

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
SUNYA SMITH,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **24-007**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on January 29, 2024, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on January 12, 2024 to Sara Ahmadian and Andrew Swerdlow, of a Site Permit (Two-story top floor addition on two-story, single-family house; new third floor with two bedrooms, two bathrooms, washer/dryer; new fourth floor with one bedroom, one bathroom and one roof deck) at 163 28th Street.

APPLICATION NO. 2021/01/29/3667

FOR HEARING ON March 27, 2024

Address of Appellant(s):

Address of Other Parties:

Sunya Smith, Appellant(s) 170 Valley Street San Francisco, CA 94131	Sara Ahmadian & Andrew Swerdlow, Permit Holder(s) c/o David Cumby, Agent for Permit Holder(s) Cumby Architecture 2325 Third Street, Suite 401 San Francisco, CA 94107
---	---



Date Filed: January 29, 2024

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 24-007

I / We, **Sunya Smith**, hereby appeal the following departmental action: **ISSUANCE** of **Site Permit No. 2021/01/29/3667** by the **Department of Building Inspection** which was issued or became effective on: **January 12, 2024**, to: **Sara Ahmadian and Andrew Swerdlow**, for the property located at: **163 28th Street**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **March 7, 2024, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org, sara.ahmadian@gmail.com and davidcumby@gmail.com

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **March 21, 2024, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org, and sunyabr@gmail.com

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, March 27, 2024, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment.

Appellant:

Signature: Via Email

Print Name: Sunya Smith, appellant

My concerns are as follows:

I am the property owner of 170 Valley street- located behind 163 28th street (diagonally adjacent). I am very concerned about the height of the proposed addition. Going from 2 to 4 stories this would be higher than both structures to either side. Additionally the proposed additions would create two large windows that would infringe on the privacy of my bedroom and yard- allowing a direct view into my bedroom. I would understand the necessity of going up maybe one floor for the structure but two seems excessive for the neighborhood. I appreciate the desire to expand the current home but I would like to ensure that measures are taken to improve my privacy- and the privacy of other neighbors.

Permit Details Report

Report Date: 1/29/2024 4:24:51 PM

Application Number: 202101293667

Form Number: 3

Address(es): 6615 /032 /0 163 28TH ST

Description: 2 STORY TOP FLOOR ADDITION ON 2-STORY SINGLE FAMILY HOUSE. NEW 3RD FLOOR WITH 2 BEDROOMS, 2 BATHROOMS, WASHER/DRYER. NEW 4TH FLOOR WITH 1 BEDROOM, 1 BATHROOM, & 1 ROOF DECK.

Cost: \$512,678.87

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
1/29/2021	TRIAGE	
1/29/2021	FILING	
1/29/2021	FILED	
9/29/2023	APPROVED	
1/12/2024	ISSUED	

Contact Details:

Contractor Details:

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description: SITE PERMIT

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
CPB		1/29/21	1/29/21			2/19/21	CHEUNG DEREK		1/29: FILING FEE SENT TO APPLICANT. -DC
BID-INSP		2/19/21	2/19/21			2/19/21	GREENE MATT		OK TO PROCESS
CP-ZOC		2/19/21	7/19/22			7/19/22	JIMENEZ SYLVIA		3/1/21: Requested via email - Please submit Digital Project Application (PRJ) and plans directly to victoria.lewis@sfgov.org. 7/19/22: Application approved for a 2-story vertical addition (3rd and 4th floor), including new roof decks. No DR applications filed. Approved for C. Campbell (SJ)
CP-NP		5/10/22	5/10/22			5/16/22	JIMENEZ SYLVIA		5/10/22: Emailed the 311 cover letter. (JL) 5/16/22: Mailed the 311 notice on 5/25/22; expires on 6/24/22. (JL)

BLDG		7/20/22	9/14/22	9/16/22	11/10/22	11/10/22	BENDEZU SEBASTIAN		9/16/22: In hold. Emailed the architect comments. Comments also traveling with plans.
BLDG		11/10/22	11/15/22	12/7/22	1/18/23	1/18/23	BENDEZU SEBASTIAN		12/7/22: In Hold. Comments issued in unofficial Bluebeam session #: 274-002-224. Contacted architect. sebastian.bendezu@sfgov.org
BLDG		1/18/23	1/19/23			1/30/23	BENDEZU SEBASTIAN		1/30/23: Approved. Paper plans stamped and logged with PPC.
MECH		12/8/22	1/20/23			1/20/23	LAI JEFF		1/20/2023-N/A. site permit
DPW-BSM		1/20/23	1/23/23			1/23/23	DENNIS RASSENDYLL		1.23.23 Approved SITE Permit only. ADDENDA requirement(s) for sign off: Minor Sidewalk Encroachment (meter door shown on A1.1) Inspection Conformity (final inspection). All sidewalk applications and plans MUST be applied online. Download sidewalk applications at http://www.sfpublishworks.org/services/permits . Your application will be ON-HOLD until all necessary PUBLIC WORKS-BSM permits are completed or plan checker(s) could recommend sign off to the satellite office via email. - RD
SFPUC		1/24/23	1/30/23	1/30/23	2/8/23	2/8/23	GARCIA JOBEL		Requested documents received, hold released - 02/08/23. On Hold until PDFs of the requested drawings are received - 01/30/23. Permit has been assessed a Capacity Charge. DBI will collect charges. See Invoice attached to application. Route to PPC - 01/30/23.
PERMIT-CTR		7/1/22	7/1/22			7/1/22			07/01/2022: Project received by Permit Center Team and transferred to SF Planning Intake for review (CP-ZOC). Applicants may contact pic@sfgov.org for further project updates. -HB
DPW-BSM		1/30/23	2/1/23	2/8/23		7/28/23	CHOY CLINTON	Approved-Stipulated	Approved SITE Permit only *revision*. ADDENDUM requirement(s) for sign off: Inspection Right-of-Way Conformity (final inspection). Download application(s) at http://www.sfpublishworks.org/services/permits/application-forms and submit electronically to bsmpermitdivision@sfdpw.org . Your construction addendum will be ON-HOLD until all necessary permit(s) are approved or the assigned BSM plan checker(s) may recommend sign off. Please call the office at (628) 271-2000 or email at bsmpermitdivision@sfdpw.org for more information. (clinton.choy@sfdpw.org) On hold (SITE). 3/16/23: Designer emailed back about door will need to remain. BSM has no record/permit on file and cannot approve as-built installation conflicting with CBC 3202.2. Must relocate door inside property line to meet CBC 3202.2. -CC On hold (SITE). 2/8/23: Waiting for designer's response from email dated 2/1/23 to clarify (E) gas door encroachment on plans. -CC
SFPUC		2/8/23	2/9/23			2/9/23	GARCIA JOBEL		RESTAMP - Permit has been assessed a Capacity Charge. DBI will collect charges. See Invoice attached to application. Route to PPC - 02/09/23.
CP-ZOC		2/10/23	7/19/23			7/19/23	JIMENEZ SYLVIA		7/19/23: Restamped updated plans; routed back to DBI. SJ
PPC		7/28/23	7/28/23			7/28/23	WAI CHUNG WONG	Administrative	7/28/23: To CPB; kw 7/25/23: To DPW-BSM per Clinton Choy request; kw 7/20/23: To hold bin pending for DPW-BSM approval; kw 7/10/23: To Planning for restamp of plans received on 01/25/23. TW 2/8/23: To SFPUC for restamp of plans received on 01/25/23 (then to Planning).

										TW 01/30/23: TO BSM for re stamp of plans received on 01/25/23 (then to PUC, & Planning);me 01/30/23: TO HOLD BIN pending PUC approval;me 01/24/23: TO PUC;me 1/20/23: To BSM. TW 12/8/22: To MECH; ST 12/01/22: Sebastian Bendezu self checkout;me 9/16/2022: To hold bin per BLDG plan checker;nl 7/20/22: to BLDG;EC. 2/19/21: CP-ZOC (Planning); NL
CPB		7/28/23	7/31/23			7/31/23	CHAN AMARIS	Administrative	7/31/23: RETURN TO PPC FOR FIRE REVIEW PER FS-03. AMARIS.	
SFFD		7/31/23	8/14/23			8/14/23	LY ROGER	Issued Comments	Routed to Ly desk 8/11/23. pf 8/14/23 NOT APPROVED COMMENTS ISSUED PLANS TO CPB	
SFFD	1	8/17/23	8/17/23			8/17/23	LY ROGER	Issued Comments	DISCUSS WITH DBI. PLANS TO PPC 8/17/23 RL	
SFFD	2	8/24/23	8/24/23			8/24/23	LY ROGER	Issued Comments	APPROVED OTC PLANS TO PPC WILL HAVE TO VERIFY IN FIELD 22 FT. LADDER ACCESS 8/28/23 ADDITIONAL INFORMATION REQUESTED FOR WATER FLOW	
SFFD		9/20/23	9/27/23			9/27/23	LY ROGER	Approved	routed to Ly 9-22-23. LP APPROVED PLANS TO PPC RL 9/27/23	
BLDG		8/24/23	8/25/23			8/25/23	BENDEZU SEBASTIAN	Approved	8/25/23: Approved. Re-stamped sheet A1.1. SB	
CP-ZOC		8/25/23	9/19/23			9/19/23	JIMENEZ SYLVIA	Approved	Restamped SJ	
PPC		9/27/23	9/27/23			9/27/23	WAI CHUNG WONG	Administrative	9/27/23: To CPB; kw 9/20/23: To Roger Ly of SFFD per request; kw !!!Route to Roger Ly of SFFD to review water flow when plan back from CP-ZOC; kw 8/25/23: To CP-ZOC for review Sheet A1.1; kw 8/24/23: To BLDG (then to CP-ZOC) for review Sheet A1.1; kw 8/24/23: Self checkout by Roger Ly; kw 8/18/23: To hold bin pending for SFFD approval; kw 8/17/23: Self checkout by Roger Ly of SFFD; kw 8/14/23: To hold bin pending for SFFD approval; kw 7/31/23: To SFFD; kw	
CPB		9/27/23	9/29/23			1/12/24	VICTORIO CHRISTOPHER	Administrative	01/12/2024: Site Permit Issued, to Permit Center for Pick-Up at 40 South Van Ness Avenue, 2nd Floor, CV 12/22/2023: SFUSD fee included to issuance fee.ay sent to AoR, CV 11/01/2023: Per Plan Review Services Acting Manager Willy Yau waived extension fee if issued by 01/20/2024.ay 10/31/2023: Extension fee required. 1st extension fee \$1,234.69. When pay fee, New Cancel Date: 07/09/2024.ay 9/29/2023: Approved, pending docs prior to sending invoice for payment; cm	

APPELLANT(S) DID NOT SUBMIT A BRIEF

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

March 20, 2024

President Jose Lopez
And Members of the San Francisco Board of Appeals
49 South Van Ness Avenue, Suite 1475 (14th Floor)
San Francisco, CA 94103

RE: Appeal No.: 24-007
Subject Property: 163 28th Street
Site Permit No.: 2021-0129-3667

Dear President Lopez and Board Members

I represent Sara Ahmadian, permit holder of Site Permit No. 2021-0129-3667 (the “Permit”) and owner of the subject property, 163 28th Street (the “Property”). The Permit authorizes the renovation and expansion of the family home at the Property (the “Project”). The Appellant owns the home at 170 Valley Street, located behind and to the southwest of the Property, so that the boundaries of the two parcels intersect at the corners of the two rear yards.

Background

The owner of the Property applied for the Permit in 2021. Section 311 Neighbor Notification was completed in June of 2022 and no Discretionary Review was filed for this application. There was no Conditional Use or Variance required for this application. The Site Permit was issued in January of 2024 (The approved plans are attached as Exhibit A).

Appellant’s Arguments

The Appellant has noted the following concerns regarding the Project:

1-Height of the proposed vertical addition

There are multiple 4 story tall structures in the immediate vicinity of the Property on 28th Street (see Exhibit B). Some of these existing 4 story tall structures have no front setback at the uppermost floor level. The Project was designed in response to Planning Department comments during the permit approval process and has a front setback at the uppermost floor and modest floor to floor heights at the new 3rd and 4th floor levels. The ceiling height in the new 3rd and 4th floor levels is 8 feet (the building code minimum is 7'-6").

2-Windows on the proposed addition with views to the Appellant's rear yard and house

The Project is a vertical addition only, there is no extension further into the rear yard beyond the existing rear wall of the house. This wall is set back 59'-5" away from the rear property line. The rear wall of the adjacent building to the west of the Property, 175 28th Street, is 35'-0" from the rear property line and directly behind the Appellant's property. The Appellant's property has a rear yard depth of approximately 35'-0" to 40'-0", so the distance between the back wall of 163 28th Street and 170 Valley Street (the Appellant) is approximately 95'-0" to 100'-0" (see Exhibit C and Exhibit D). Given the substantial distance between the houses there is not a significant privacy concern established by having windows facing the rear yards of each property.

At the proposed 3rd and 4th floor levels of the Project, facing the rear yard, are bedroom windows. These windows are shifted over toward the east side of the rear wall, away from the Appellant's property (see Exhibit E).

The living room, dining room and kitchen, the most social and active spaces at the Property, are all on the 2nd floor level, with very limited visual connection to 170 Valley Street. The only deck at the rear yard of the Property is also at the 2nd floor level and shifted over toward the east side of the Property, away from 170 Valley Street (see Exhibit E).

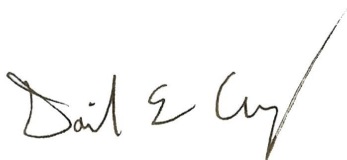
3-Privacy for the Appellant and other neighbors

Currently there are trees in the rear yard of the Property, 175 28th Street, and 170 Valley Street which provide some measure of privacy between the parcels (see Exhibit F).

Conclusion

The Permit was properly approved by the Planning Department. The height of the proposed addition is consistent with nearby properties on 28th Street. The distance between the back wall of 163 28th and the back wall of 170 Valley Street is approximately 100'-0" and therefore there is not a significant privacy concern due to windows facing the rear yards. I respectfully request that the Board deny the appeal and uphold the issuance of the Permit.

Regards

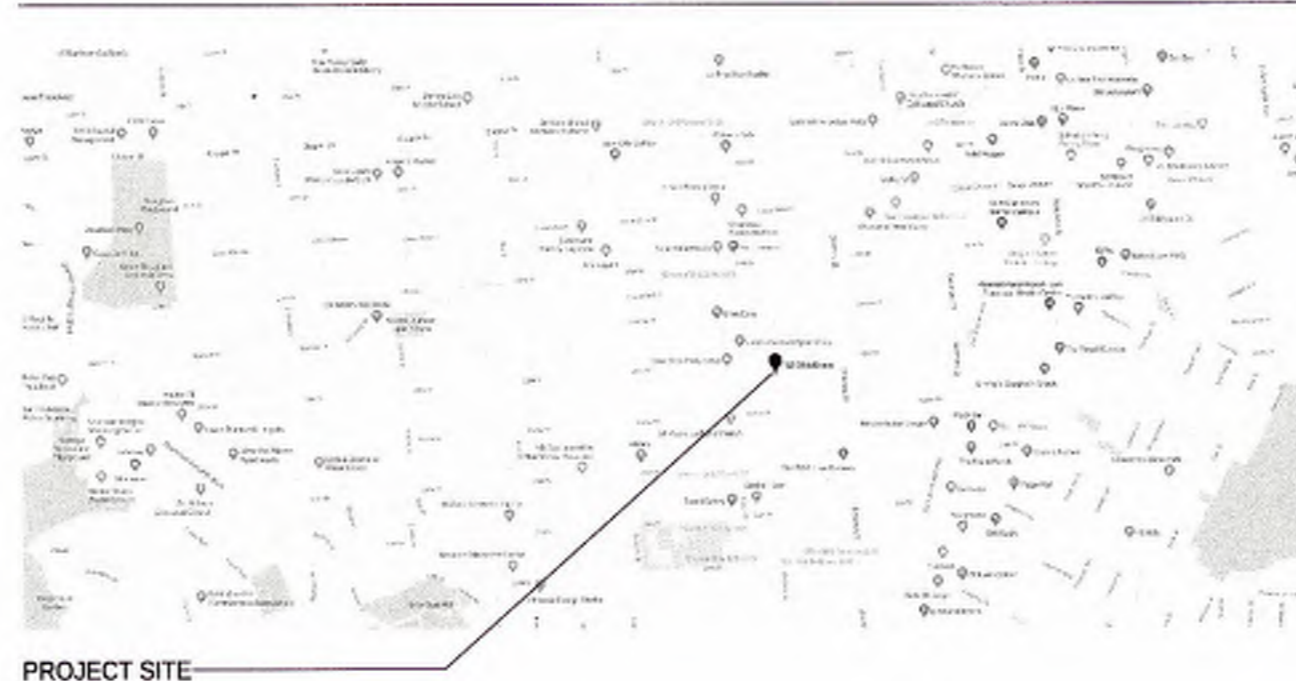


David Cumby, Architect, License #29182
1951 Taylor Street
San Francisco, CA 94133

Tel: 415-505-1536

Exhibit A
Appeal No. 24-007

LOCATION MAP:



PROJECT SITE

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE
 2019 SAN FRANCISCO BUILDING CODE
 2019 CALIFORNIA MECHANICAL CODE WITH SAN FRANCISCO AMENDMENTS
 2019 CALIFORNIA PLUMBING CODE WITH SAN FRANCISCO AMENDMENTS
 2019 CALIFORNIA ELECTRICAL CODE WITH SAN FRANCISCO AMENDMENTS
 2019 CALIFORNIA FIRE CODE WITH SAN FRANCISCO AMENDMENTS
 ENERGY CODE - TITLE 24 - CALIFORNIA CODE OF REGULATIONS

DRAWING LIST

- ARCHITECTURAL**
- A1.0 PROJECT INFORMATION
 - 3 A1.0A AB-05 FORMS
 - A1.0B EXISTING AND PROPOSED PLOT PLANS
 - A1.0C GREEN BUILDING
 - A1.0D GENERAL NOTES
 - A1.0E SITE PHOTOS
 - A1.0F SITE PHOTOS
 - A1.1 EXISTING FIRST FLOOR PLAN
 - A1.2 DEMO AND PROPOSED SECOND FLOOR PLANS
 - A1.3 DEMO AND PROPOSED THIRD FLOOR PLANS
 - 1 A1.4 PROPOSED FOURTH FLOOR AND ROOF PLANS
 - ~~A1.5 EXTERIOR ELEVATIONS~~ *see*
 - A3.1 EXISTING AND PROPOSED NORTH EXTERIOR ELEVATIONS (STREET)
 - A3.2 EXISTING AND PROPOSED EAST EXTERIOR ELEVATIONS (SIDE)
 - A3.3 EXISTING AND PROPOSED SOUTH EXTERIOR ELEVATIONS (REAR YARD)
 - A3.4 EXISTING AND PROPOSED WEST EXTERIOR ELEVATIONS (SIDE)
 - A3.5 EXISTING AND PROPOSED BUILDING LONGITUDINAL SECTIONS
 - A3.6 PROPOSED BUILDING LONGITUDINAL SECTION
 - A3.7 PROPOSED BUILDING LONGITUDINAL SECTION
 - A3.8 PROPOSED BUILDING CROSS SECTIONS
 - 3 A8.1 DETAILS
 - A9.1 DOOR SCHEDULE
 - A9.2 WINDOW SCHEDULE

22

PROJECT DESCRIPTION

- 4 TWO STORY TALL ADDITION ON TWO STORY TALL SINGLE FAMILY HOUSE
- 1 NEW THIRD FLOOR WITH 2 BEDROOMS, 2 BATHROOMS, OFFICE AND WASHER/DRYER
- 2 NEW FOURTH FLOOR WITH 1BEDROOM, 1 BATHROOM, 1 ROOF DECK

PROJECT DIRECTORY

CLIENT
 SARA AHMADIAN AND ANDREW SWERDLOW
 163 28TH STREET
 SAN FRANCISCO, CA 94131
 TEL: 415.515.5286
 EMAIL: sara.ahmadian@gmail.com

ARCHITECT
 CUMBY ARCHITECTURE
 CONTACT: DAVID CUMBY
 1951 TAYLOR STREET
 SAN FRANCISCO, CA 94133
 TEL: 415.505.1536
 EMAIL: david@cumbyarchitecture.com

STRUCTURAL ENGINEER
 SEDR CONSULTING
 CONTACT: JOE IGBER
 6250 THORNHILL DRIVE, UPPER OFFICE
 OAKLAND, CA 94611
 TEL: 510.525.9491
 EMAIL: joe@sedrconsulting.com

SFPUC - Please be advised
 Your plans and fixtures count indicate a larger water meter is required. Please apply for a water meter upgrade at SFPUC New Service Installations, 525 Golden Gate Ave, 2nd Floor, San Francisco, CA 94102, Tel: (415) 551-2900.

SFPUC Capacity Charges
 See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges.

Capex \$2,099.00
To [Signature]
 SFPUC - Jobelle [Signature]

FIRE SPRINKLER AND / OR FIRE ALARM IS REQUIRED UNDER SEPARATE PERMIT

SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (628) 271-2000 TO SCHEDULE
 Clinton Choy, PW-BSM
 JUL 26 2023

FIRE SPRINKLERS

THE BUILDING SHALL BE FULLY EQUIPPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE STANDARDS OF NFPA 13R

PLAN REVIEW BY SFFD LIMITED TO:
 1. FIRE DEPARTMENT ACCESS
 2. FIRE FLOW REQUIREMENTS

PLEASE NOTIFY DISTRICT INSPECTOR AT THE START OF WORK 415-554-89 322
 Battalion 6
 415-558-3211

SFFD-PC
 - still verify in field 22 ft ladder access from 1st floor to back yard for ERRO

PROJECT INFORMATION:

BLOCK/LOT:	6615/032	EXISTING BUILDING HEIGHT:	20'-10"	EXISTING REAR YARD OPEN SPACE TO REMAIN:	1,164 SQ FT
OCCUPANCY:	R3	PROPOSED BUILDING HEIGHT:	40'-0"	EXISTING DECK AT REAR YARD:	201 SQ FT
ZONING:	RH-2 / 40-X	EXISTING CAR PARKING TO REMAIN:	1 SPACE	TOTAL OPEN SPACE:	1,365 SQ FT
LOT AREA:	2,850 SF	EXISTING BIKE PARKING TO REMAIN:	0 SPACES		

PERMIT NUMBER
 2021 0129 3667
 REVIEWED
 For Compliance with City and County Ordinances and State Codes. The stamping of this plan and these specifications SHALL NOT be held as permit or to be an approval of the violation of any City and County ordinance or State Law.
 Approval is subject to the inspection by the Fire Department.
 1 of 23
 Roger Ly, SFFD
 AUG 24 2023

CONSTRUCTION TYPE
 4 EXISTING: V-B
 PROPOSED: V-B

	EXISTING	ADDITION	TOTAL
FIRST FLOOR	1,323 SQ FT (includes 253 SQ FT Garage)	-	1,323 SQ FT (includes 253 SQ FT Garage)
SECOND FLOOR	1,298 SQ FT	-	1,298 SQ FT
THIRD FLOOR	-	2 1,242 SQ FT	2 1,242 SQ FT
FOURTH FLOOR	-	2 872 SQ FT	2 872 SQ FT 1
TOTAL FLOOR AREA	2,621 SQ FT (includes 253 SQ FT Garage)	1,864 SQ FT	4,735 SQ FT (includes 253 SQ FT Garage)

APPROVED BY CELIA JIMENEZ
 SEP 19 2023
 PLANNING DEPARTMENT

SBB
 Sebastian Bendezu, DBI
 JAN 30 2023

	EXISTING	ADDITION	TOTAL
REAR YARD	1,164 SQ FT	-	1,164 SQ FT
SECOND FLOOR	201 SQ FT (Deck at Rear Yard)	-	201 SQ FT
THIRD FLOOR	-	2 140 SQ FT	2 140 SQ FT 1
FOURTH FLOOR	-	2 140 SQ FT	2 140 SQ FT 1
TOTAL FLOOR AREA	1,365 SQ FT	140 SQ FT	1,505 SQ FT

RECEIVED
 JAN 25 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY STANDARDS FOR BUILDING.
 ACCEPTED

Cumby Architecture

1951 Taylor Street
 San Francisco, CA 94133
 Tel: 415.505.1536
 Email: david@cumbyarchitecture.com
 Web: www.cumbyarchitecture.com

PROJECT/CLIENT:
 Residential Addition
 163 28th Street
 San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow
 163 28th Street
 San Francisco, CA 94131
 650.224.2539

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023

DBI STAMP:

APPROVED BY CELIA JIMENEZ
 JUL 19 2023
 PLANNING DEPARTMENT

LICENSED ARCHITECT
 DAVID EDWARD CUMBY
 NO. 29182
 EXP. 11/30/23
 STATE OF CALIFORNIA

APPROVED
 Dept. of Building Insp.
 - San Francisco -
 JAN 12 2024

SCALE: NTS
 TITLE: PATRICK O'BRIEN DIRECTOR
 DEPT. OF BUILDING INSPECTION

TITLE SHEET,
 PROJECT INFO,
 PLOT PLAN

SHEET:

A1.0

**Exhibit A
 Appeal
 No. 24-007**

2021-0129-3667-S RA

ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED 11-8-2022 [Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0129-3667

Property Address: 163 28th Street

Block and Lot: 6615/ 032 Occupancy Group: R3 Type of Construction: VA No. of Stories: 4

Describe Use of Building Single Family House

Under the authority of the 2019 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2019 San Francisco Mechanical Code, Section 302.2; the 2019 San Francisco Electrical Code, Section 89.117; and the 2019 San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)

CBC 1030 : Emergency escape and rescue openings shall open to a public way or a yard or court providing access to a public way

ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED 11-8-2022 [Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0129-3667

Property Address: 163 28th Street

Block and Lot: 6615/ 032 Occupancy Group: R3 Type of Construction: VA No. of Stories: 4

Describe Use of Building Single Family House

Under the authority of the 2019 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the 2019 San Francisco Mechanical Code, Section 302.2; the 2019 San Francisco Electrical Code, Section 89.117; and the 2019 San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)

CBC 1011.12 - In buildings with 4 or more stories, one stair shall extend to the roof to provide roof access

Proposed Modification or Alternate

Per SF DBI EG-02, emergency escape and rescue openings shall provide access to the rear yard which exceeds 25 feet in depth

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

Given the existing ground floor conditions, providing a passage to the public way from the rear yard would require removal of a bedroom, relocation of an interior stair, and other changes to comply with CBC 1030

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER

Print Name: David Cumby

Signature: [Signature]

Telephone: 415-505-1536



Proposed Modification or Alternate

Per SF DBI AB-057, provide roof access with a roof hatch

Per SF DBI 1011.12, for buildings without occupied roofs, an alternating tread device shall be permitted to provide roof access

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

The small footprint of the 4th floor leaves limited space for a stair with max 7.75" risers, 10" treads

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER

Print Name: David Cumby

Signature: [Signature]

Telephone: 415-505-1536



PLAN REVIEWER COMMENTS:

RECOMMENDATIONS: Approve Approve with conditions Disapprove

Plan Reviewer: [Signature] 1/30/23

Division Manager: [Signature] 1-30-23

for Director of Bldg. Inspection

for Fire Marshal: Kerry Mann, SFFD FIRE DEPT ACCESS ONLY

CONDITIONS OF APPROVAL or OTHER COMMENTS

PLAN REVIEWER COMMENTS:

RECOMMENDATIONS: Approve Approve with conditions Disapprove

Plan Reviewer: [Signature] 1/30/23

Division Manager: [Signature] 1-30-23

for Director of Bldg. Inspection

for Fire Marshal: Kerry Mann, SFFD

CONDITIONS OF APPROVAL or OTHER COMMENTS

Exhibit A
Appeal
No. 24-007

Cumby
Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: david@cumbyarchitecture.com
Web: www.cumbyarchitecture.com

PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian
163 28th Street
San Francisco, CA 94131
650.224.2539

Residential Addition

Table with 2 columns: ISSUE/DATE, Description. Includes Site Permit Set (2-08-2021), Plan Check 1 (1-20-2022), Plan Check 2 (3-30-2022), Plan Check 3 (10-24-2022), Plan Check 4 (1-10-2023).

