

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
MING MAU, _____)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION, _____)
PLANNING DEPARTMENT APPROVAL Respondent

Appeal No. **23-061**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on November 22, 2023, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the issuance on November 15, 2023, to Bryant Edward Corwin, of a site permit (second story addition rear of home; upstairs addition to include two bedrooms, two bathrooms, one laundry room; downstairs remodel to include new, full bathroom, kitchen expansion and new family room; deck remodel at backyard) at 415 Grafton Avenue.

APPLICATION NO. 2022/08/15/0509

FOR HEARING ON January 31, 2024

Address of Appellant(s):

Address of Other Parties:

Ming Mau, Appellant(s) 429 Grafton Avenue San Francisco, CA 94112	Bryant Edward Corwin, Permit Holder(s) c/o Tyler Kobick, Agent for Permit Holder(s) 2866 Webster Street Oakland, CA 94609
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Date Filed: November 22, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-061

I / We, **Ming Mau**, hereby appeal the following departmental action: **ISSUANCE** of **Site Permit No. 2022/08/15/0509** by the **Department of Building Inspection** which was issued or became effective on: **November 15, 2023**, to: **Bryant Edward Corwin**, for the property located at: **415 Grafton Avenue**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **January 11, 2024**, (no later than three Thursdays prior to the hearing date). The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org, info@designdrawbuild.com, studio@designdrawbuild.com and eddiecorwin@gmail.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **January 25, 2024**, (no later than one Thursday prior to hearing date). The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org and evelynmau@hotmail.com.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, January 31, 2024, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place.**

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the Preliminary Statement of Appeal.

Appellant:

Signature: On File.

Print Name: Ming Mau, appellant.

Applicant Name: Ming Mau (Evelyn)

email: evelynmau@hotmail.com


Address: 429 Grafton Ave, San Francisco, CA 94112

Permit Appeal: 202208150509

Permit Address: 415 Grafton Ave, SF. CA 94112

Summary:

The proposed building vertical addition is right on the property line. Concern of the impacts of lighting, privacy, and safety. There is no setback.

Signed: 

Date: 11/22/2023

Permit Details Report

Report Date: 11/22/2023 1:16:33 PM

Application Number: 202208150509

Form Number: 3

Address(es): 7016 /049 /0 415 GRAFTON AV

Description: 2ND STORY ADDITION REAR OF HOME. UPSTAIRS ADDITION TO INCLUDE 2 BEDROOMS, 2 BATHROOMS, 1 LAUNDRY ROOM. DOWNSTAIRS REMODEL TO INCLUDE NEW FULL BATHROOM, KITCHEN EXPANSION, NEW FAMILY ROOM. - DECK REMODEL AT BACKYARD.

Cost: \$500,000.00

Occupancy Code: R-3

Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
8/15/2022	TRIAGE	
8/15/2022	FILING	
8/15/2022	FILED	
11/8/2023	APPROVED	
11/15/2023	ISSUED	

Contact Details:

Contractor Details:

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description:

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
CPB		8/19/22	8/24/22			8/24/22	SONG SUSIE		8/19/22: SIGNED DWGS RECEIVED. PENDING PAYMENT. SS 8/15/22: RECEIVED ESTIMATED COST, NEED SIGNATURE ON PLANS. SS 7/1/22: EMAILED APPLICANT FOR RE-PLAN CHECK COMMENTS.
CP-ZOC		8/24/22	12/7/22	12/8/22	5/11/23	5/11/23	KWIATKOWSKA NATALIA		5/11/23: Approved one-story vertical addition, rear horizontal addition, and an interior remodel to an existing one-story, single-family home per DRA-823 - NF. 11/22/22: assign to planner; contact heidi.kline@sfgov.org - NF.
CP-NP		12/12/22	12/12/22	12/12/22	12/20/22	1/30/23	KLINE HEIDI		1/4/23: Planner H.Kline retired on 1/4/23; Please direct all planchecks and emails to

									Natalia.Fossi@sfgov.org. 12/12/22: Emailed 311 cover letter - Vlad 12/20/22: Mailed 311 notice 12/29/22; Expires 1/30/23 - Vlad
CP-DR		1/26/23	2/10/23			3/31/23	KWIATKOWSKA NATALIA		3/30/23: Planning Commission did not take DR per DRA-823. 1/26/23 - DR Received. Intake assigned to L. Cook.
BLDG		5/12/23	6/12/23	6/12/23		8/7/23	MARSULLO EDWIN	Issued Comments	Comments in Bluebeam. Email sent. 6/12/2023
BLDG	3	9/25/23	9/25/23			9/25/23	CHAN PHILIP	Approved	
BLDG	1	8/10/23	8/10/23			8/10/23	CHAN PHILIP	Issued Comments	Backcheck complete. Need AB-009 attachemtn B notarized and recorded. Email sent.
BLDG	2	9/8/23	9/21/23			9/22/23	CHAN PHILIP	Approved	Approved in BB
SFFD		5/12/23	8/7/23			9/11/23	MARSULLO EDWIN	Approved	Routed to Marsullo via BB 5/16/23. pf Approved in Bluebeam, no inspection required. 19 OCT '23 - N/A for missed AB-009 in Bluebeam. EFM.
DPW-BSM		5/12/23	5/17/23			5/17/23	DENNIS RASSENYLL		5.17.23 Approved EPR SITE Permit only. ADDENDA requirement(s) for sign off: street improvement for final inspection and curb cut to city standards. All sidewalk applications and plans MUST be applied online. Download sidewalk applications at http://www.sfpublicworks.org/services/permits . Your application will be ON-HOLD until all necessary PUBLIC WORKS-BSM permits are completed or plan checker(s) could recommend sign off to the satellite office via email. - RD
SFPUC		5/12/23	6/9/23			6/9/23	IMSON GRACE		06/09/2023 - APPROVED. NO CAPACITY CHARGES.
CP-ZOC		7/19/23	7/24/23			7/24/23	KWIATKOWSKA NATALIA		7/24/23: restamp - NF.
DPW-BSM		7/19/23	8/14/23			8/14/23	DENNIS RASSENYLL	Approved-Stipulated	Restamped EPR SITE Permit only. ADDENDA requirement(s) for sign off: street improvement for final inspection and curb cut to city standards shown on google view. All sidewalk applications and plans MUST be applied online. Download sidewalk applications at http://www.sfpublicworks.org/services/permits . Your application will be ON-HOLD until all necessary PUBLIC WORKS-BSM permits are completed or plan checker(s) could recommend sign off to the satellite office via email. - RD
SFPUC		7/19/23	7/26/23			7/26/23	IMSON GRACE		07/26/2023 - RESTAMP DRWG REV#2. APPROVED. CAPACITY CHARGES NOT APPLICABLE.
CP-ZOC		8/4/23	8/10/23			8/10/23	KWIATKOWSKA NATALIA	Administrative	N/A; please route final plans for restamp - NF.
SFPUC		8/4/23	8/9/23			8/9/23	IMSON GRACE	Approved	08/09/2023 - Restamp Drwg-Rev#3. Approved.

DPW-BSM	2	9/8/23	10/18/23			10/18/23	DEVINE THEO	Approved-Stipulated	Restamped EPR SITE Permit only. ADDENDA requirement(s) for sign off: street improvement for final inspection and curb cut to city standards shown on google view. All sidewalk applications and plans MUST be applied online. Download sidewalk applications at http://www.sfpublishworks.org/services/permits . Your application will be ON-HOLD until all necessary PUBLIC WORKS-BSM permits are completed or plan checker(s) could recommend sign off to the satellite office via email. - TD
SFPUC	2	9/8/23	9/14/23			9/14/23	IMSON GRACE	Approved	09/14/2023 - APPROVED DRWG-REV#4
CP-ZOC	2	9/8/23	9/8/23			9/8/23	KWIATKOWSKA NATALIA	Administrative	N/A; please route final plans for restamp - NF.
PPC		8/24/22	8/24/22			11/2/23	PHAM ANH HAI	Administrative	11/02/23 12:39 PM Invite sent to CPB to close out permit; HP 10/30/23: In HOLD, pending applicant signature on page 1 & 3 of school fee form; HP 10/27/23: Email sent to SFFD to stamp REV1 permit application form, and applicant to sign page 1 & 3 of school fee form; HP 10/19/2023: Email sent to Planning for review and stamp of REV4 drawing;nl 9/8/2023: Invite sent to plan checkers to review and stamp REV4 drawing;nl 8/4/2023: Invite sent to plan checkers to review and stamp REV3 drawing;nl 7/19/2023: Invite sent to plan checkers to review and stamp REV2 drawing;nl 5/12/23: Invite sent to BLDG, SFFD, BSM & SFPUC to start electronic plan review. TW 5/9/23: Invite sent to CP-ZOC plan checker to review and stamp REV1 drawings. TW 8/24/2022: Invite sent to applicant to join BB session;nl 8/24/2022: Bluebeam session created, invite sent to CP-ZOC (Planning) to start electronic plan review;nl
CPB		11/2/23	11/8/23			11/15/23	SONG SUSIE	Administrative	11/15/23: PAYMENT RECEIVED. SITE ISSUED. NOTIFICATION MATERIALS TO CPB. EMAILED LINKS TO APPLICANT. SS 11/8/23: PENDING PAYMENT. SS 11/6/23: EMAILED APPLICANT FOR OWNER BUILDER FORM OR CONTRACTOR STATEMENT. SS 11/03/2023: SFUSD fee included to issuance fee.ay 11/02/2023: SFUSD form sent for calculation, permit not ready to be issued.ay VERIFY FIRE FEES AT PERMIT ISSUANCE.

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

BRIEF SUBMITTED BY THE APPELLANT(S)

BRIEF

Appeal No.: 23-061

Appeal Title: Mau vs. DBI, PDA

Subject Property: 415 Grafton Avenue

Permit Type: Site Permit

Permit No.: 2022/08/15/0509

Appellant's Written Statement

Board of Appeals members

My name is Evelyn Mau, the property owner of 429 Grafton, the adjacent property (west side) of 415 Grafton, the permit address.

The two building (415 and 429) are similar in terms of height and look. Both buildings have an A-shape roof. Even though we are adjacent to each other, I am able to receive morning sunlight (see #1 – Photo).

The new building will square the A-shape roof and add a new floor on top of the existing floor (please refer #2 – Existing , #3 – New, #4 – New Flooring Height). The new square roof will have a significant negative impact to our morning sunlight and airflow. There are nine (9) windows on the upper level and three (3) windows on the lower level of the building. They will be affected.

The new building will install three (3) new windows on the property line and three (3) new windows at the back of the building. We have privacy and safety concerns about those new windows, especially those new windows that will be opened on the property line. There will be a significant negative impact to the 429 building.

I fully support additions, remodeling, and adding new spaces in San Francisco. I would appreciate property owners or builders can take considerations of impacts to their neighbors when designing their project. The design should fully compliance with SF building codes as well as take consideration of the impact of environment and their adjacent buildings.

My Asks – please consider to revise the design:

1. New construct to set back 3' from the property line
2. If #1 is not doable, please consider to lowering the height of the new building height to 29'
3. On the property line , all windows should be obscured, non-operable, and fire-rated

#1 – Photo 1:



#2 – Existing



(E) TOP OF ROOF
24'-0"

(E) 1ST FLOOR CEILING
16'-4"

#3 – New





- (N) TOP OF ROOF
31'-3"
- (N) 2ND FLOOR CEILING
27'-5 1/2"
- (E) TOP OF ROOF
24'-0"
- (N) 2ND FLOOR F.F.
19'-5 1/2"
- (N) 1ST FLOOR CEILING
18'-5"

#4 – Floor Height Per Drawing Provided



2nd Floor height between
8' – 12'
(from 19'-5 1/2" to 27' 5 1/2")
(from 19'-5 1/2" to 31'-3")

1st Floor 10' height
(from 8'-5" to 18'-5")



— — (N) TOP OF ROOF
31'-3" 


— — (N) 2ND FLOOR CEILING
27'-5 1/2" 


— — (E) TOP OF ROOF
24'-0" 

— — (N) 2ND FLOOR F.F.
19'-5 1/2" 
— — (N) 1ST FLOOR CEILING
18'-5" 

— — (E) 1ST FLOOR CEILING
16'-4" 

— — (E) 1ST FLOOR F.F.
8'-5" 
— — (E) FF SLAB BOT
7'-5" 

— — (E) FRONT YARD LEVEL
3'-0" 

— — (E) BASEMENT F.F.
0" 

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

Permit Holder's brief for Appeal No. 23-061

Dear Board of Appeals,

I am the permit holder at 415 Grafton Avenue. I am submitting this brief with the **request that you uphold the entitlement as is, with no new conditions.** I live at 415 Grafton Avenue with my wife, son, daughter, and my mother-in-law. Our house is 1,000 square feet, which is becoming too small as my children grow and soon will have to move into separate rooms. We are planning to add a second story to the rear of the house which will add approximately 650 square-feet of living space. These plans have been approved by the Planning Department and the Building Department, and demonstrate adherence to all relevant codes and laws.

The appellant previously requested a discretionary review with the Planning Commission, which unanimously declined the request. During that hearing it was stated that there is nothing extraordinary about this project. Before the Planning Commission hearing, I met with the appellant to discuss the design, listen to their concerns, and proposed alternatives. The appellant did not respond when I followed up with suggestions to address their concerns, nor did they respond to the Planning Department's request to mediate. The appellant is bringing the same set of requests to this appeal, none of which are related to the safety or code compliance of the design. Their requests include a setback of three feet

from the property line and existing building footprint, a reduction in height, and that windows on the property line be non-operable, fire rated and obscured.

Our existing house sits on the property line. The remodel maintains this placement, and adding a three foot setback would significantly reduce the amount of living space. Our survey shows that our houses are separated by 11 feet, which is more than the 6 feet required by AB-009.

The height of the design is currently 27 feet 3 inches at the peak of the roof. This is below the zoning maximum of 35 feet. At this height, the ceilings at the rear of the house are 8 feet tall, which is only six inches higher than the minimum allowed height. We performed a daylight study in response to the appellants' concerns and demonstrated that they continue to receive direct sunlight into their windows throughout the year, with less than 43 minutes of reduced direct morning sunlight from the East, on average.

