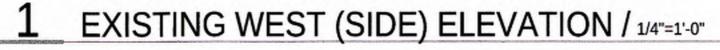
PATRICKORIORDAN

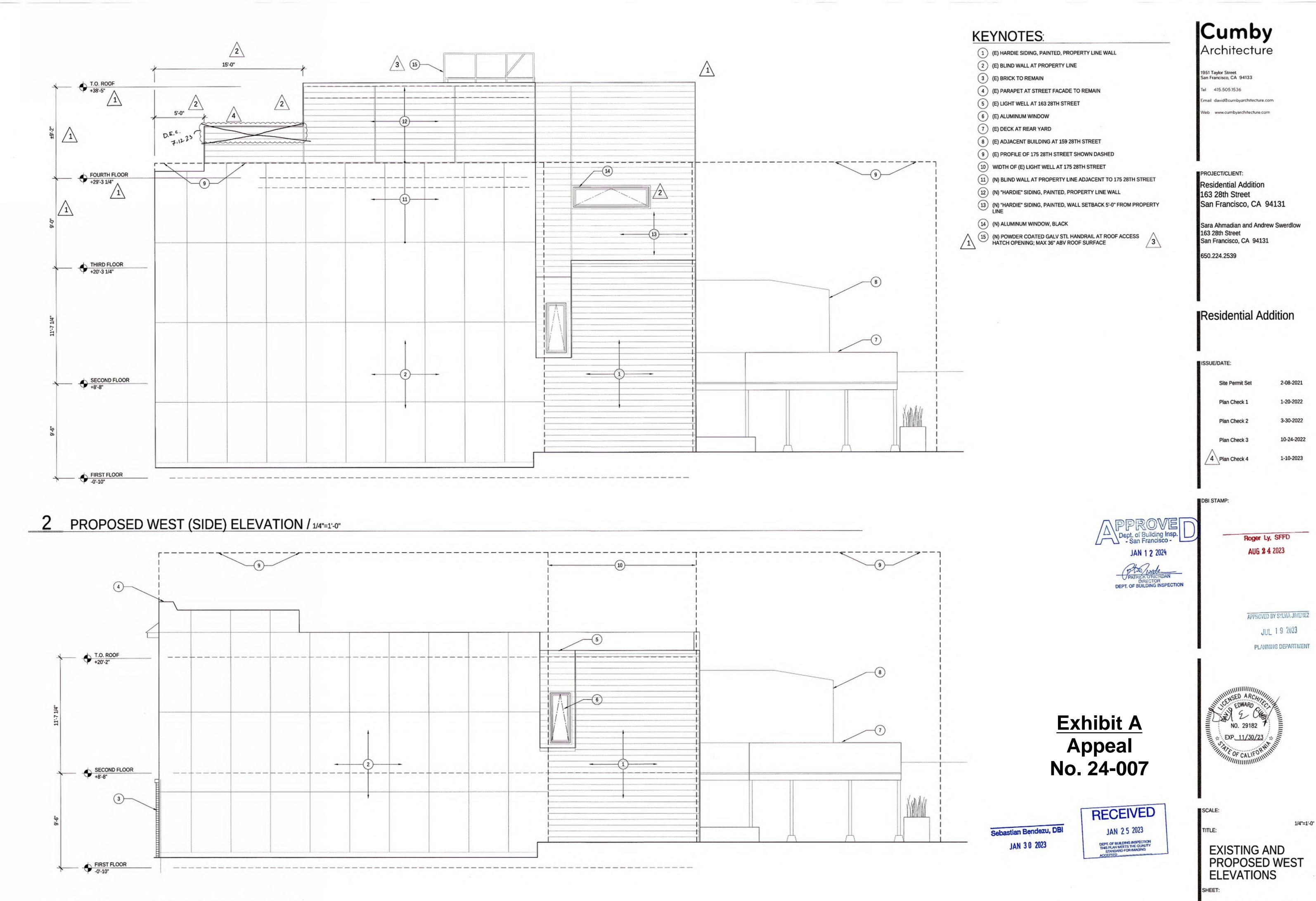
DIRECTOR DEPT. OF BUILDING INSPECTION





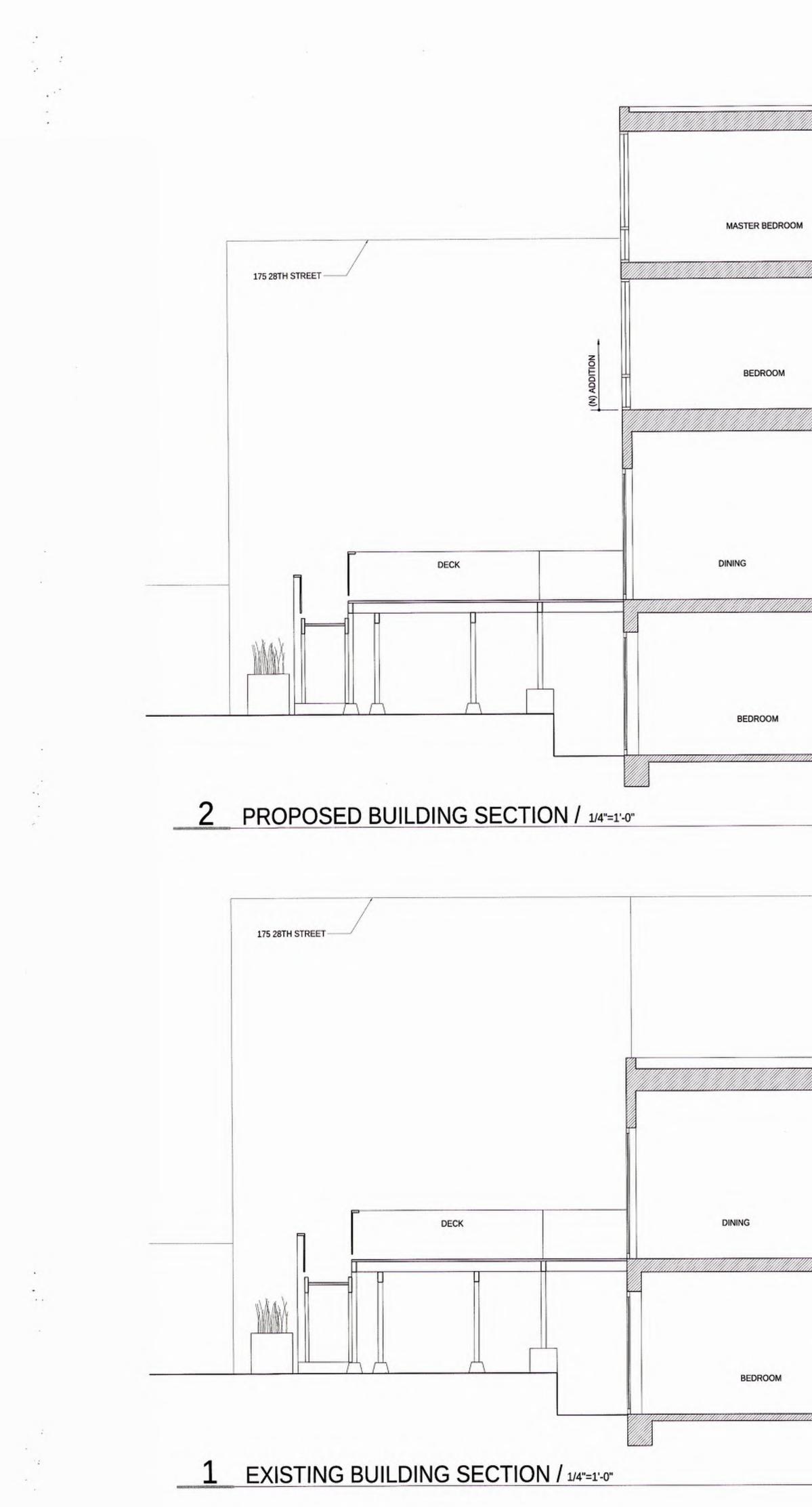