DBI STAMP:

Roger Ly, SFFD
AUG 24 2023



APPROVED
Dept. of Building Insp.
San Francisco

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR MARKING
ACCEPTED

Sebastian Bendezu, DBI
JAN 30 2023

APPROVED BY SYLVIA JUJUEZ
SEP 19 2023
FLOORING DEPARTMENT

SCALE:
TITLE:
DIRECTOR
DEPT. OF BUILDING INSPECTION

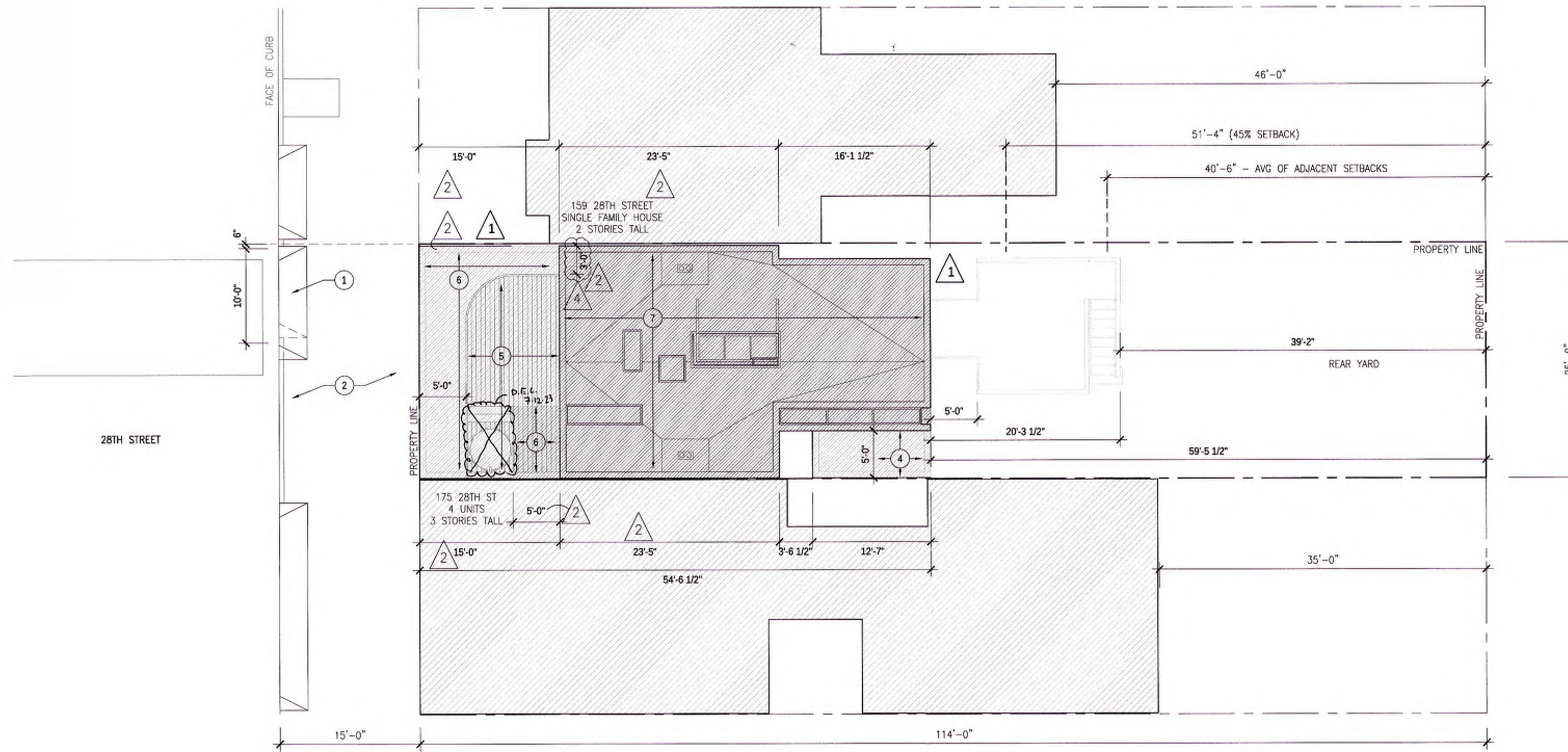
AB-05
FORMS

SHEET:

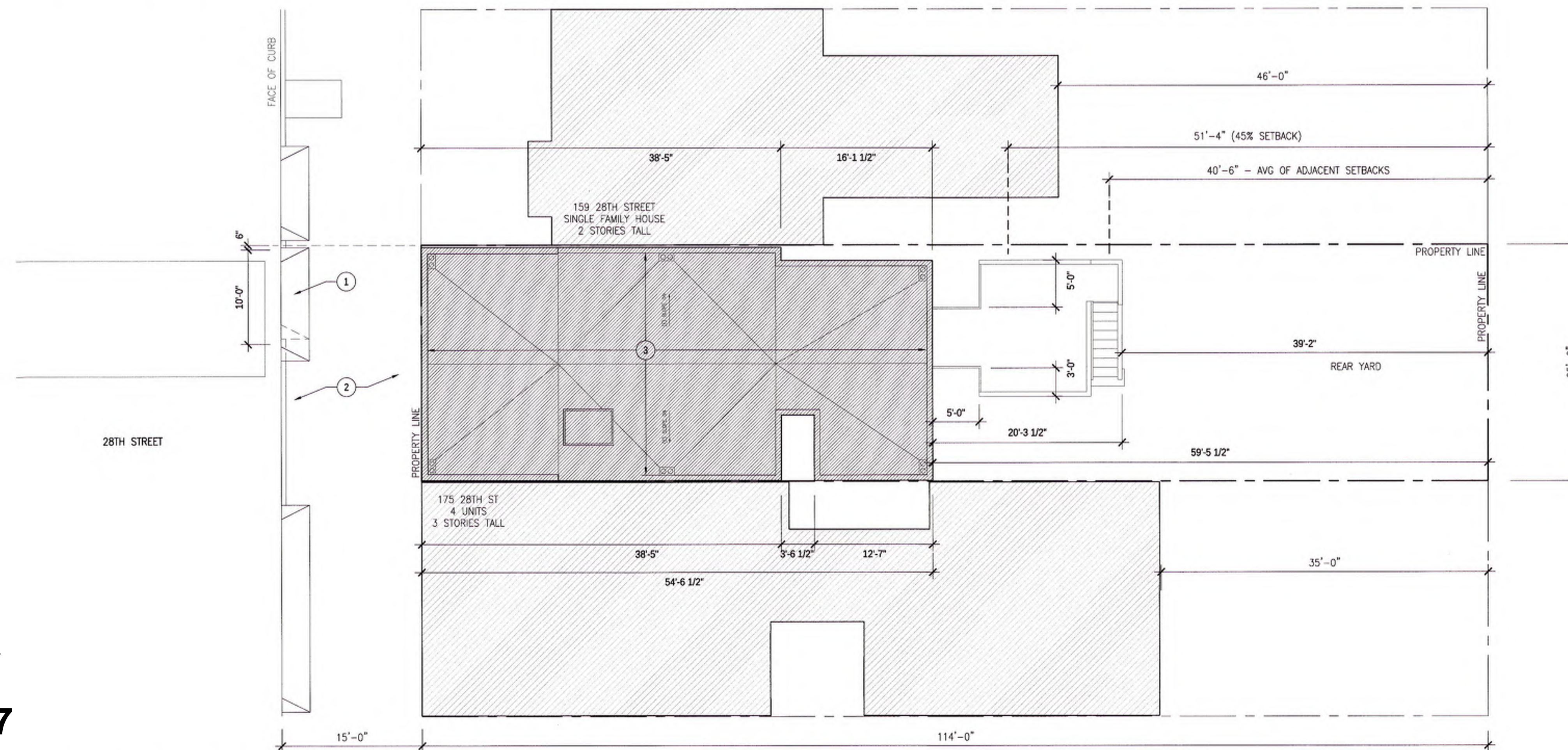
A1.0A

KEYNOTES:

- ① (E) CURB CUT TO REMAIN
- ② (E) SIDEWALK AT 28TH STREET
- ③ (E) 2 STORY TALL SINGLE FAMILY HOUSE
- ④ (E) ROOF OVER EXISTING SECOND FLOOR
- ⑤ (N) ROOF DECK AT FOURTH FLOOR LEVEL
- ⑥ (N) ROOF OVER PROPOSED THIRD FLOOR
- ⑦ (N) ROOF OVER PROPOSED FOURTH FLOOR



2 PROPOSED PLOT PLAN / 1/8"=1'-0"



1 DEMO PLOT PLAN / 1/8"=1'-0"

PROJECT/CLIENT:

Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow
163 28th Street
San Francisco, CA 94131
650.224.2539

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
④ Plan Check 4	1-10-2023

DBI STAMP:

Roger Ly, SFFD
AUG 24 2023

APPROVED BY SYLVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT



APPROVED BY SYLVIA JIMENEZ
SEP 19 2023
PLANNING DEPARTMENT



RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARDS FOR IMAGING ACCEPTED

Sebastian Bendezu, DBI
JAN 30 2023

SCALE: 1/8"=1'-0"

TITLE: DEMO AND PROPOSED PLOT PLANS

DEPT. OF BUILDING INSPECTION

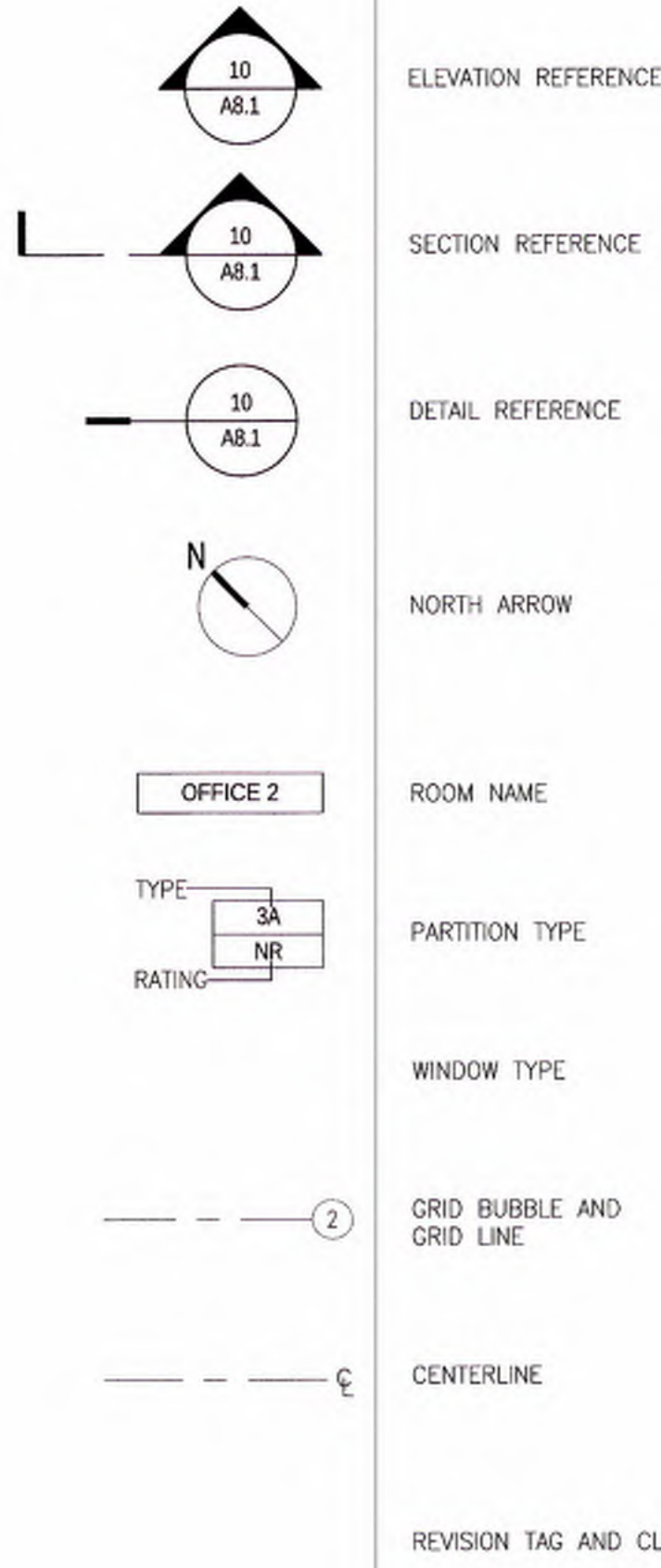
SHEET:

A1.0B



**Exhibit A
Appeal
No. 24-007**

SYMBOLS



ABBREVIATIONS:

Table of abbreviations and their meanings, organized in columns. Includes categories like FINISH, PLUMBING, ELECTRICAL, and GENERAL.

APPLICABLE CODES:

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
ENERGY CODE - TITLE 24 - CALIFORNIA CODE OF REGULATIONS

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE AND REPORT ANY AND ALL DISCREPANCIES AND/OR UNUSUAL CIRCUMSTANCES TO THE ARCHITECT PRIOR TO FINALIZING BIDS AND COMMENCEMENT OF CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND ELECTRICAL...

DEMO NOTES:

- 1. OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.
3. ALL ITEMS TO BE RE-USED SHALL BE CAREFULLY REMOVED FREE OF DAMAGE AND STORED IN ONE AREA.
3. ANY (E) ELECTRICAL TO BE REMOVED SHALL BE TERMINATED PER 2016 CALIFORNIA ELECTRICAL CODE AND ANY DESIGN / BUILD DRAWINGS.

GREEN BUILDING NOTES:

- 1. ANNULAR SPACES AROUND PIPE, ELECTRICAL CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTED BY THE LOCAL ENFORCING AGENCY.
2. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS

Cumby Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: david@cumbyarchitecture.com
Web: www.cumbyarchitecture.com

PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian
163 28th Street
San Francisco, CA 94131

650.224.2539

Residential Addition

ISSUE/DATE:

Table with 2 columns: Issue Name and Date. Includes Site Permit Set (2-08-2021), Plan Check 3 (10-24-2022), and Plan Check 4 (1-10-2023).



Roger Ly, SFFD
AUG 24 2023



APPROVED BY SYLVIA JIMENEZ
SEP 19 2023
PLANNING DEPARTMENT

Sebastian Bendezu, DBI
JAN 30 2023



SHEET:
TITLE:
SCALE:
GENERAL NOTES

GENERAL NOTES

SHEET:

A1.0D

Exhibit A
Appeal
No. 24-007



Cumby Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: david@cumbyarchitecture.com
Web: www.cumbyarchitecture.com

PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian
163 28th Street
San Francisco, CA 94131
650.224.2539

Residential Addition

ISSUE/DATE:

Residential Addition	10-26-2020
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023

APPROVED
Dept. of Building Insp.
- San Francisco -

JAN 12 2024

DBI STAMP:
Patrick D. Jordan
PATRICK D. JORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

Roger Ly, SFFD
AUG 24 2023

APPROVED BY SYLVIA JACQUES
JUL 19 2023
PLANNING DEPARTMENT

LICENSED ARCHITECT
DAVID EDWARD CUMBY
NO. 29182
EXP. 11/30/21
STATE OF CALIFORNIA

SCALE:

TITLE:

SITE PHOTOS

SHEET:

A1.0E

Exhibit A
Appeal
No. 24-007

Sebastian Bendezu, DBI
JAN 30 2023

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR MARKING
ACCEPTED

Cumby Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415-505-1536
Email: david@cumbyarchitecture.com
Web: www.cumbyarchitecture.com

PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian
163 28th Street
San Francisco, CA 94131
650.224.2539

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023

APPROVED
Dept. of Building Insp.
- San Francisco -

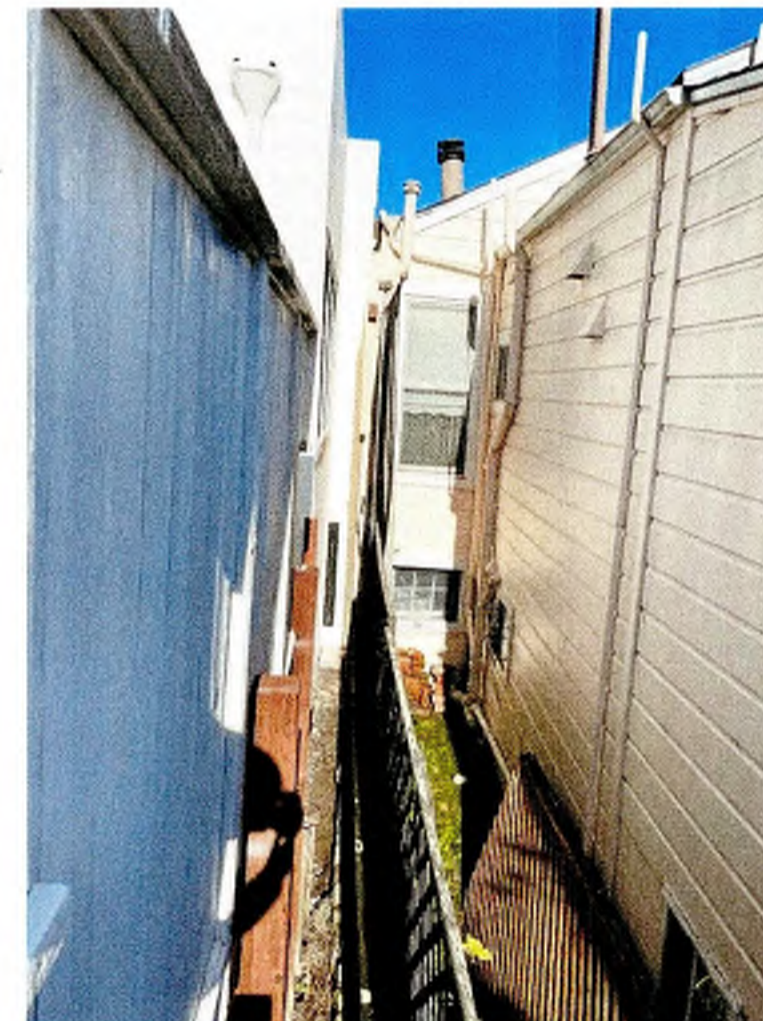
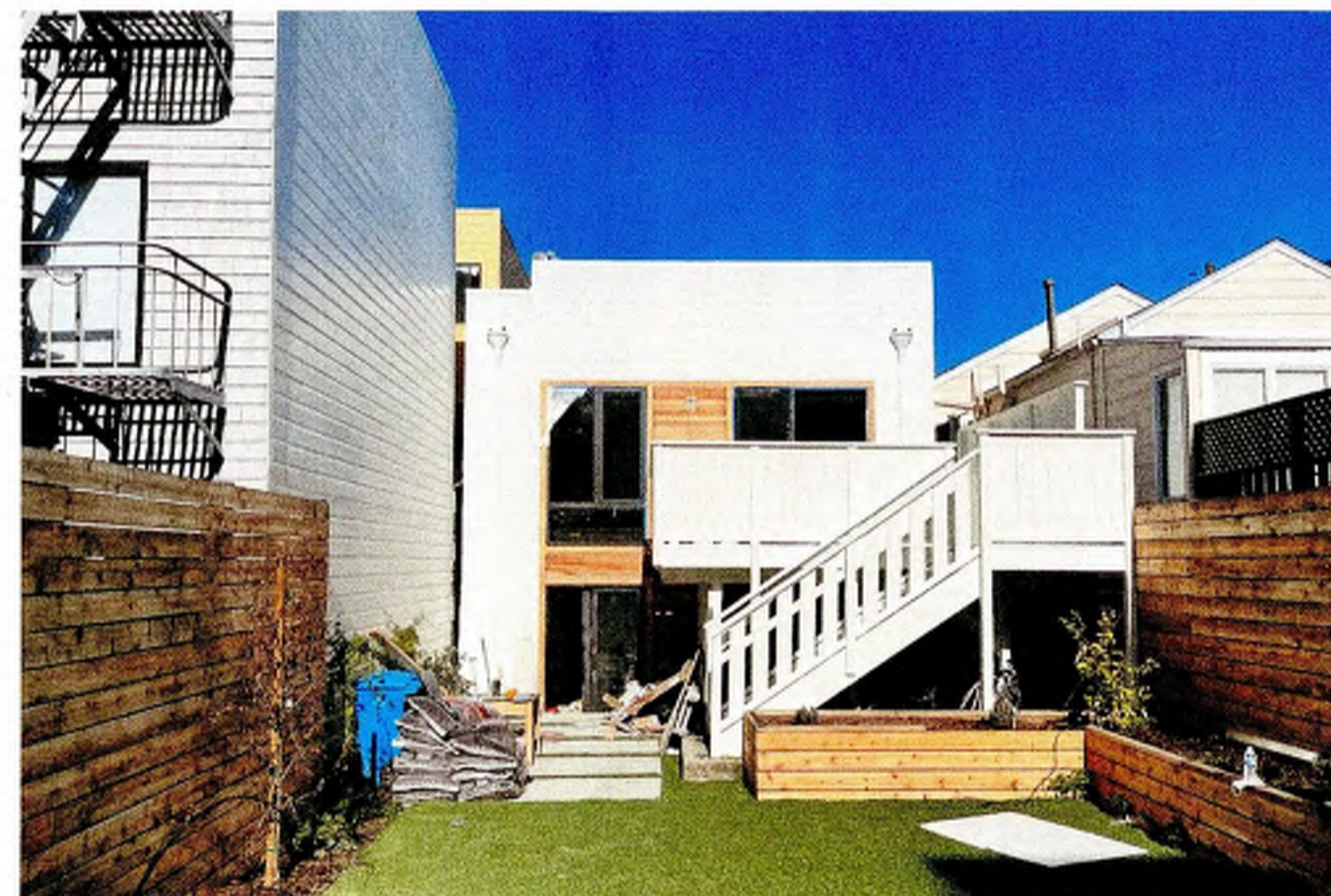
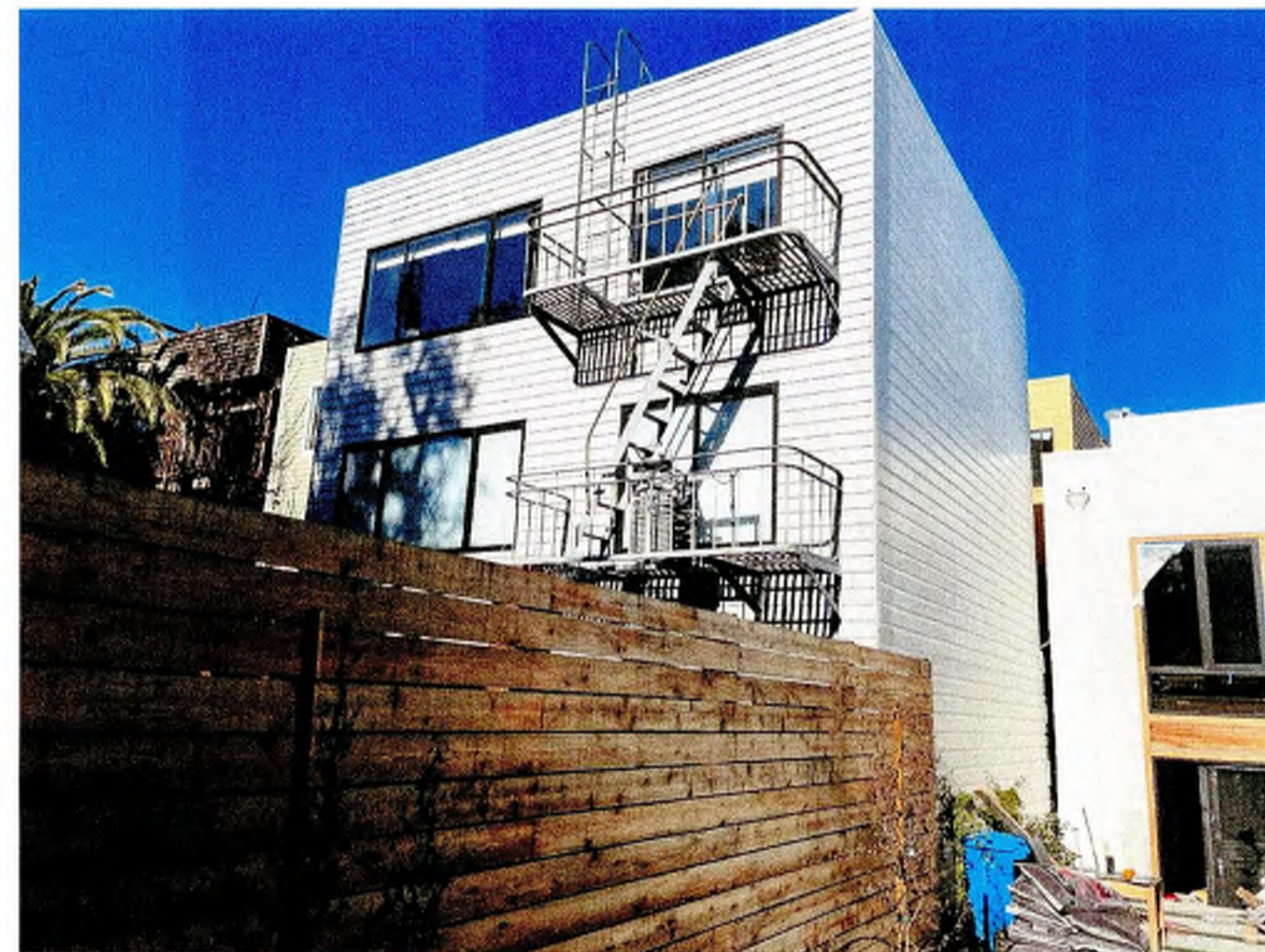
JAN 12 2024

Patricia Spectorian
PATRICIA SPECTORIAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

DBI STAMP:

Roger Ly, SFFD
AUG 24 2023

APPROVED BY SILVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT



**Exhibit A
Appeal
No. 24-007**

Sebastian Bendezu, DBI
JAN 30 2023

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR MARKING
ACCEPTED

SCALE:
TITLE: NTS

SITE PHOTOS

SHEET:

A1.0F

GENERAL NOTES:

- OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.
- ALL ITEMS TO BE RE-USED SHALL BE CAREFULLY REMOVED FREE OF DAMAGE AND STORED IN ONE AREA.
- ANY (E) ELECTRICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA ELECTRICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
- ANY (E) PLUMBING TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA PLUMBING CODE AND ANY DESIGN / BUILD DRAWINGS.
- ANY (E) MECHANICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA MECHANICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
- DEMOLITION IN ENTIRE AREA TO BE COORDINATED WITH FUTURE CONSTRUCTION PHASE
- CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
- EXPPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY FRAMING CONFLICTS.