All new windows along the property line are non-operable and fire rated as required by code. None of the new windows match up (or line up) with the appellant's windows, and are an improvement from the existing windows that are operable and not fire rated. The only new window located on the ground floor is above the eyeline and is there for light, not for views. The appellant has 12 windows facing the property line. Our plans place three windows facing the

property line along with two existing windows, five total and a net increase of one window.

The appellant's house is located on a 5,000 SqFt double wide lot (twice the size of our lot). It is fully detached and receives daylight from all exposures. It contains an existing non-conforming rear setback that would not be allowed if built today, and it is significantly taller than the house to its west (433 Grafton).

We simply want to expand our living space to meet the needs of our growing family. We intentionally designed for a modest expansion that does not extend to the full limits allowed.

Please uphold the entitlement as is, with no new conditions.

Thank you,

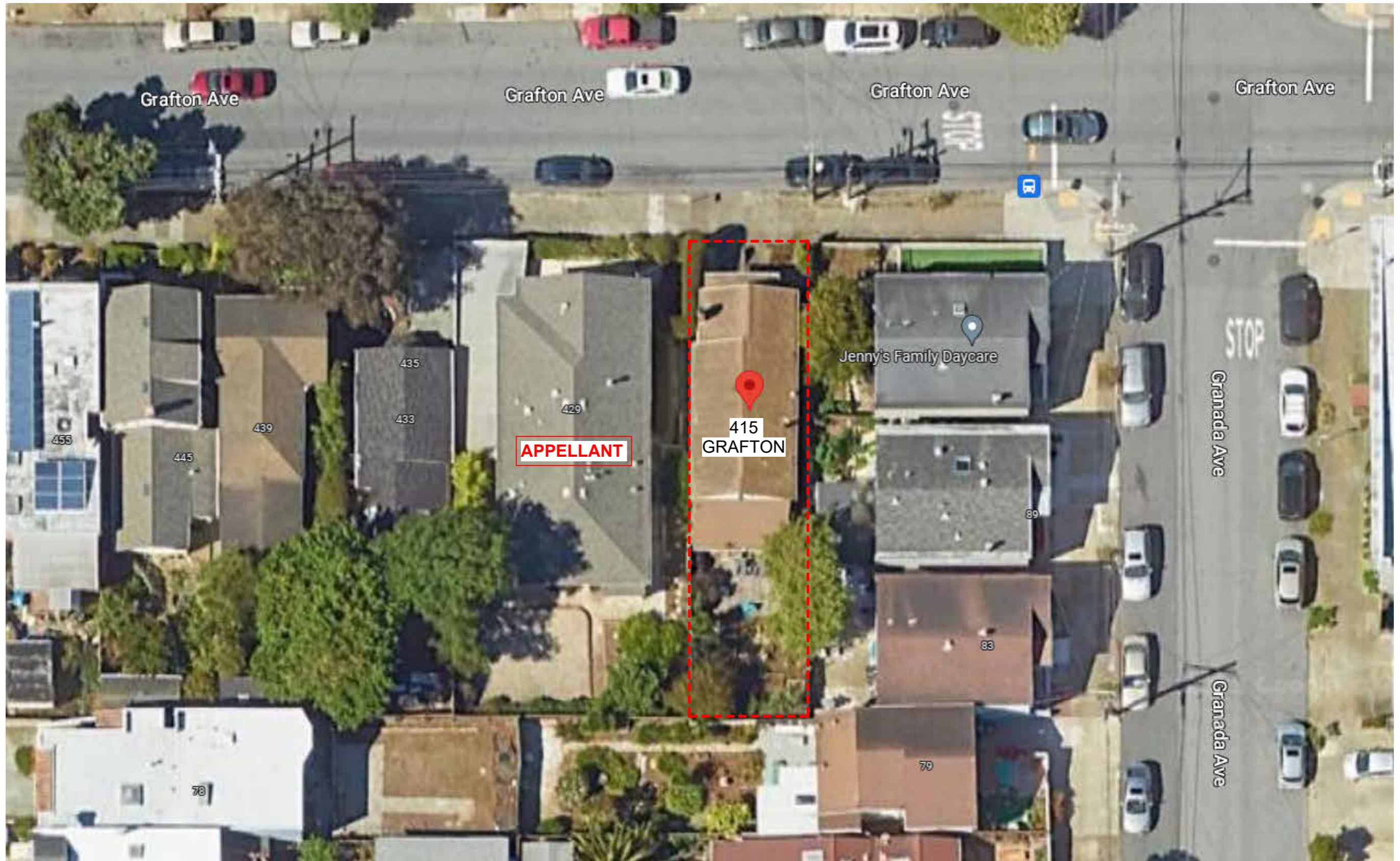
Bryant "Eddie" Corwin

Exhibits

Exhibit Pages 1-8: Drawings, images and documentation relevant to the specific issues raised by the appellant and outlined in the above brief.

1. Satellite image
2. Survey
3. Site plans (existing & proposed)
4. Renderings (existing & proposed)
5. West elevation with window placements (existing & proposed)
6. Solar study
7. Rendering of view from 439 Grafton
8. AB-009 compliance

Exhibit Pages 9-33: Drawings set approved by The City of San Francisco.