EXISTING AND PROPOSED SOUTH ELEVATIONS SHEET: A3.3





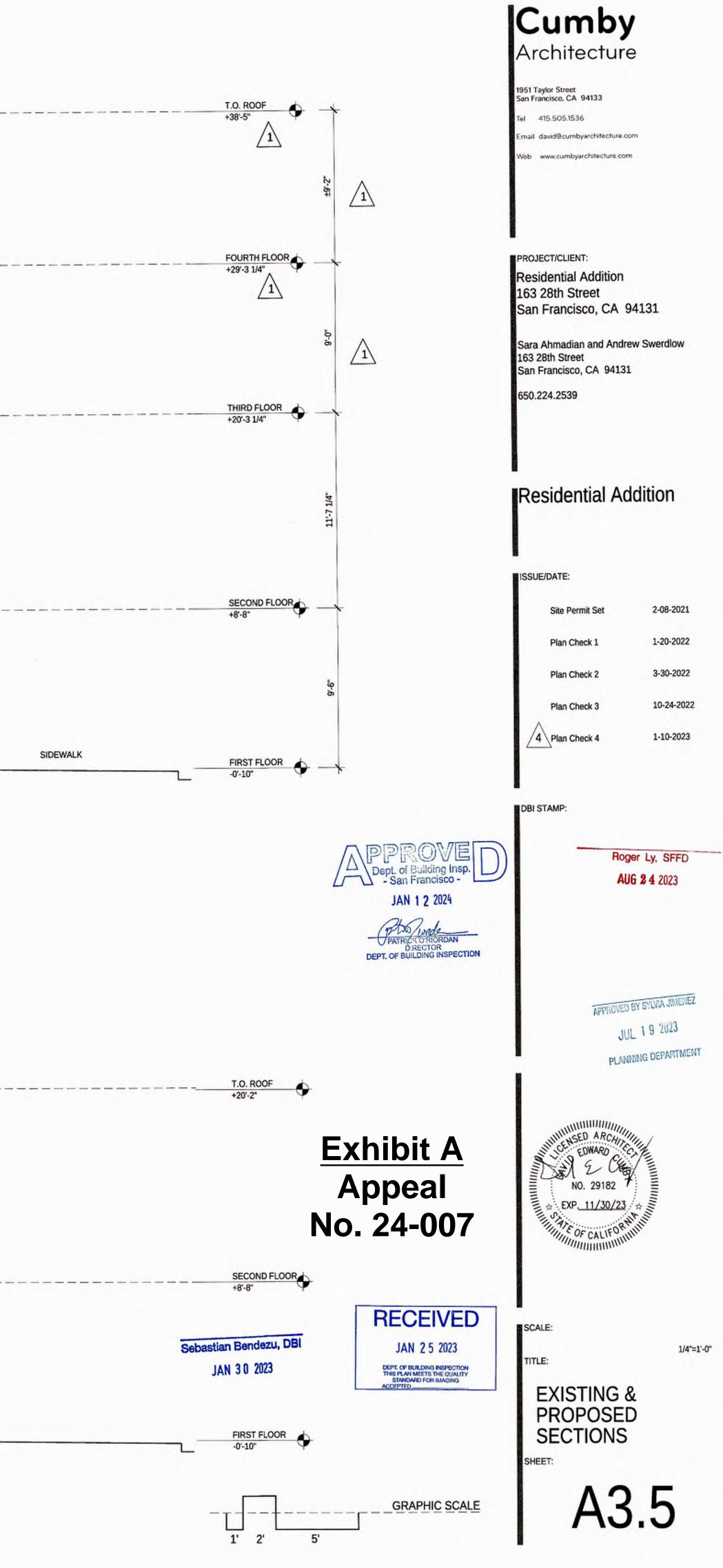
GRAPHIC SCALE

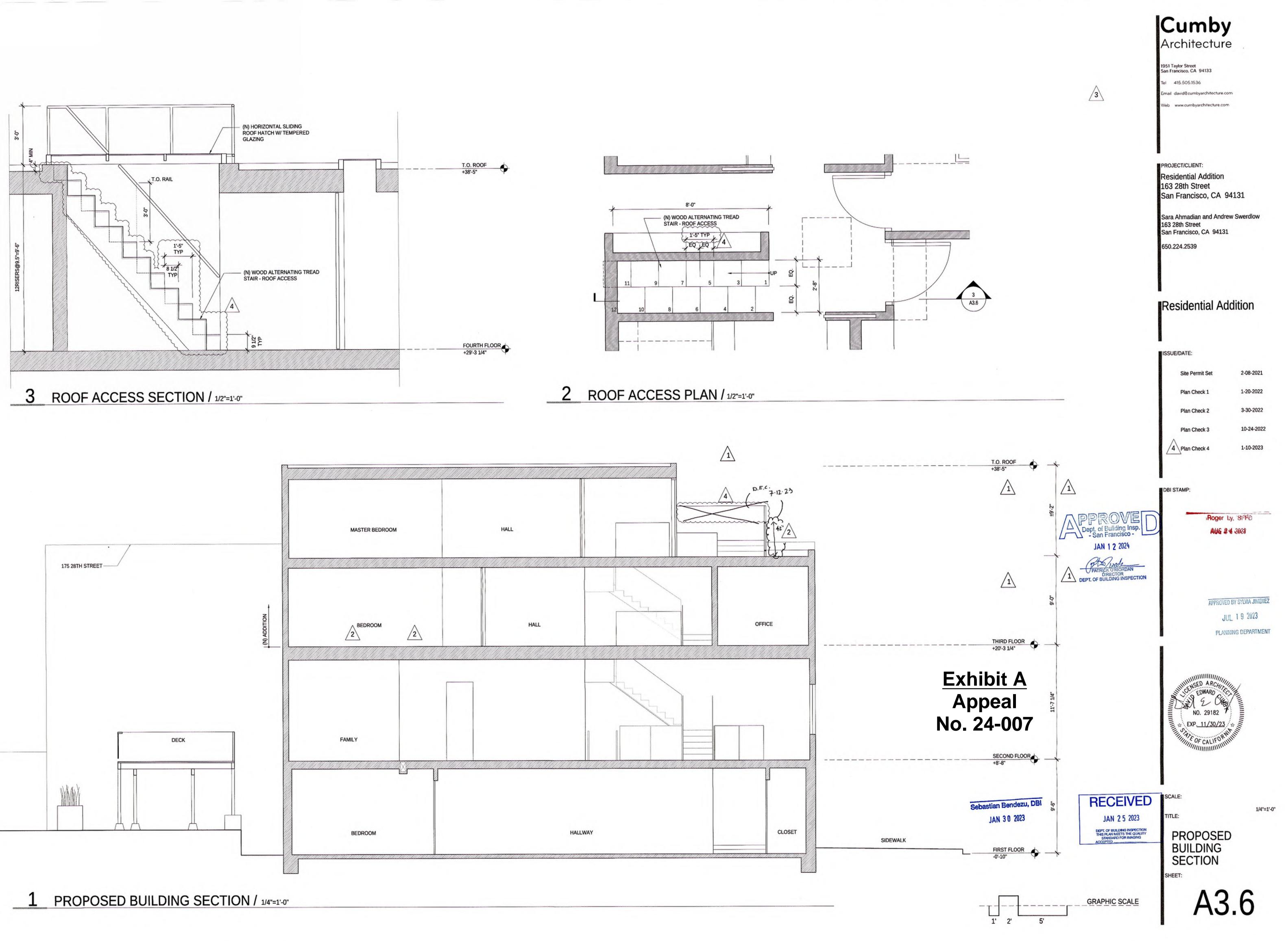
A3.4

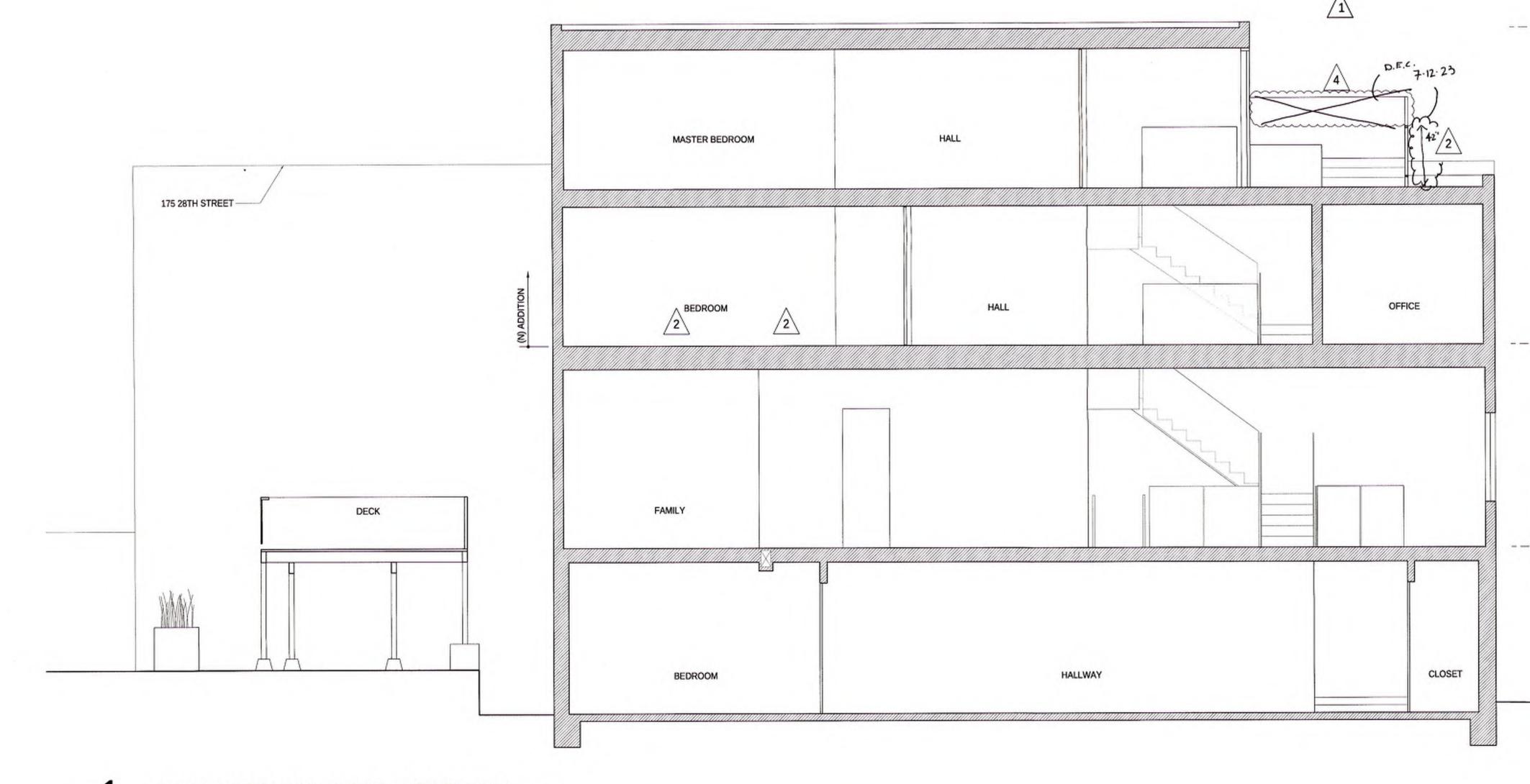