DRAWING LEGEND:

- NEW WALL; 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED
- (E) 1-HOUR RATED WALL PER UL U305
- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- 101 DENOTES DOOR NUMBER
- 101 DENOTES WINDOW TYPE
- 4A NR WALL TYPE
- 103 STORAGE ROOM LABEL AND NUMBER
- 103 DENOTES ROOM NUMBER

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023
Plan Check 5	8-17-2023

APPROVED
DBI STATE DEPT. OF BUILDING INSPECTION - San Francisco -

JAN 12 2024

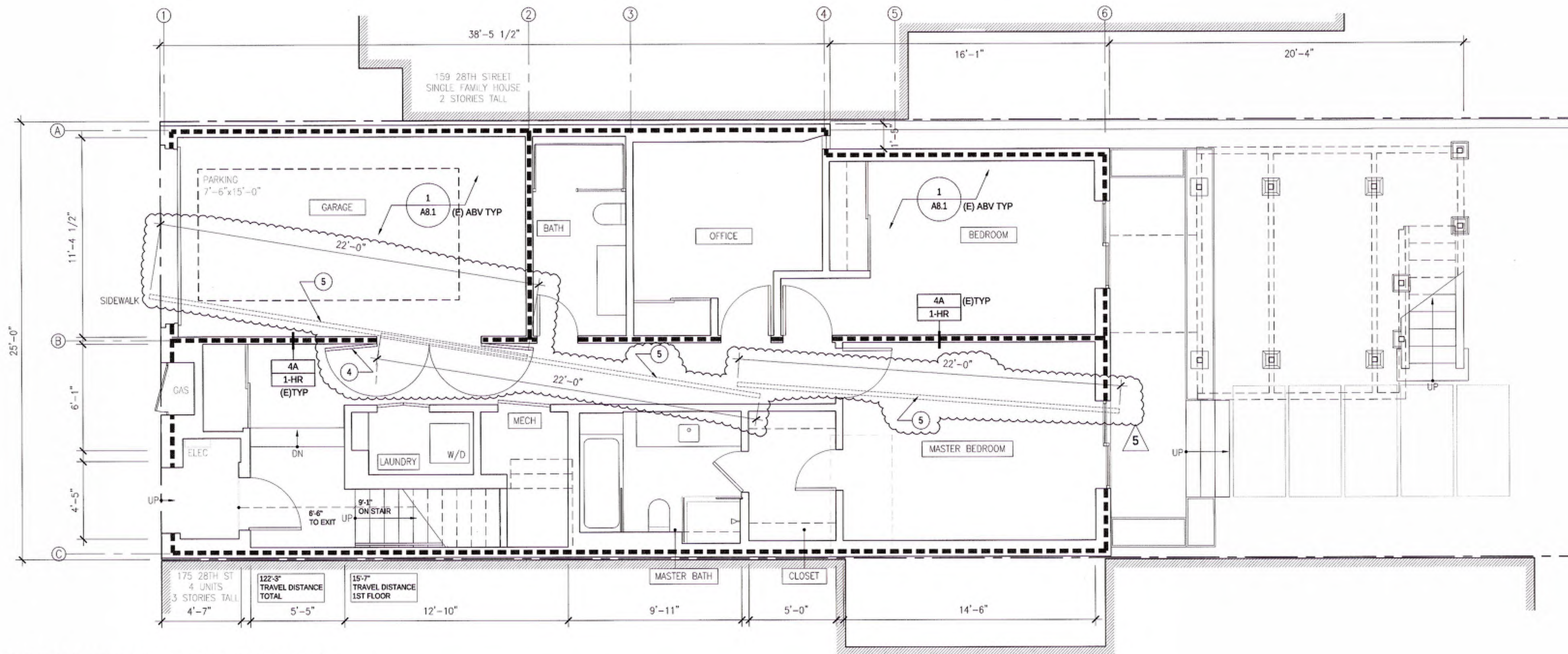
Patrick L. Jordan
PATRICK L. JORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

Roger Ly, SFFD

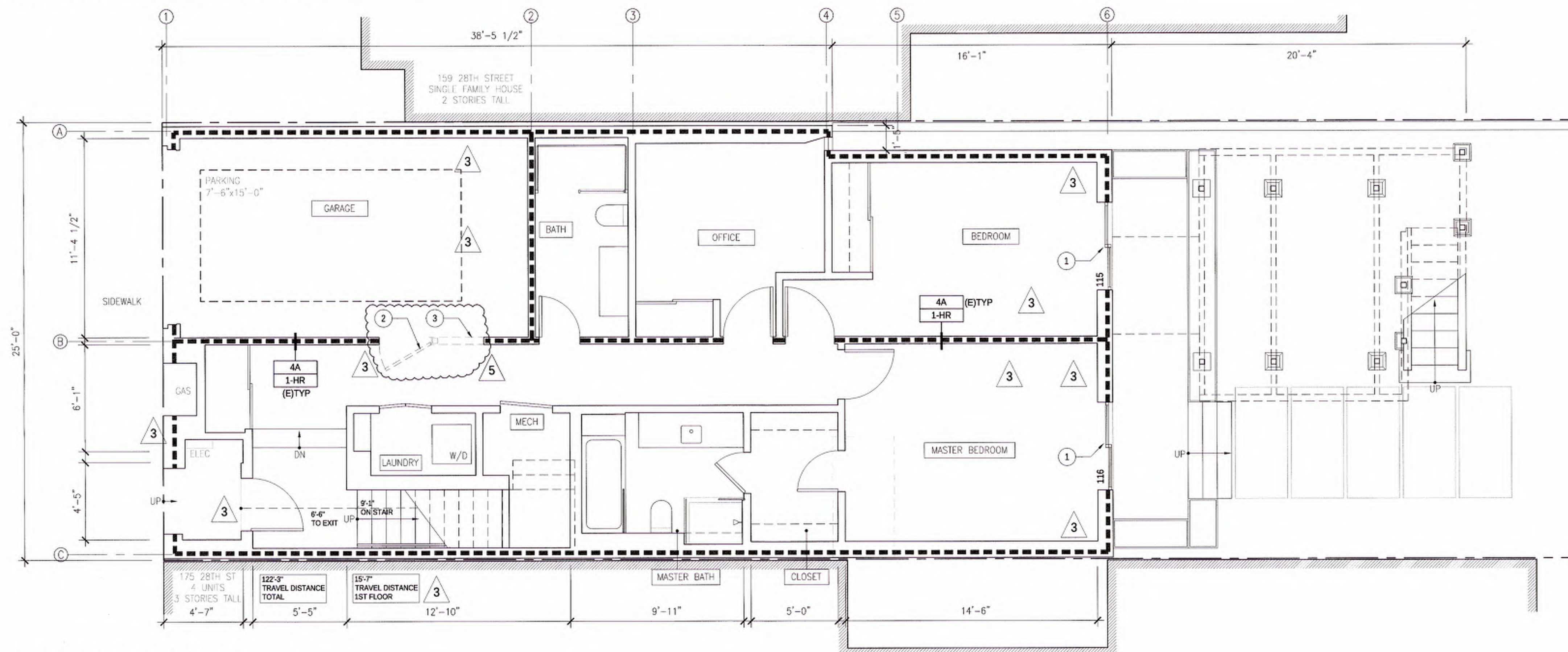
AUG 24 2023

Sebastian Bendezu, DBI

AUG 25 2023



2 PROPOSED FIRST FLOOR PLAN / 1/4"=1'-0"



1 DEMO FIRST FLOOR PLAN / 1/4"=1'-0"

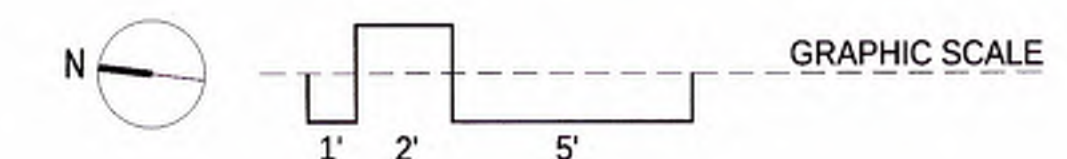
KEYNOTES:

- REPLACE (E) SLIDING DOOR W/ (N) SLIDING DOOR IN (E) OPNG
- (E) DOOR TO BE REMOVED
- EXPAND WIDTH OF (E) OPENING; PROVIDE TEMPORARY BRACING AS REQUIRED
- (N) PAIR OF 36x80 20 MIN RATED DOORS W/CLOSERS
- 22'-0" LADDER W/ ACCESS FROM GARAGE DOOR TO REAR YARD

**Exhibit A
Appeal
No. 24-007**

APPROVED BY SYLVIA JIMENEZ
SEP 19 2023
PLANNING DEPARTMENT

RECEIVED
AUG 24 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED



SCALE: 1/4"=1'-0"
TITLE: DEMO AND PROPOSED FIRST FLOOR PLANS

SHEET:

A1.1

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023



DBI STAMP:

JAN 12 2024



Roger Ly, SFPD
AUG 24 2023

APPROVED BY SYLVIA JUAREZ
JUL 19 2023
PLANNING DEPARTMENT

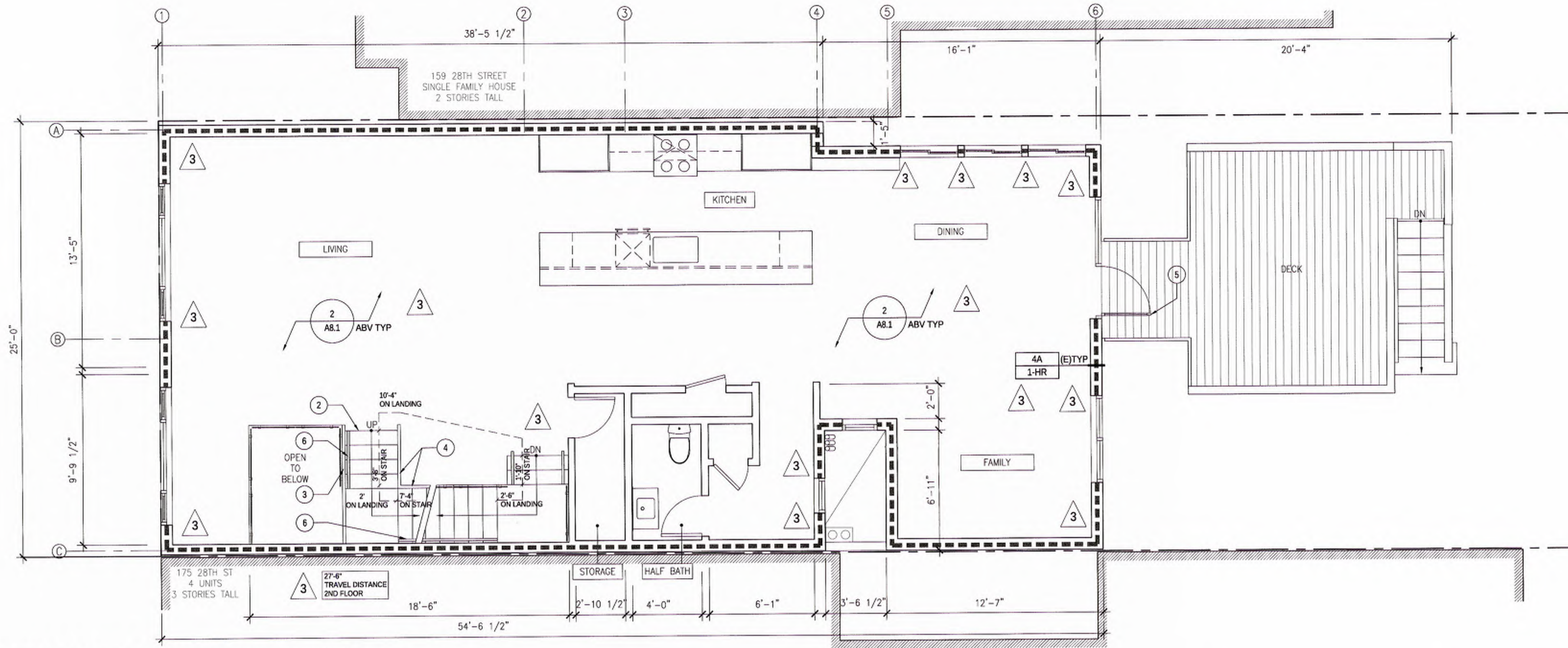


GENERAL NOTES:

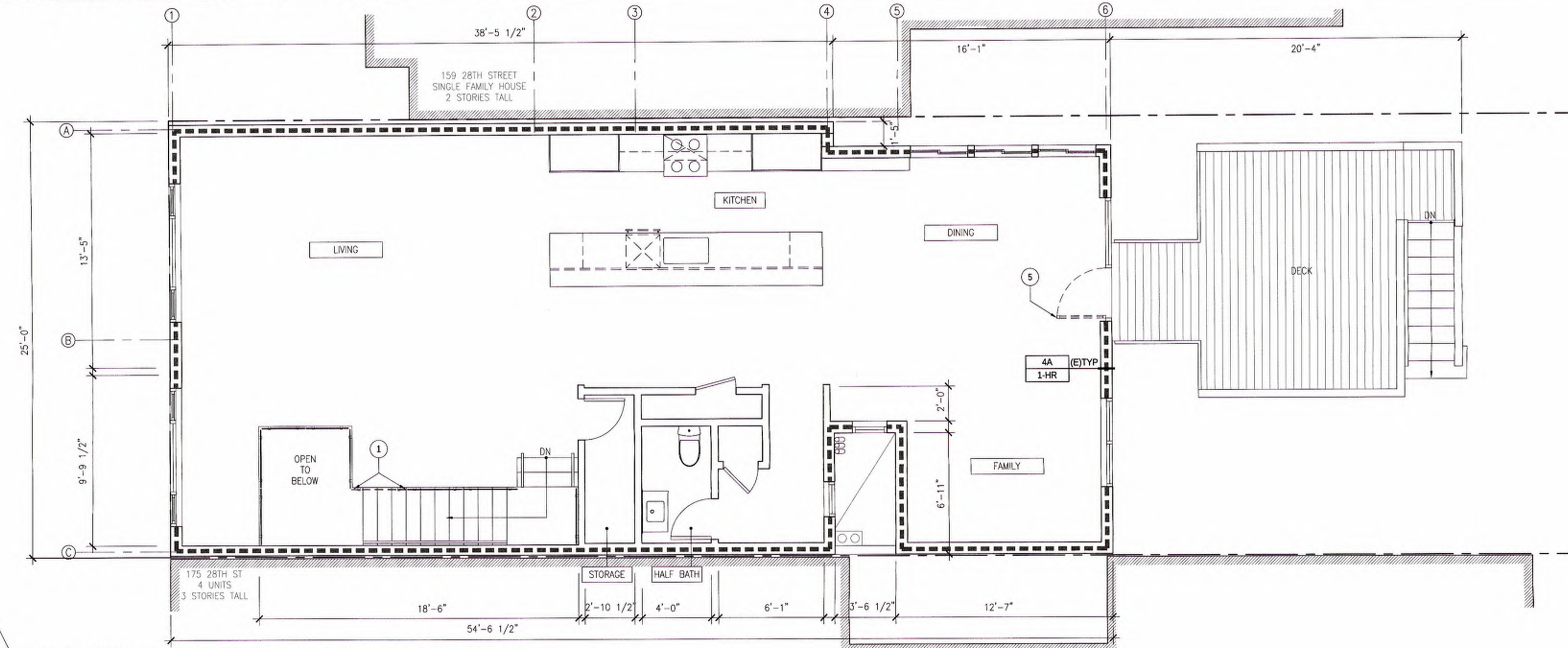
- OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.
- ALL ITEMS TO BE RE-USED SHALL BE CAREFULLY REMOVED FREE OF DAMAGE AND STORED IN ONE AREA.
- ANY (E) ELECTRICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA ELECTRICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
- ANY (E) PLUMBING TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA PLUMBING CODE AND ANY DESIGN / BUILD DRAWINGS.
- ANY (E) MECHANICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA MECHANICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
- DEMOLITION IN ENTIRE AREA TO BE COORDINATED WITH FUTURE CONSTRUCTION PHASE
- CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
- EXPLOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY FRAMING CONFLICTS.

DRAWING LEGEND:

- NEW WALL: 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED
- (E) 1-HOUR RATED WALL PER UL U305
- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- 101 DENOTES DOOR NUMBER
- ◊ DENOTES WINDOW TYPE
- 4A NR WALL TYPE
- 4A (E)TYP WALL TYPE
- STORAGE ROOM LABEL AND NUMBER
- 103 ROOM LABEL AND NUMBER



2 PROPOSED SECOND FLOOR PLAN / 1/4"=1'-0"



1 EXISTING AND DEMO SECOND FLOOR PLAN / 1/4"=1'-0"

KEYNOTES:

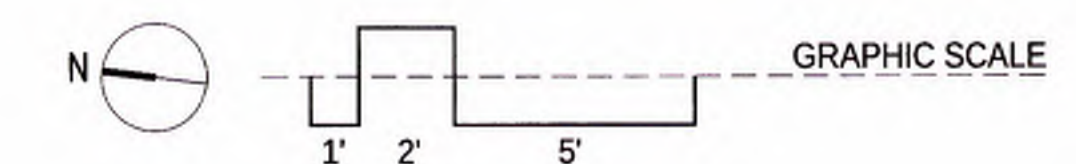
- (E) SEGMENT OF TEMPERED GLASS GUARDRAIL TO BE REMOVED
- (N) INTERIOR STAIR W/ 10" TREADS, MAX 7.75" RISERS
- (N) GUARDRAIL, TOP OF RAIL 42" ABV FIN FLR, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP
- (N) GUARDRAIL WITH GRASPABLE TOP RAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP
- REMOVE (E) DOOR AND REINSTALL WITH SWING TO EXTERIOR
- (N) 1-1/2" O.D. ALUM. HANDRAIL, 1-1/2" CLR BTWN WALL AND RAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING, COLOR AND FINISH TO MATCH (E) HANDRAIL AT (E) INTERIOR STAIR

**Exhibit A
Appeal
No. 24-007**

Sebastian Bendezu, DBI
JAN 30 2023



APPROVED BY SYLVIA JUAREZ
SEP 19 2023
PLANNING DEPARTMENT



SCALE:

1/4"=1'-0"

TITLE:

**DEMO & PROPOSED
SECOND FLOOR
PLAN**

SHEET:

A1.2

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023



DBI STAMP: JAN 12 2024

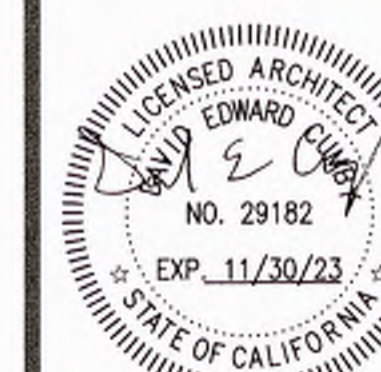
Patrick O'Riordan
DIRECTOR
DEPT. OF BUILDING INSPECTION

Roger Ly, SFFD
AUG 24 2023

APPROVED BY SYLVIA JIMENEZ

JUL 19 2023

PLANNING DEPARTMENT

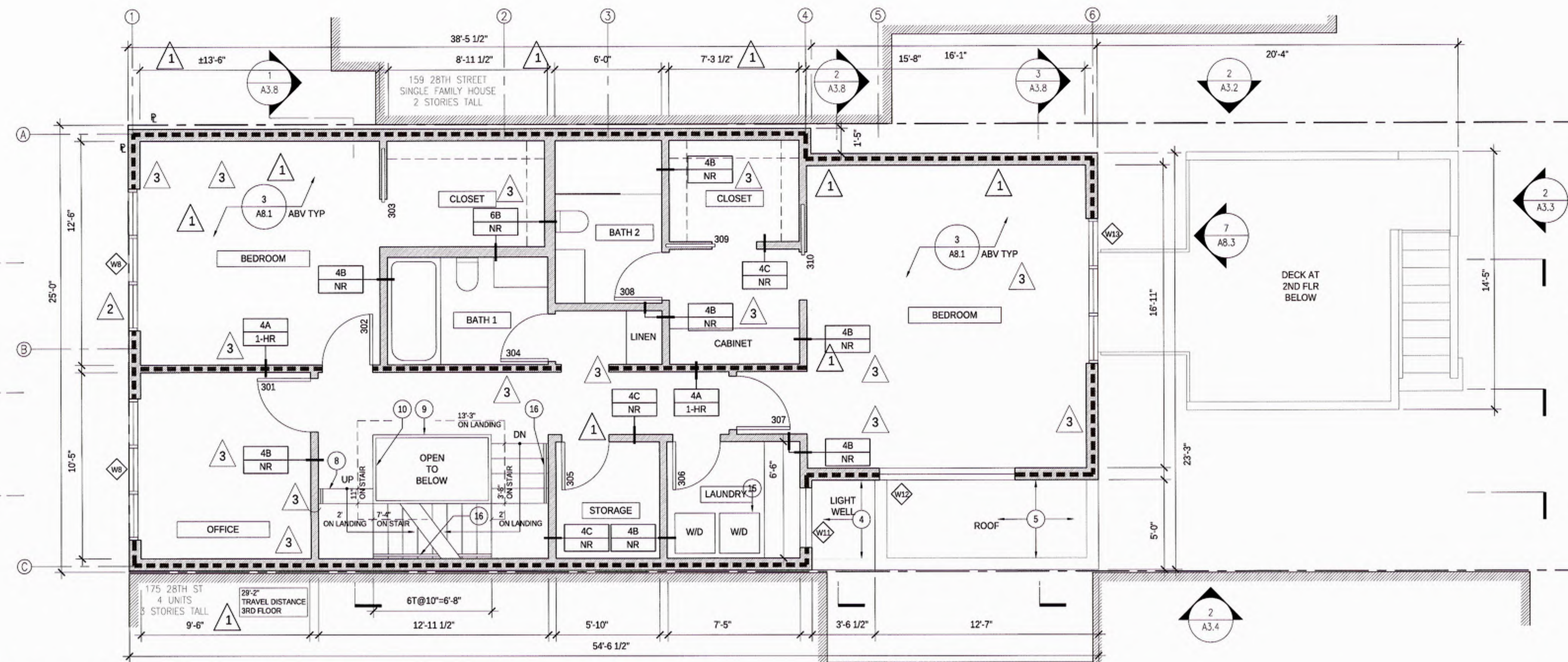


GENERAL NOTES:

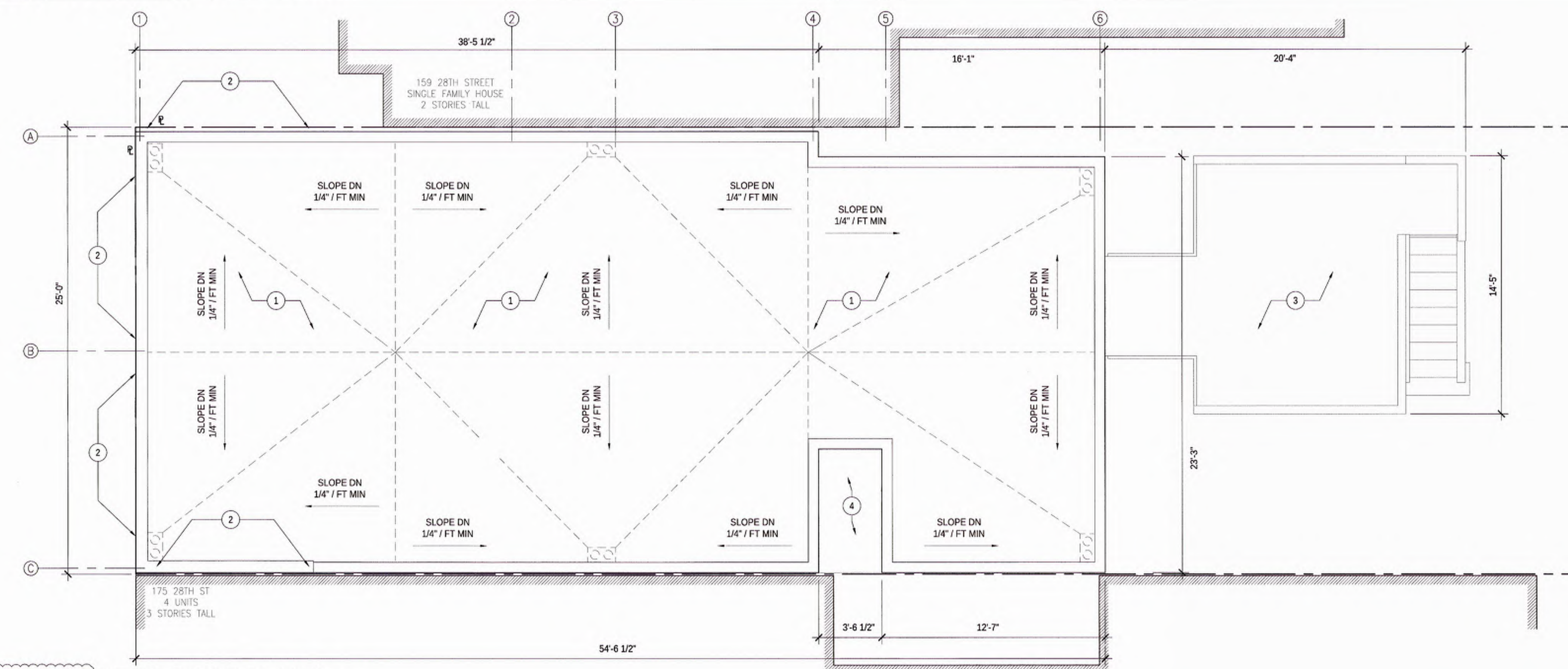
- OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.
- ALL ITEMS TO BE RE-USED SHALL BE CAREFULLY REMOVED FREE OF DAMAGE AND STORED IN ONE AREA.
- ANY (E) ELECTRICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA ELECTRICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
- ANY (E) PLUMBING TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA PLUMBING CODE AND ANY DESIGN / BUILD DRAWINGS.
- ANY (E) MECHANICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA MECHANICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
- DEMOLITION IN ENTIRE AREA TO BE COORDINATED WITH FUTURE CONSTRUCTION PHASE
- CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
- EXPLOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY FRAMING CONFLICTS.

DRAWING LEGEND:

- NEW WALL: 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED
- NEW 1-HOUR RATED WALL PER UL U305
- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- 101 DENOTES DOOR NUMBER
- ◇ DENOTES WINDOW TYPE
- 4A NR WALL TYPE
- 4A NR DENOTES FIRE RATING
- STORAGE 103 DENOTES ROOM NAME
- 103 DENOTES ROOM LABEL AND NUMBER
- 103 DENOTES ROOM NUMBER



2 PROPOSED THIRD FLOOR PLAN / 1/4"=1'-0"



1 EXISTING AND DEMO ROOF PLAN / 1/4"=1'-0"

KEYNOTES:

- | | | | |
|--|---|---|---|
| <p>1 (E) MULTIPLE PLY BUILT UP ROOFING AND ROOF DRAINS TO BE REMOVED; DRAIN LINES TO REMAIN. (E) FRAMING TO REMAIN. (E) PLYWOOD DECK TO BE REPLACED</p> <p>2 (E) PARAPET WALL TO BE REMOVED</p> <p>3 (E) DECK AT REAR YARD BELOW; NO CHANGE UNDER THIS PERMIT</p> <p>4 (E) ROOF OVER FIRST FLOOR LEVEL</p> <p>5 (E) ROOF OVER SECOND FLOOR LEVEL</p> <p>6 NOT USED</p> | <p>7 NOT USED</p> <p>8 (N) INTERIOR STAIR W/ 10" TREADS, MAX 7.75" RISERS</p> <p>9 (N) GUARDRAIL, TOP OF RAIL 42" ABV FIN FLR, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP</p> <p>10 (N) GUARDRAIL WITH GRASPABLE TOP RAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP</p> <p>11 (N) WALL MOUNTED VANITY W/ WALL MOUNT FAUCET AND CONTROLS</p> | <p>12 (N) BATH/UB W/ SHOWER HEAD AND FIXED TEMPERED GLASS PANEL</p> <p>13 (N) WALL MOUNT TOILET W/ WASHLETTE</p> <p>14 (N) CURBLESS SHOWER W/ LINEAR DRAIN, FULL HEIGHT TILE/ QUARTZ SLAB WALL FINISH AT SHOWER ENCLOSURE, FIXED TEMPERED GLASS PANEL</p> <p>15 (N) WASHER AND DRYER; DRYER VENT TO EXTERIOR MIN. 4'-0" CLR FROM PROPERTY LINES</p> | <p>16 (N) 1-1/2" O.D. ALUM. HANDRAIL, 1-1/2" CLR BTWN WALL AND RAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING, COLOR AND FINISH TO MATCH (E) HANDRAIL AT (E) INTERIOR STAIR</p> |
|--|---|---|---|

Exhibit A
Appeal
No. 24-007

Sebastian Bendezu, DBI
JAN 30 2023



SCALE:

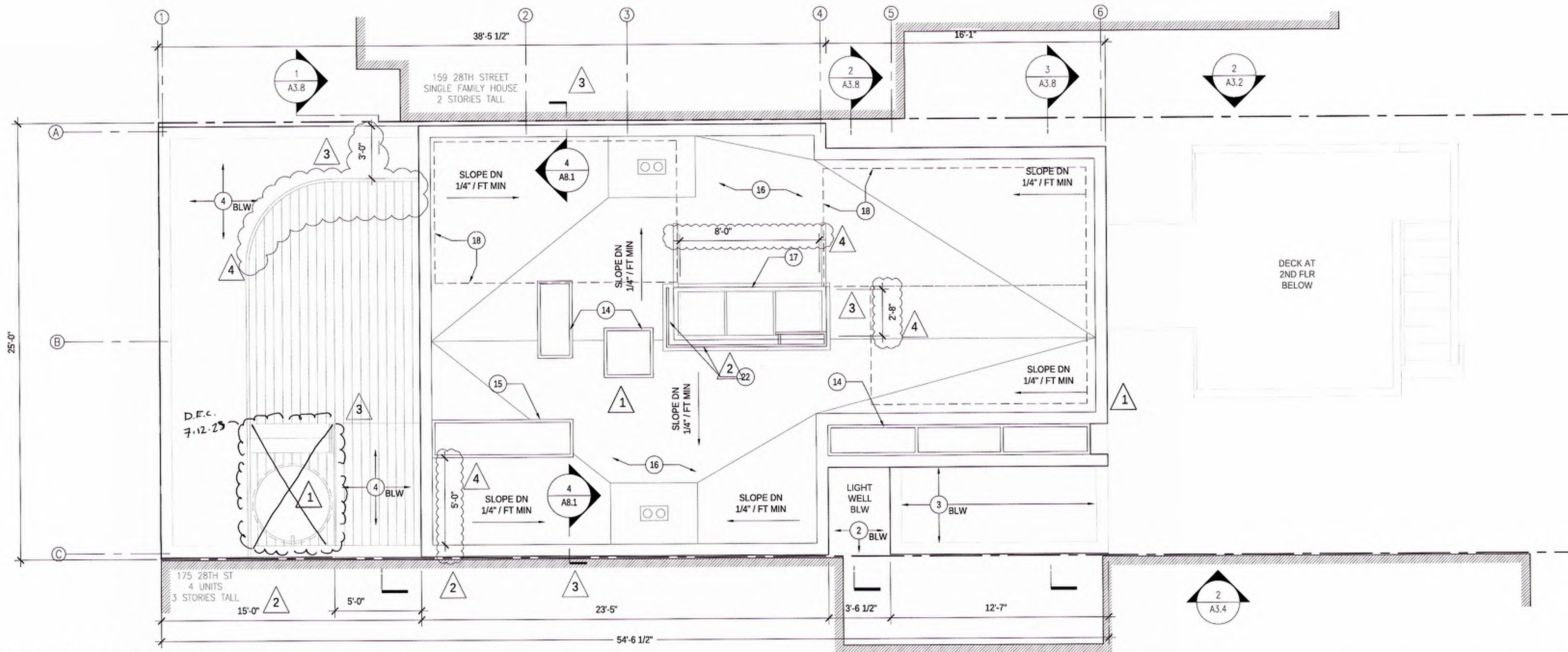
1/4"=1'-0"