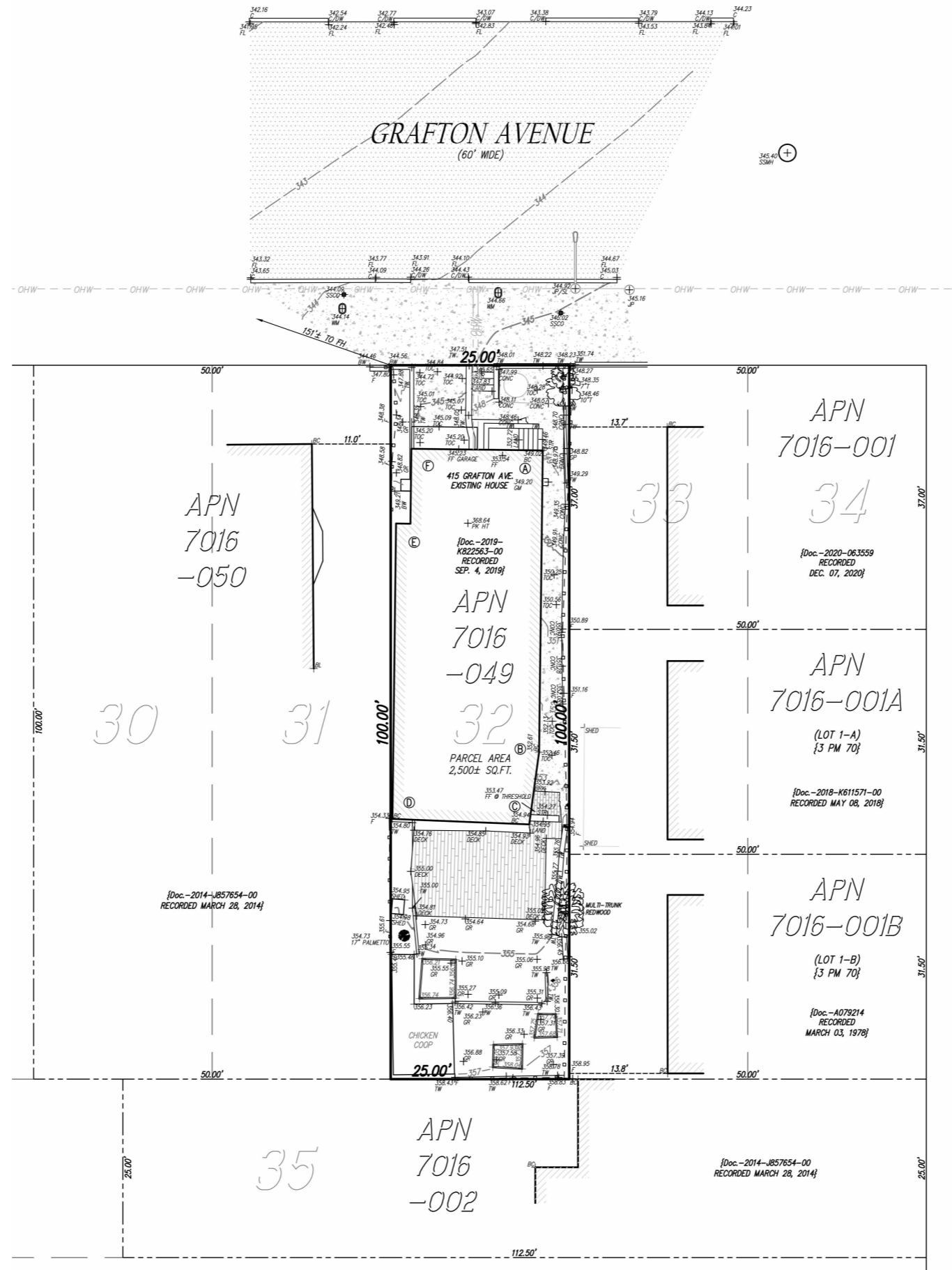


415 GRAFTON AVE
VERTICAL ADDITION

SATELLITE MAP

03/30/23
DDB PROJECT #: 2112
PA 01





415 GRAFTON AVE

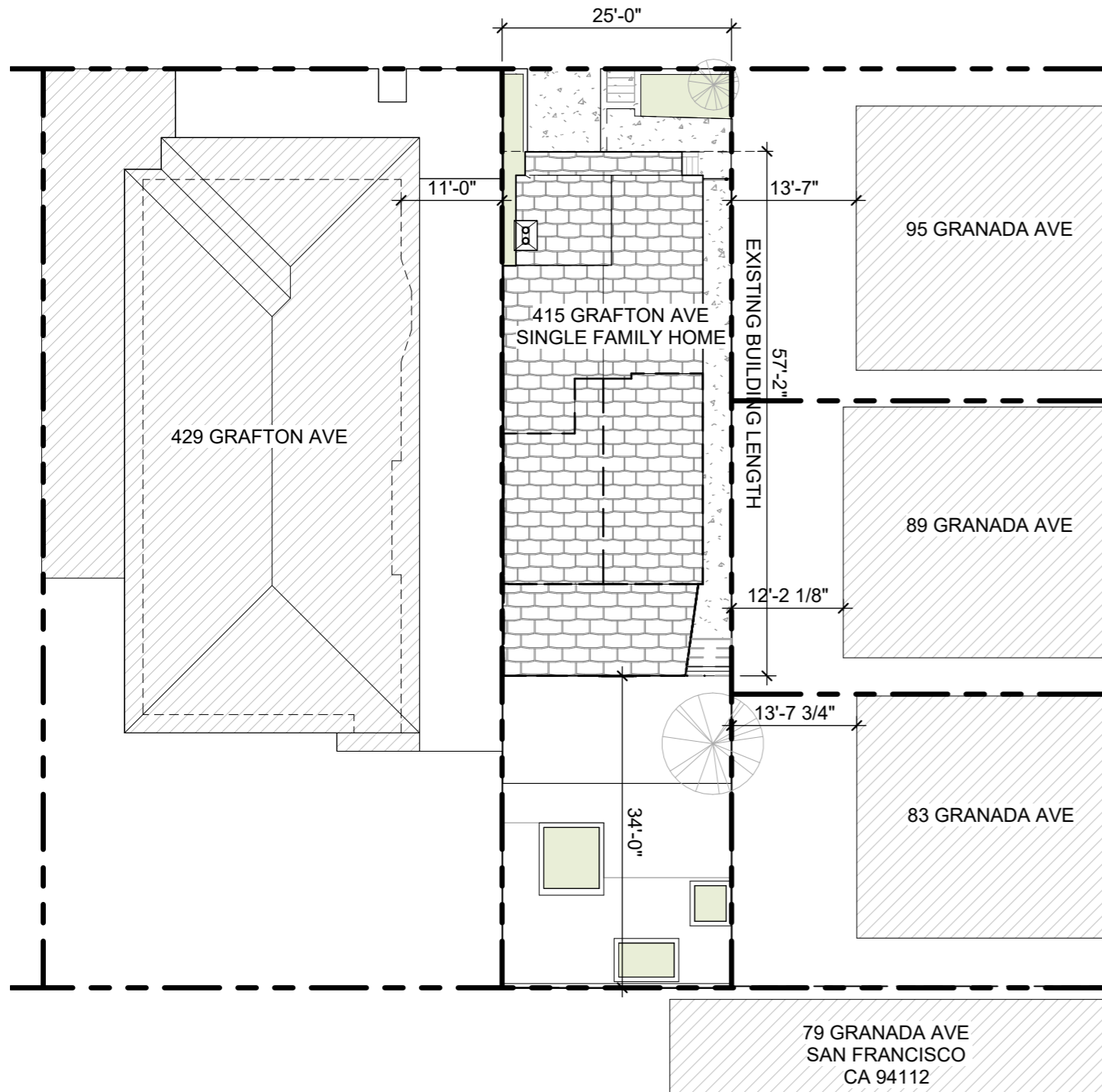
VERTICAL ADDITION

SURVEY

01/16/24
DDB PROJECT #: 2112
PA 02

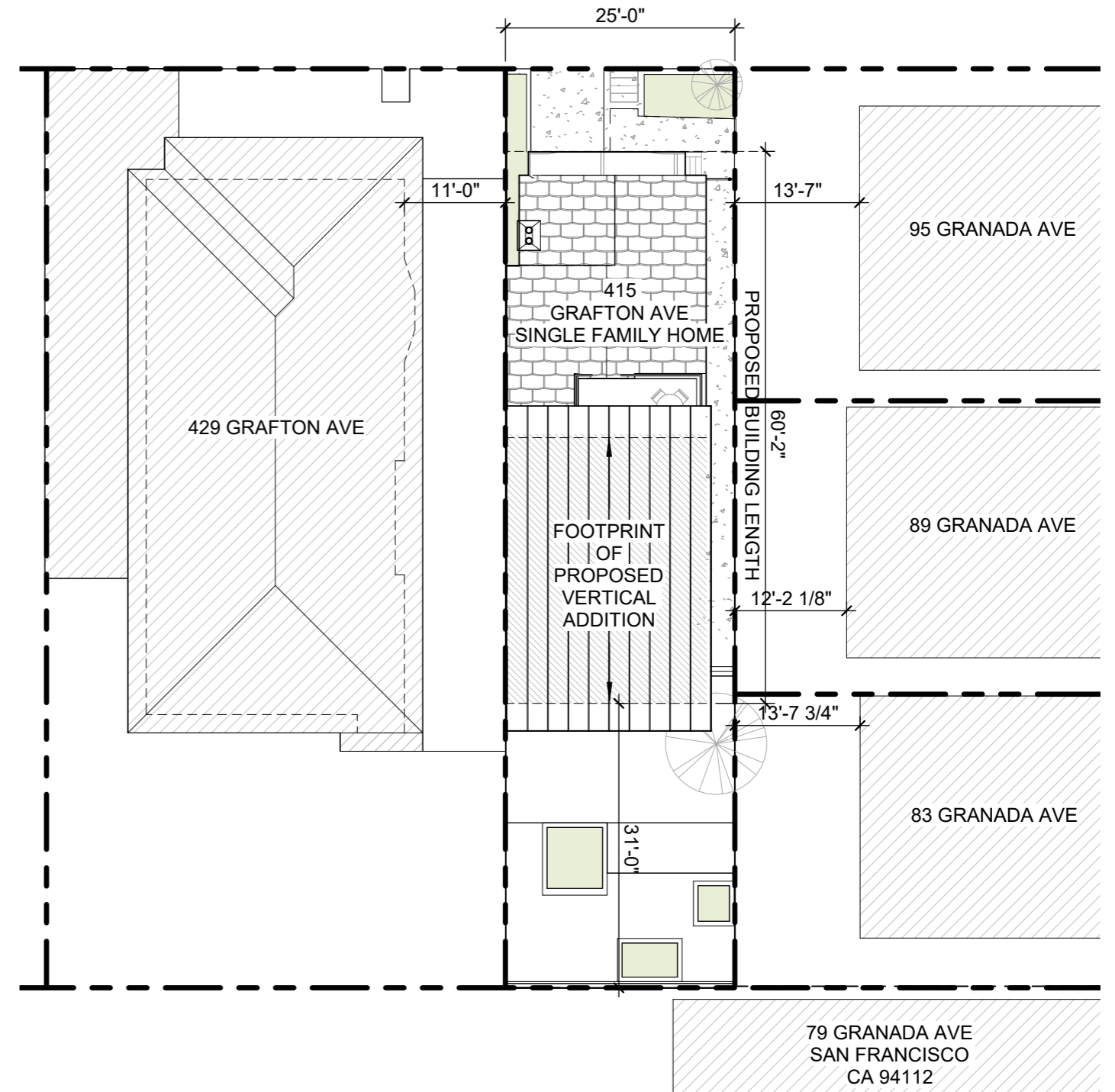


GRAFTON AVE

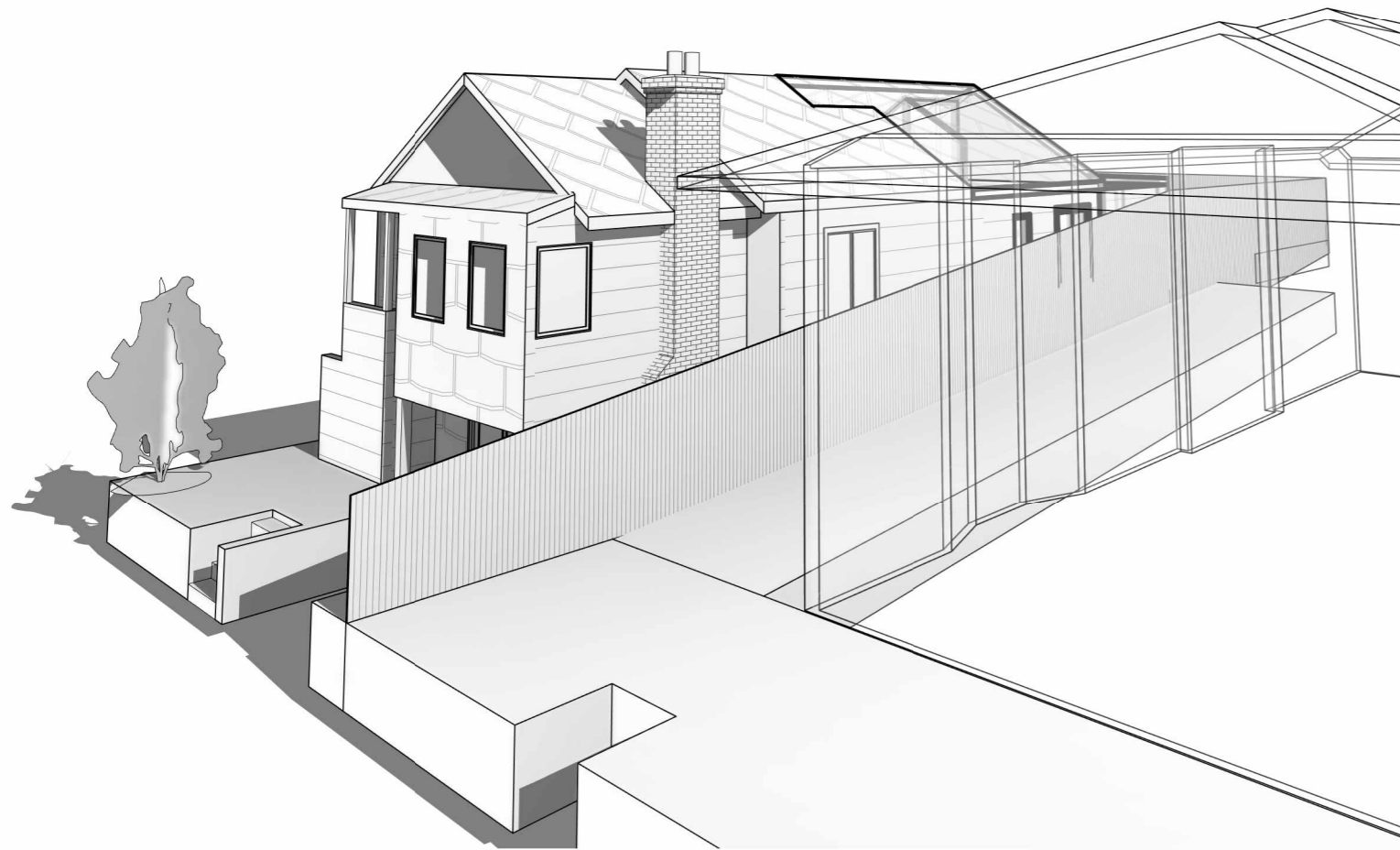


EXISTING SITE PLAN

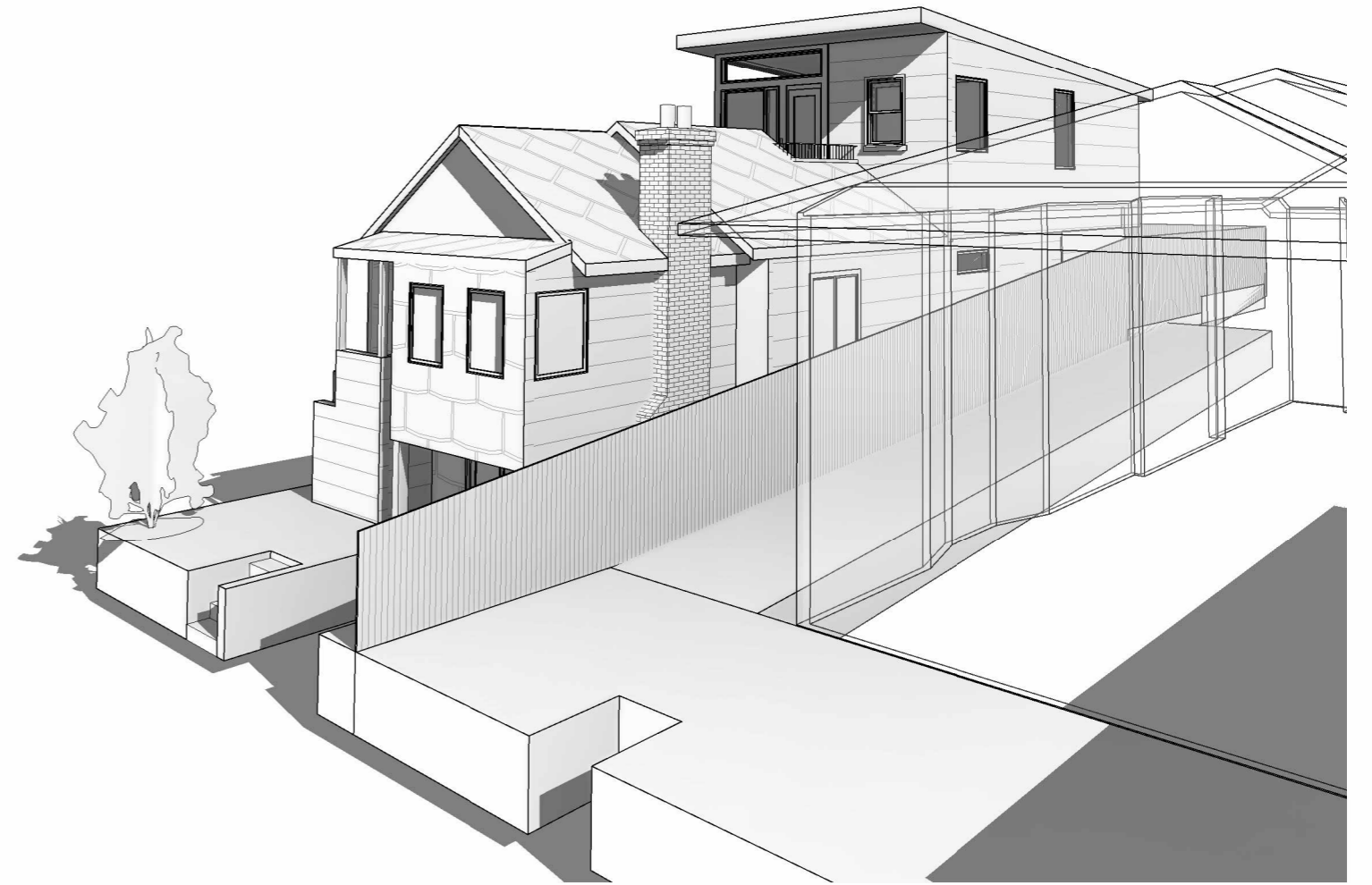
GRAFTON AVE



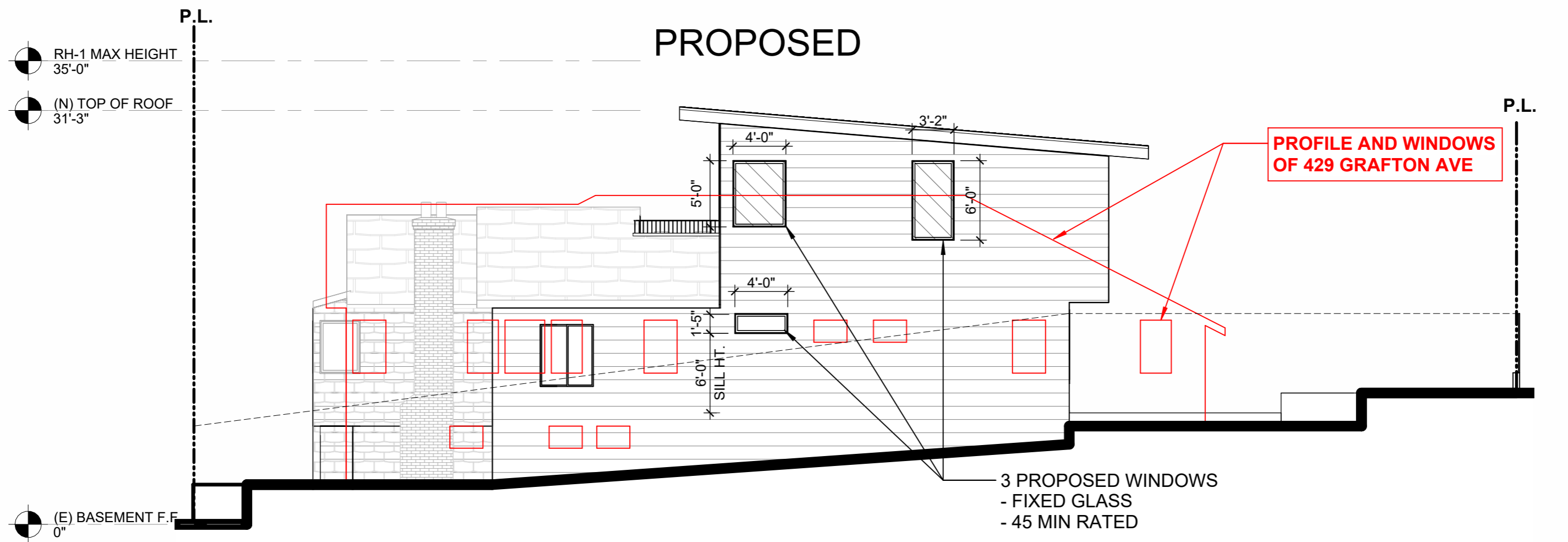
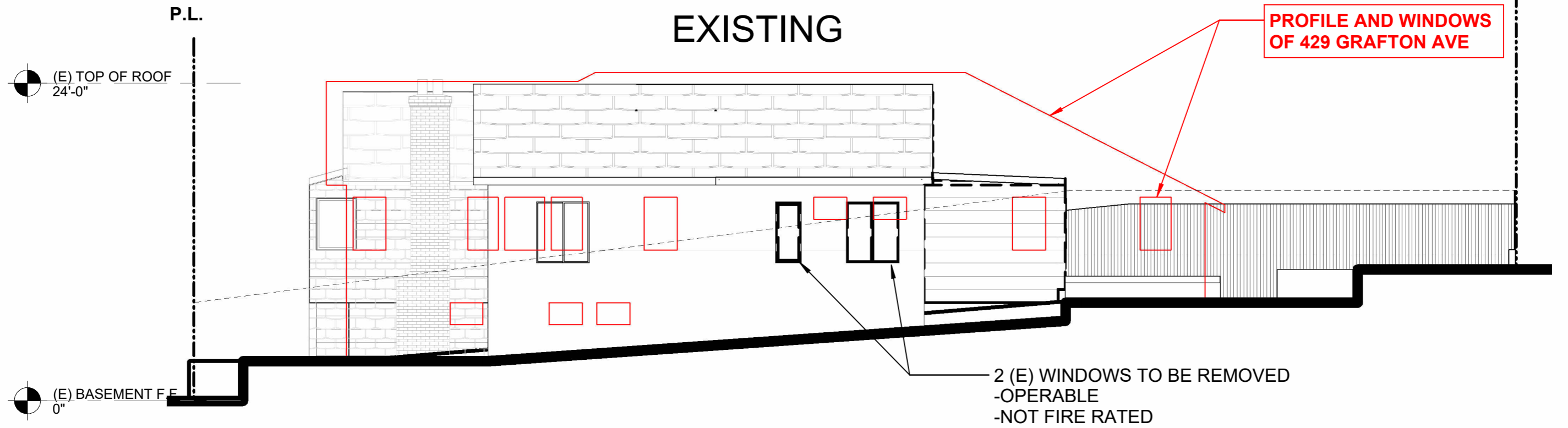
PROPOSED SITE PLAN