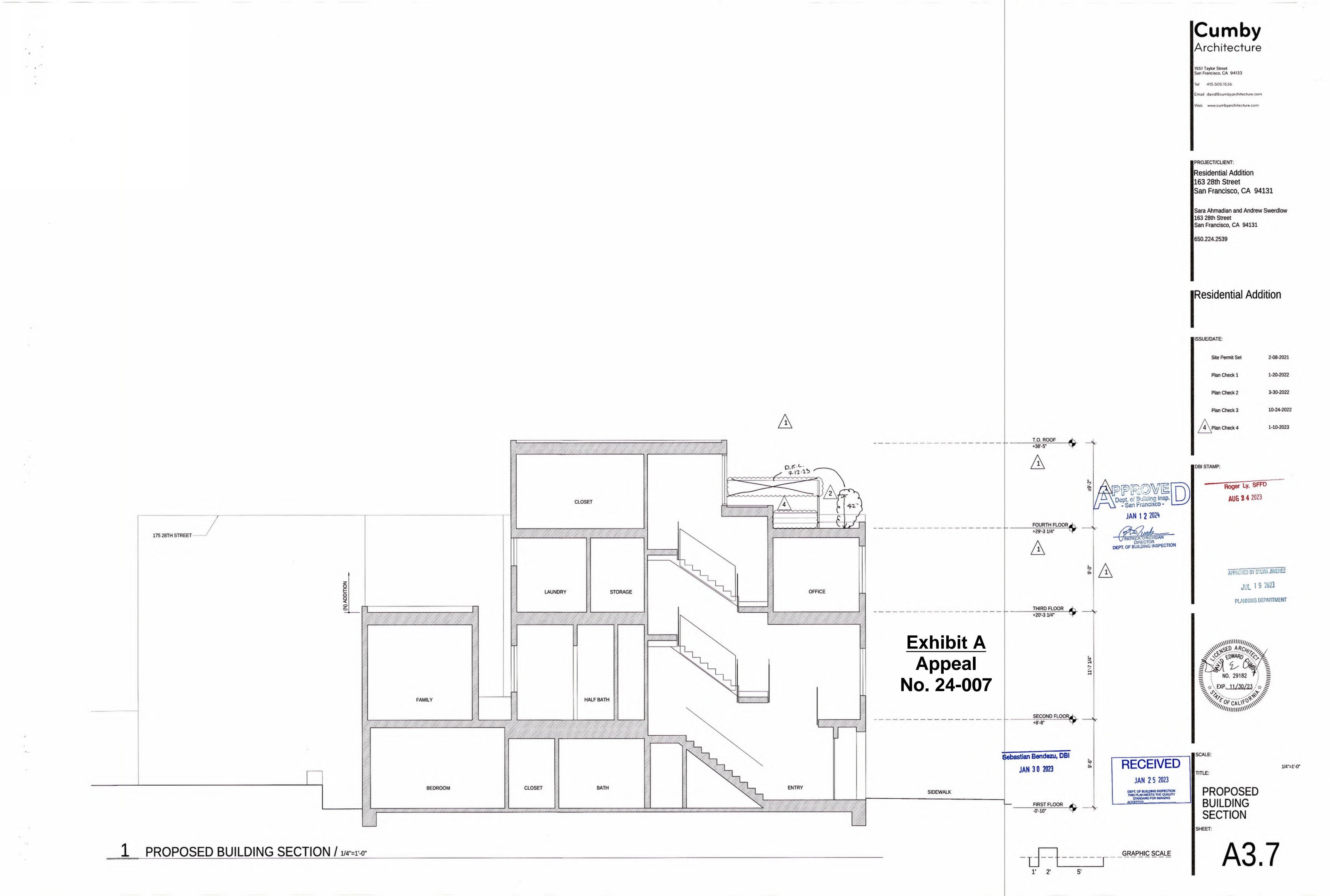
<u>3</u>				]	
	CLOSET	MA	STER BATH	D.E.C. 712.23	175 28TH STREET
	2 BATH	E	2	BEDROOM	2
	KITCHEN			LIVING	
	OFFICE	BATH		GARAGE	