TITLE:

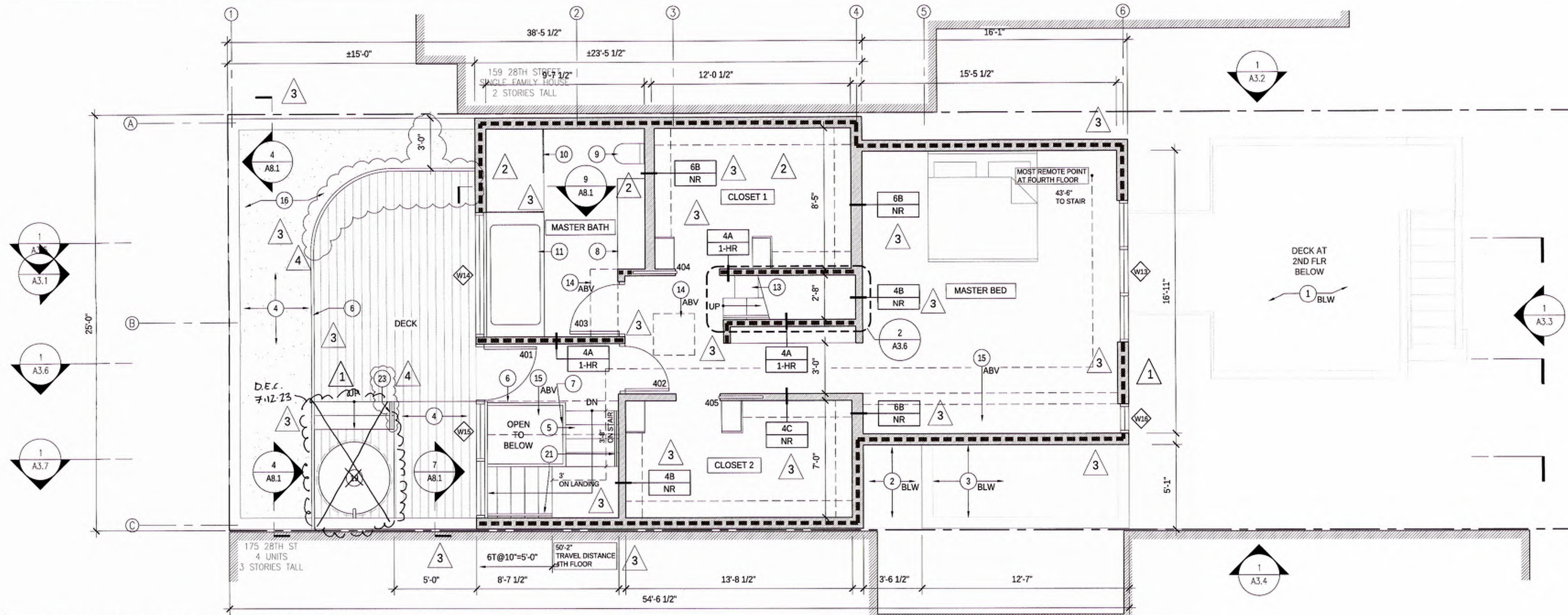
ROOF DEMO & 3RD FLOOR PROPOSED PLANS

SHEET:

A1.3



2 ROOF PROPOSED PLAN / 1/4"=1'-0"



1 4TH FLOOR PROPOSED PLAN / 1/4"=1'-0"

KEYNOTES:

- 1 (E) DECK AT REAR YARD BELOW; NO CHANGE UNDER THIS PERMIT
- 2 (E) ROOF OVER FIRST FLOOR LEVEL
- 3 (E) ROOF OVER SECOND FLOOR LEVEL
- 4 (N) ROOF OVER FOURTH FLOOR LEVEL
- 5 (N) INTERIOR STAIR W/ 10" TREADS, MAX 7.75" RISERS
- 6 (N) GUARDRAIL, TOP OF RAIL 42" ABV FIN FLR, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP
- 7 (N) GUARDRAIL WITH GRASPABLE TOP RAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING, LESS THAN 4" CLR BTWN GUARDRAIL MEMBERS, TYP
- 8 (N) WALL MOUNTED VANITY W/ WALL MOUNT FAUCET AND CONTROLS
- 9 (N) WALL MOUNT TOILET W/ WASHLETTE
- 10 (N) CURBLESS SHOWER W/ LINEAR DRAIN, FULL HEIGHT TILE/ QUARTZ SLAB WALL FINISH AT SHOWER ENCLOSURE, FIXED TEMPERED GLASS PANEL
- 11 (N) BATHTUB
- 12 (N) BUILT IN CASEWORK
- 13 (N) ALTERNATING TREAD DEVICE ROOF ACCESS
- 14 (N) SKYLIGHT
- 15 (N) SKYLIGHT OVER STAIR
- 16 (N) MULTIPLE PLY BUILT UP ROOFING AND ROOF DRAINS
- 17 (N) ROOF ACCESS HATCH, ±30" x 42"
- 18 (N) SOLAR PANEL INSTALLATION TBD
- 19 (N) SOAKING TUB D.F.C. 7.12.23
- 20 (N) NOT USED
- 21 (N) 1-1/2" O.D. ALUM. HANDRAIL, 1-1/2" CLR BTWN WALL AND RAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING, COLOR AND FINISH TO MATCH (E) HANDRAIL AT (E) INTERIOR STAIR
- 22 (N) GALV STL HANDRAIL AT ROOF ACCESS OPENING, TOP OF RAIL MAX 36" ABV ROOF SURFACE
- 23 (N) GALV STL HANDRAIL, TOP OF RAIL 36" ABV STAIR TREAD NOSING

GENERAL NOTES:

1. OWNER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXISTING FURNISHINGS.
2. ALL ITEMS TO BE RE-USED SHALL BE CAREFULLY REMOVED FREE OF DAMAGE AND STORED IN ONE AREA.
3. ANY (E) ELECTRICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA ELECTRICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
4. ANY (E) PLUMBING TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA PLUMBING CODE AND ANY DESIGN / BUILD DRAWINGS.
5. ANY (E) MECHANICAL TO BE REMOVED SHALL BE TERMINATED PER 2019 CALIFORNIA MECHANICAL CODE AND ANY DESIGN / BUILD DRAWINGS.
6. DEMOLITION IN ENTIRE AREA TO BE COORDINATED WITH FUTURE CONSTRUCTION PHASE
7. CUTTING WORK SHALL BE DONE WITH MINIMUM DAMAGE TO SURROUNDING SURFACES TO BE RETAINED.
8. EXPOSE FRAMING PRIOR TO ANY DEMOLITION. DO NOT ENDANGER (E) STRUCTURAL SYSTEMS. NOTIFY ARCHITECT AND STRUCTURAL ENGINEER OF ANY FRAMING CONFLICTS.

DRAWING LEGEND:

- NEW WALL; 2x4 WOOD STUD FRAMING @ 16" O.C., 5/8" GYPSUM BOARD, EACH SIDE, PAINTED
- NEW 1-HOUR RATED WALL PER UL U305
- (E) DENOTES EXISTING FIXTURE TO REMAIN
- (X) DENOTES EXISTING FIXTURE TO BE REMOVED
- 101 DENOTES DOOR NUMBER
- DENOTES WINDOW TYPE
- WALL TYPE
- DENOTES FIRE RATING
- DENOTES ROOM NAME
- STORAGE
- ROOM LABEL AND NUMBER
- DENOTES ROOM NUMBER

Cumby Architecture

2325 Third Street, Suite 401
San Francisco, CA 94107
Tel 415.505.1536
Email david@cumbyarchitecture.com
Web www.cumbyarchitecture.com

PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow
163 28th Street
San Francisco, CA 94131
650.224.2539

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023



DBI STAMP: JAN 12 2024
APPROVED BY SYLVIA JIMENEZ
DEPT. OF BUILDING INSPECTION
Roger Ly, SFFD
AUG 24 2023

APPROVED BY SYLVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT



SCALE: 1/4"=1'-0"
TITLE: 4TH FLOOR AND ROOF PROPOSED PLANS
SHEET:

Exhibit A
Appeal
No. 24-007

Sebastian Bendezu, DBI
JAN 30 2023

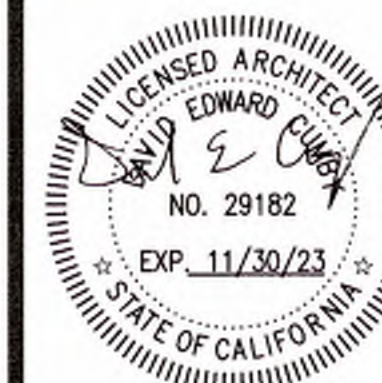


A1.4

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023

Roger Ly, SFFD
AUG 24 2023

APPROVED BY SYLVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT



APPROVED
Dept. of Building Insp.
San Francisco

JAN 12 2024

SCALE: 1/4"=1'-0"
TITLE: PATRICK J. RORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

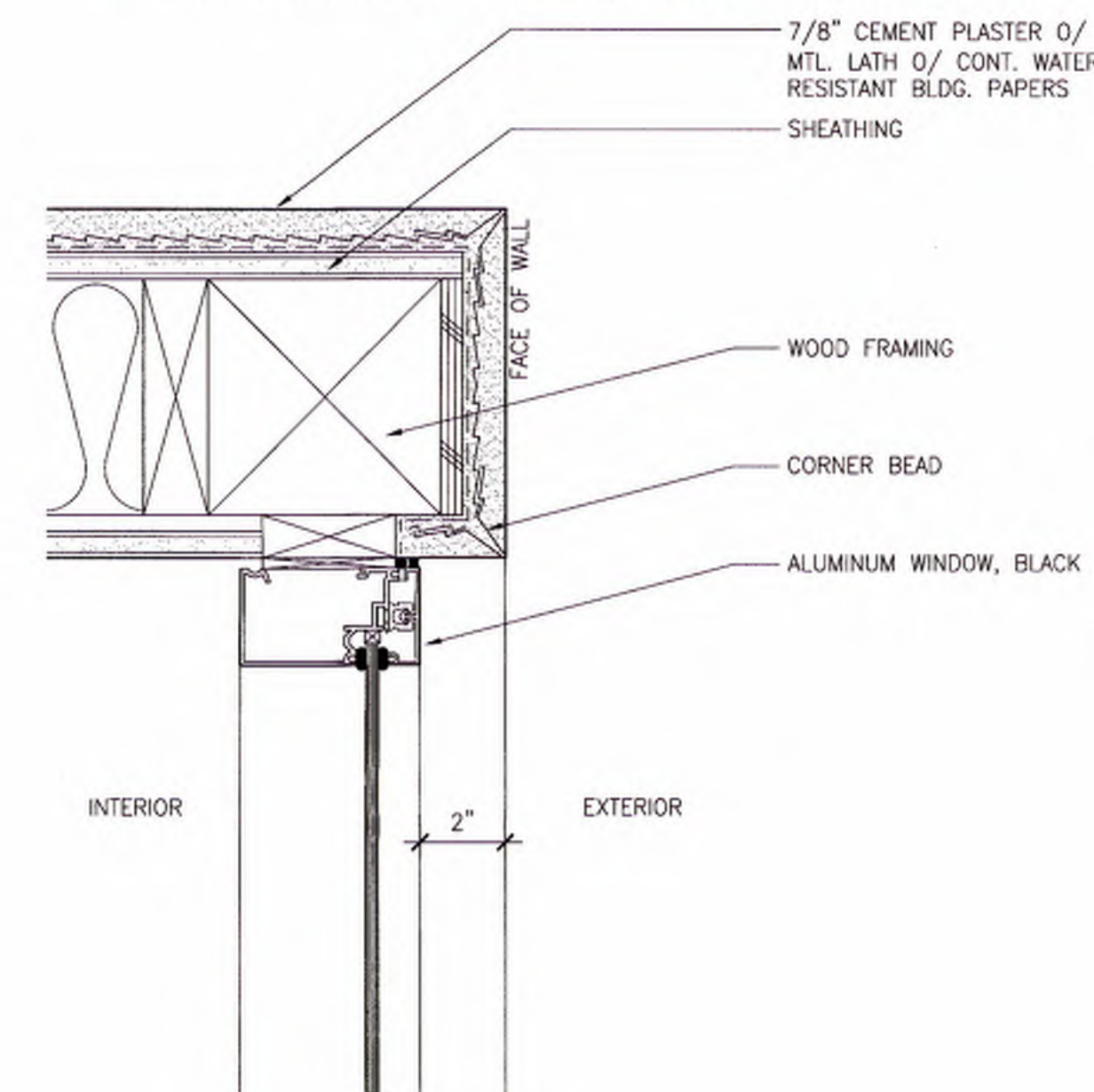
EXISTING AND PROPOSED NORTH ELEVATIONS

SHEET:

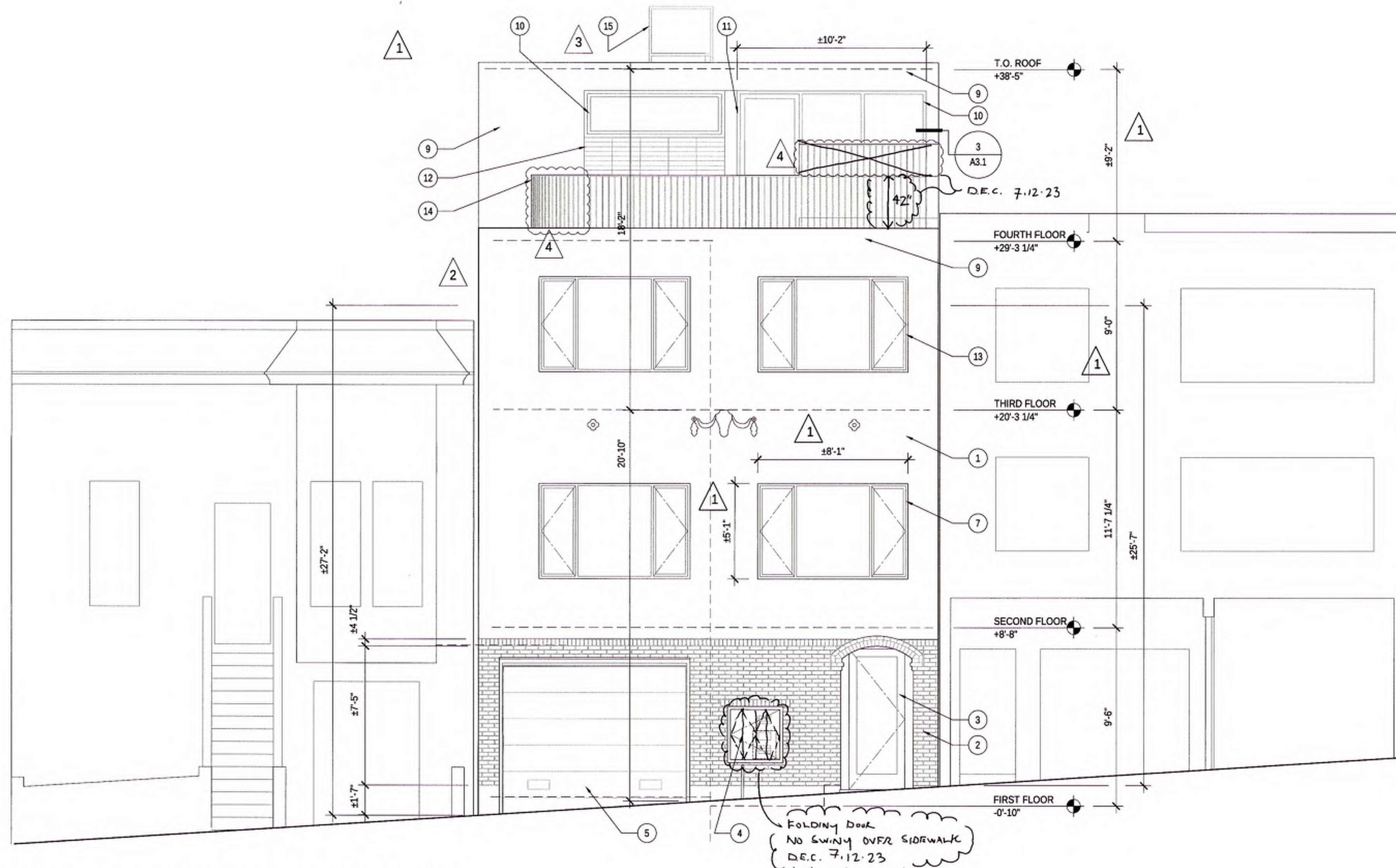
A3.1

KEYNOTES:

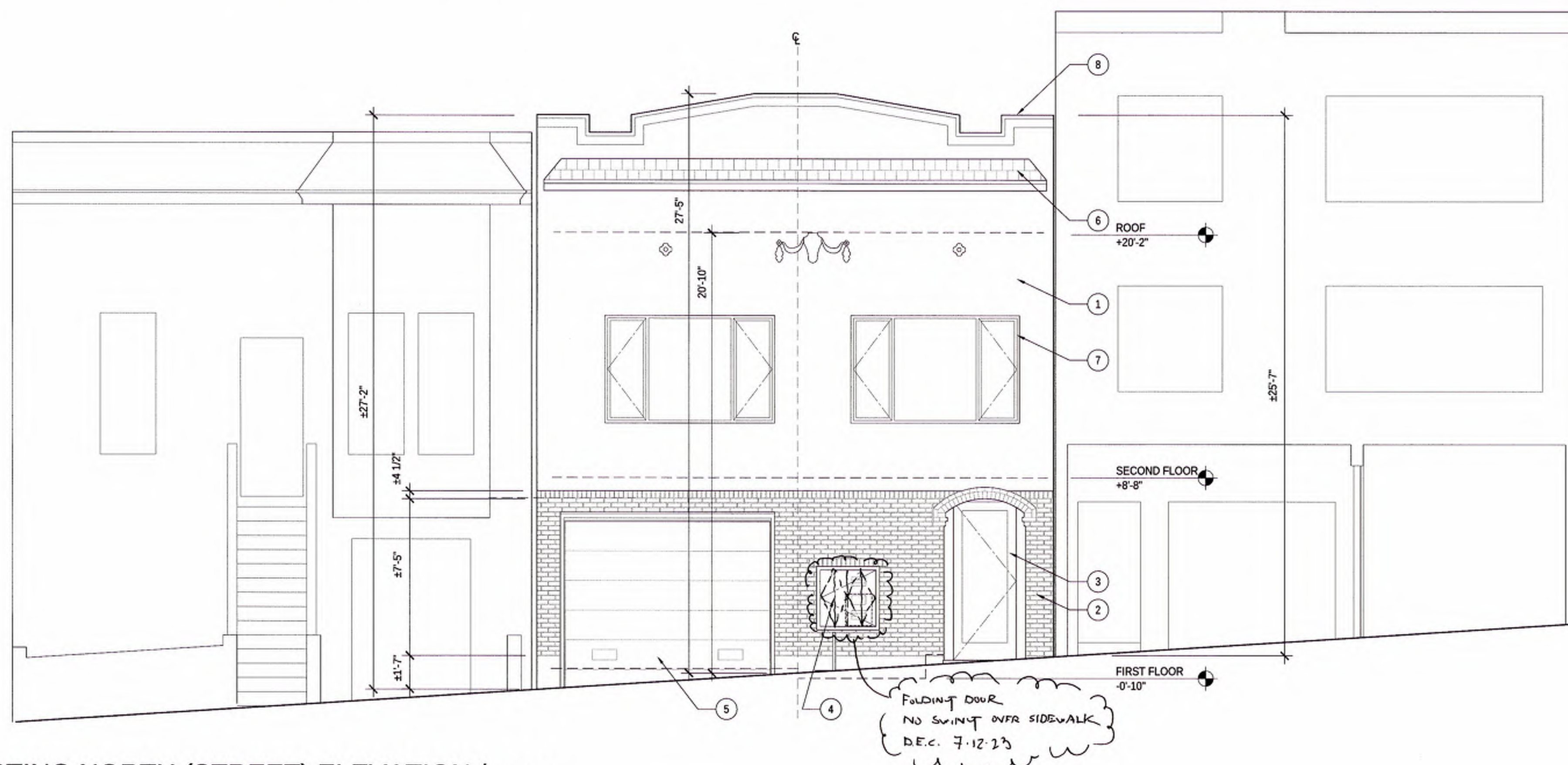
- 1 (E) STUCCO TO REMAIN
- 2 (E) BRICK TO REMAIN
- 3 (E) RECESSED ENTRY TO REMAIN
- 4 (E) UTILITY METER ACCESS TO REMAIN
- 5 (E) GARAGE DOOR TO REMAIN
- 6 (E) TILE ROOF TO BE REMOVED
- 7 (E) ALUMINUM CLAD WOOD FRAME WINDOW TO REMAIN
- 8 (E) PARAPET AT STREET FACADE TO BE REMOVED
- 9 (N) STUCCO, SMOOTH TROWEL FINISH
- 10 (N) ALUMINUM WINDOW, BLACK
- 11 (N) ALUMINUM DOOR, BLACK
- 12 (N) CERAMIC TILE
- 13 (N) ALUMINUM CLAD WOOD FRAME WINDOW TO REMAIN
- 14 (N) POWDER COATED GALV STL GUARDRAIL, MATTE BLACK, TOP OF RAIL 42" ABV DECK FIN FLR, LESS THAN 4" SPACING BTWN GUARDRAIL MEMBERS
- 15 (N) POWDER COATED GALV STL HANDRAIL, MATTE BLACK, AT ROOF ACCESS HATCH OPENING; MAX 36" ABV ROOF SURFACE



3 WINDOW JAMB DETAIL
3"=1'-0"



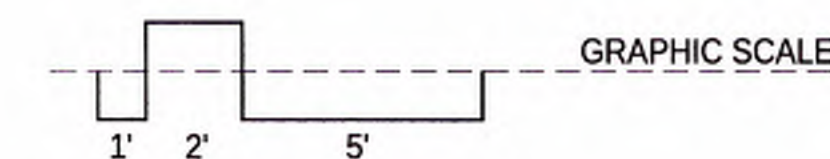
2 PROPOSED NORTH (STREET) ELEVATION / 1/4"=1'-0"



1 EXISTING NORTH (STREET) ELEVATION / 1/4"=1'-0"

Sebastian Bendezu, DBI
JAN 30 2023

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR IMAGING ACCEPTED.



Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023

DBI STAMP:

Roger Ly, SFFD
AUG 24 2023

APPROVED BY SYLVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT



APPROVED
Dept. of Building Insp.
- San Francisco -
JAN 12 2024

SCALE:
TITLE: *Patricia O'Riordan*
DIRECTOR
DEPT. OF BUILDING INSPECTION

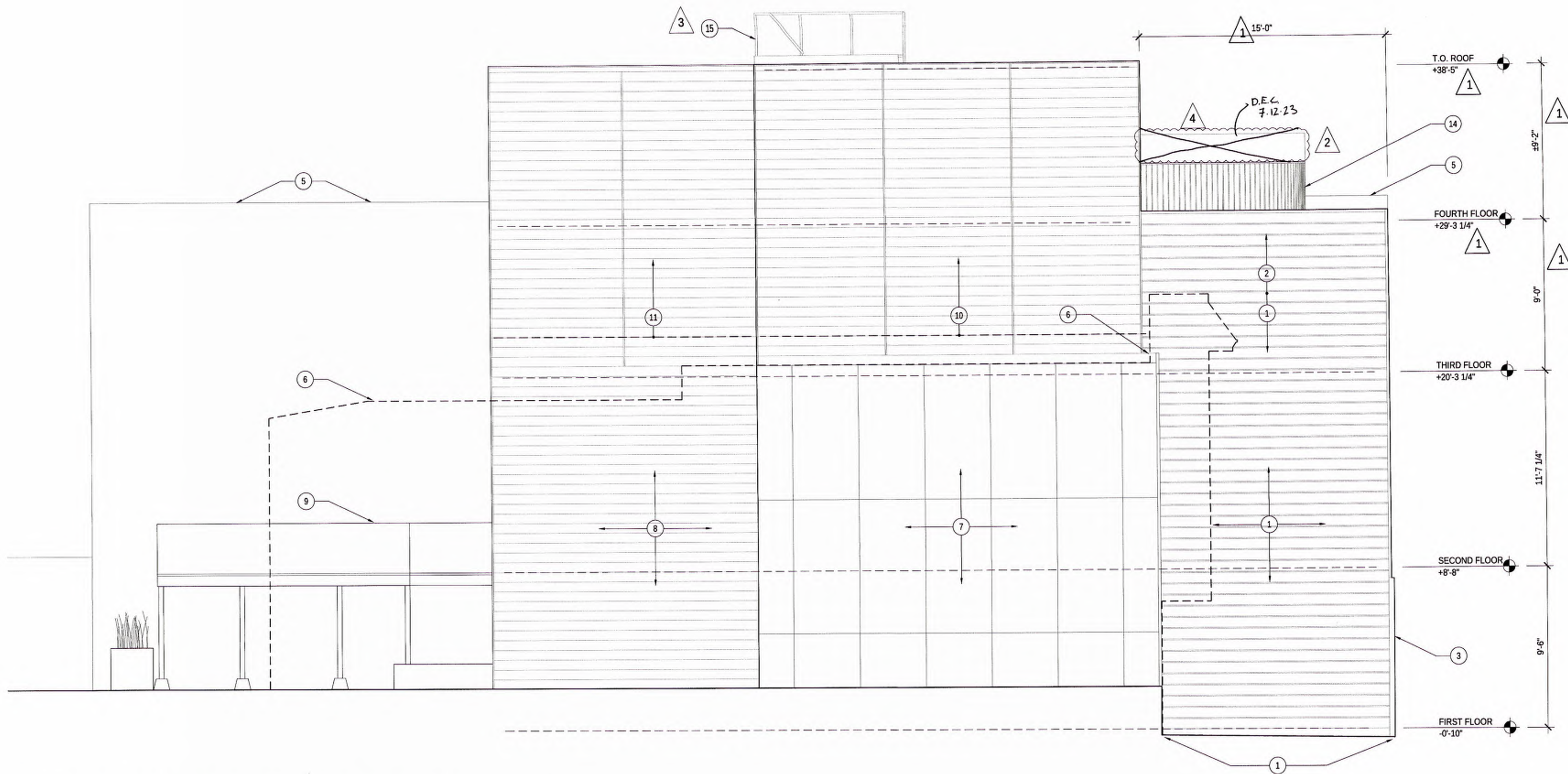
EXISTING AND PROPOSED EAST ELEVATIONS

SHEET:

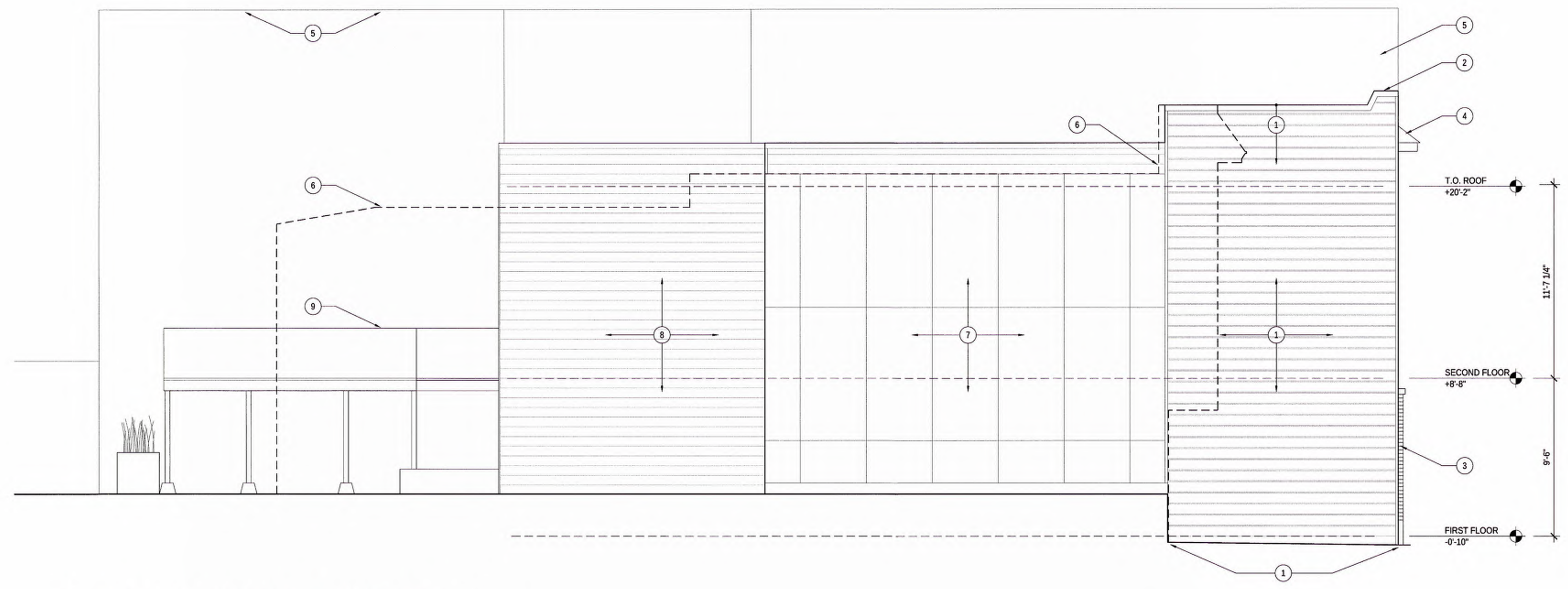
A3.2

KEYNOTES:

- 1 (E) WOOD SIDING TO REMAIN
- 2 (N) WOOD SIDING TO MATCH (E) SIDING, PAINTED
- 3 (E) BRICK TO REMAIN
- 4 (E) TILE ROOF TO REMAIN
- 5 (E) ADJACENT BUILDING AT 175 28TH STREET
- 6 (E) PROFILE OF 159 28TH STREET SHOWN DASHED
- 7 (E) BLIND WALL AT SIDE PROPERTY LINE
- 8 (E) HARDIE SIDING ON SIDE WALL SETBACK 1'-8" FROM PROPERTY LINE
- 9 (E) DECK AT REAR YARD
- 10 (N) "HARDIE" SIDING, PAINTED, PROPERTY LINE WALL
- 11 (N) "HARDIE" SIDING, PAINTED, ON SIDE WALL SETBACK 1'-8" FROM PROPERTY LINE
- 12 (N) STUCCO, SMOOTH TROWEL FINISH
- 13 (N) ALUMINUM WINDOW, BLACK
- 14 (N) POWDER COATED GALV STL GUARDRAIL, MATTE BLACK
- 15 (N) POWDER COATED GALV STL HANDRAIL, MATTE BLACK, AT ROOF ACCESS HATCH OPENING; MAX 36" ABV ROOF SURFACE



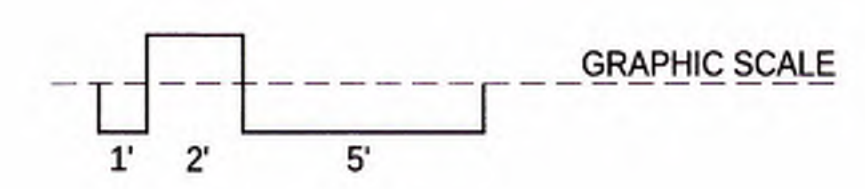
2 PROPOSED EAST (SIDE) ELEVATION / 1/4"=1'-0"



1 EXISTING EAST (SIDE) ELEVATION / 1/4"=1'-0"

Sebastian Bendezu, DBI
JAN 30 2023

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THESE PLANS MEET THE QUALITY STANDARDS FOR MAPINGS ACCEPTED



Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023

DBI STAMP:

APPROVED
Dept. of Building Insp.
San Francisco
JAN 12 2024
Patrick J. Jordan
DIRECTOR
DEPT. OF BUILDING INSPECTION

Roger Ly, SFFD
AUG 24 2023

APPROVED BY SYLVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT

LICENSED ARCHITECT
EDWARD CHEN
NO. 29182
EXP. 11/30/23
STATE OF CALIFORNIA

Exhibit A
Appeal
No. 24-007

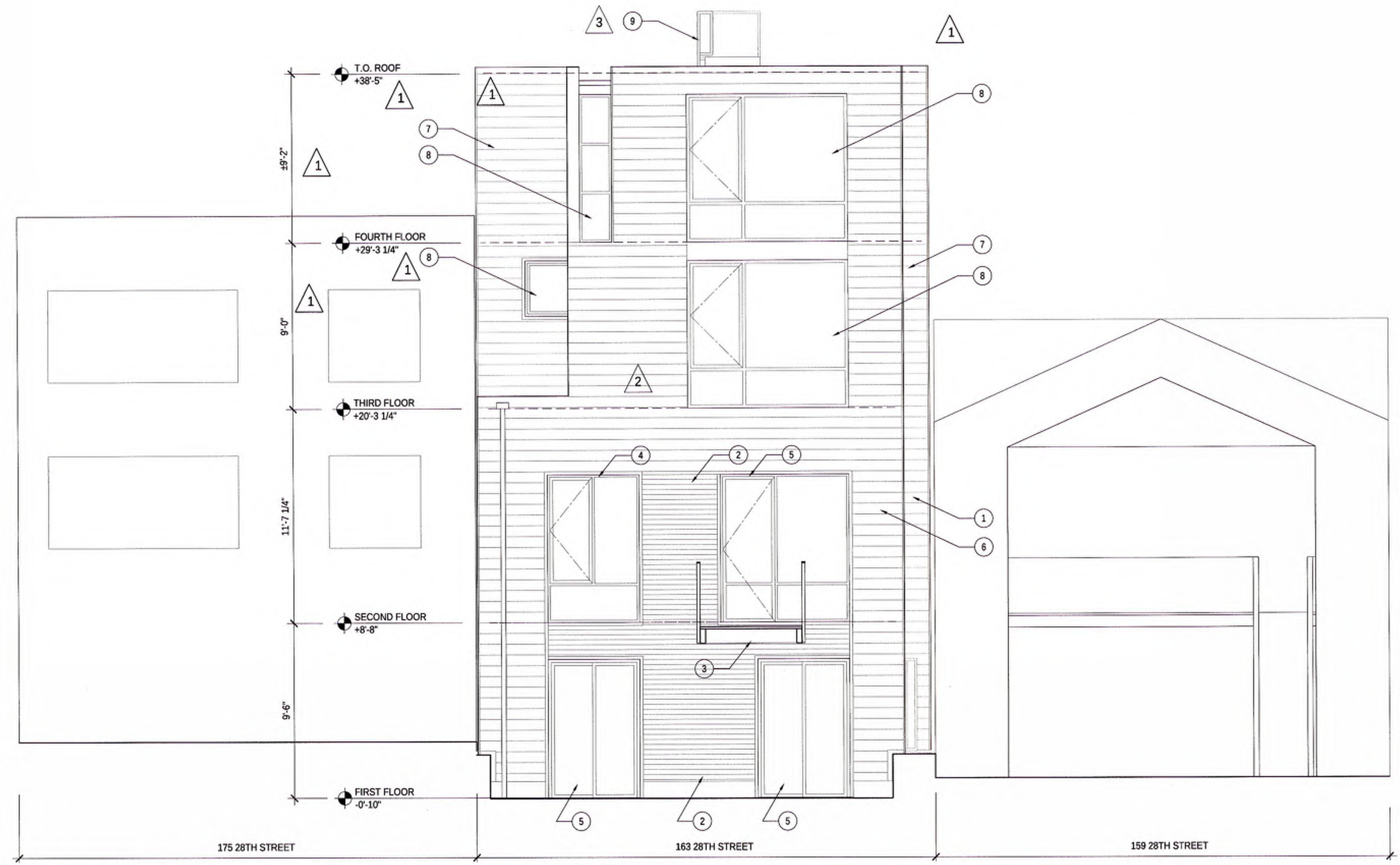
Sebastian Bendezu, DBI
JAN 30 2023

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR MARKING
ACCEPTED

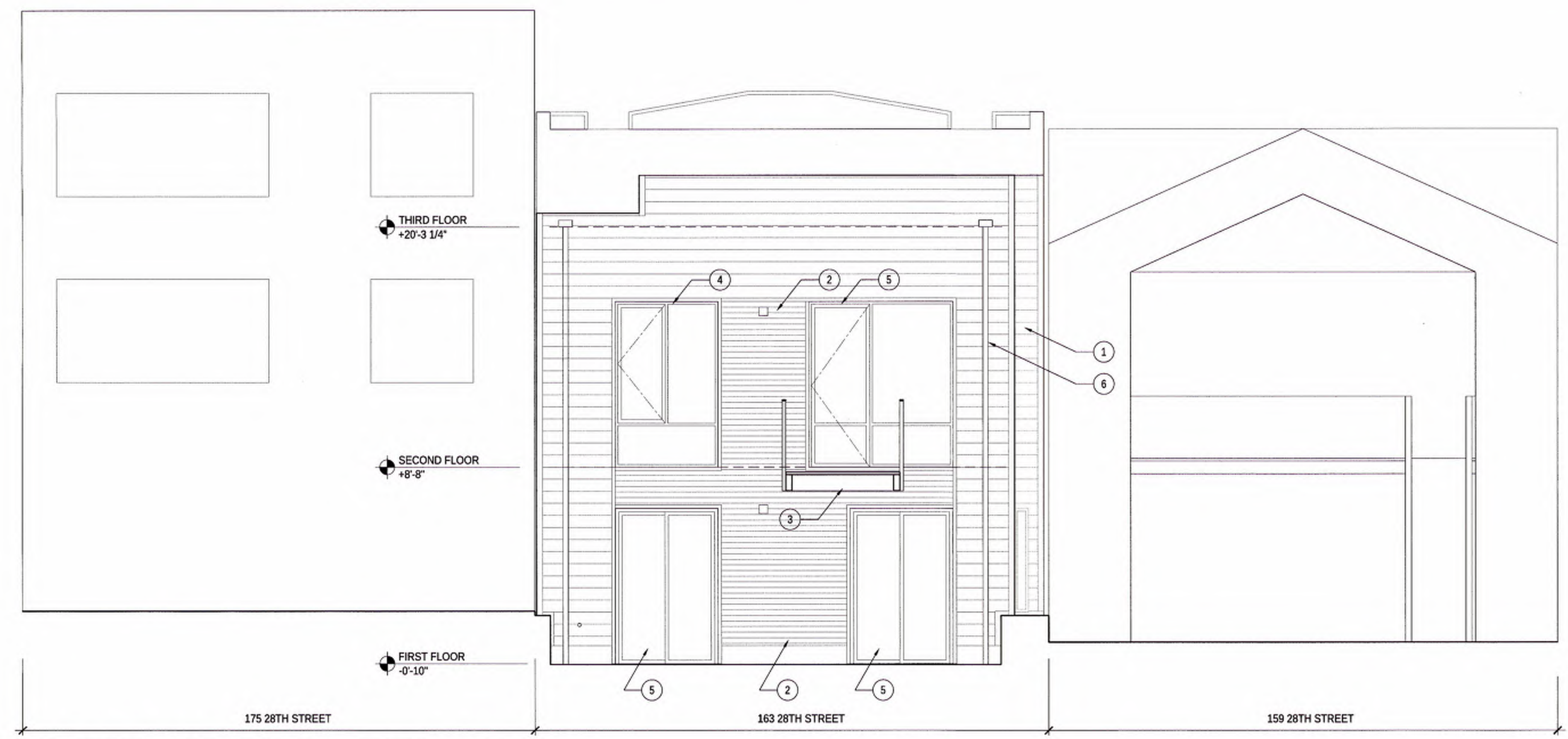
SCALE: 1/4"=1'-0"
TITLE: EXISTING AND PROPOSED SOUTH ELEVATIONS
SHEET:

A3.3

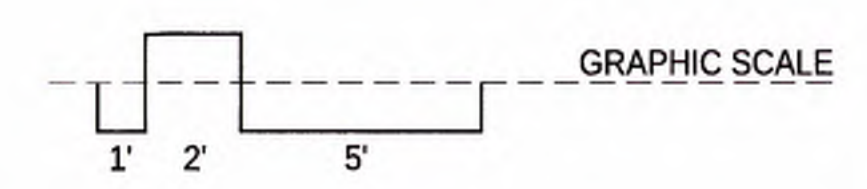
- KEYNOTES:**
- ① (E) HARDIE SIDING, PAINTED
 - ② (E) CEDAR SIDING, STAINED
 - ③ (E) DECK AT REAR YARD
 - ④ (E) ALUMINUM WINDOW
 - ⑤ (E) ALUMINUM DOOR
 - ⑥ (E) DOWNSPOUT
 - ⑦ (N) "HARDIE" SIDING, PAINTED,
 - ⑧ (N) ALUMINUM WINDOW
 - ⑨ (N) POWDER COATED GALV STL HANDRAIL AT ROOF ACCESS HATCH OPENING; MAX 36" ABV ROOF SURFACE



2 PROPOSED SOUTH (REAR YARD) ELEVATION / 1/4"=1'-0"



1 EXISTING SOUTH (REAR YARD) ELEVATION / 1/4"=1'-0"



Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023

DBI STAMP:

APPROVED
Dept. of Building Insp.
- San Francisco -
JAN 12 2024
Patrick O'Brien
DIRECTOR
DEPT. OF BUILDING INSPECTION

Roger Ly, SFFD
AUG 24 2023

APPROVED BY SYLVIA BARRERA
JUL 19 2023
PLANNING DEPARTMENT

LICENSED ARCHITECT
EDWARD
NO. 29182
EXP. 11/30/23
STATE OF CALIFORNIA

Exhibit A
Appeal
No. 24-007

Sebastian Bendezu, DBI
JAN 30 2023

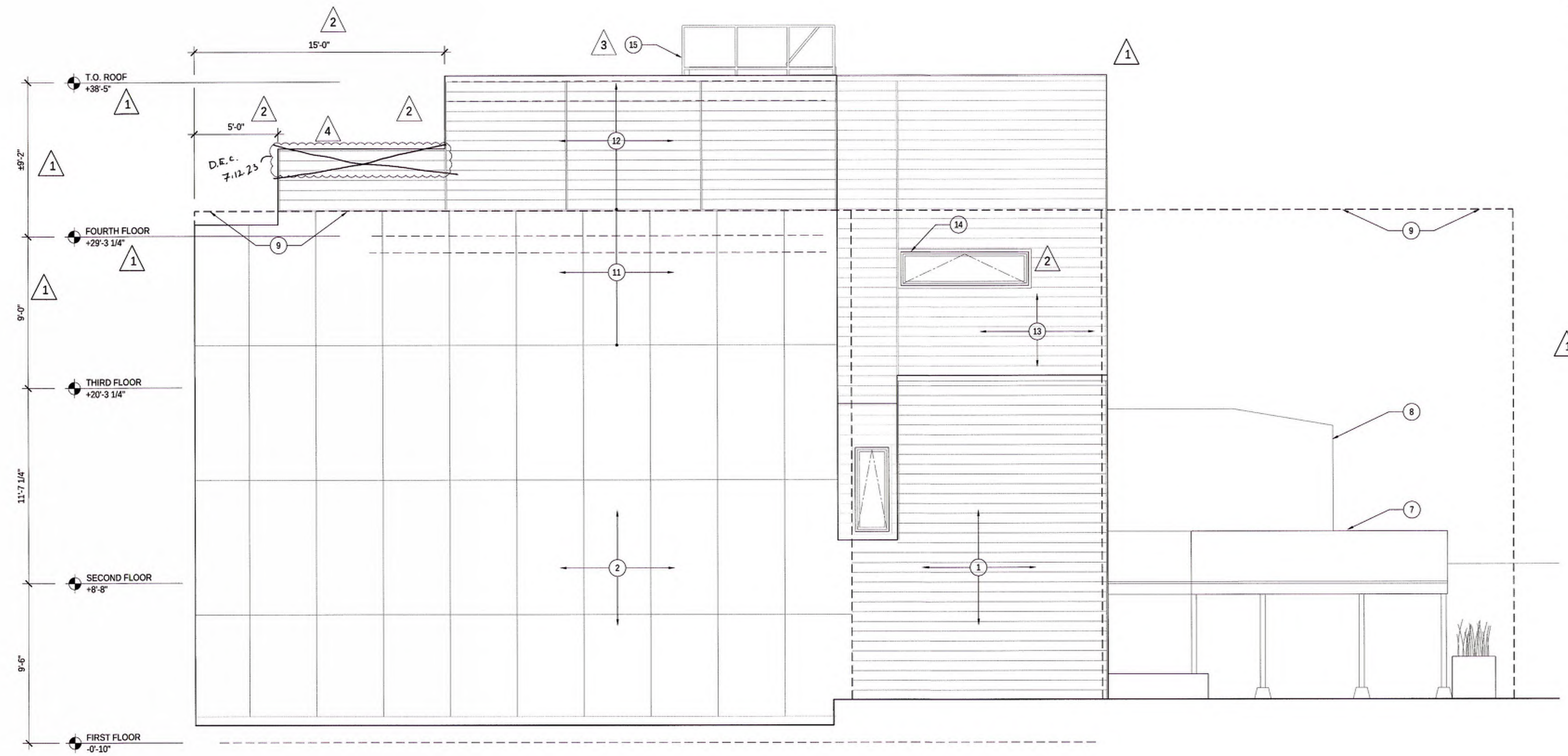
RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THE PLAN MEETS THE QUALITY
STANDARD FOR BIDDING
ACCEPTED

SCALE: 1/4"=1'-0"
TITLE: EXISTING AND PROPOSED WEST ELEVATIONS
SHEET:

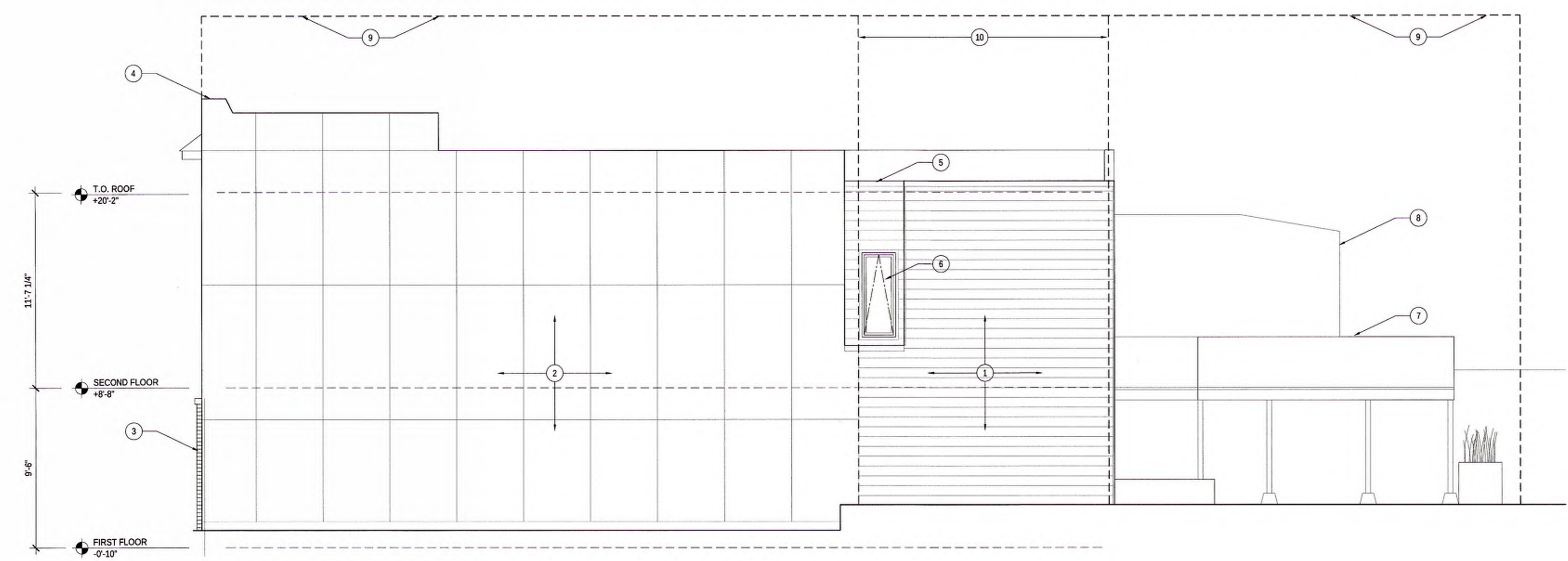
A3.4

KEYNOTES:

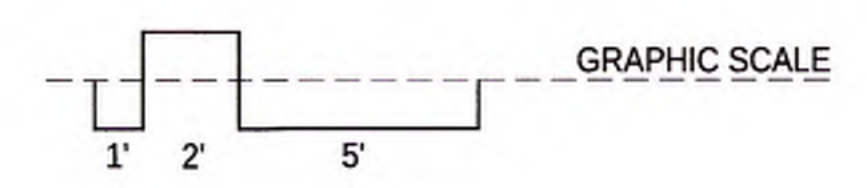
- 1 (E) HARDIE SIDING, PAINTED, PROPERTY LINE WALL
- 2 (E) BLIND WALL AT PROPERTY LINE
- 3 (E) BRICK TO REMAIN
- 4 (E) PARAPET AT STREET FACADE TO REMAIN
- 5 (E) LIGHT WELL AT 163 28TH STREET
- 6 (E) ALUMINUM WINDOW
- 7 (E) DECK AT REAR YARD
- 8 (E) ADJACENT BUILDING AT 159 28TH STREET
- 9 (E) PROFILE OF 175 28TH STREET SHOWN DASHED
- 10 WIDTH OF (E) LIGHT WELL AT 175 28TH STREET
- 11 (N) BLIND WALL AT PROPERTY LINE ADJACENT TO 175 28TH STREET
- 12 (N) "HARDIE" SIDING, PAINTED, PROPERTY LINE WALL
- 13 (N) "HARDIE" SIDING, PAINTED, WALL SETBACK 5'-0" FROM PROPERTY LINE
- 14 (N) ALUMINUM WINDOW, BLACK
- 15 (N) POWDER COATED GALV STL HANDRAIL AT ROOF ACCESS HATCH OPENING; MAX 36" ABV ROOF SURFACE



2 PROPOSED WEST (SIDE) ELEVATION / 1/4"=1'-0"



1 EXISTING WEST (SIDE) ELEVATION / 1/4"=1'-0"



PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow
163 28th Street
San Francisco, CA 94131
650.224.2539

Residential Addition

ISSUE/DATE:

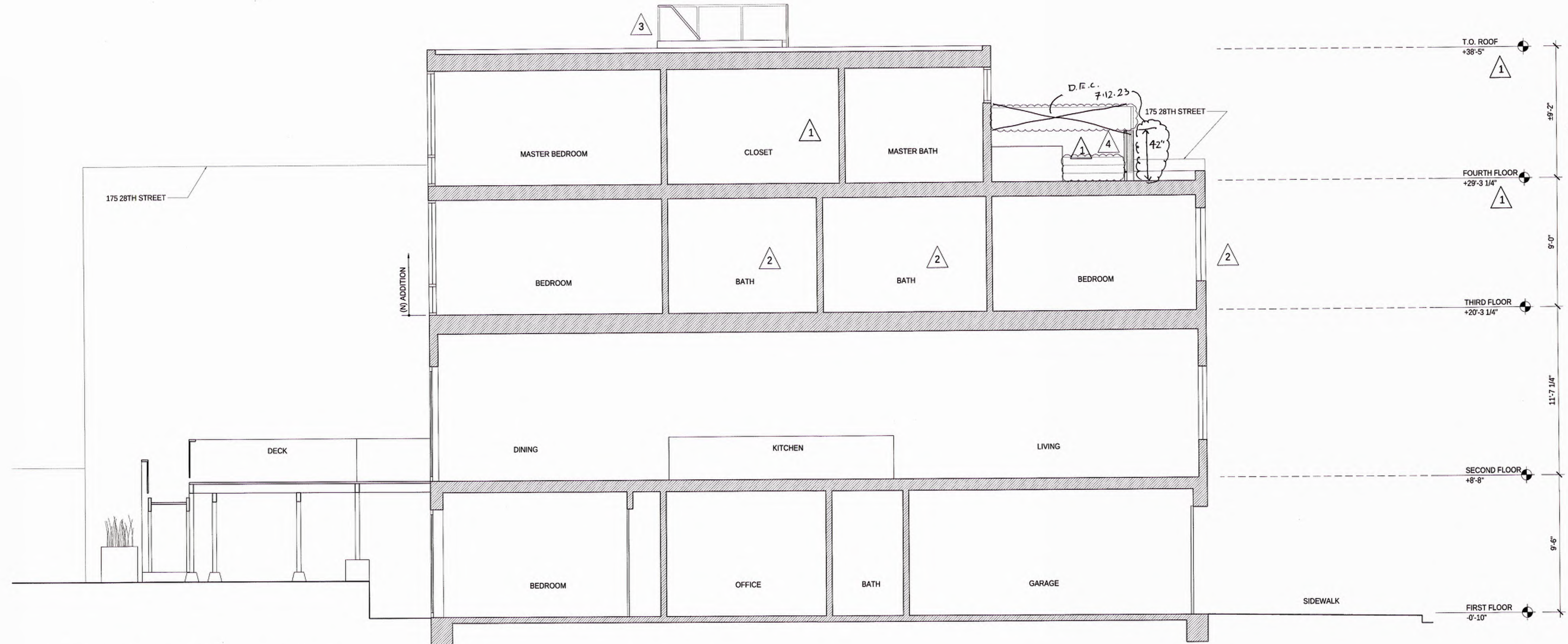
Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023

DBI STAMP:
APPROVED
Dept. of Building Insp.
- San Francisco -
JAN 12 2024
Roger Ly, SFFD
AUG 24 2023

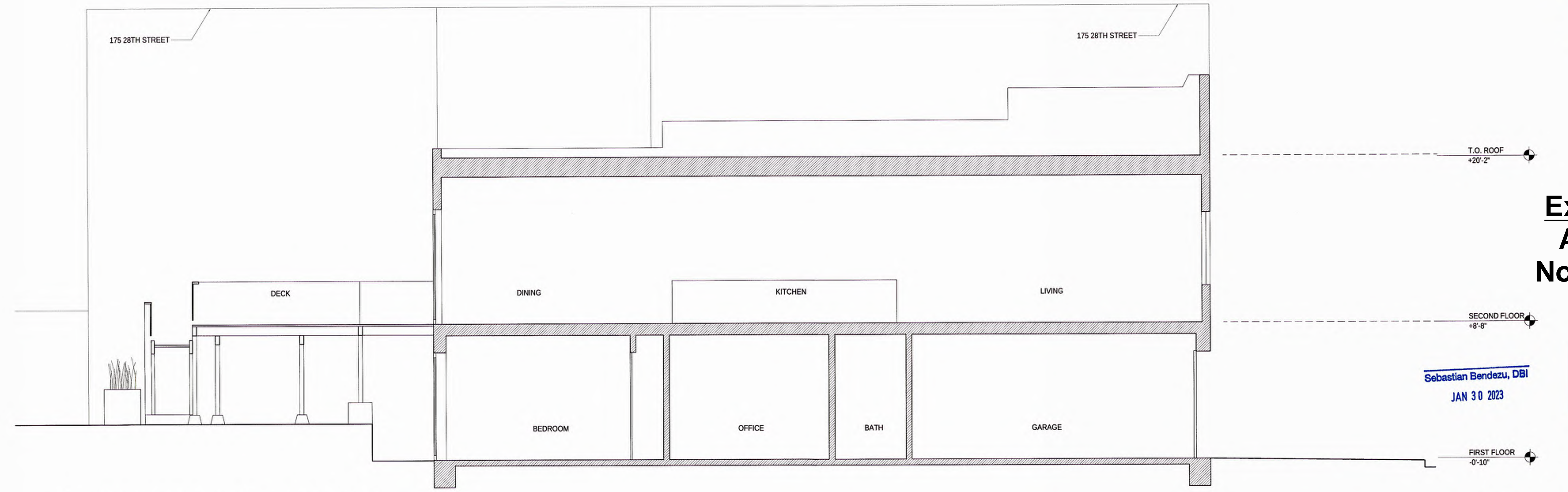
APPROVED BY SYLVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT



SCALE: 1/4"=1'-0"
TITLE: EXISTING & PROPOSED SECTIONS
SHEET: A3.5



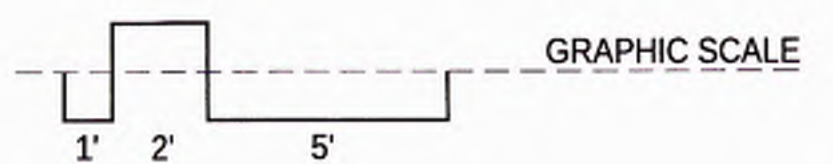
2 PROPOSED BUILDING SECTION / 1/4"=1'-0"



1 EXISTING BUILDING SECTION / 1/4"=1'-0"

Sebastian Bendezu, DBI
JAN 30 2023

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR ISSUING
ACCEPTED.



PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow
163 28th Street
San Francisco, CA 94131
650.224.2539

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
Plan Check 4	1-10-2023

DBI STAMP:

APPROVED
Dept. of Building Insp.
- San Francisco -
JAN 12 2024
PATRICK O'BRIEN
DIRECTOR
DEPT. OF BUILDING INSPECTION

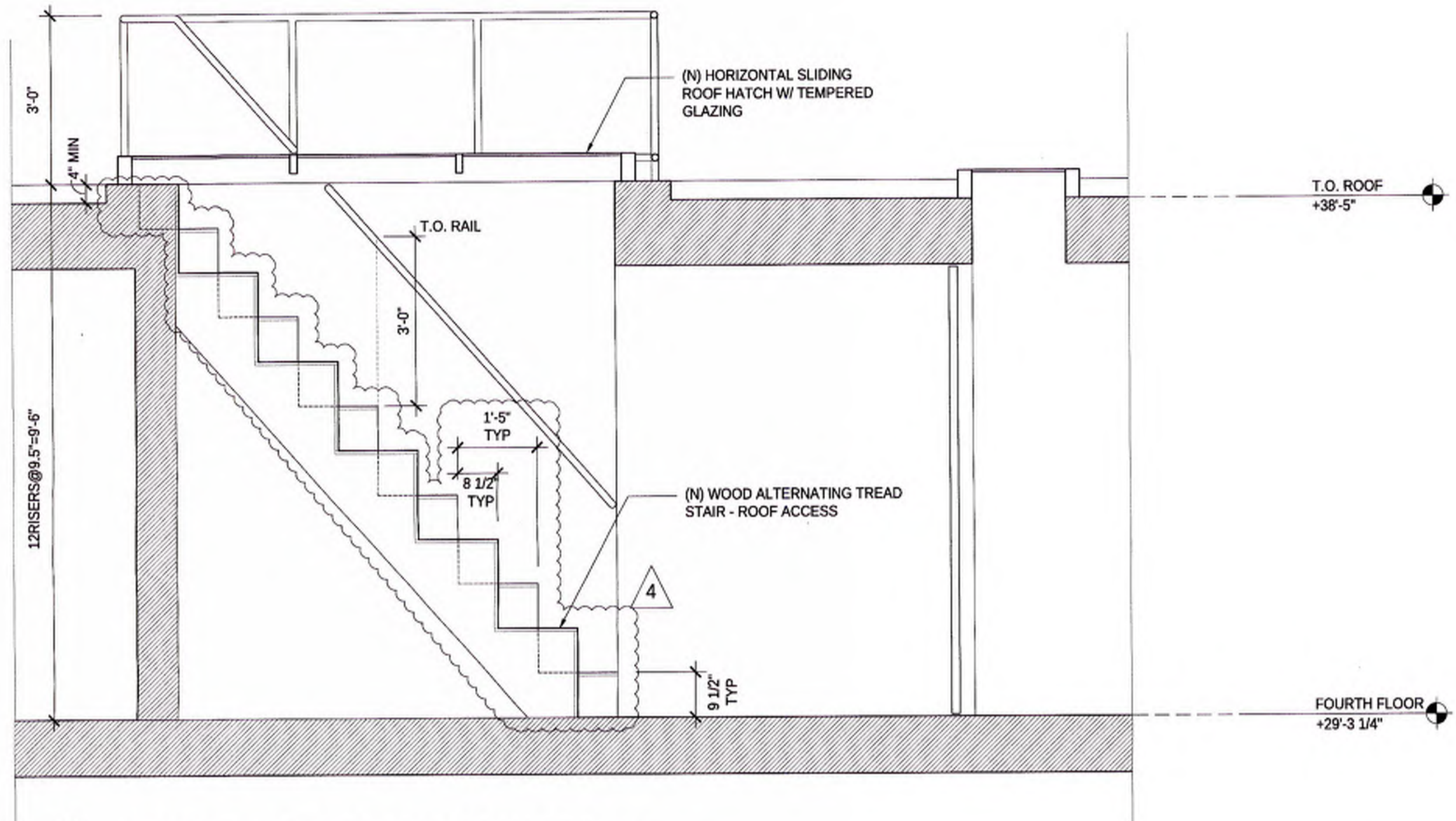
APPROVED BY SYLVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT



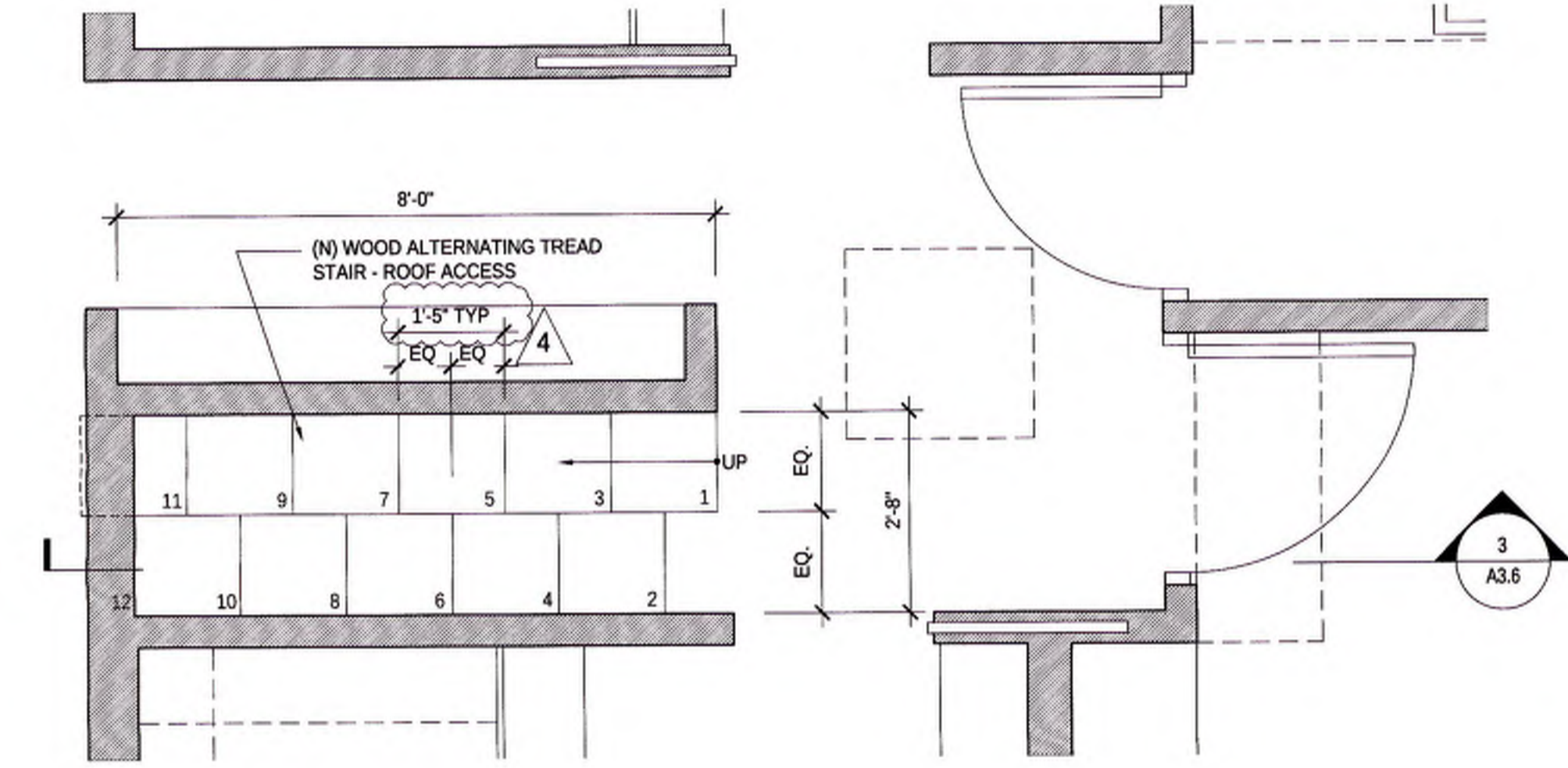
SCALE: 1/4"=1'-0"

TITLE: PROPOSED BUILDING SECTION

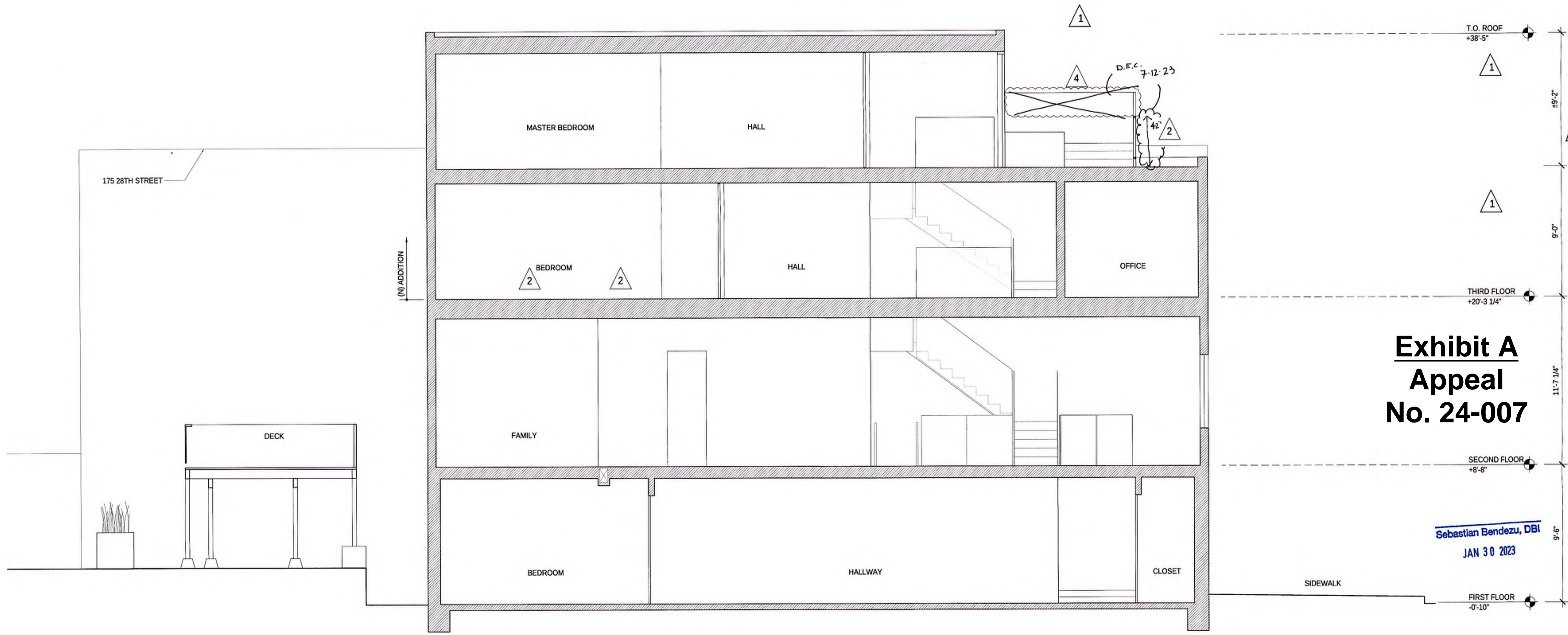
SHEET: A3.6



3 ROOF ACCESS SECTION / 1/2"=1'-0"



2 ROOF ACCESS PLAN / 1/2"=1'-0"



1 PROPOSED BUILDING SECTION / 1/4"=1'-0"

Exhibit A
Appeal
No. 24-007

Sebastian Bendezu, DBI
JAN 30 2023

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR IMAGING
ACCEPTED.



PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow
163 28th Street
San Francisco, CA 94131
650.224.2539

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023

DBI STAMP:
APPROVED
Dept. of Building Insp.
- San Francisco -
JAN 12 2024
PATRICK CREEDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

APPROVED BY SYLVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT



SCALE: 1/4"=1'-0"
TITLE: PROPOSED BUILDING SECTION
SHEET: A3.7

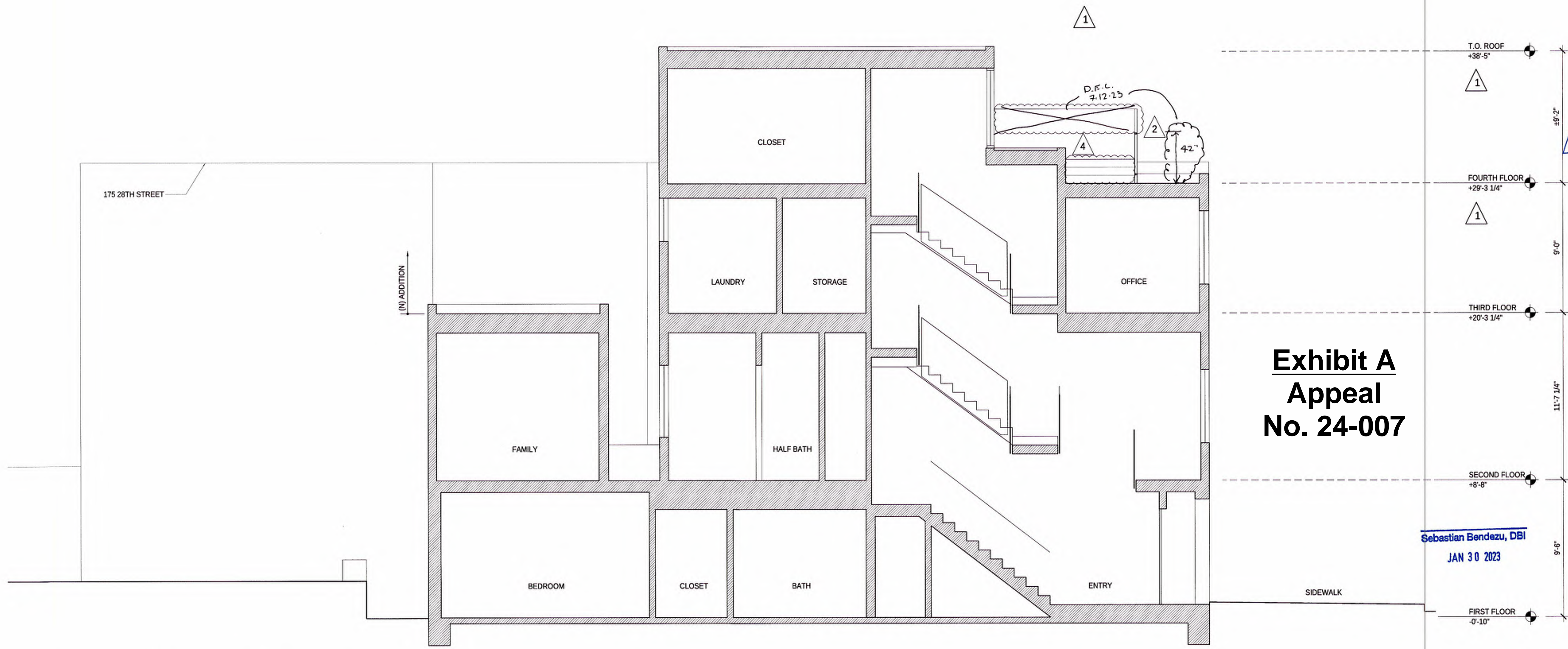
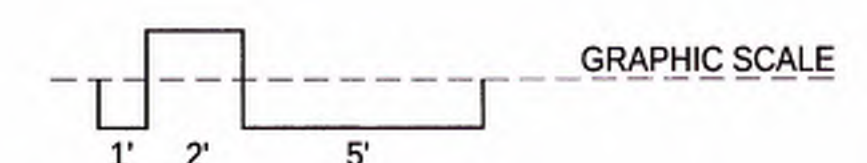


Exhibit A
Appeal
No. 24-007

Sebastian Bendezu, DBI
JAN 30 2023

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR IMAGING
ACCEPTED



1 PROPOSED BUILDING SECTION / 1/4"=1'-0"

PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow
163 28th Street
San Francisco, CA 94131
650.224.2539

Exhibit A
Appeal
No. 24-007

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023

DBI STAMP:
APPROVED
Dept. of Building Insp.
San Francisco
JAN 12 2024
PATRICK O'BRIEN
INSPECTOR
DEPT. OF BUILDINGS INSPECTION