EXISTING
PERSPECTIVE



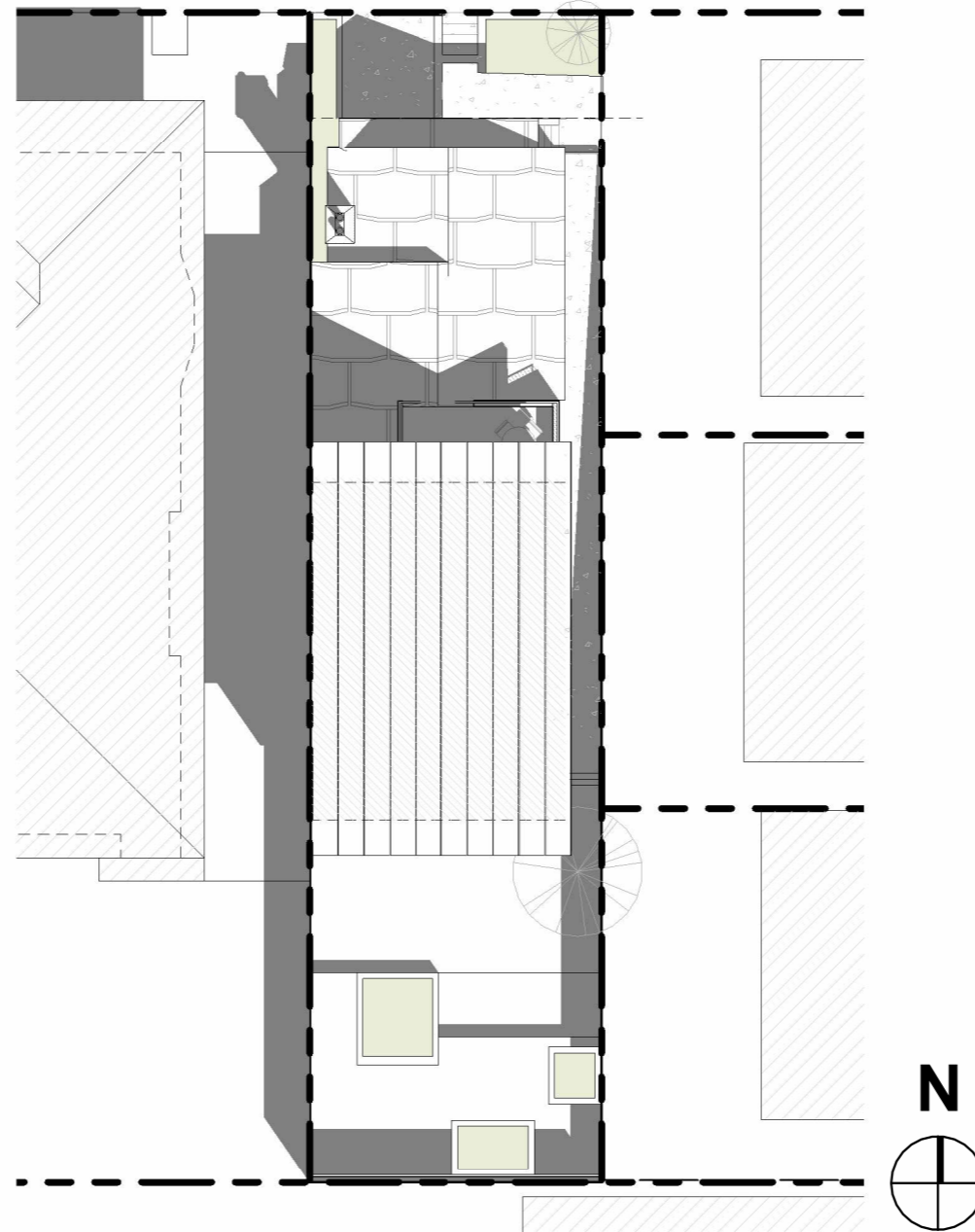
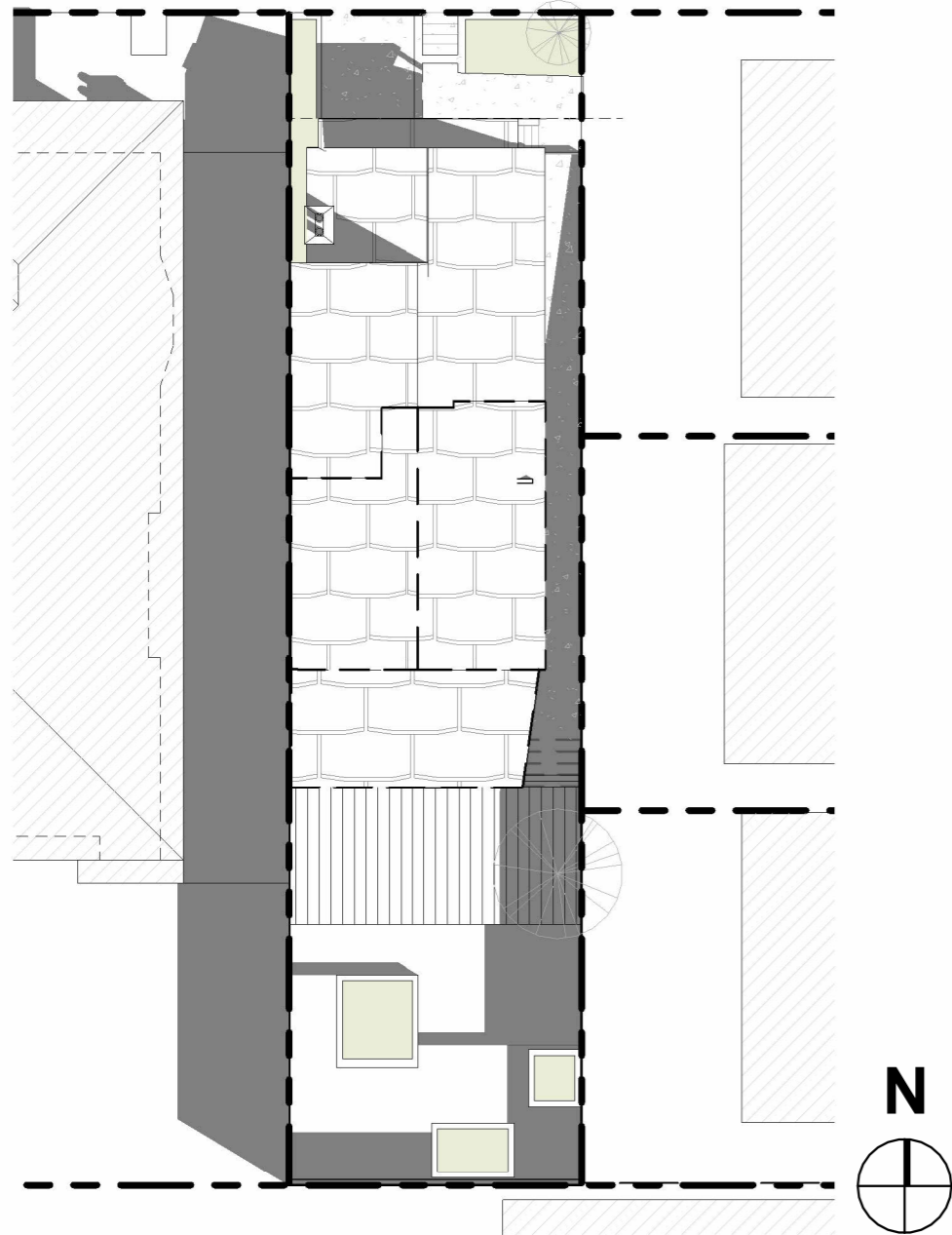
PERSPECTIVE WITH
PROPOSED ADDITION



EXISTING HOUSE

WITH PROPOSED ADDITION

ESTIMATED EAST SUN REDUCTION



	CURRENT	PROPOSED	DIFFERENCE
12/21	10:53 AM	11:25 AM	00:32
3/21	10:30 AM	11:15 AM	00:45
6/21	9:45 AM	10:45 AM	01:00
9/21	10:25 AM	11:00 AM	00:35

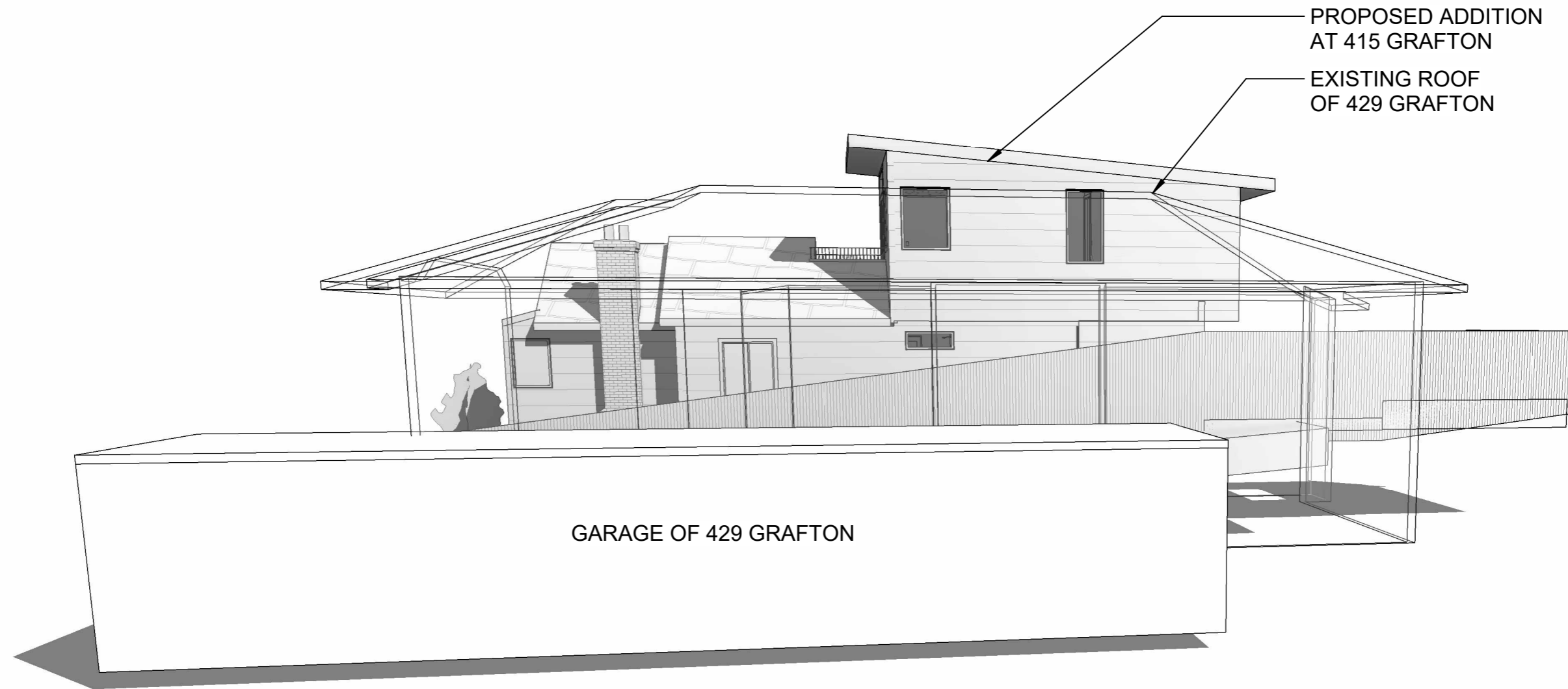
THE PROPOSED VERTICAL ADDITION AT 415 GRAFTON WOULD REDUCE THE SUNLIGHT EXPOSURE ON THE EASTERN WALL OF 429 GRAFTON BY AN AVERAGE OF **43 MINUTES** PER DAY

SINCE THIS IS MEASURED FROM THE BASE OF THE WALL, THE ACTUAL AMOUNT OF TIME THE WINDOWS ARE SHADED WILL BE EVEN LESS.

ADDITIONALLY, THE TWO WINDOWS AT THE REAR OF THE 429 GRAFTON WILL NOT BE AFFECTED

MARCH 21
SUNLIGHT HITS THE EAST FACADE AT
APPROXIMATELY **10:30AM**

MARCH 21
SUNLIGHT HITS THE EAST FACADE AT
APPROXIMATELY **11:15AM**



If a project sponsor wishes to propose methods of opening protection different than those listed below, proposals for the use of alternate materials, designs, or methods of construction may be submitted for review in the same manner as for this local equivalency. The Department of Building Inspection may require that additional substantiation be provided supporting any claims made for such proposals.

Procedure for Application of Local Equivalencies

Project sponsors wishing to apply local equivalencies must fill out and submit the Request for Approval of Local Equivalency form (Attachment A). Fees to be paid and scheduling of review of requests are as noted on that form. Following DBI review, each request will either be approved, approved with conditions, disapproved, or placed on Hold pending submittal of additional information.

Further details of procedures for the review of local equivalencies may be found in AB-005, Procedures for Approval of Local Equivalencies.

Conditions of Local Equivalencies

Openings in new building walls and new openings in existing building walls in Groups B, M, and R occupancies that are closer to property lines than permitted under SFBC Section 704.8 and Table 704.8 may be permitted on a case-by-case basis when the following provisions or approved equivalent provisions are met and the project sponsor provides documentation of the practical difficulties involved in carrying out the provisions of the regular code.