KITCHEN	LIVING	
KITCHEN		
KITCHEN		

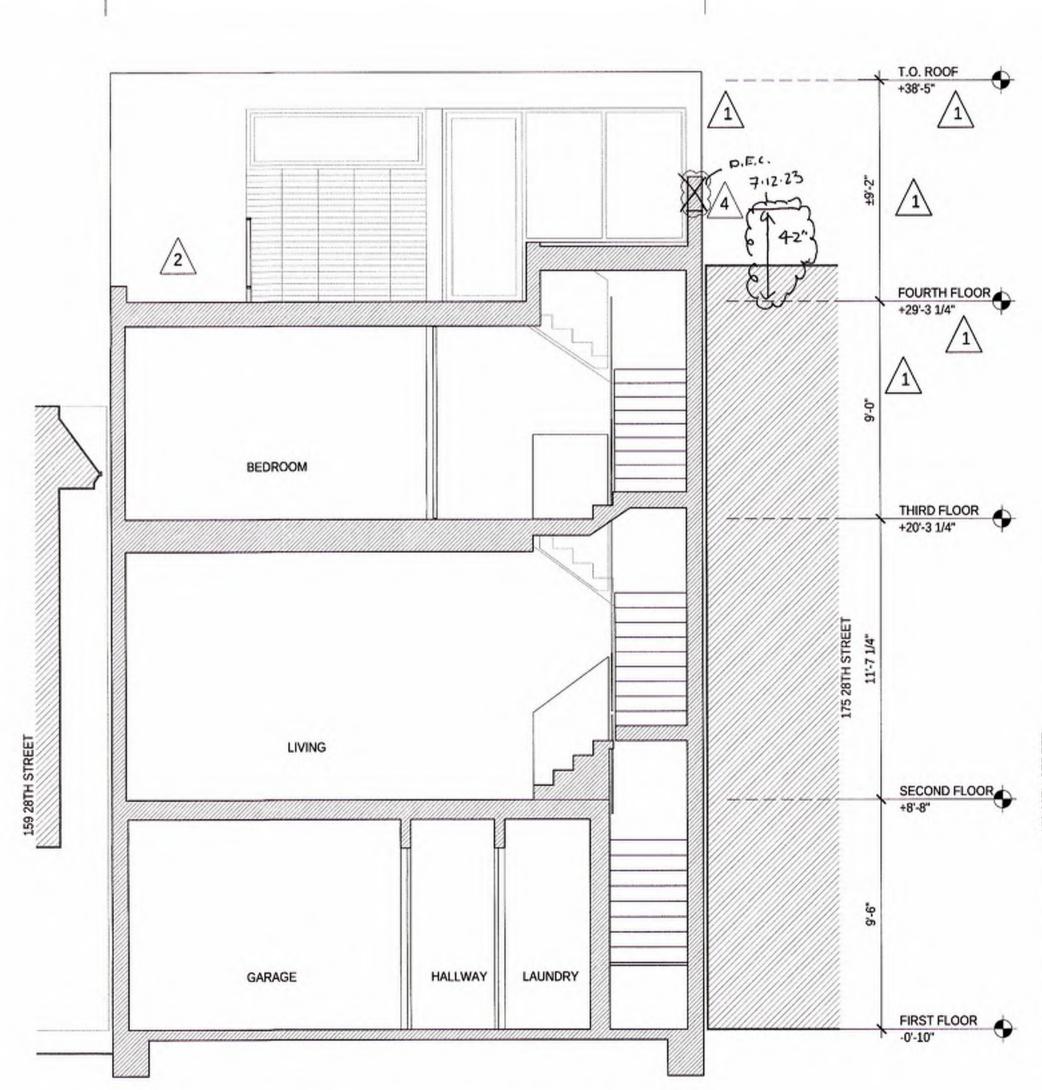




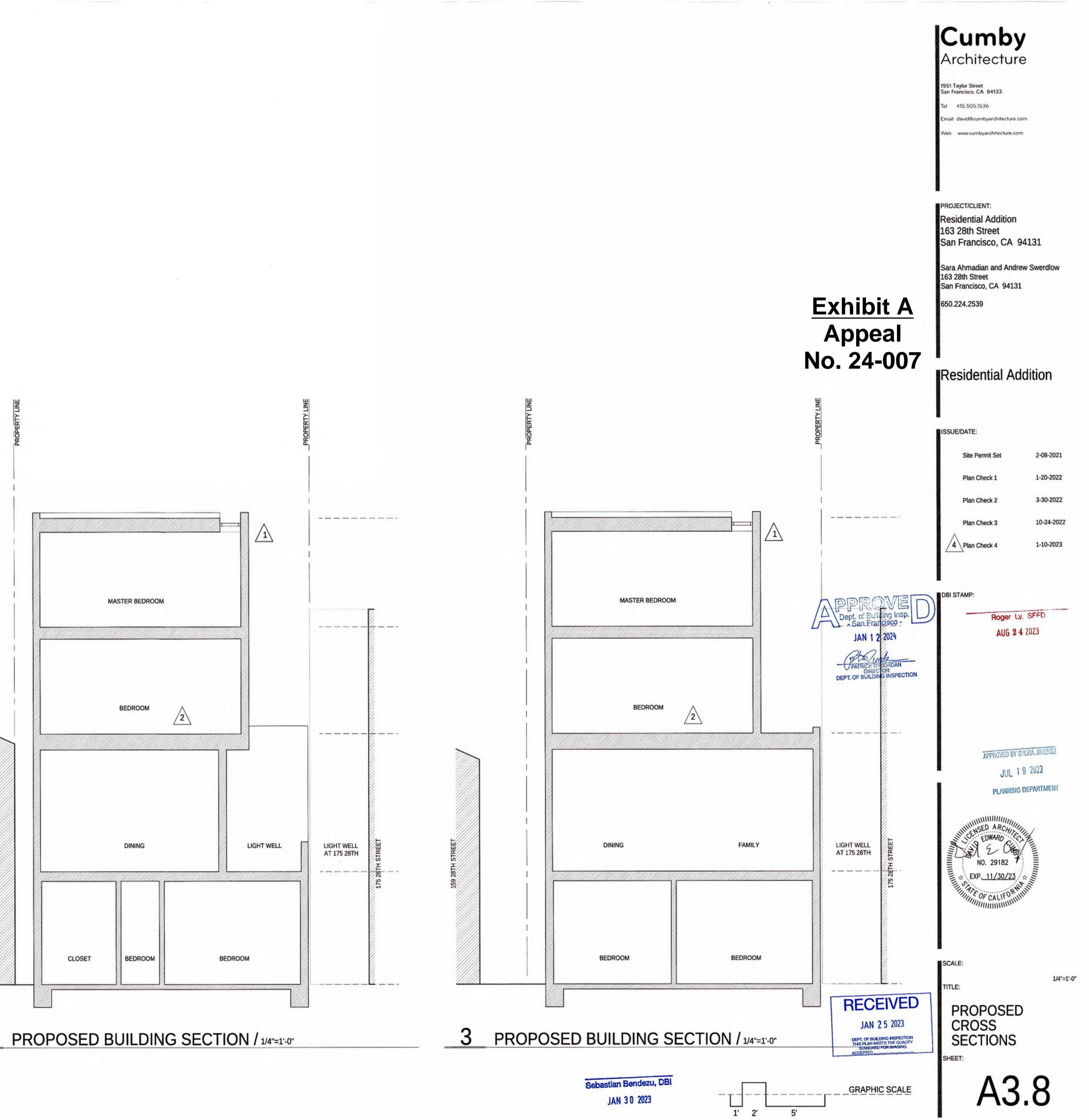


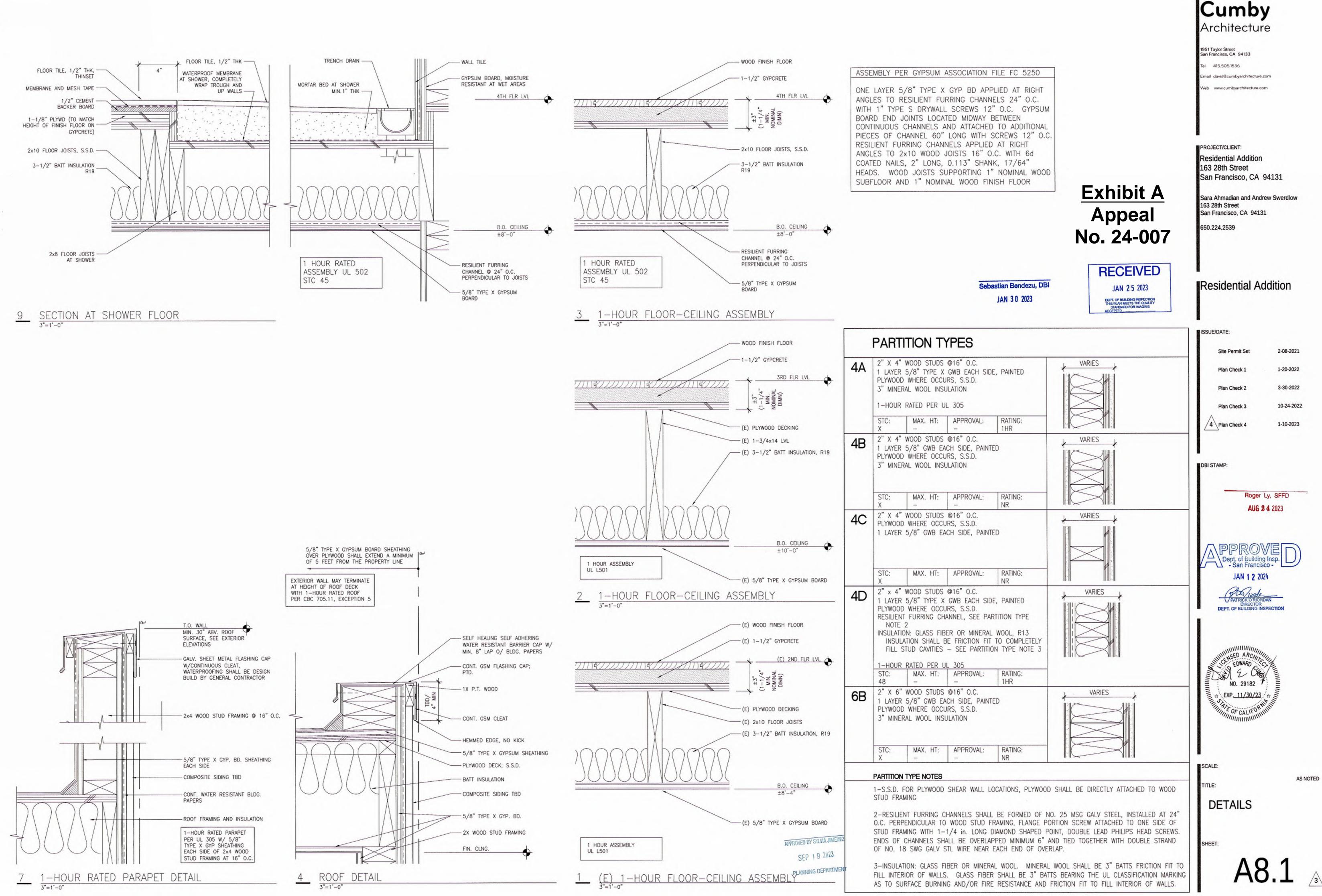




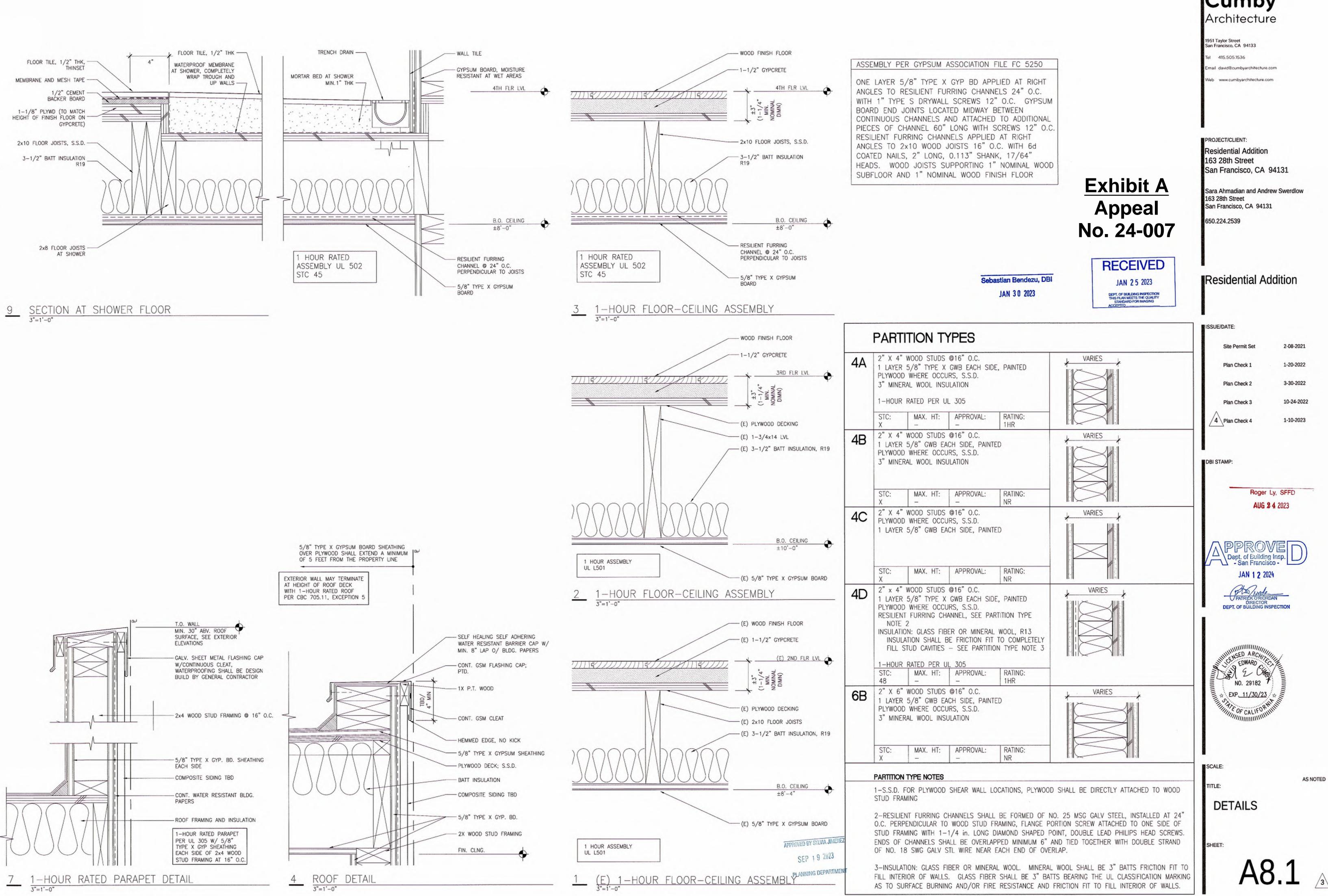


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MARK	LOCATIO	N	DOOR					FRAME					RATING	COMMENTS
	RM. NO.	ROOM NAME	WIDTH	HEIGHT	TYPE	CONST.	FINISH	TYPE	CONST.	FINISH	HEAD	JAMB		
FIRST	FLOOR										1	1		
115		BEDROOM	5'-0"	7'-6"	5	ALUM	-	-	ALUM				NR	TWO PANEL SLIDING DOOR; ONE PANEL
116	-	MASTER BEDROOM	5'-0"	7'-6"	5	ALUM			ALUM				NR	TWO PANEL SLIDING DOOR; ONE PANEL
THIRD	FLOOR													
THIRD	FLOOR													
001														
301	-	OFFICE	3'-0"	7'-6"	1	WD	-	-	WD				NR	-
301	-	OFFICE BEDROOM	3'-0"	7'-6"	1	WD	-	-	WD				NR	-
	-		3'-0" 2'-8"	7'-6" 7'-6"	1 1 7	WD WD	-	-	WD WD				NR NR	-
302	-	BEDROOM	3'-0" 2'-8" 2'-8"	7'-6" 7'-6" 7'-6"	1 1 7 1	WD WD WD	-	-	WD WD WD				NR NR NR	