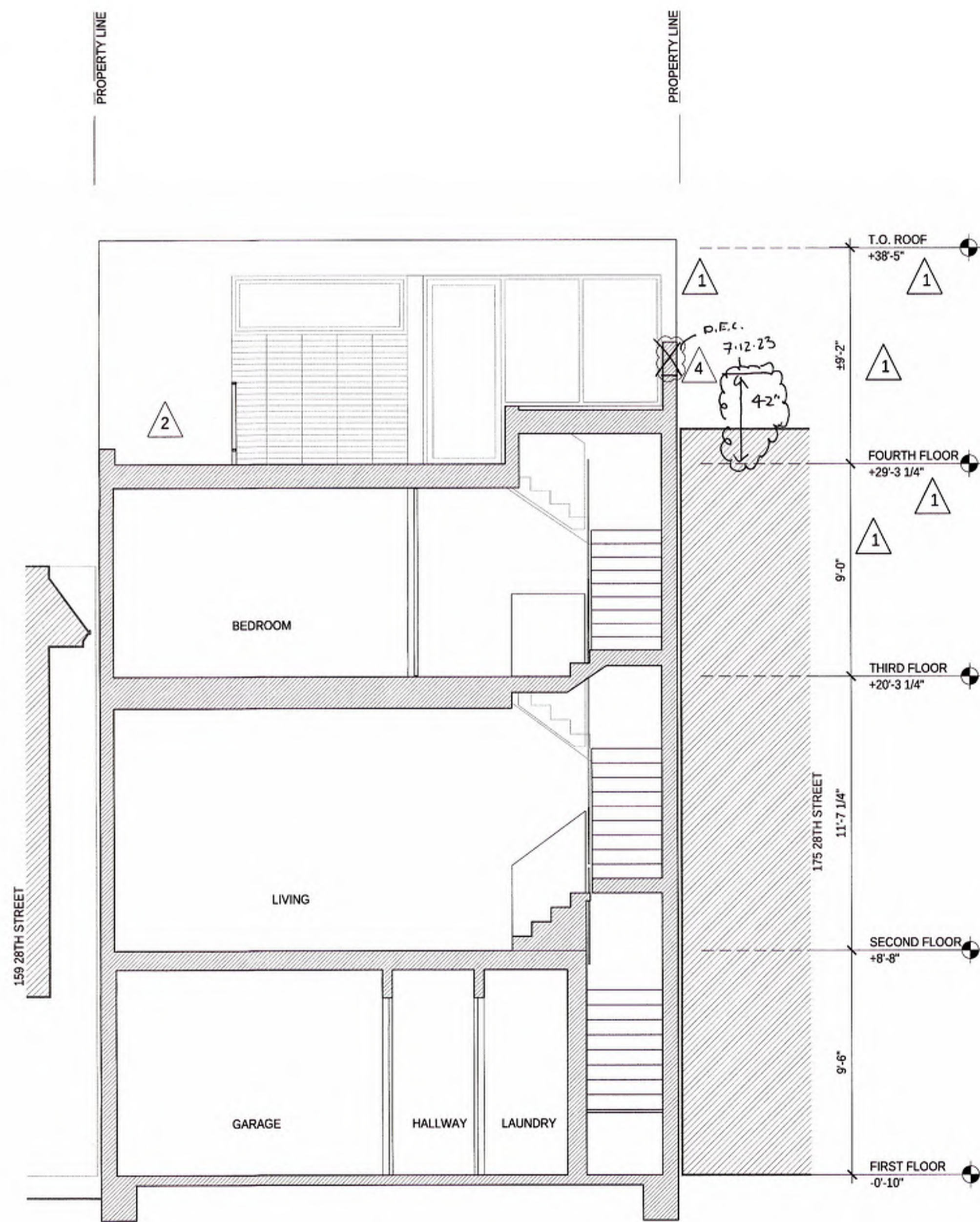
Roger Ly, SFFD
AUG 24 2023

APPROVED BY SYLVIA JIMENEZ
JUL 19 2023
PLANNING DEPARTMENT

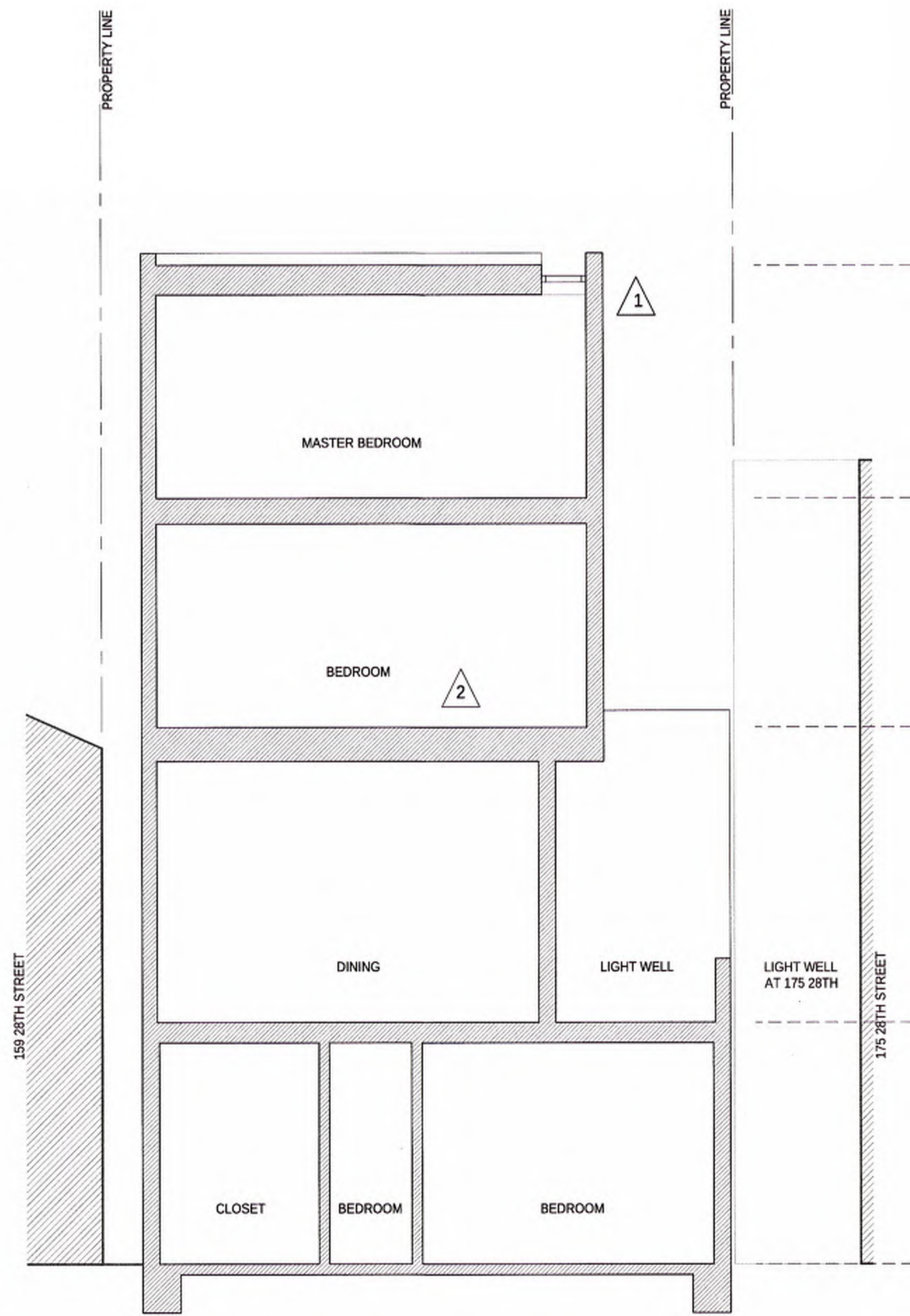


SCALE: 1/4"=1'-0"
TITLE: PROPOSED CROSS SECTIONS

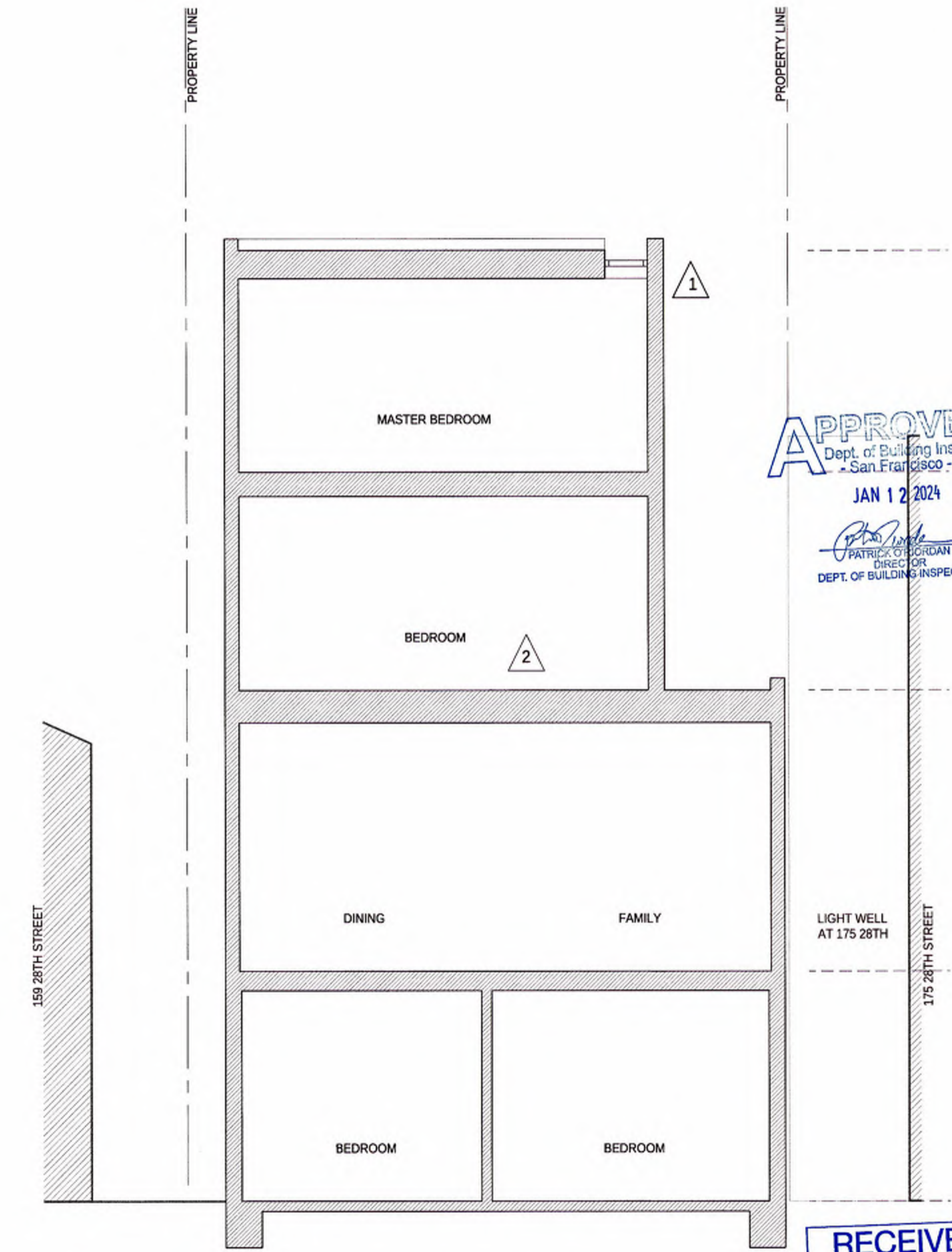
SHEET: A3.8



1 PROPOSED BUILDING SECTION / 1/4"=1'-0"

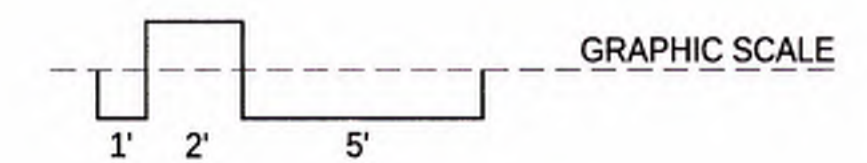


2 PROPOSED BUILDING SECTION / 1/4"=1'-0"



3 PROPOSED BUILDING SECTION / 1/4"=1'-0"

Sebastian Bendezu, DBI
JAN 30 2023

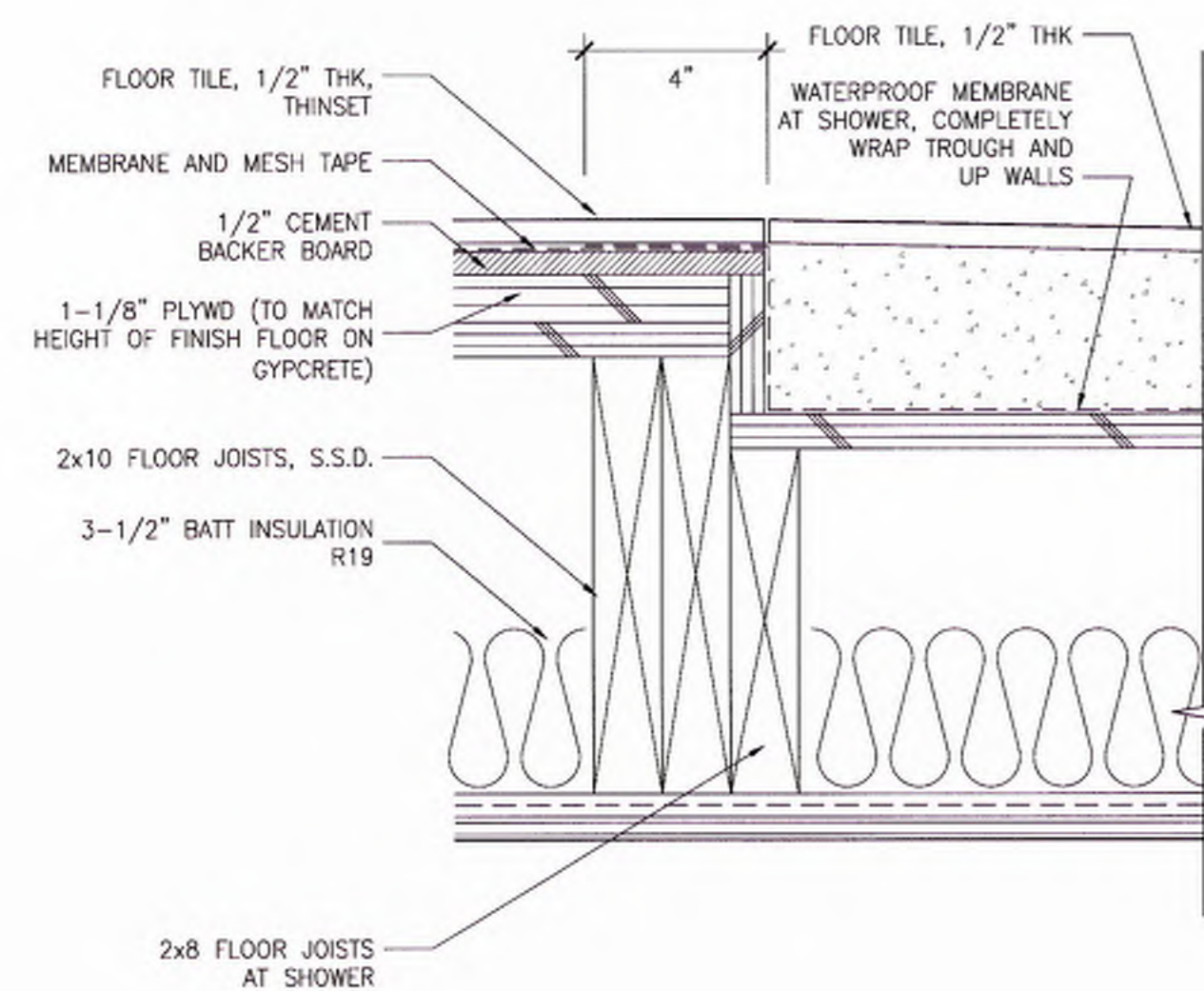


RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR PLANING
ACCEPTED

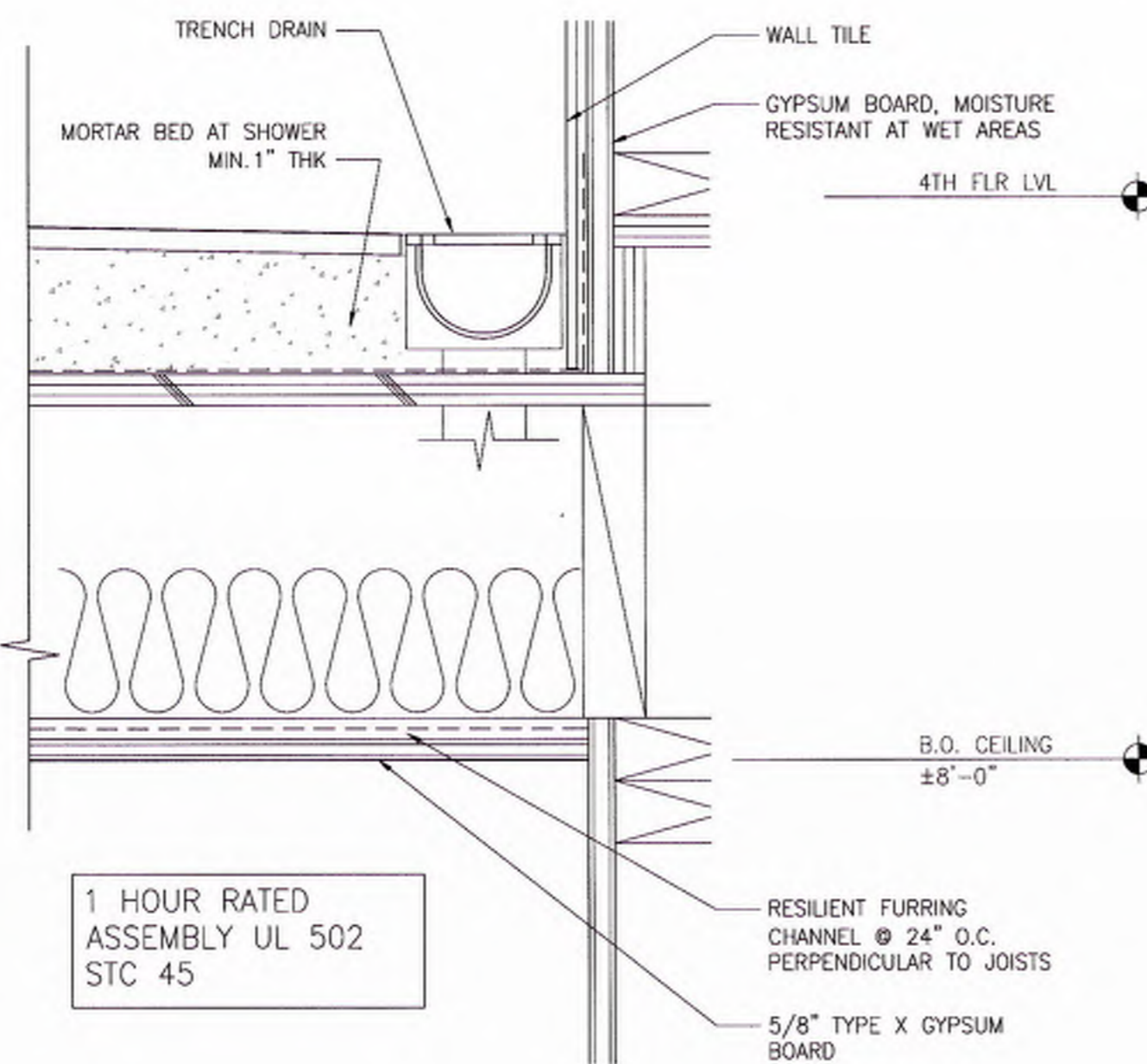
**Exhibit A
Appeal
No. 24-007**

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR MARKING
ACCEPTED

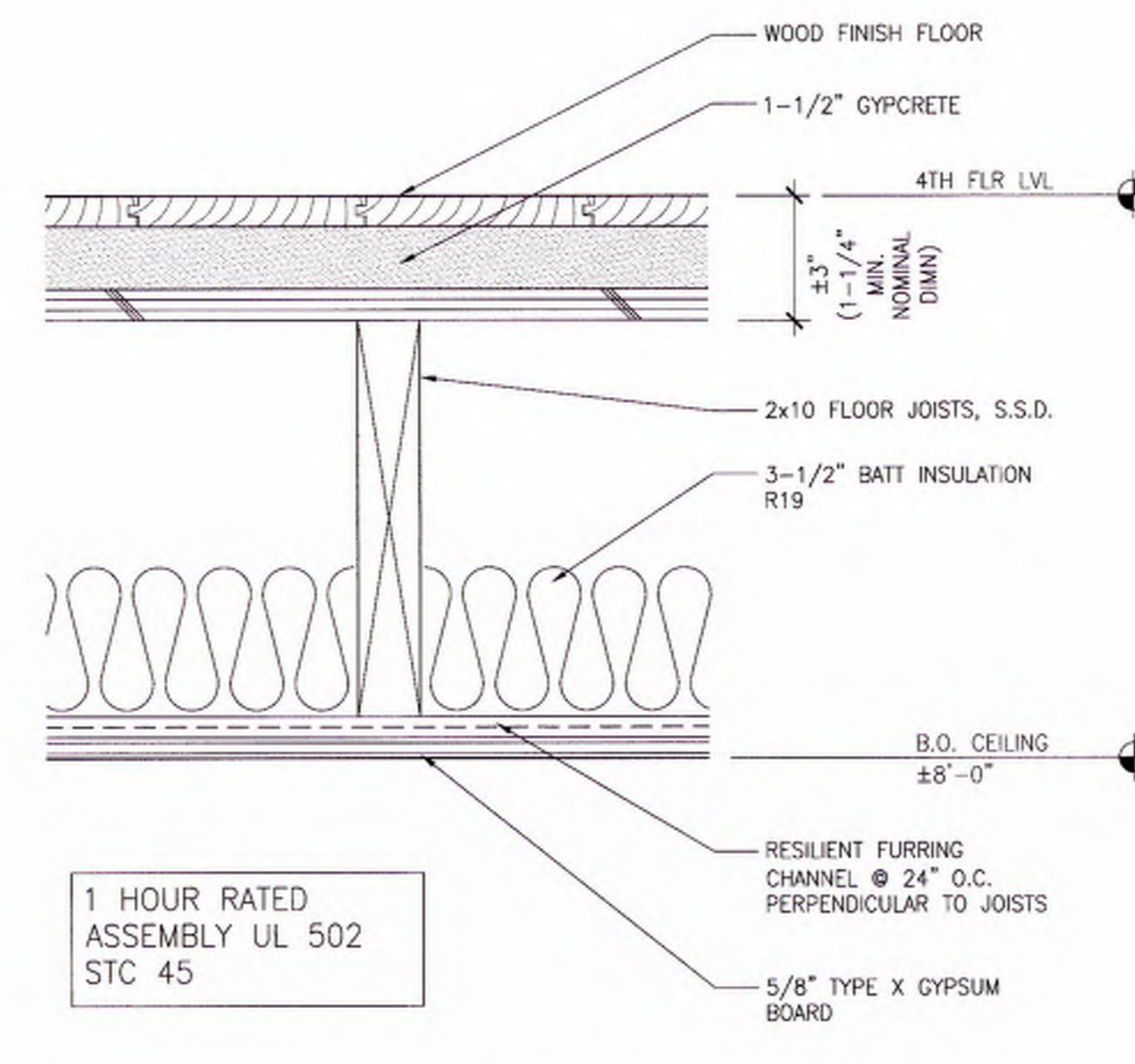
Sebastian Bendezu, DBI
JAN 30 2023



9 SECTION AT SHOWER FLOOR
3'-1'-0"



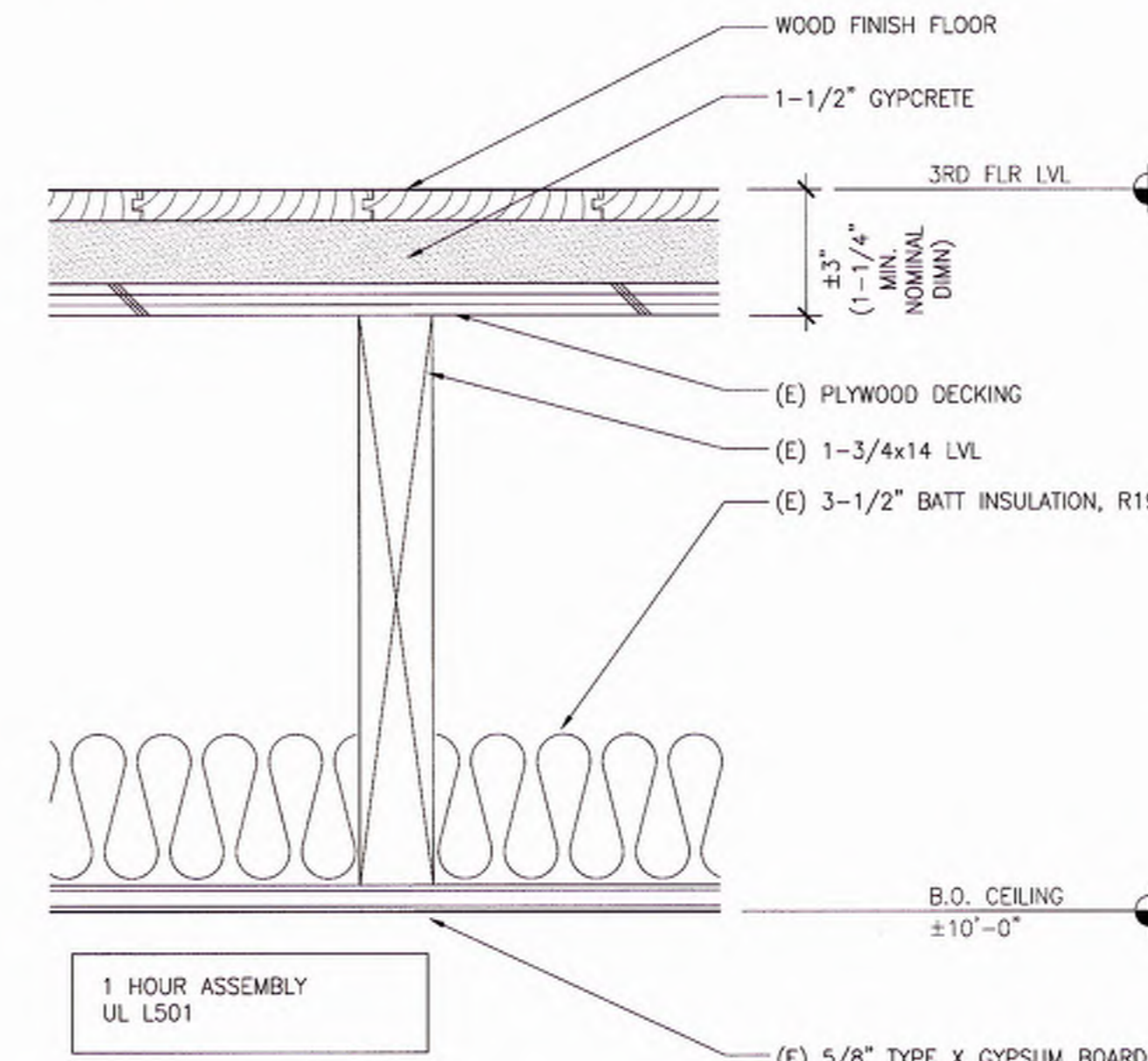
1 HOUR RATED ASSEMBLY UL 502 STC 45



1 HOUR RATED ASSEMBLY UL 502 STC 45

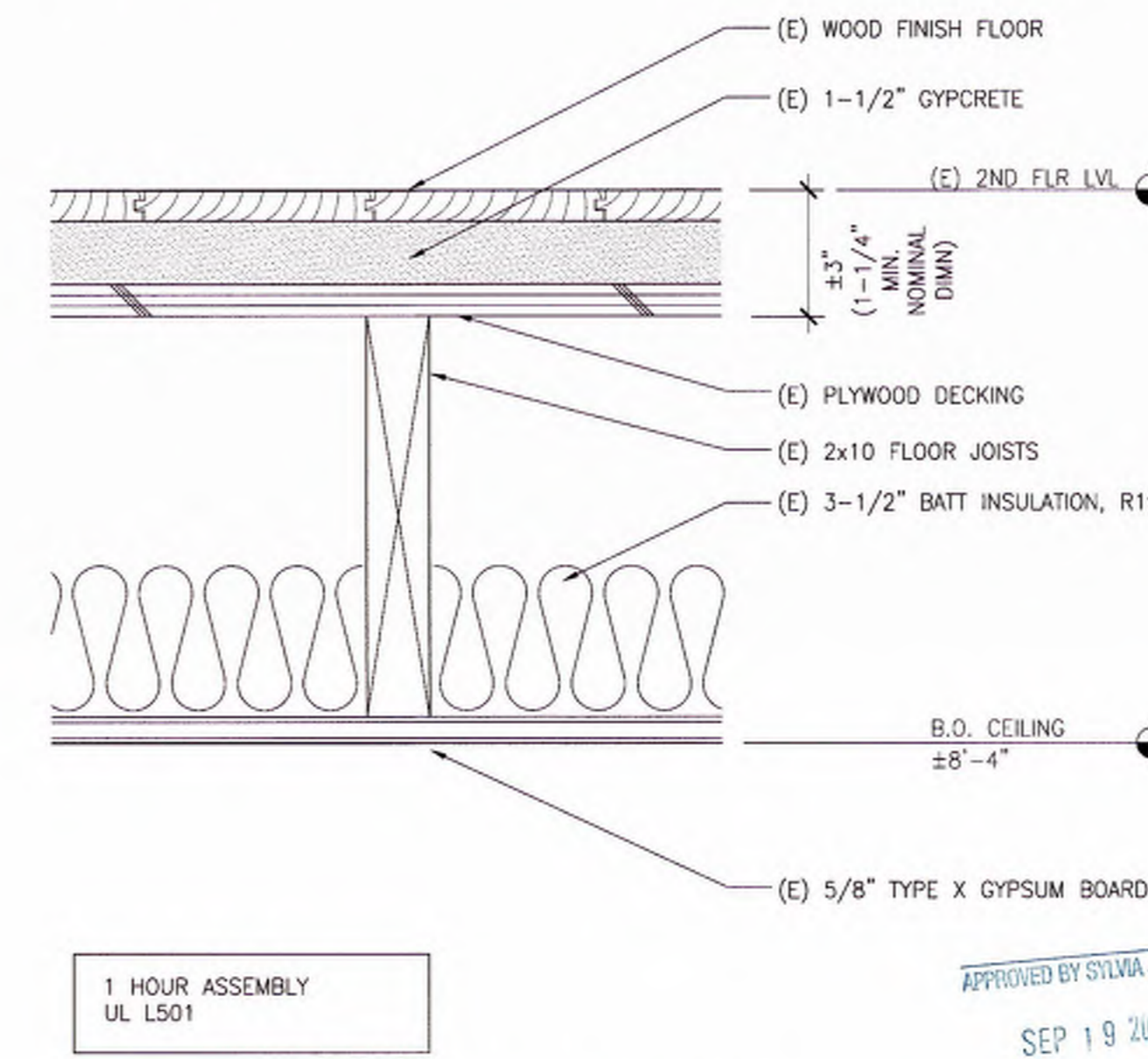
ASSEMBLY PER GYPSUM ASSOCIATION FILE FC 5250
ONE LAYER 5/8" TYPE X GYP BD APPLIED AT RIGHT ANGLES TO RESILIENT FURRING CHANNELS 24" O.C. WITH 1" TYPE S DRYWALL SCREWS 12" O.C. GYPSUM BOARD END JOINTS LOCATED MIDWAY BETWEEN CONTINUOUS CHANNELS AND ATTACHED TO ADDITIONAL PIECES OF CHANNEL 60" LONG WITH SCREWS 12" O.C. RESILIENT FURRING CHANNELS APPLIED AT RIGHT ANGLES TO 2x10 WOOD JOISTS 16" O.C. WITH 6d COATED NAILS, 2" LONG, 0.113" SHANK, 17/64" HEADS. WOOD JOISTS SUPPORTING 1" NOMINAL WOOD SUBFLOOR AND 1" NOMINAL WOOD FINISH FLOOR

3 1-HOUR FLOOR-CEILING ASSEMBLY
3'-1'-0"



1 HOUR ASSEMBLY UL L501

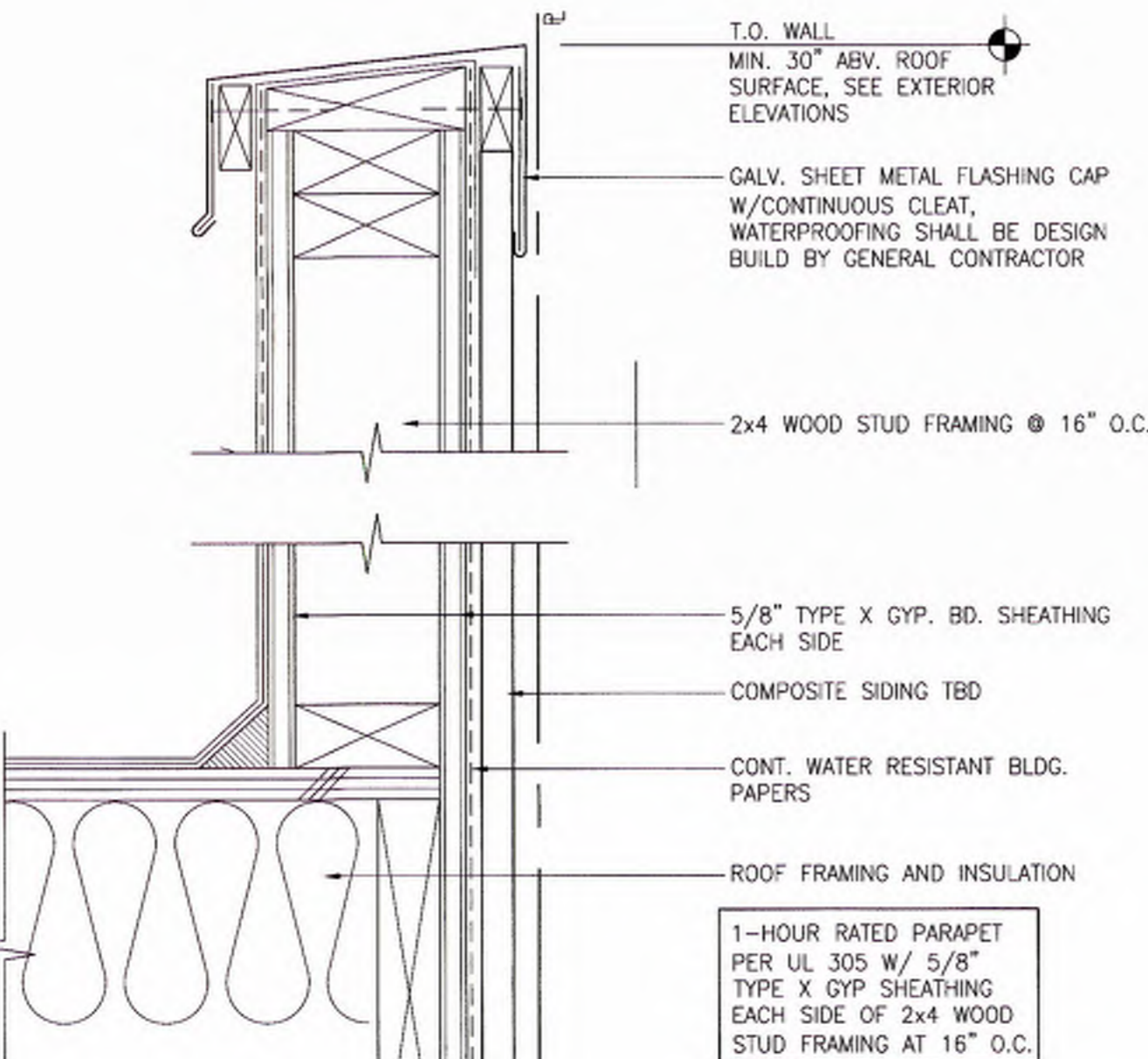
2 1-HOUR FLOOR-CEILING ASSEMBLY
3'-1'-0"



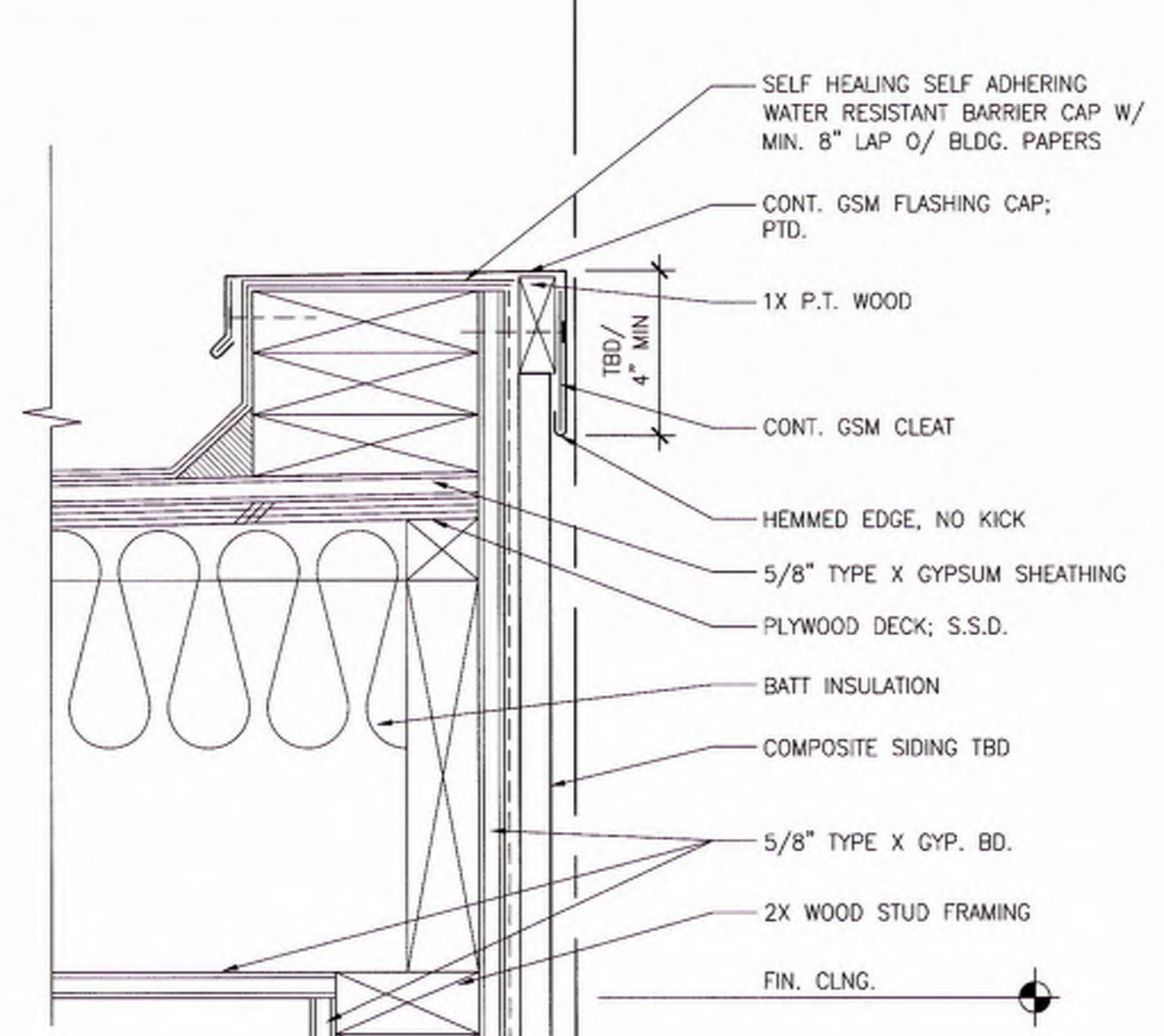
1 HOUR ASSEMBLY UL L501

1 (E) 1-HOUR FLOOR-CEILING ASSEMBLY
3'-1'-0"

5/8" TYPE X GYPSUM BOARD SHEATHING OVER PLYWOOD SHALL EXTEND A MINIMUM OF 5 FEET FROM THE PROPERTY LINE
EXTERIOR WALL MAY TERMINATE AT HEIGHT OF ROOF DECK WITH 1-HOUR RATED ROOF PER CBC 705.11, EXCEPTION 5



7 1-HOUR RATED PARAPET DETAIL
3'-1'-0"



4 ROOF DETAIL
3'-1'-0"

PARTITION TYPES

STC	MAX. HT.	APPROVAL:	RATING:
4A	2" X 4" WOOD STUDS @16" O.C. 1 LAYER 5/8" TYPE X GWB EACH SIDE, PAINTED PLYWOOD WHERE OCCURS, S.S.D. 3" MINERAL WOOL INSULATION 1-HOUR RATED PER UL 305		1HR
4B	2" X 4" WOOD STUDS @16" O.C. 1 LAYER 5/8" GWB EACH SIDE, PAINTED PLYWOOD WHERE OCCURS, S.S.D. 3" MINERAL WOOL INSULATION		NR
4C	2" X 4" WOOD STUDS @16" O.C. PLYWOOD WHERE OCCURS, S.S.D. 1 LAYER 5/8" GWB EACH SIDE, PAINTED		NR
4D	2" X 4" WOOD STUDS @16" O.C. 1 LAYER 5/8" TYPE X GWB EACH SIDE, PAINTED PLYWOOD WHERE OCCURS, S.S.D. RESILIENT FURRING CHANNEL, SEE PARTITION TYPE NOTE 2 INSULATION: GLASS FIBER OR MINERAL WOOL, R13 INSULATION SHALL BE FRICTION FIT TO COMPLETELY FILL STUD CAVITIES - SEE PARTITION TYPE NOTE 3 1-HOUR RATED PER UL 305		1HR
6B	2" X 6" WOOD STUDS @16" O.C. 1 LAYER 5/8" GWB EACH SIDE, PAINTED PLYWOOD WHERE OCCURS, S.S.D. 3" MINERAL WOOL INSULATION		NR

PARTITION TYPE NOTES

1-S.S.D. FOR PLYWOOD SHEAR WALL LOCATIONS, PLYWOOD SHALL BE DIRECTLY ATTACHED TO WOOD STUD FRAMING
2-RESILIENT FURRING CHANNELS SHALL BE FORMED OF NO. 25 MSG GALV STEEL, INSTALLED AT 24" O.C. PERPENDICULAR TO WOOD STUD FRAMING, FLANGE PORTION SCREW ATTACHED TO ONE SIDE OF STUD FRAMING WITH 1-1/4 in. LONG DIAMOND SHAPED POINT, DOUBLE LEAD PHILLIPS HEAD SCREWS. ENDS OF CHANNELS SHALL BE OVERLAPPED MINIMUM 6" AND TIED TOGETHER WITH DOUBLE STRAND OF NO. 18 SWG GALV STL WIRE NEAR EACH END OF OVERLAP.
3-INSULATION: GLASS FIBER OR MINERAL WOOL. MINERAL WOOL SHALL BE 3" BATTS FRICTION FIT TO FILL INTERIOR OF WALLS. GLASS FIBER SHALL BE 3" BATTS BEARING THE UL CLASSIFICATION MARKING AS TO SURFACE BURNING AND/OR FIRE RESISTANCE AND FRICTION FIT TO FILL INTERIOR OF WALLS.