The standard provisions for this Local Equivalency include all of the following:

1. The openings may not be used to provide required light and ventilation, required egress, or for required emergency rescue.
2. The openings shall be fixed (non-operable) unless more than 50 feet above the roof of any adjoining building or more than the distance prescribed for protected openings in Table 704.8 in any direction from an adjoining building.
3. The openings shall be located entirely above any adjoining roof or at least six feet laterally beyond any wall of an adjoining building.
4. The openings shall be protected with fire assemblies, such as fire shutters or rated window assemblies, having a rating of at least 3/4 hour. Openings in walls which have a fire-protection rating of greater than 1-hour shall be protected by a fire assembly having a three-hour fire-protection rating in four-hour fire-resistive walls, a two-hour fire-protection rating in three-hour fire-resistive walls, and one-and one-half hour fire-protection rating in two-hour fire-resistive walls. Fire shutters, if provided, shall be actuated by smoke detectors located inside and by fusible links or other approved devices on the outside of the protected openings.
5. The opening shall be protected by a fire sprinkler system having ordinary temperature, quick-response type heads installed within 18" of the openings and spaced at 6 feet on center or at the manufacturer's recommended minimum spacing, whichever provides the closer spacing.

Exception: Openings in Group R Division 3 occupancies.
6. If the adjoining building contains R occupancy uses, proposed openings shall not be located closer than six feet measured in any direction to any existing opening on the adjoining building unless the adjoining owner gives written consent. A copy of the statement giving such consent shall be attached to the permit application.

1. NONE OF PROPOSED WINDOWS ALONG PROPERTY LINE ARE USED FOR LIGHT & VENTILATION, EGRESS, OR EERO
2. ALL PROPOSED WINDOWS ARE NON-OPERABLE
3. ALL OPENINGS ARE > 6' Laterally BEYOND WALL OF 429 GRAFTON. 11'-0" MIN. PER SURVEY
4. ALL OPENINGS 45 MINUTE FIRE RATED IN 1-HOUR RATED WALL ASSEMBLIES
5. EXCEPTION FOR GROUP R DIV 3 APPLIES SO NO OPENING PROTECTION SPRINKLERS REQUIRED
6. ALL OPENINGS ARE > 6' Laterally BEYOND WALL OF 429 GRAFTON. 11'-0" MIN. PER SURVEY
7. OWNER'S RECORDED STATEMENT PROVIDED IN DRAWING SET
8. COMPLIANCE DOCUMENTED IN DRAWING SET
9. ALL ABOVE COMPLIANCE MEASURES DOCUMENTED IN APPROVED PERMIT DRAWING SET

415 GRAFTON AVE

415 GRAFTON AVE, SAN FRANCISCO CA 94112

SITE PERMIT
202208150509 S
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

DESIGN DRAW BUILD
ARCHITECTURE + CONSTRUCTION
TYLER KOBICK, AIA
2866 WEBSTER STREET
OAKLAND, CA 94609
510.833.2643
www.designdrawbuild.com



GENERAL NOTES

- GENERAL NOTES**
- ALL CONSTRUCTION SHALL CONFORM TO THE 2022 CALIFORNIA BUILDING CODE AND SHALL BE EQUAL TO OR EXCEED LOCAL AND COUNTY MINIMUM CONSTRUCTION REQUIREMENTS.
 - ENGINEER'S NOTES TAKE PRECEDENCE OVER THESE NOTES.
 - STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF THE A.S.T.M.
 - WRITTEN DIMENSIONS AND NOTES TAKE PRECEDENCE OVER SCALED DRAWINGS.
 - DIMENSIONS ARE FROM FACE OF FINISH U.O.N.
 - SITE CONDITIONS TAKE PRECEDENCE OVER ALL NOTES AND DRAWINGS. BUILDER SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE FIELD CONDITIONS.
 - FLASH AND COUNTERFLASH TO PROVIDE A WATERTIGHT JOB. STEPFLESH SOUTHLIGHTS AND CHIMNEYS AND ALL OTHER PERPENDICULAR INTERSECTIONS.
 - ALL MATERIAL STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
 - PROVIDE ALL NECESSARY BLOCKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PANELS, HVAC EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.
 - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
 - CEILING HEIGHT DIMENSIONS ARE FROM FINISHED FLOOR OR SLAB TO THE FINISHED FACE OF CEILING.
 - DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION, WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, DETAILS OF CONSTRUCTION SHALL BE USED SUBJECT TO THE REVIEW AND APPROVAL OF THE ARCHITECT.
 - THE CONTRACTOR SHALL CONTINUE HIS/HER OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUBCONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS/HER WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF HIS/HER OPERATION.
 - ALL MATERIALS SHALL BE HANDLED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
 - THESE DRAWINGS INDICATE THE GENERAL SCOPE OF THE PROJECT IN TERMS OF THE OVERALL CONCEPT. THE DIMENSIONS OF THE BUILDING, THE MAJOR ARCHITECTURAL ELEMENTS AND THE TYPE OF STRUCTURAL MECHANICAL, ELECTRICAL SYSTEMS, ON THE BASES OF THE GENERAL SCOPE INDICATE OR DESCRIBED. THE CONTRACTOR SHALL FURNISH ALL ITEMS REQUIRED FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK. APPROVAL BY THE CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM THE PLANS AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL PERFORM IN A MANNER CONFORMING TO APPLICABLE REGULATIONS AND REQUIREMENTS OF ALL GOVERNING AGENCIES AS WELL AS STANDARD INDUSTRY PRACTICES.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK. SHOULD A DISCREPANCY APPEAR IN THE SPECIFICATIONS OR DRAWINGS OR IN THE WORK DONE BY OTHERS FROM THE CONTRACT DOCUMENTS THAT AFFECT ANY WORK NOTIFY THE ARCHITECT AND OWNER IN WRITING AT ONCE FOR INSTRUCTIONS TO PROCEED. IF THE CONTRACTOR PROCEEDS WITH THE WORK AFFECTED WITHOUT WRITTEN INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT TO THE SATISFACTION OF THE OWNER WITH NO RESULTING COST TO THE OWNER. SHOULD A CONFLICT OCCUR IN OR BETWEEN THE DRAWINGS AND SPECIFICATIONS OR WHERE DETAIL REFERENCES ON THE CONTRACT DRAWINGS HAVE BEEN OMITTED, THE CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIAL AND

- CONSTRUCTION METHODS INVOLVED UNLESS A WRITTEN DECISION FROM THE ARCHITECT/OWNER HAS BEEN OBTAINED WHICH DESCRIBES AN ALTERNATE METHOD AND/OR MATERIALS OR UNLESS THE ORIGINAL BID IS APPROPRIATELY QUALIFIED.**
- COMPLETE CITY DEMOLITION DEBRIS RECOVERY PLAN WORKSHEET. ALL WASTE MUST BE HAULED BY CITY-REGISTERED WASTE TRANSPORTER TO A CITY-REGISTERED DIVERSION FACILITY. PROJECT TO DOCUMENT AT LEAST 65% WASTE DIVERSION.
- GREEN BUILDING NOTES**
- WATER CLOSETS TO BE WATERSENSE CERTIFIED, 1.28 GALLONS PER FLUSH MAXIMUM, OR DUAL FLUSH, PER CPC 411.2.
 - SHOWERHEADS TO BE WATERSENSE CERTIFIED, 1.8 GALLONS PER MINUTE AT 80 PSI MAXIMUM PER CPC 408.2. IF SHOWER HAS >1 SHOWERHEADS/SPRAYER, COMBINED FLOW RATE OF ALL SHOWERHEADS SHALL NOT EXCEED 1.8 GALLONS/MINUTE, OR SHOWER SHALL BE DESIGNED TO ALLOW ONLY 1 SHOWER OUTLET IN OPERATION AT A TIME.
 - RESIDENTIAL LAVATORY FAUCETS: BETWEEN 0.8 GPM @ 20PSI AND 1.2 GPM @ 60 PSI PER CPC 407.2.2.
 - NON-RESIDENTIAL LAVATORY FAUCETS: 0.5 GALLONS PER MINUTE AT 60 PSI.
 - KITCHEN FAUCETS AND WASH FOUNTAINS: 1.8 GPM MAXIMUM @ 60PSI PER CPC 420.2.1 & 420.2.2. NOTE: KITCHEN FAUCETS MAY TEMPORARILY INCREASE TO 2.2 GALLONS PER MINUTE AT 60PSI, AND MUST DEFAULT TO 1.8 GPM.
 - COMMERCIAL FOOD WASTE DISPOSER: DISPOSERS SHALL EITHER MODULATE THE USE OF WATER TO NO MORE THAN 1 GPM WHEN THE DISPOSER IS NOT IN USE (NOT ACTIVELY GRINDING FOOD WASTE/NOLOAD) OR SHALL AUTOMATICALLY SHUT OFF AFTER NO MORE THAN 10 MINUTES OF INACTIVITY. DISPOSERS SHALL USE NO MORE THAN 8GPM OF WATER.
 - ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLES 4.504.1 - 4.504.3. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLAINT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. (CALGREEN 4.504.2, 5.504.4)
 - CARPET: ALL CARPET INSTALLED IN THE BUILDING INTERIOR TO MEET THE REQUIREMENTS OF ONE OF THE FOLLOWING: (1) CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM, (2) CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD METHOD FOR THE TESTING OF VOCs (SPECIFICATION 01350), (3) NSF/ANSI 140 AT THE GOLD LEVEL, OR (4) SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGE™ GOLD. ALL CARPET CUSHION TO MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM. ALL CARPET ADHESIVE TO MEET CALGREEN TABLE 4.504.1 LIMITS. (CALGREEN 4.504.3, 5.504.4)
 - RESILIENT FLOORING: WHERE RESILIENT FLOORING (CORK, LINOLEUM, SHEET VINYL, RUBBER, ETC.) IS INSTALLED, RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS OF ONE OF THE FOLLOWING: (1) COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS LIST (HAPSE), (2) GREENGUARD CHILDREN & SCHOOLS CERTIFICATION, (3) RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE CERTIFICATION, OR (4) MEET CALIFORNIA DEPT. OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOCs (SPECIFICATION 01350)". (CALGREEN 4.504.4, 5.504.4)
 - COMPOSITE WOOD: NEW NON-STRUCTURAL HARDWOOD PLYWOOD, PARTICLE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET CALIFORNIA AIR RESOURCES BOARD FORMALDEHYDE LIMITS ("CARB PHASE 2"). SEE TABLE A4.504.1. (CALGREEN 4.504.5, 5.504.4)

- CONCRETE FOUNDATION NOTES**
- WHERE DRAIN ROCK IS USED, AGGREGATE SIZE TO BE 1" MAX AND 3/4" MIN. WHERE DRAIN PIPE IS USED, LAY PERFORATED PIPE WITH HOLES DOWN.
- CARPENTRY NOTES**
- ALL CARPENTRY SHALL BE CAREFULLY LAID OUT, CUT, FITTED, AND ERECTED. BRACE, PLUMB AND/OR LEVEL ALL MEMBERS AND PLACE THEM TO BEAR FULLY & ACCURATELY. SOLID-BLOCK ALL JOISTS AND BEAMS AT BEARINGS AND ENDS. NAIL, SPIKE, OR BOLT AS SHOWN OR AS REQUIRED. FOLLOW ENGINEERING CALCULATIONS AND DETAILS REGARDING ALL BEAMS, TRUSSES, RAFTERS, JOISTS, AND CONNECTIONS. ALL TIMBER CONNECTORS SHALL BE I.C.B.O. RATED AND INSTALLED AS RECOMMENDED BY MANUFACTURER. HARDWARE INDICATED IS FROM SIMPSON STRONG-TIE CATALOG.
 - ALL BEAMS TO HAVE FULL WOOD BEARING TO FOUNDATION BELOW.
 - THE CONTRACTOR SHALL DO ALL CUTTING, FITTING, OR PATCHING OF HIS/HER WORK THAT MAY BE REQUIRED TO MAKE ITS SEVERAL PARTS FIT TOGETHER PROPERLY AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY PART OF IT. ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES, SUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL UPON COMPLETION MATCH SURROUNDING SIMILAR SURFACES.
- PLUMBING NOTES**
- ALL FIXTURES TO BE SELECTED BY OWNER, U.O.N.
 - WHERE OCCURS, PROVIDE SEISMIC STRAPS AT THE TOP 3RD AND BOTTOM 3RD OF THE WATER HEATER PER CPC 507.2.
- ELECTRICAL NOTES**
- OUTDOOR RECEPTACLES AT GRADE SHALL BE GFCI PROTECTED.
 - ALL FIXTURES TO BE SELECTED BY OWNER, U.O.N.
 - CONTRACTOR TO CONFIRM LOCATIONS OF BOXES WITH OWNER.
 - PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, PANELS HVAC EQUIPMENT AND ALL OTHER ITEMS REQUIRING SAME.
 - ALL MATERIALS SHALL BE HANDLED AND INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. NEW LOW RISE RESIDENTIAL BUILDINGS (THREE STORIES OR LESS) TO HAVE ELECTRIC FUEL SOURCE FOR SPACE HEATING, WATER HEATING, AND CLOTHES DRYERS. STOVES MAY STILL USE NATURAL GAS IF DESIRED. PREWIRING FOR ELECTRIC APPLIANCES IS REQUIRED WHERE NATURAL GAS APPLIANCES ARE USED.