302 303	-	BEDROOM CLOSET	3'-0" 2'-8" 2'-8" 2'-8"	7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1	WD WD WD WD	-	-	WD WD WD WD				NR NR NR NR	
302 303 304	- - - -	BEDROOM CLOSET BATH 1	3'-0" 2'-8" 2'-8" 2'-8" 2'-8"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1 4	WD WD WD WD WD	-	-	WD WD WD WD WD				NR NR NR NR NR	
302 303 304 305 306 307	- - - -	BEDROOM CLOSET BATH 1 STORAGE	3'-0" 2'-8" 2'-8" 2'-8" 2'-8" 2'-8" 3'-0"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1 4 1	WD WD WD WD WD WD	-	-	WD WD WD WD WD WD				NR NR NR NR NR NR NR	
302 303 304 305 306 307 308	-	BEDROOM CLOSET BATH 1 STORAGE LAUNDRY	3'-0" 2'-8" 2'-8" 2'-8" 2'-8" 3'-0" 2'-8"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1 4 1 1	WD WD WD WD WD WD WD	-	-	WD WD WD WD WD WD WD				NR   NR	
302 303 304 305 306 307	- - - - -	BEDROOM CLOSET BATH 1 STORAGE LAUNDRY BEDROOM	3'-0" 2'-8" 2'-8" 2'-8" 2'-8" 2'-8" 3'-0"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1 4 1 1 7	WD WD WD WD WD WD	-		WD WD WD WD WD WD				NR NR NR NR NR NR NR	