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023

DBI STAMP:
Roger Ly, SFFD
AUG 24 2023

APPROVED
Dept. of Building Insp.
- San Francisco -
JAN 12 2024
PATRICK O'BRIEN
DIRECTOR
DEPT. OF BUILDING INSPECTION

LICENSED ARCHITECT
EDWARD CUMBY
NO. 29182
EXP. 11/30/23
STATE OF CALIFORNIA

SCALE: AS NOTED

DETAILS

SHEET:

A8.1

APPROVED BY SYLVIA JIMENEZ
SEP 19 2023
PLANNING DEPARTMENT

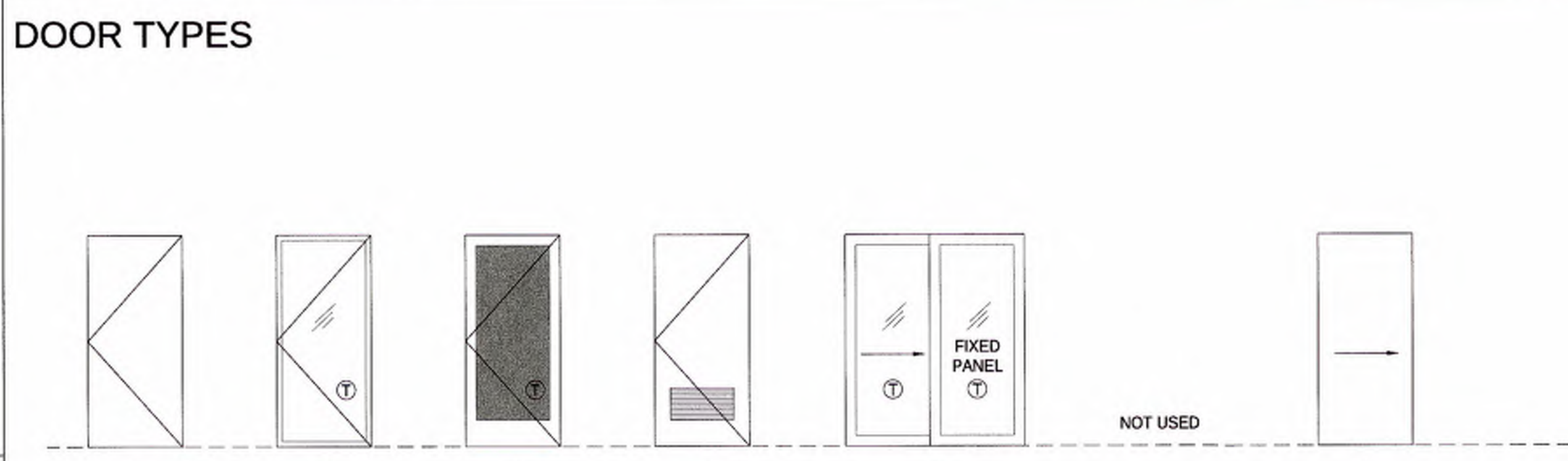
DOOR SCHEDULE															
MARK	LOCATION		DOOR					FRAME				RATING	COMMENTS		
	RM. NO.	ROOM NAME	WIDTH	HEIGHT	TYPE	CONST.	FINISH	TYPE	CONST.	FINISH	HEAD			JAMB	
FIRST FLOOR															
115	-	BEDROOM	5'-0"	7'-6"	5	ALUM	-	-	ALUM					NR	TWO PANEL SLIDING DOOR; ONE PANEL FIXED, TEMPERED GLAZING
116	-	MASTER BEDROOM	5'-0"	7'-6"	5	ALUM			ALUM					NR	TWO PANEL SLIDING DOOR; ONE PANEL FIXED, TEMPERED GLAZING
SECOND FLOOR															
204	-	OFFICE	2'-8"	7'-6"	1	ALUM	-	-	ALUM					NR	CHANGE EXISTING DOOR SWING TO SWING TO EXTERIOR
THIRD FLOOR															
301	-	OFFICE	3'-0"	7'-6"	1	WD	-	-	WD					NR	-
302	-	BEDROOM	3'-0"	7'-6"	1	WD			WD					NR	
303	-	CLOSET	2'-8"	7'-6"	7	WD			WD					NR	
304	-	BATH 1	2'-8"	7'-6"	1	WD			WD					NR	
305	-	STORAGE	2'-8"	7'-6"	1	WD			WD					NR	
306	-	LAUNDRY	2'-8"	7'-6"	4	WD			WD					NR	
307	-	BEDROOM	3'-0"	7'-6"	1	WD			WD					NR	
308	-	BATH 2	2'-8"	7'-6"	1	WD			WD					NR	
309	-	CLOSET	2'-8"	7'-6"	7	WD			WD					NR	
310	-	BEDROOM	2'-8"	7'-6"	7	WD			WD					NR	
FOURTH FLOOR															
401	-	HALL	3'-0"	7'-6"	2	ALUM	-	-	ALUM					NR	TEMPERED GLAZING
402	-	HALL	2'-10"	7'-6"	3	WD			WD					NR	TEMPERED GLAZING
403	-	MASTER BATH	2'-10"	7'-6"	1	WD			WD					NR	
404	-	CLOSET	2'-8"	7'-6"	7	WD			WD					NR	
405	-	CLOSET	2'-8"	7'-6"	7	WD			WD					NR	

DOOR NOTES

- GLAZING IN DOORS SHALL BE TEMPERED
- DOOR THRESHOLDS SHALL BE MAXIMUM 1/2"
- DOOR SIZES ARE NOMINAL: CONTRACTOR SHALL COORDINATE EXPANSION JOINTS, SEALANTS, SHIM, TOLERANCES, ETC. WITH DOOR MANUFACTURER
- FIELD VERIFY ALL OPENINGS

LEGEND

Ⓢ DENOTES TEMPERED GLAZING



ABBREVIATIONS

ALC ALUMINUM CLAD NR NOT RATED

ALUM ALUMINUM STL STEEL

FG FIBERGLASS WD WOOD

HR HOUR

MIN MINUTE

Cumby Architecture
 1951 Taylor Street
 San Francisco, CA 94133
 Tel 415 505.1536
 Email david@cumbyarchitecture.com
 Web www.cumbyarchitecture.com

PROJECT/CLIENT:
 Residential Addition
 163 28th Street
 San Francisco, CA 94131
 Sara Ahmadian and Andrew Swerdlow
 163 28th Street
 San Francisco, CA 94131
 650.224.2539

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023

DBI STAMP:

Roger Ly, SFFD
 AUG 24 2023

APPROVED
 Dept. of Building Insp.
 - San Francisco -
 JAN 12 2024
 PATRICK O'HIGGINS
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

LICENSED ARCHITECT
 EDWARD
 NO. 29182
 EXP. 11/30/23
 STATE OF CALIFORNIA

RECEIVED
 JAN 25 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARDS FOR MARKING
 ACCEPTED

Sebastian Bendezu, DBI
 JAN 30 2023

**Exhibit A
 Appeal
 No. 24-007**

APPROVED BY SYLVIA JIMENEZ
 SEP 19 2023
 PLANNING DEPARTMENT

SCALE:
 TITLE:
 SHEET:

DOOR SCHEDULE

A9.1

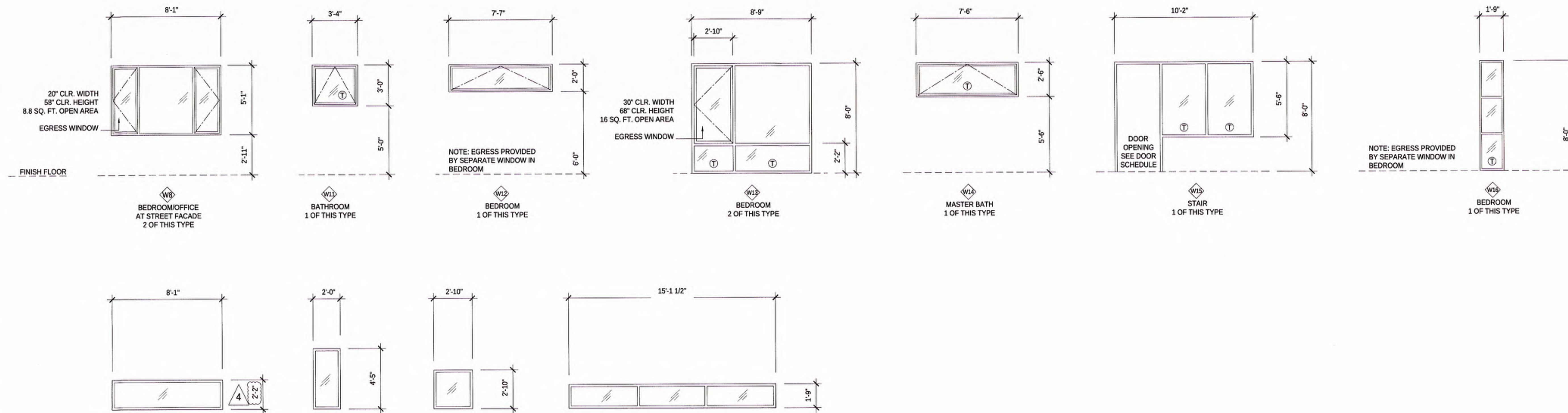
WINDOW NOTES

- 1. FIELD VERIFY ALL OPENINGS
- 2. SKYLIGHTS SHALL BE CURB MOUNT

WINDOW SCHEDULE

MARK	OPERATION	GLASS	FRAME			COMMENTS
			CONST.	FINISH	RATING	
W8	CASEMENT/FIXED	CLR	ALUM	CLR	NR	
W11	CASEMENT	CLR	ALUM	CLR	NR	TEMPERED GLAZING
W12	AWNING	CLR	ALUM	CLR	NR	
W13	CASEMENT/FIXED	CLR	ALUM	CLR	NR	TEMPERED GLAZING
W14	AWNING	CLR	ALUM	CLR	NR	TEMPERED GLAZING
W15	FIXED	CLR	ALUM	CLR	NR	TEMPERED GLAZING
W16	FIXED	CLR	ALUM	CLR	NR	TEMPERED GLAZING
S1	FIXED	CLR	ALUM	CLR	NR	
S2	FIXED	CLR	ALUM	CLR	NR	
S3	FIXED	CLR	ALUM	CLR	NR	
S4	FIXED	CLR	ALUM	CLR	NR	

WINDOW TYPES



Cumby Architecture

1951 Taylor Street
San Francisco, CA 94133
Tel: 415.505.1536
Email: david@cumbyarchitecture.com
Web: www.cumbyarchitecture.com

PROJECT/CLIENT:
Residential Addition
163 28th Street
San Francisco, CA 94131

Sara Ahmadian and Andrew Swerdlow
163 28th Street
San Francisco, CA 94131
650.224.2539

Residential Addition

ISSUE/DATE:

Site Permit Set	2-08-2021
Plan Check 1	1-20-2022
Plan Check 2	3-30-2022
Plan Check 3	10-24-2022
4 Plan Check 4	1-10-2023

DBI STAMP:

Roger Ly, SFFD
AUG 24 2023

APPROVED
Dept. of Building Insp.
San Francisco
JAN 12 2024
PATRICK O'BRIEN
DIRECTOR
DEPT. OF BUILDING INSPECTION

LICENSED ARCHITECT
EDWARD
NO. 29182
EXP. 11/30/23
STATE OF CALIFORNIA

RECEIVED
JAN 25 2023
DEPT. OF BUILDING INSPECTION
THEIR PLAN MEETS THE QUALITY
STANDARD FOR ISSUING
ACCEPTED

**Exhibit A
Appeal
No. 24-007**

APPROVED BY SYLVIA JIMENEZ
SEP 19 2023
PLANNING DEPARTMENT

Sebastian Bendezu, DBI
JAN 30 2023

SCALE: NTS
TITLE: WINDOW SCHEDULE
SHEET:

A9.2 3

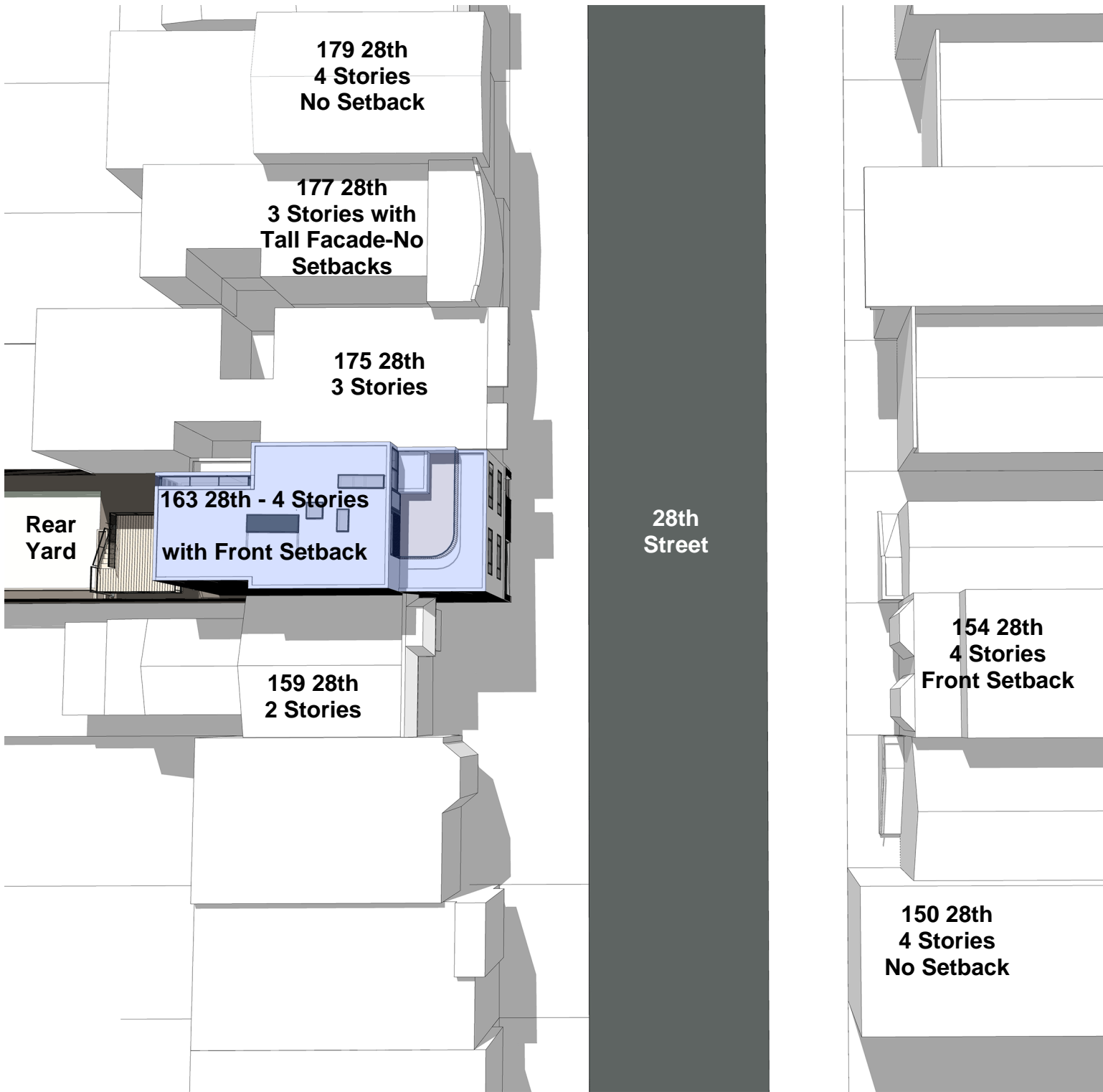


Exhibit B
Appeal No. 24-007

Site Plan
Building Heights
at 28th Street



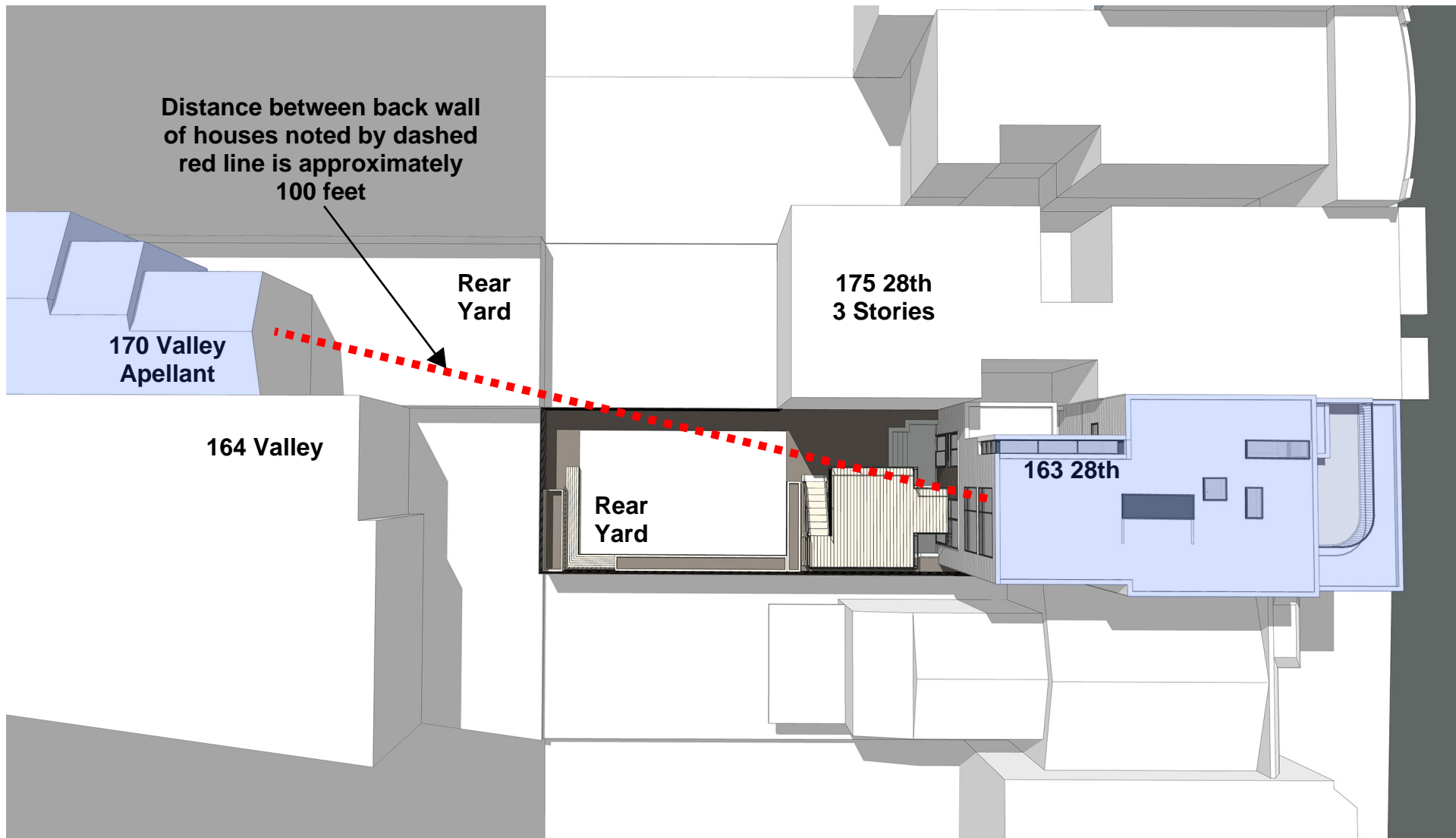


Exhibit C
Appeal No. 24-007

Aerial View at Rear Yard
163 28th Street



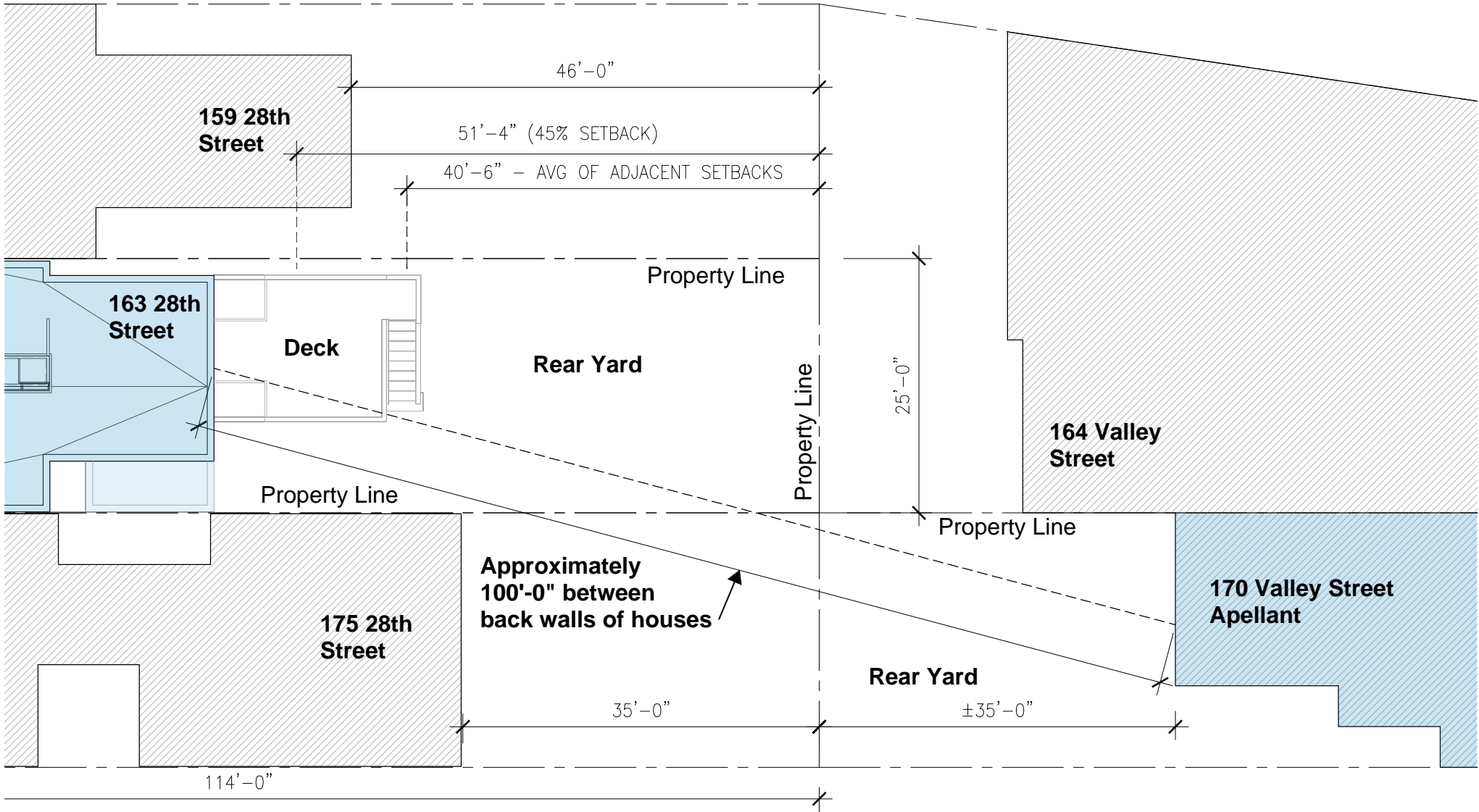
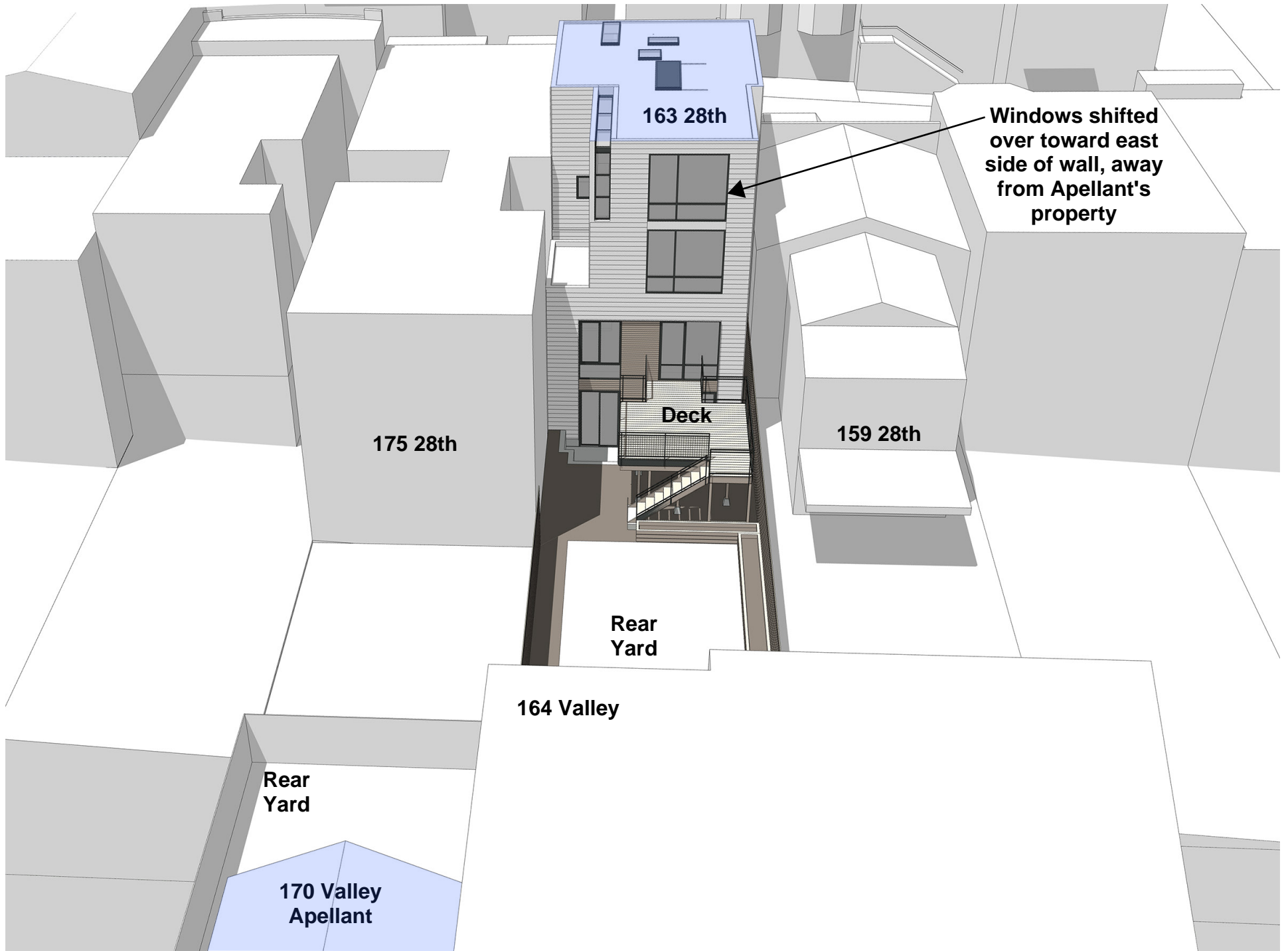


Exhibit D
Appeal No. 24-007

Partial Site Plan
163 28th Street





163 28th

Windows shifted over toward east side of wall, away from Apellant's property

175 28th

Deck

159 28th

Rear Yard

164 Valley

Rear Yard

170 Valley
Apellant

**170 Valley
Apellant** →



Exhibit F
Appeal No. 24-007

View from deck at 163 28th looking
southwest toward 170 Valley