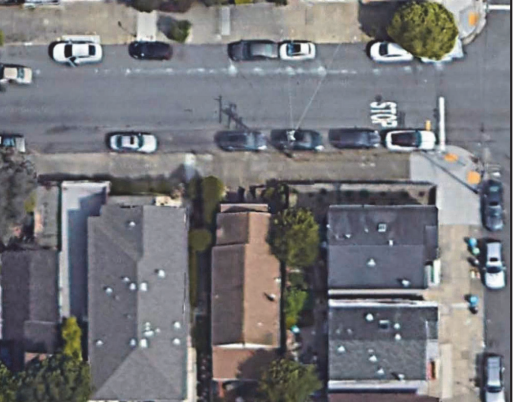
ABBREVIATIONS

#	PENNY (NAIL)	D.	DEEP	H.R.	HAND RAIL	O.	OVER	T.	TREAD
PL	PROPERTY LINE	DBL.	DOUBLE	H.	HIGH	O.C.	ON CENTER	T.B.	TOWEL BAR
&	AND	DEMO.	DEMOLISH	H.B.	HOSE BIBB	O.D.	OUTSIDE DIAMETER	T.C.	TOP OF CURB
/	ANGLE	DEPT.	DEPARTMENT	HDR.	HEADER	O.F.	OFFICE	T.D.	THE DOWN
@	AT	DET.	DETAIL	HDWD.	HARDWOOD	O.H.	OPPOSITE HAND	TEL.	TELEPHONE
Ø	DIAMETER, ROUND	D.F.	DOUGLAS FIR	HDWR.	HARDWARE	OPNG.	OPENING	TEMP.	TEMPERED
#	POUND, NUMBER	DIAM.	DIAMETER	HDRZ.	HORIZONTAL	OPP.	OPPOSITE	TERP.	TERRAZZO
(E)	EXISTING	DIAG.	DIAGONAL	HR.	HOUR			T&G	TONGUE AND GROOVE
(N)	NEW	DM.	DIMENSION	HT.	HEIGHT	PARTN.	PARTITION	TG	TILE GROUT
A.B.	ANCHOR BOLT	DN.	DOWN			PG.	PAGE	THK.	THICK
ANV.	ANVIL	D.O.	DOOR OPENING	I.D.	INSIDE DIAMETER	PLUMB.	PLUMBING	THR.	THRESHOLD
ACCUS.	ACCUSTICAL	DWG.	DRAWING	INCAND.	INCANDESCENT	PL.	PLATE	T.O.F.	TOP OF
A.D.	AREA DRAIN	DWR.	DRAWER	INSUL.	INSULATION	PLAM.	PLASTIC LAMINATE	T.O.C.	TOP OF CEILING
ADJ.	ADJUSTABLE, ADJACENT	D.W.	DOWNSPOUT	INT.	INTERIOR	PLAS.	PLASTER	T.O.S.	TOP OF STRUCTURE
A.F.F.	ABOVE FINISH FLOOR	DW	DISWASHER	INTERM.	INTERMEDIATE	PLYWD.	PLYWOOD	TRANSF.	TRANSFER
AGGR.	AGGREGATE	E.	EAST	JST.	JOIST	PRCST.	PRECAST	T.O.W.	TOP OF WALL
ALUM.	ALUMINUM	E.A.	EACH	J.M.	JOIST HANGER	PRFB.	PREFABRICATED	TYP.	TYPICAL
ALT.	ALTERNATE	E.E.	EXHAUST FAN	JT.	JOINT	PTD.	PRESSURE TREATED DOUGLAS FIR	U.O.N.	UNLESS OTHERWISE NOTED
A.P.	ACCESS PANEL	E.F.	EFFICACY			PR.	PAIR		
APPROX.	APPROXIMATE	EFF	EFFICIENCY			PT.	POINT		
ARCH.	ARCHITECT	E.J.	EXPANSION JOINT			PTD.	PAINTED		
ASPH.	ASPHALT	E.L.	ELECTRICAL	KIT. OR K.	KITCHEN	R.	RADII	VCT.	VINYL COMPOSITION TILE
		E.E.	ELEVATION	K.D.	KILN DRY	R.	RISE, RISER, REFRIGERATOR	VERT.	VERTICAL
		E.P.	ELECTRICAL PANEL			RI	RESILIENT BASE	VGF	VERTICAL GRAIN FIR
		E.Q.	EQUAL			RECY.	RECYCLING	V.I.F.	VERIFY IN FIELD
BTW.	BETWEEN	EQUIP.	EQUIPMENT	L.B.	LAG BOLT	REF.	REFERENCE	W	WIDE
BD.	BOARD	EQPT	EQUIPMENT	LAM.	LAMINATE	REFER.	REFRIGERATOR	W.	WEST
BITUM.	BITUMINOUS	EXSTG.	EXISTING	LAV.	LAVATORY	REINF.	REINFORCED	W.	WITH
BLDG.	BUILDING	EXPO.	EXPOSED			REQD.	REQUIRED	WC	WATER CLOSET
BLK.	BLOCK	EXP.	EXPANSION			RESIL.	RESILIENT	WD.	WOOD
BLKG.	BLOCKING	EXT.	EXTERIOR	L.	LONG	RET.	RETAINING	WOW	WINDOWS
BM.	BEAM	F.D.	FLOOR DRAIN	L.T.	LIGHT	REV.	REVISION, REVISED	W.P.	WORKPOINT
B.O.	BOTTOM OF	FDN.	FOUNDATION	L.R.	LIVING ROOM	RM.	ROOM	W.D.	WHERE OCCURS
BR.	BEDROOM	F.F.	FINISH FLOOR			R.O.	ROUGH OPENING	W/O	WITHOUT
CAB.	CABINET	F.F.	FINISH FLOOR	MAX.	MAXIMUM	RWD.	REDWOOD	WR	WATER RESISTANT
CEM.	CEMENT	F.F.	FINISH FLOOR	M.C.	MEDICINE CABINET	R.W.L.	RAN WATER LEADER	W.S.	WOOD SCREW
CEM. PLAS.	CEMENT PLASTER	FIXT.	FIXTURE	M.E.	MEDICINE CABINET	R.B.	RUBBER BASE	WCST.	WASCOT
CER.	CERAMIC	FLR.	FLOOR	MECH.	MECHANICAL	S.	SOUTH	WT.	WEIGHT
C.I.	CAST IRON	FLSH.	FLASHING	MEMB.	MEMBRANE	S.B.	SETBACK		
C.J.	CONTROL JOINT	FLOR.	FLOURESCENT	MFR.	MANUFACTURER	S.C.	SOLID CORE		
CEN.	CENTERLINE	FNDR.	FOUNDATION	MIN.	MINIMUM	SCH.	SCHEDULE		
CLG.	CEILING	F.O.	FACE OF	MIR.	MIRROR	SECT.	SECTION		
CLKG.	CAULKING	F.O.	FACE OF	MISC.	MISCELLANEOUS	SF	SQUARE FOOT, SQUARE FEET		
CLO.	CLOSET	F.O.C.	FACE OF CONCRETE	MOD. BIT.	MODIFIED BITUMINOUS SH.	SH.	SHELF		
C.L.R.	CLEAR	F.O.S.	FACE OF STUDS	MTD.	MOUNTED	SHR.	SHOWER		
C.L.O.	CLEAN OUT	FRMG.	FRAMING	MTL.	METAL	SHT.	SHEET		
COL.	COLUMN	FT.	FOOT, FEET	MUL.	MULLION	SM.	SIMILAR		
COMP.	COMPOSITION	FTG.	FOOTING			S.M.	SHEET METAL		
CONC.	CONCRETE	FUR.	FURRING			SPEC.	SPECIFICATION		
CONC.	CONTINUOUS	FUT.	FUTURE	(N)	NEW	SO.	SQUARE		
C.T.	CERAMIC TILE	N	NORTH	N	NORTH	S.S.	STAINLESS STEEL		
CTS.K.	COUNTERSINK	N.I.C.	NOT IN CONTRACT	NO.	NUMBER	S.S.D.	SEE STRUCTURAL DRAWINGS		
CTR.	COUNTER	NO.	NUMBER	STG.	STORAGE				
OPT	CARPET	NOM.	NORMAL	STL.	STEEL				
CTR.	CENTER	N.T.S.	NOT TO SCALE	STR.	STRUCTURAL				
		G.B.	GRAB BAR	STOR.	STORAGE				
		G.L.	GLASS	STRUC.	STRUCTURAL				
		GR.	GROUND	SYM.	SYMMETRICAL				
		GR.	GRADE						
		GYS.	GYPSON						
		G.F.I.	GROUND FAULT INTERRUPTER						
		GWB.	GYPSON WALL BOARD						

IMMEDIATE VICINITY MAP



SITE MAP



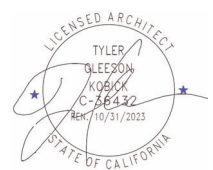
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- San Francisco -

November 15, 2023
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Patrick Jordan
DIRECTOR
DEPT. OF BUILDING INSPECTION

415 GRAFTON ST.
SAN FRANCISCO, CA
08/07/2023

2022-0815-0509 S



SYMBOLS LEGEND

- DRAWING TITLE
- INTERIOR ELEVATION
- EXTERIOR ELEVATION
- ELEVATION TARGET
- SECTION KEY
- DETAIL PLAN KEY
- WALL TYPE
REFER TO WALL SCHEDULE
- WINDOW TYPE
REFER TO WINDOW SCHEDULE
- DOOR TYPE
REFER TO DOOR SCHEDULE

DRAWING INDEX

- ARCHITECTURAL**
- A-0.0 COVER PAGE
 - A-0.1 SITE PHOTOS
 - A-0.2 EGRESS PLAN
 - A-0.3 SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST
 - A-0.4 AB-009 LOCAL EQUIVALENCY
 - A-1.0 SITE PLANS
 - A-2.0 BASEMENT PLAN
 - A-2.1 FIRST FLOOR PLANS
 - A-2.2 SECOND FLOOR PLANS
 - A-2.3 ROOF PLAN
 - A-3.0 NORTH + SOUTH ELEVATIONS
 - A-3.1 EAST ELEVATIONS
 - A-3.2 WEST ELEVATIONS
 - A-4.0 LONGITUDINAL SECTIONS
 - A-4.1 LONGITUDINAL SECTIONS
 - A-4.2 CROSS SECTIONS
 - A-5.0 ENLARGED PLAN AND ELEVATION - KITCHEN AND GREAT ROOM
 - A-5.1 ENLARGED PLAN AND ELEVATION - PRIMARY BEDROOM AND BATHROOM
 - A-6.0 ARCHITECTURAL DETAILS
 - A-6.1 WINDOW AND DOOR DETAILS
 - A-6.2 ARCHITECTURAL DETAILS
 - A-6.3 ARCHITECTURAL DETAILS
 - A-7.0 (N) ELECTRICAL PLAN
 - A-8.0 DOOR AND WINDOW SCHEDULE
- SURVEY**
- BOUNDARY & TOPOGRAPHIC SURVEY
- TITLE 24**
- T24-1 2022 TITLE 24 PART 6 ENERGY CODE
 - T24-2 2022 TITLE 24 PART 6 ENERGY CODE
 - T24-3 2022 TITLE 24 PART 6 ENERGY CODE
- GREEN BUILDING**
- GSS - SAN FRANCISCO GREEN BUILDING SUBMITTAL FORM FOR RESIDENTIAL ALTERATION + ADDITION PROJECTS
- STRUCTURAL**
- INS

SCOPE OF WORK

- SECOND STORY ADDITION IN REAR OF HOME, UPSTAIRS ADDITION TO INCLUDE 2 BEDROOMS, 2 BATHROOMS, 1 LAUNDRY ROOM.
- DOWNSTAIRS REMODEL TO INCLUDE NEW FULL BATHROOM, KITCHEN EXPANSION, NEW FAMILY ROOM.
- DECK REMODEL AT BACKYARD.

CODE SUMMARY

APN #:	7016049
CONSTRUCTION TYPE:	V-B
OCCUPANCY TYPE:	R-3, SINGLE FAMILY RESIDENTIAL HOME
ZONING:	RH-1

(SPECIFY ANY DEFERRED SUBMITTALS)

SITE INFORMATION

	EXISTING	PROPOSED	TOTAL
# OF DWELLING UNITS	1	-	1
# OF PARKING SPACES	1	-	1
# OF BEDROOMS - MAIN BULD.	2	2	3
FRONT YARD SETBACK	9'	-	9'
SIDE YARD SETBACK (L)	N.A.	0'	0'
SIDE YARD SETBACK (R)	N.A.	3' - 7"	3' - 1"
REAR YARD SET BACK	30'	-	30'
BUILDING HEIGHT - STORIES	1	1	2
BUILDING HEIGHT	24'	6' - 11"	30' - 11"
LOT AREA	2495 sq ft.	-	2495 sq ft.
GROSS BUILDING FLOOR AREA	1149 sq ft.	647 sq ft.	1796 sq ft.
BUILDING FOOTPRINT	1149 sq ft.	7 sq ft.	1156 sq ft.
LOT COVERAGE	46.05%	0.28%	46.33%

MUST MAINTAIN EXISTING FIRE LIFE SAFETY SYSTEMS DURING CONSTRUCTION

PLAN REVIEW BY SFFD LIMITED TO:
1. FIRE DEPARTMENT ACCESS
2. FIRE FLOW REQUIREMENTS

REVIEWED BY FIRE DEPT. EFM
FIRE DEPT INSPECTIONS NOT REQUIRED

BEDROOM EGRESS WINDOWS
Clear 20 in. wide minimum
Clear 24 in. height minimum
5.7 sq.ft. net clear opening
Window sill within 44 in. of floor

ALL BUILDING PERMITS REQUIRE BUILDING INSPECTOR SIGN-OFF

SFUSD

PROJECT TEAM

- OWNER:** Eddie Corwin
415 Grafton Ave,
San Francisco CA 94112
- ARCHITECT:** Design Draw Build Inc.
Tyler Kobick
2866 Webster Street,
Oakland, CA 94609
- STRUCTURAL ENGINEER:** Verdant Structural Engineering
Kelsey Holmes Foster, PE
1101 8th Street #180
Berkeley, CA 94710
- SURVEYOR:** COMPUCALC
Elizabeth Smithwick, CEA
19446 Castle Peak Drive,
Riverside, CA 92508
- TITLE-24/HERS RATER:** Bay Area Land Surveying Inc.
3065 Richmond Pkwy #101
Richmond, CA 94806

CODE REGULATIONS

- THE FOLLOWING CODES AS AMENDED BY THE CITY OF SAN FRANCISCO:
- THE 2022 CALIFORNIA RESIDENTIAL BUILDING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2021 UNIFORM BUILDING CODE WITH CALIFORNIA AMENDMENTS). PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF BUILDING OFFICIALS).
 - THE 2022 CALIFORNIA ENERGY CODE WITH NO LOCAL AMENDMENTS- CHECK THE CALIFORNIA ENERGY COMMISSION'S WEBSITE AT HTTP://WWW.ENERGY.CA.GOV FOR A DOWNLOADABLE VERSION. (PUBLISHED BY ICC)
 - THE 2022 CALIFORNIA ELECTRICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2020 NATIONAL ELECTRICAL CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE NATIONAL FIRE PROTECTION AGENCY, NFPA)
 - THE 2022 CALIFORNIA PLUMBING CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2021 UNIFORM PLUMBING CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO).
 - THE 2022 CALIFORNIA MECHANICAL CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2021 UNIFORM MECHANICAL CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY THE INTERNATIONAL ASSOCIATION OF PLUMBING AND MECHANICAL OFFICIALS, IAPMO).
 - THE 2022 CALIFORNIA FIRE CODE (INCORPORATES BY ADOPTION AND REPRINTS THE 2021 INTERNATIONAL FIRE CODE WITH CALIFORNIA AMENDMENTS. PUBLISHED BY ICC).
 - THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE.