MARK LOCATION			DOOR					FRAME					RATING	COMMENTS
	RM. NO.	ROOM NAME	WIDTH	HEIGHT	TYPE	CONST.	FINISH	TYPE	CONST.	FINISH	HEAD	JAMB		
											1			
the second se	FLOOR	T	51.01	71.08	1.			1		1	1		ND	TWO PANEL SLIDING DOOR; ONE PANEL
115 116	-	BEDROOM MASTER BEDROOM	5'-0" 5'-0"	7'-6" 7'-6"	5	ALUM	-	-	ALUM				NR NR	TWO PANEL SLIDING DOOR; ONE PANEL TWO PANEL SLIDING DOOR; ONE PANEL
SECO		D												
204	VD FLOOI	OFFICE	2'-8"	7'-6"	1	ALUM	1.	1-	ALUM	1		1	NR	CHANGE EXISTING DOOR SWING TO SW
204	-	UFFICE			-	/ LOIN			/ LOIN					
THIRD	FLOOR	OFFICE	3'-0"	7'-6"	1	WD		-	WD				NR	-
THIRD 301	FLOOR -	OFFICE	3'-0" 3'-0"	7'-6" 7'-6"	1	WD	-	-	WD WD				NR NR	-
THIRD 301 302	FLOOR - -	BEDROOM	3'-0" 3'-0" 2'-8"		1 1 7	WD WD WD	-	-	the second se					-
THIRD 301 302 303	FLOOR - - -	BEDROOM CLOSET	3'-0"	7'-6"	1 1 7 1	WD	-	-	WD				NR	-
THIRD 301 302	FLOOR - - - -	BEDROOM	3'-0" 2'-8"	7'-6" 7'-6"	1 1 7 1 1	WD WD	-	-	WD WD				NR NR	
THIRD 301 302 303 304	FLOOR - - - - -	BEDROOM CLOSET BATH 1	3'-0" 2'-8" 2'-8"	7'-6" 7'-6" 7'-6"	1 1 7 1 1 1 4	WD WD WD	-	-	WD WD WD				NR NR NR	
THIRD 301 302 303 304 305	FLOOR	BEDROOM CLOSET BATH 1 STORAGE	3'-0" 2'-8" 2'-8" 2'-8"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1 4 1	WD WD WD WD	-	-	WD WD WD WD				NR NR NR NR NR NR NR	
THIRD 301 302 303 304 305 306	FLOOR	BEDROOM CLOSET BATH 1 STORAGE LAUNDRY	3'-0" 2'-8" 2'-8" 2'-8" 2'-8"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1 4 1 1	WD WD WD WD WD	-	-	WD WD WD WD WD				NR	
THIRD 301 302 303 304 305 306 307	FLOOR	BEDROOM CLOSET BATH 1 STORAGE LAUNDRY BEDROOM	3'-0" 2'-8" 2'-8" 2'-8" 2'-8" 2'-8" 3'-0"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 7 1 1 4 1	WD WD WD WD WD WD	-		WD WD WD WD WD WD				NR   NR	
THIRD 301 302 303 304 305 306 307 308	FLOOR	BEDROOM CLOSET BATH 1 STORAGE LAUNDRY BEDROOM BATH 2	3'-0" 2'-8" 2'-8" 2'-8" 2'-8" 3'-0" 2'-8"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 7 1 1 4 1	WD WD WD WD WD WD WD	-		WD WD WD WD WD WD WD				NR	

MAR		ON	DOOR					FRAME					RATING	COMMENTS
	RM. NO.	ROOM NAME	WIDTH	HEIGHT	TYPE	CONST.	FINISH	TYPE	CONST.	FINISH	HEAD	JAMB		
											1			
115	FLOOR	BEDROOM	5'-0"	7'-6"	5	ALUM	-		ALUM	1	1		NR	TWO PANEL SLIDING DOOR; ONE PANEL
115	-	MASTER BEDROOM	5'-0"	7'-6"	5	ALUM			ALUM				NR	TWO PANEL SLIDING DOOR; ONE PANEL
204	-	OFFICE	2'-8"	7'-6"	1	ALUM	-	-	ALUM				NR	CHANGE EXISTING DOOR SWING TO SW
204	-	OFFICE	2'-8"	7'-6"	1	ALUM	-	-	ALUM				NR	CHANGE EXISTING DOOR SWING TO SW
	- D FLOOR	OFFICE	2'-8"	7'-6"	1	ALUM	-	-	ALUM				NR	CHANGE EXISTING DOOR SWING TO SW
THIRI	- D FLOOR	OFFICE	2'-8"	7'-6"	1	WD	-	-	WD				NR	-
THIRI 301	- D FLOOR - -			7'-6" 7'-6"			-						NR NR	-
THIRI 301 302	FLOOR - - -	OFFICE	3'-0"	7'-6"	1	WD	-		WD WD WD				NR NR NR	-
THIRI 301 302 303	- 	OFFICE BEDROOM	3'-0" 3'-0"	7'-6" 7'-6"	1	WD WD	-		WD WD				NR NR	-
204 THIRI 301 302 303 304 305	- FLOOR - - - - - -	OFFICE BEDROOM CLOSET	3'-0" 3'-0" 2'-8"	7'-6" 7'-6" 7'-6"	1 1 7	WD WD WD	-		WD WD WD				NR NR NR	-
THIR 301 302 303 304	- - - - - - - - - - - - - -	OFFICE BEDROOM CLOSET BATH 1	3'-0" 3'-0" 2'-8" 2'-8"	7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1	WD WD WD WD	-		WD WD WD WD				NR NR NR NR NR	-
THIRI 301 302 303 304 305	- - - - - - - - - - - - - -	OFFICE BEDROOM CLOSET BATH 1 STORAGE	3'-0" 3'-0" 2'-8" 2'-8" 2'-8"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1	WD WD WD WD WD WD	-		WD WD WD WD WD				NR NR NR NR NR NR NR NR NR NR	-
THIRI 301 302 303 304 305 306	- FLOOR - - - - - - - - - - - - - - - - -	OFFICE BEDROOM CLOSET BATH 1 STORAGE LAUNDRY	3'-0" 3'-0" 2'-8" 2'-8" 2'-8" 2'-8"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1	WD WD WD WD WD WD WD	-		WD WD WD WD WD WD				NR NR NR NR NR NR NR NR	
THIRI 301 302 303 304 305 306 307	- - - -	OFFICE BEDROOM CLOSET BATH 1 STORAGE LAUNDRY BEDROOM	3'-0" 3'-0" 2'-8" 2'-8" 2'-8" 2'-8" 2'-8" 3'-0"	7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6" 7'-6"	1 1 7 1 1 4 1	WD WD WD WD WD WD WD WD	-		WD WD WD WD WD WD WD				NR NR NR NR NR NR NR NR NR NR	

### FOURTH FLOOR

01	-	HALL	3'-0"	7'-6"	2	ALUM	 ALUM	NR	TEMPERED GLAZING
02	-	HALL	2'-10"	7'-6"	3	WD	WD	NR	TEMPERED GLAZING
03	-	MASTER BATH	2'-10"	7'-6"	1	WD	WD	NR	
04	-	CLOSET	2'-8"	7'-6"	7	WD	WD	NR	
105	-	CLOSET	2'-8"	7'-6"	7	WD	WD		

## DOOR NOTES

- 1. GLAZING IN DOORS SHALL BE TEMPERED 2. DOOR THRESHOLDS SHALL BE MAXIMUM 1/2"
- 3. DOOR SIZES ARE NOMINAL: CONTRACTOR SHALL COORDINATE EXPANSION JOINTS, SEALANTS, SHIM, TOLERANCES, ETC. WITH DOOR MANUFACTURER 4. FIELD VERIFY ALL OPENINGS

## LEGEND

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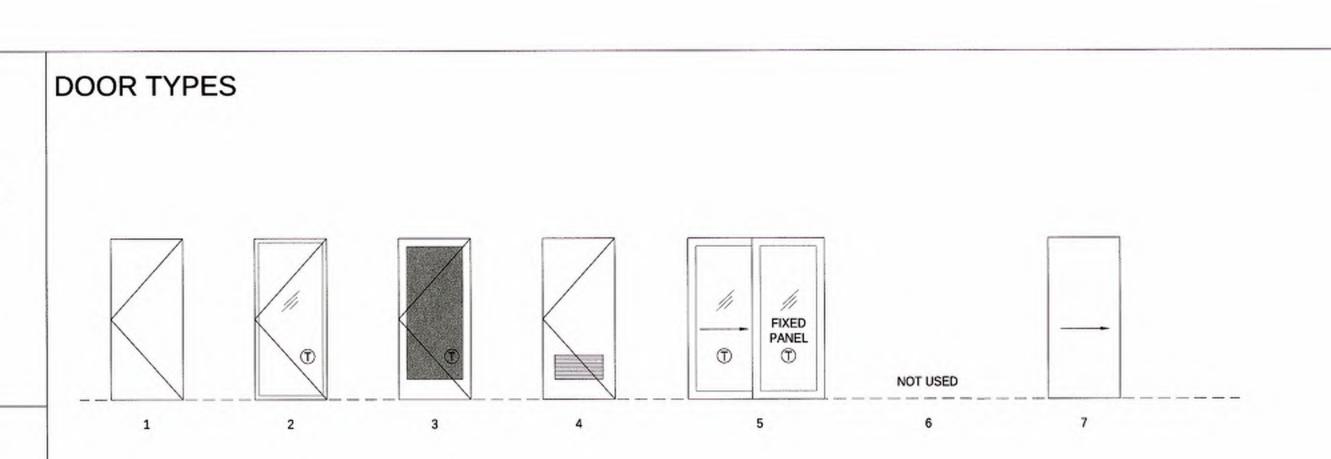
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① DENOTES TEMPERED GLAZING

## ABBREVIATIONS

ALC	ALUMINUM CLAD	NR	NOT RATED
ALUN	I ALUMINUM	STL	STEEL
FG	FIBERGLASS	WD	WOOD
HR	HOUR		
MIN	MINUTE		



# <u>Exhibit A</u> Appeal No. 24-007

APPROVED BY SYLVIA JIMENE SEP 1 9 2023 PLANNING DEPARTMEN

	Cumby Architecture
	1951 Taylor Street San Francisco, CA 94133 Tei 415.505.1536
	Email david@cumbyarchitecture.com
NEL FIXED, TEMPERED GLAZING NEL FIXED, TEMPERED GLAZING	Web www.cumbyarchitecture.com
SWING TO EXTERIOR	
	Residential Addition
	163 28th Street San Francisco, CA 94131
	Sara Ahmadian and Andrew Swerdlow
	163 28th Street San Francisco, CA 94131
	650.224.2539
	Residential Addition
	ISSUE/DATE:
	Site Permit Set 2-08-2021
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	Plan Check 2 3-30-2022 Plan Check 3 10-24-2022
	A Plan Check 4 1-10-2023
	DBI STAMP:
	Roger Ly, SFFD
	AUG 2 4 2023
	Dept. of Building Insp.
	JAN 1 2 2024
	PATRICK ORIORDAN DIRECTOR DEPT. OF BUILDING INSPECTION
	EDWARD CALL
	NO. 29182 * EXP. 11/30/23 *
	THE OF CALLEOR WITHIN
JAN 2 5 2023	SCALE:
DEPT. OF BUILDING INSPECTION THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING ACCEPTED	NTS
Sebastian Bendezu, DBI	DOOR
JAN 3 0 2023	SCHEDULE
EZ	SHEET:
	A9.1
NT	A9.1

WINDOW NOTES	WIN	DOW SCHEDULE					
FIELD VERIFY ALL OPENINGS	MARK	OPERATION	GLASS	FRAME			COMMENTS
2. SKYLIGHTS SHALL BE CURB MOUNT				CONST.	FINISH	RATING	
	W8	CASEMENT/FIXED	CLR	ALUM	CLR	NR	
	W11	CASEMENT	CLR	ALUM	CLR	NR	TEMPERED GLAZING
	W12	AWNING	CLR	ALUM	CLR	NR	
	W13	CASEMENT/FIXED	CLR	ALUM	CLR	NR	TEMPERED GLAZING
	W14	AWNING	CLR	ALUM	CLR	NR	TEMPERED GLAZING
	W15	FIXED	CLR	ALUM	CLR	NR	TEMPERED GLAZING
	W16	FIXED	CLR	ALUM	CLR	NR	TEMPERED GLAZING
	S1	FIXED	CLR	ALUM	CLR	NR	
	S2	FIXED	CLR	ALUM	CLR	NR	
	S3	FIXED	CLR	ALUM	CLR	NR	
	S4	FIXED	CLR	ALUM	CLR	NR	
WINDOW TYPES							

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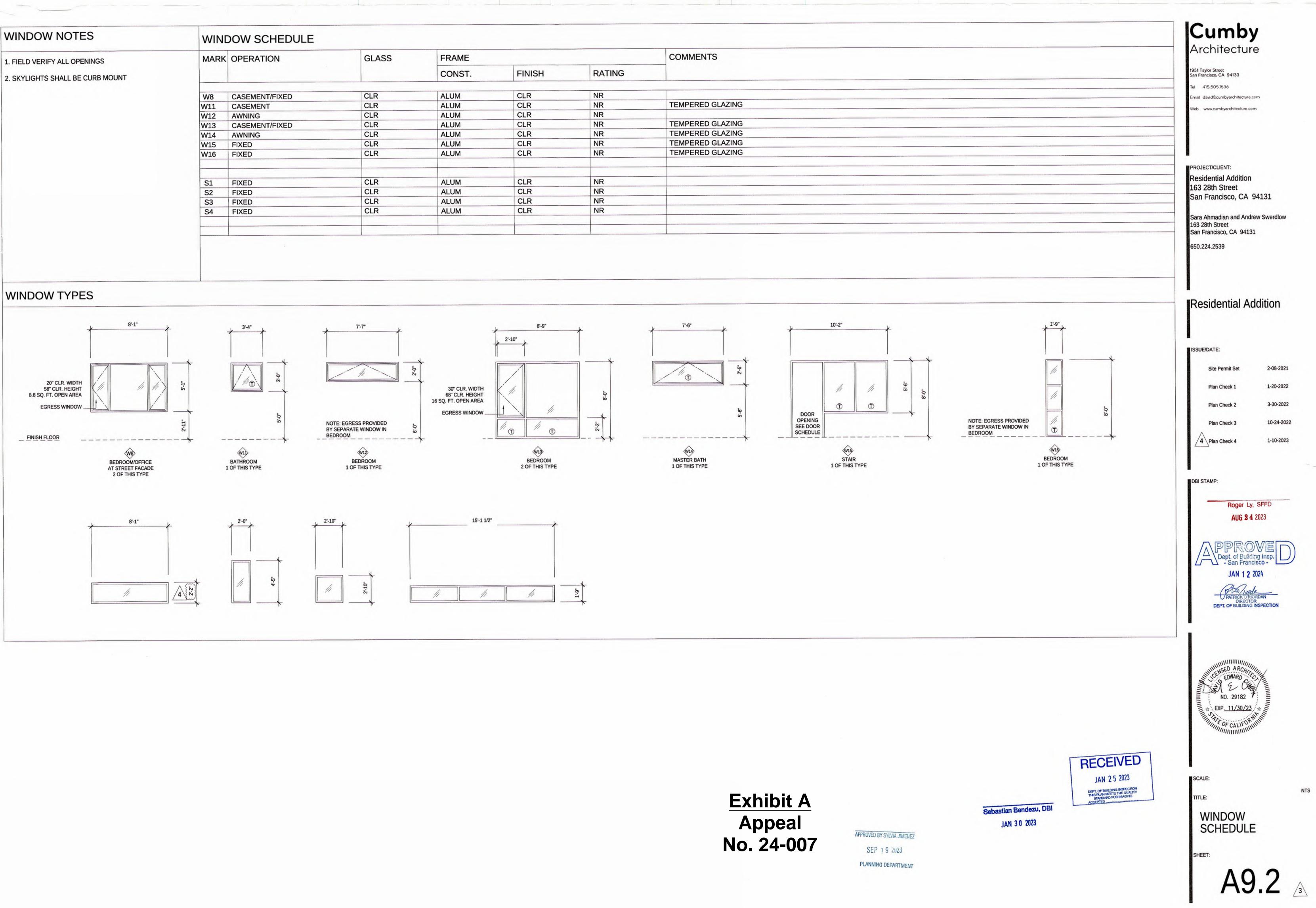