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2. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECT'S, ENGINEER'S DRAWINGS AND SPECIFICATIONS

3. WORK TO FIGURED DIMENSIONS ONLY

REV	SET ISSUE	DATE
1	BLDG SUBMITTAL	07/13/2023
	REVISION	08/25/2023

DEFERRED SUBMITTAL

- HVAC TO BE DESIGN-BUILD
- PV SOLAR TO BE DESIGN-BUILD
- PUBLIC WORKS**
October 18, 2023
- PUBLIC WORKS**
October 02, 2023
- PUBLIC WORKS**
October 18, 2023

OMITTED IN THIS SUBMITTAL

ORAGE DETAILS
JC DETAIL S

COVER PAGE

A-0.0

FRONT FACADE OF THE BUILDING



REAR FACADE OF THE BUILDING



REAR FACADE OF THE ADJACENT BUILDINGS



1. 95 GRANADA AVE



2. 89 GRANADA AVE



3. 83 GRANADA AVE



4. 79 GRANADA AVE



5. 429 GRAFTON AVE

BUILDINGS ON THE SAME SIDE OF THE STREET



6. 95 GRANADA AVE



7. 429 GRAFTON AVE



8. 433 GRAFTON AVE



9. 439 GRAFTON AVE

BUILDINGS ACROSS THE STREET



10. 406 GRAFTON AVE



11. 400 GRAFTON AVE



12. 422 GRAFTON AVE



13. 418 GRAFTON AVE



14. 424 GRAFTON AVE

DESIGN DRAW BUILD
ARCHITECTURE + CONSTRUCTION
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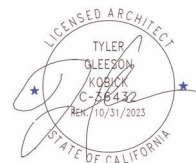


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PATRICK R. RYORDAN
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DEPT. OF BUILDING INSPECTION

415 GRAFTON ST.
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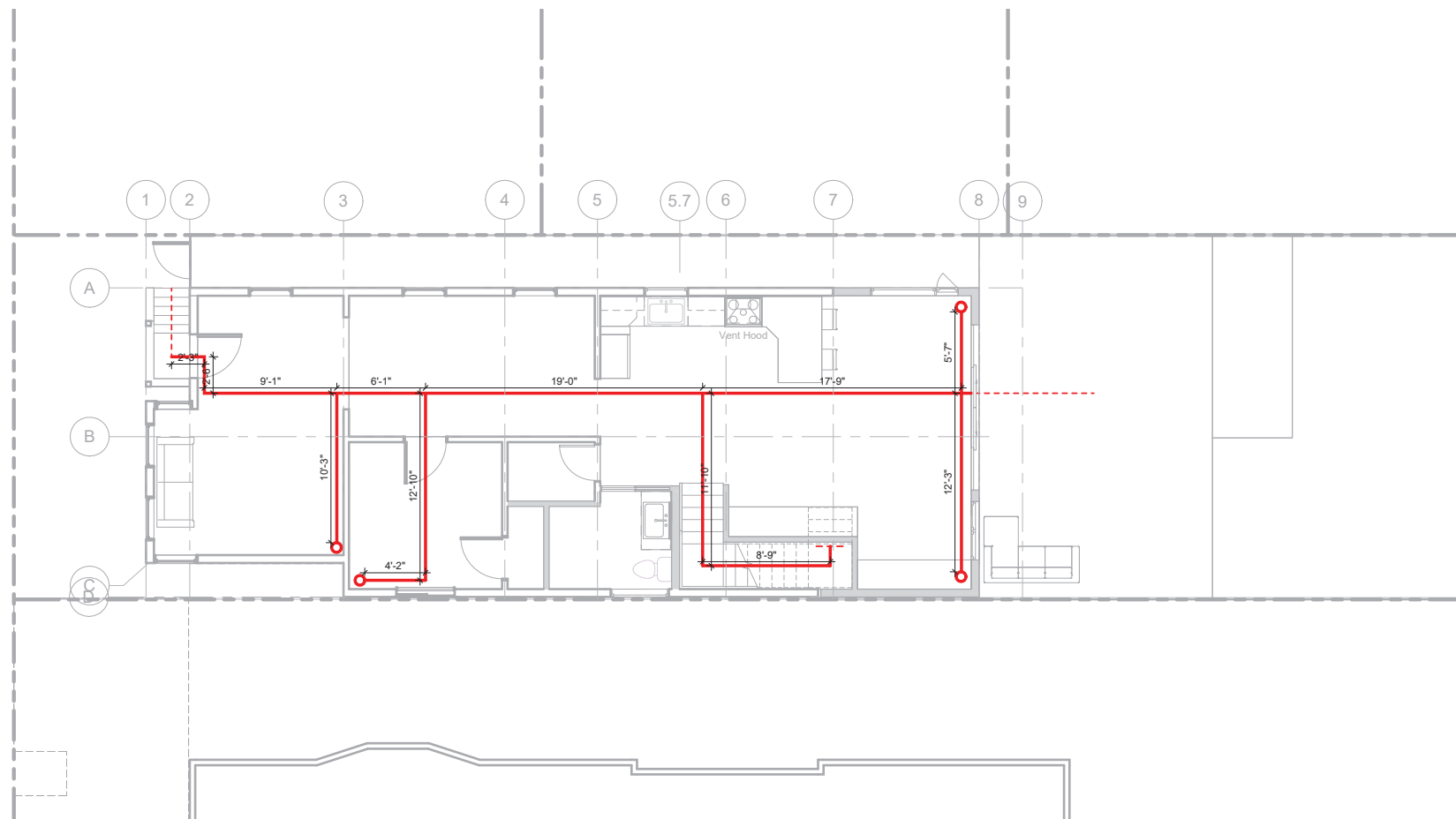
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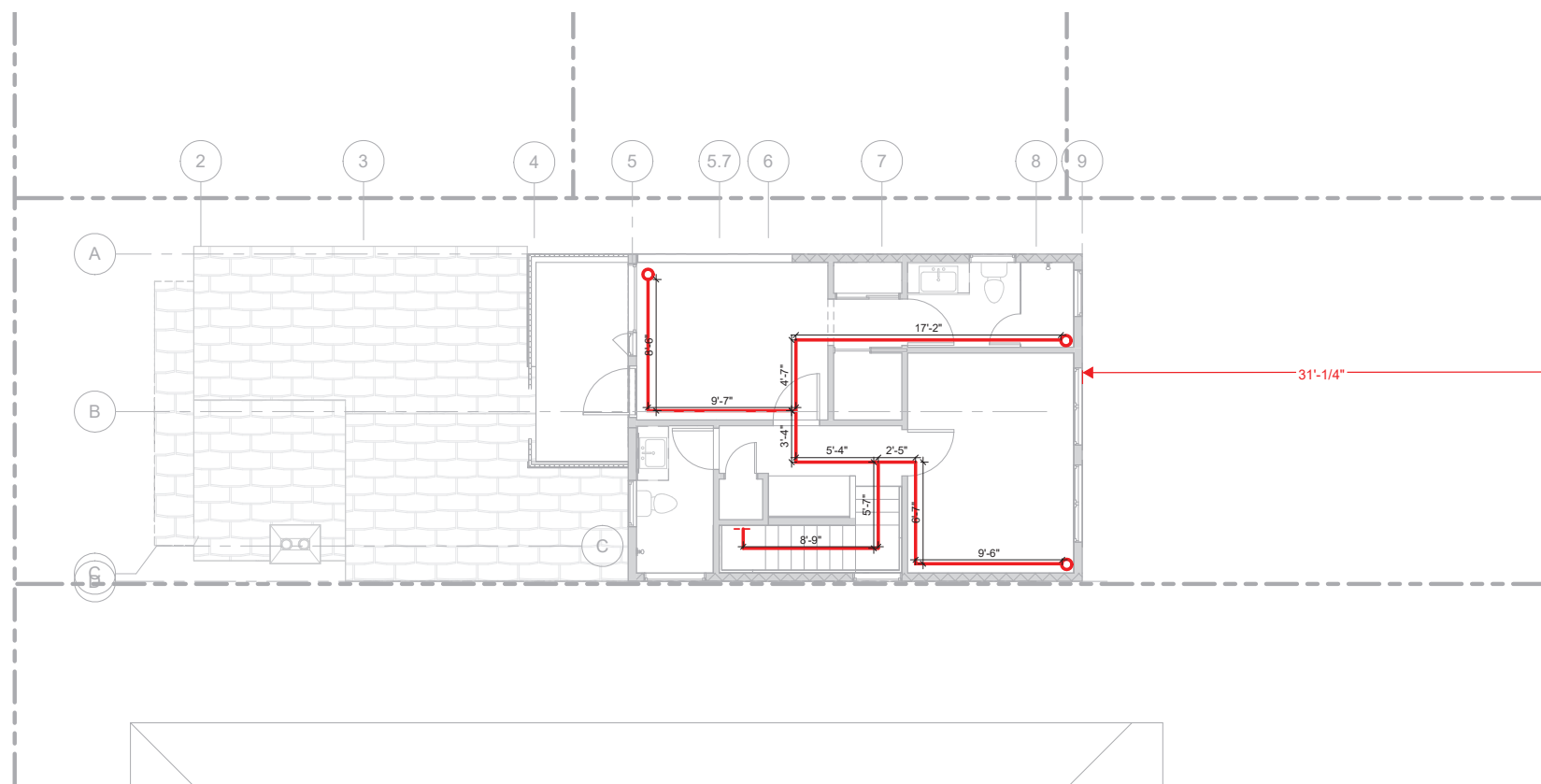
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SITE PHOTOS



1 EGRESS PLAN - FIRST FLOOR
3/16" = 1'-0"



2 EGRESS PLAN - SECOND FLOOR
3/16" = 1'-0"

EXIT DIAGRAM LEGEND

- COMMON PATH OF TRAVEL (C.O.T)
- EXIT ACCESS PATH OF TRAVEL
- TRAVEL WITHIN EXIT DISCHARGE

MAX. ALLOWABLE PATH OF TRAVEL: 125' - 0"
MAXIMUM EGRESS TRAVEL DISTANCE: 96' - 8"

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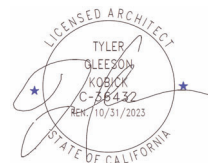


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202208150509_SITE DWGS REV4

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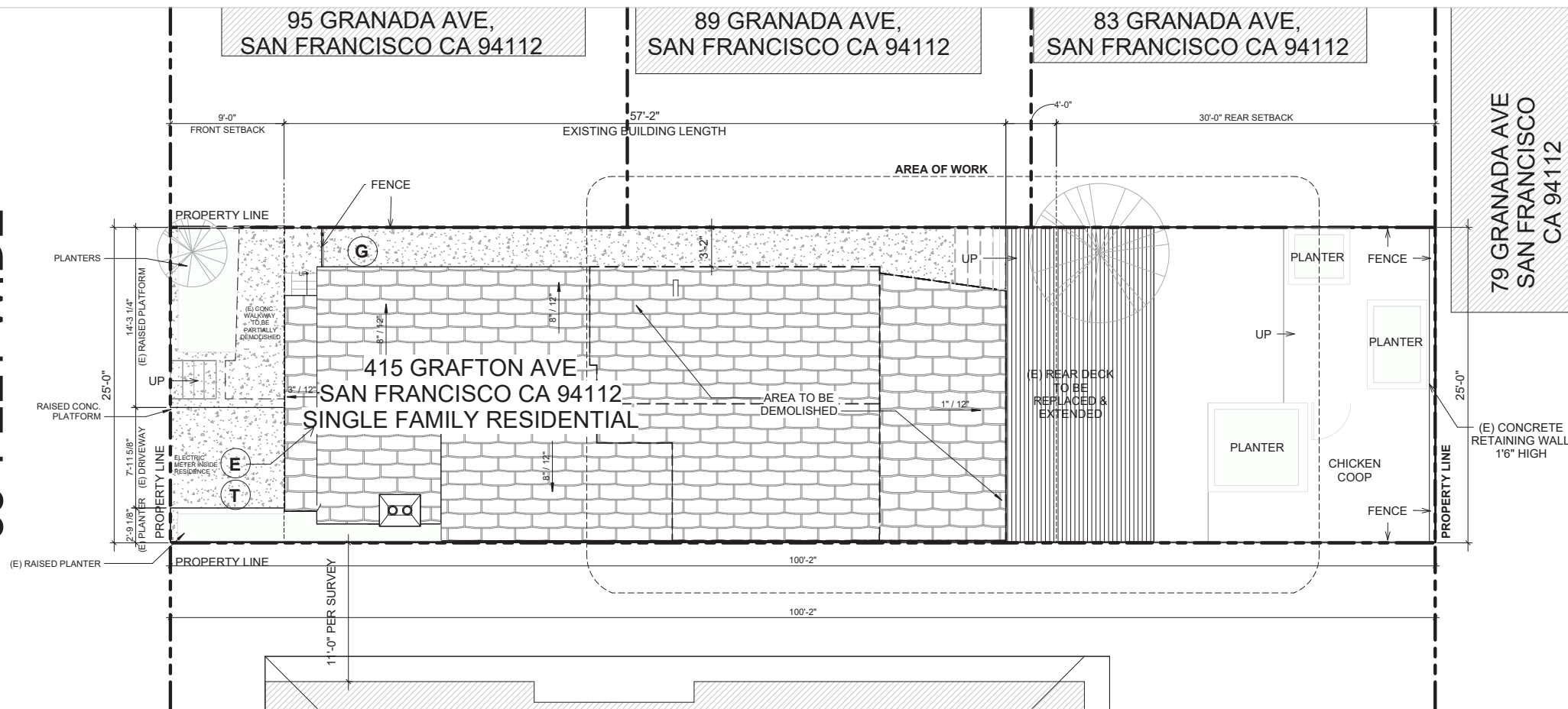
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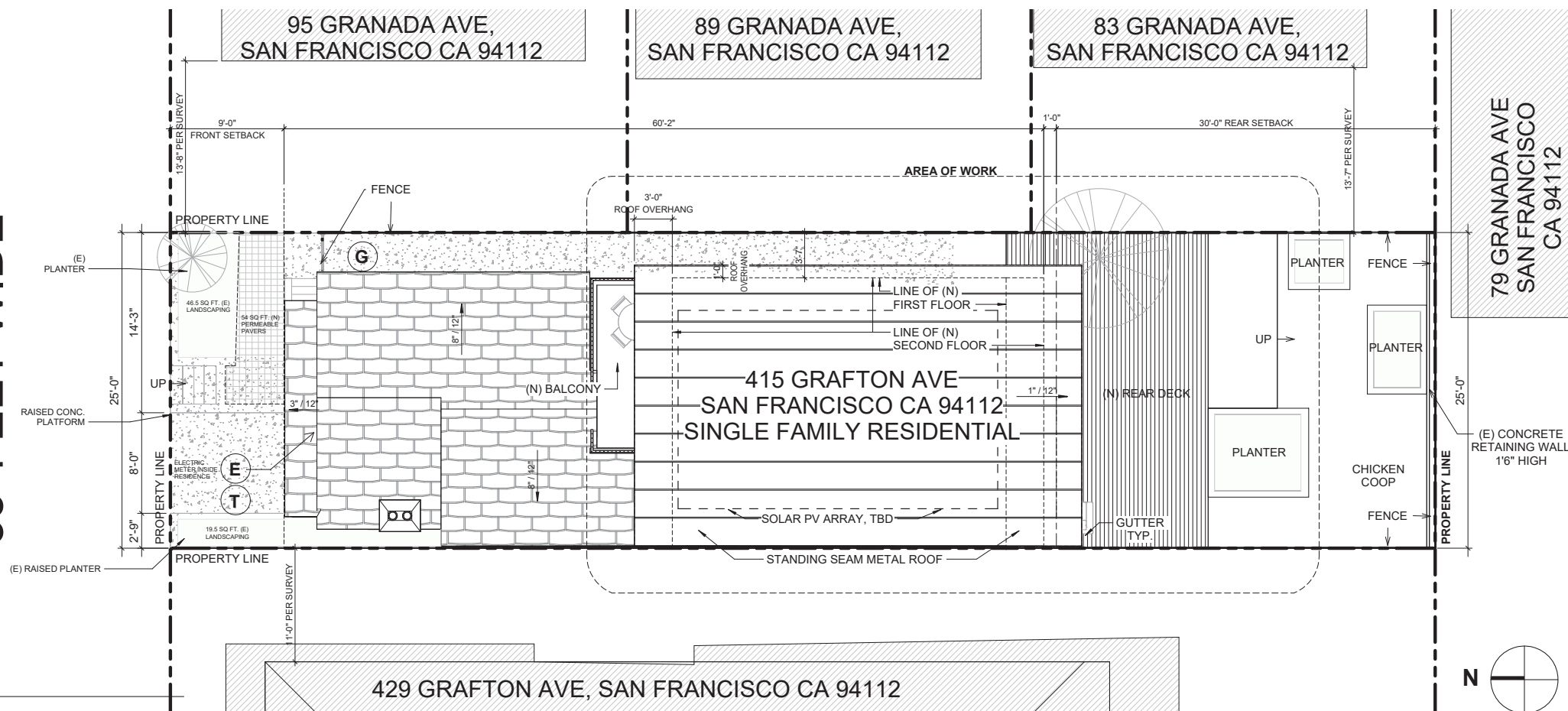
EGRESS PLAN