Exhibit B Appeal No. 24-007 Site Plan Building Heights at 28th Street

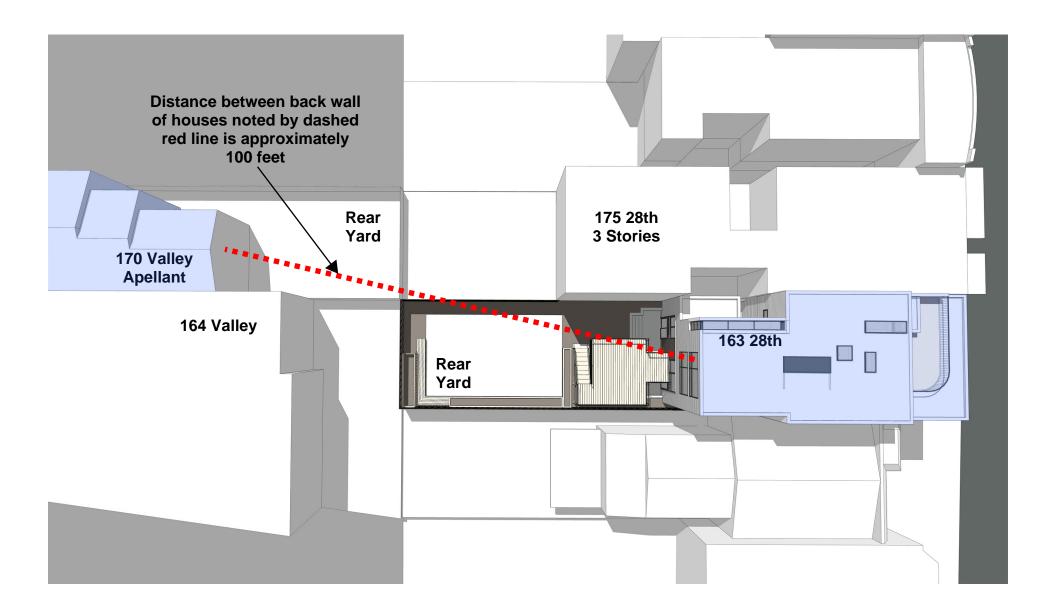


Exhibit C Appeal No. 24-007

Aerial View at Rear Yard 163 28th Street



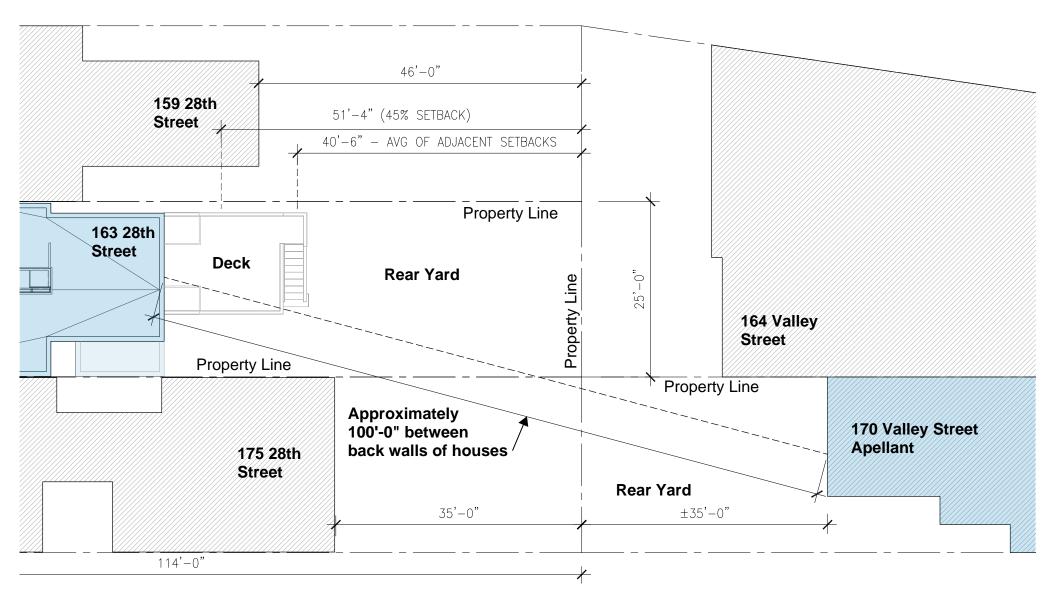
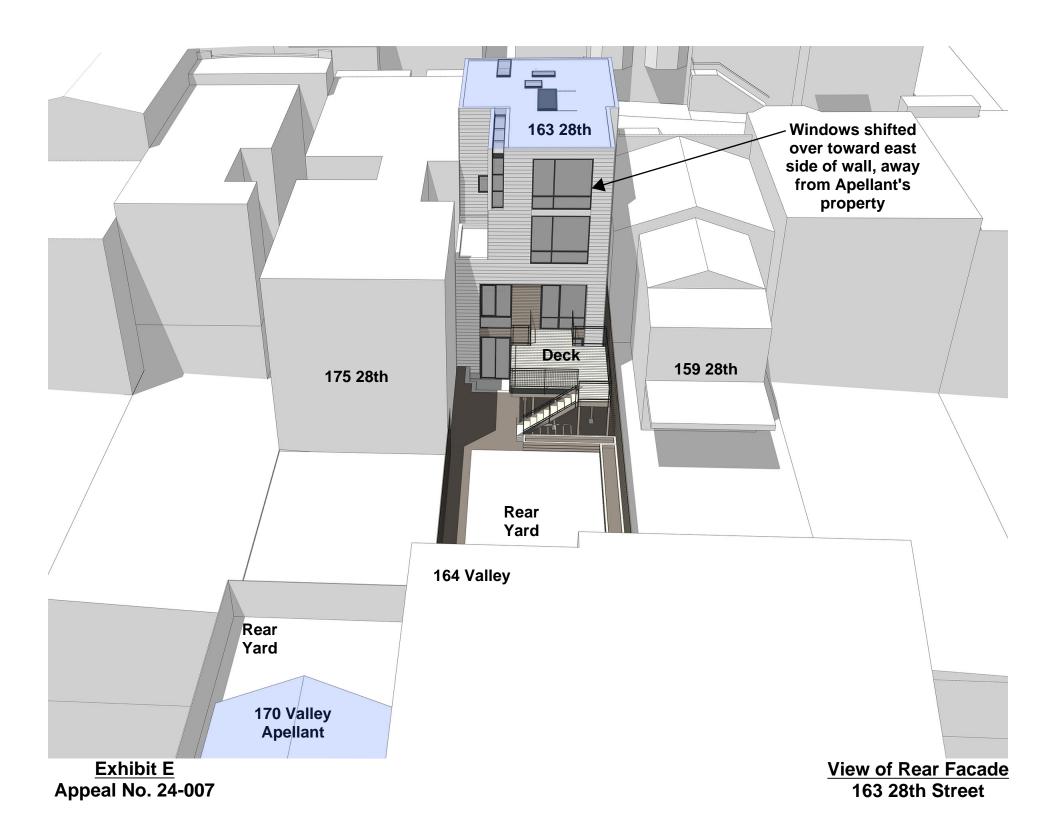


Exhibit D Appeal No. 24-007

Partial Site Plan 163 28th Street



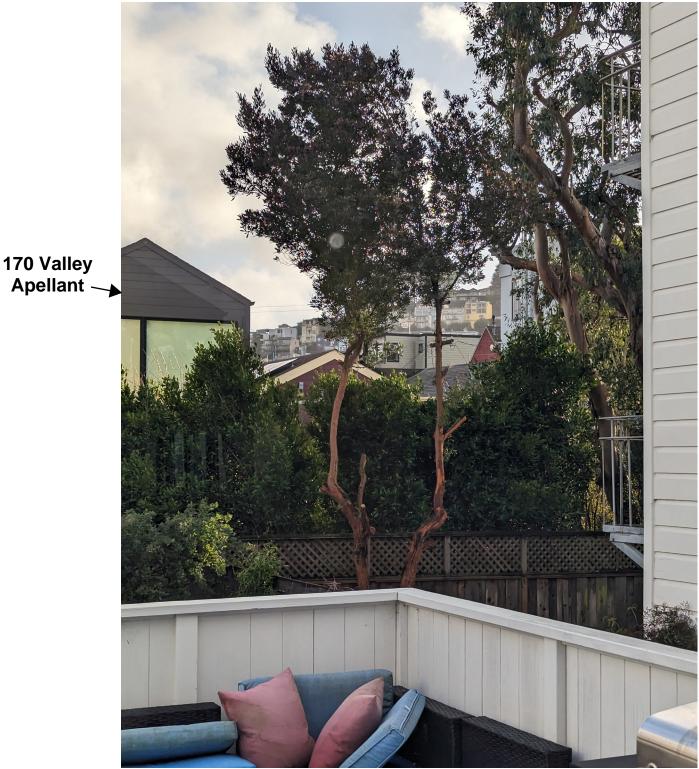


Exhibit F Appeal No. 24-007 View from deck at 163 28th looking southwest toward 170 Valley