GRAFTON AVE
35' FEET WIDE



1 (E) SITE PLAN
3/16" = 1'-0"

GRAFTON AVE
35' FEET WIDE



2 (N) SITE PLAN
3/16" = 1'-0"

- LEGEND**
- CONCRETE PATH
 - VEGETATION
 - DECK
 - ELECTRIC METER
 - TRASH
 - GAS METER

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NOTES

FRONT SETBACK AREA:
9 FT x 25 FT = 225 SQ FT

20% REQUIRED TO BE LANDSCAPING

- 20% OF 225 IS 45
- 66 SQ. FT OF (E) LANDSCAPING WITHIN FRONT SETBACK
- 66 SQ FT = 29.33% OF 225
- 29.33% > 20%

50% OF FRONT SETBACK REQUIRED TO BE PERMEABLE

- 50% OF 225 IS 112.5 SQ FT
- 66 SQ FT OF (E) LANDSCAPING WITHIN FRONT SETBACK
- 54 SQ FT OF (N) PERMEABLE PAVING PROPOSED
- 66 + 54 = 120 SQ FT
- 120 SQ FT = 53.33% OF 225
- 53.33% > 50%



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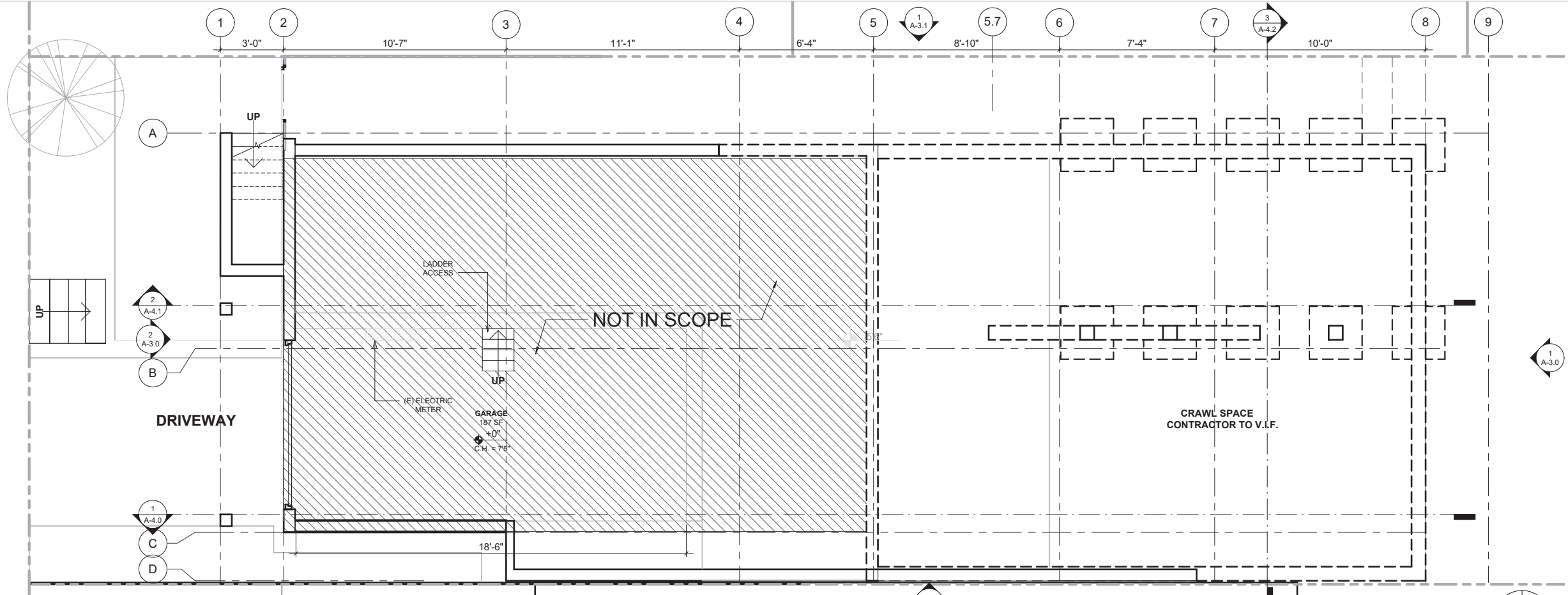
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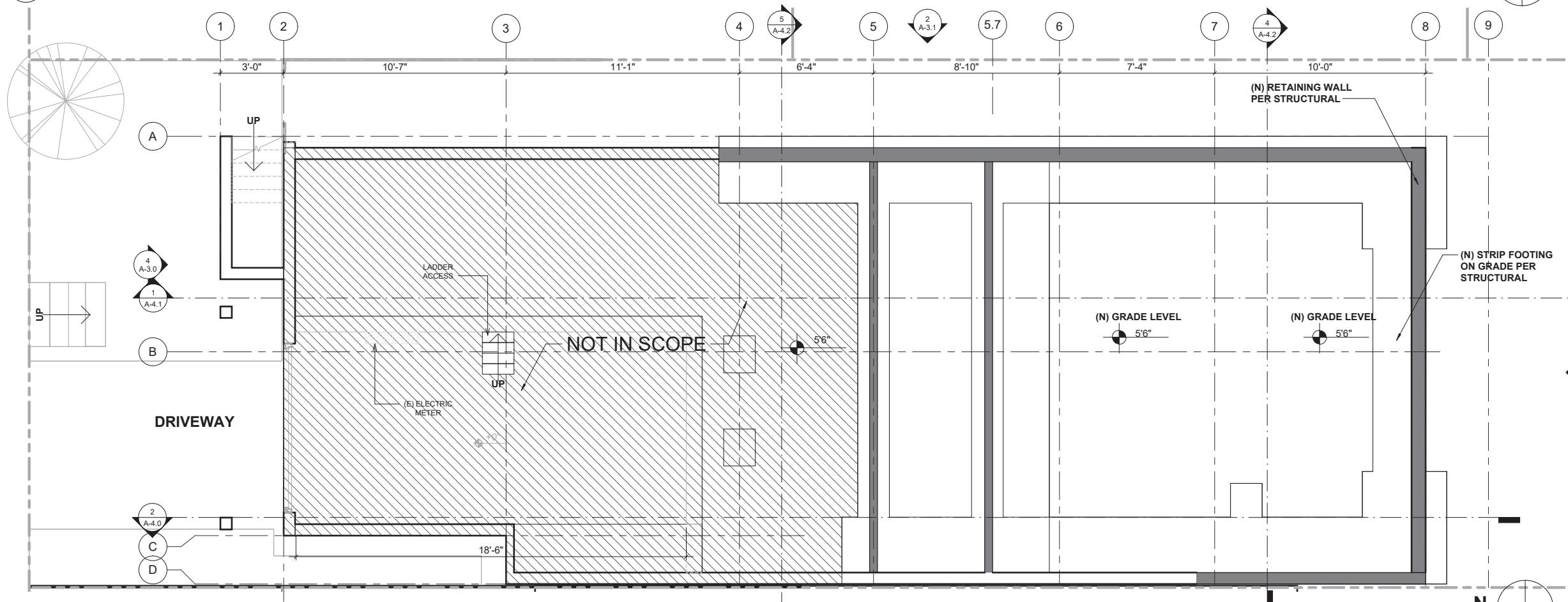
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SITE PLANS

A-1.0



1 (E) BASEMENT PLAN
3/8" = 1'-0"

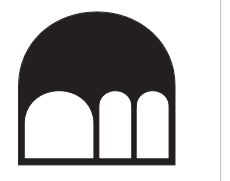


2 (N) BASEMENT PLAN
3/8" = 1'-0"

NOTES:
- PER PLANNING CODE SEC. 311, THE PRE-APPLICATION PROCESS IS NOT REQUIRED FOR THE PROJECT IN QUESTION SINCE VERTICAL ADDITION AMOUNTS TO LESS THAN 7' FROM EXISTING TOP OF ROOF.

WALL TYPE LEGEND
 (E) WALL TO REMAIN
 TO BE DEMOLISHED
 (N) WALL
 (N) 1-HR FIRE RATED WALL
 NOT IN SCOPE OF WORK

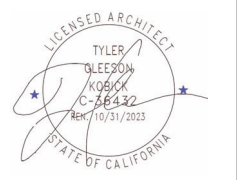
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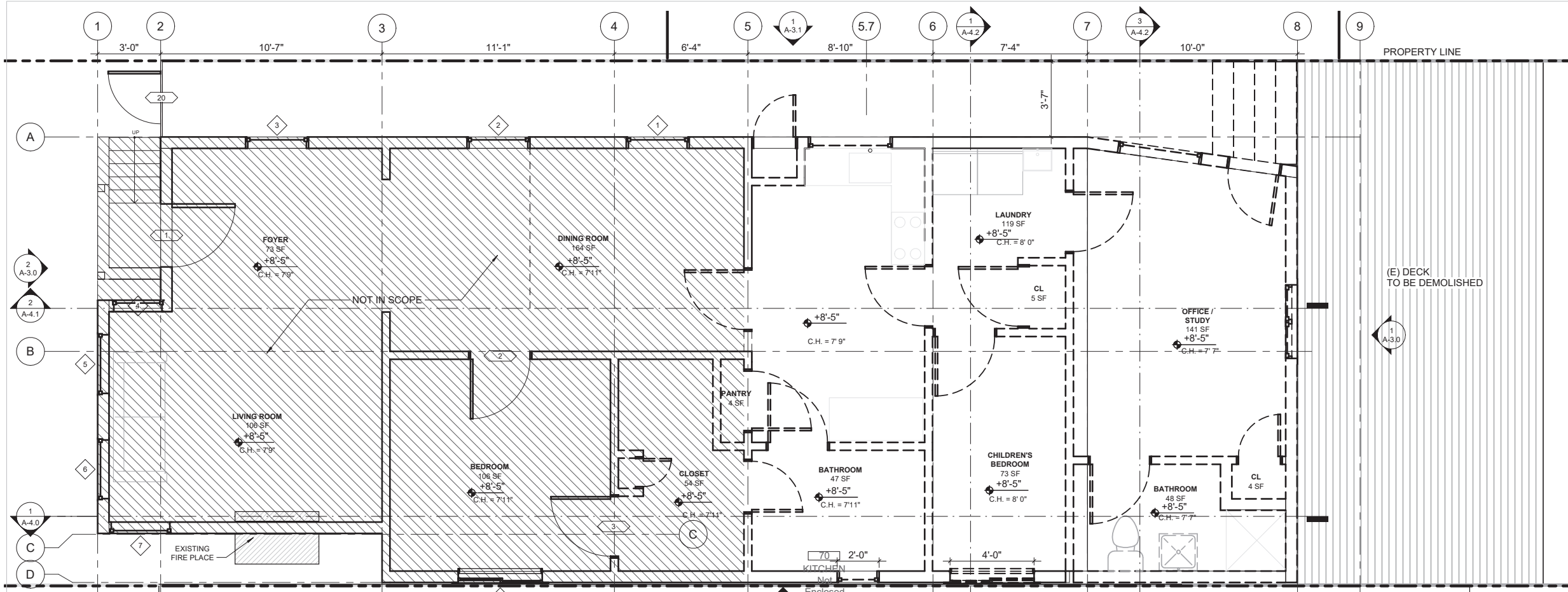
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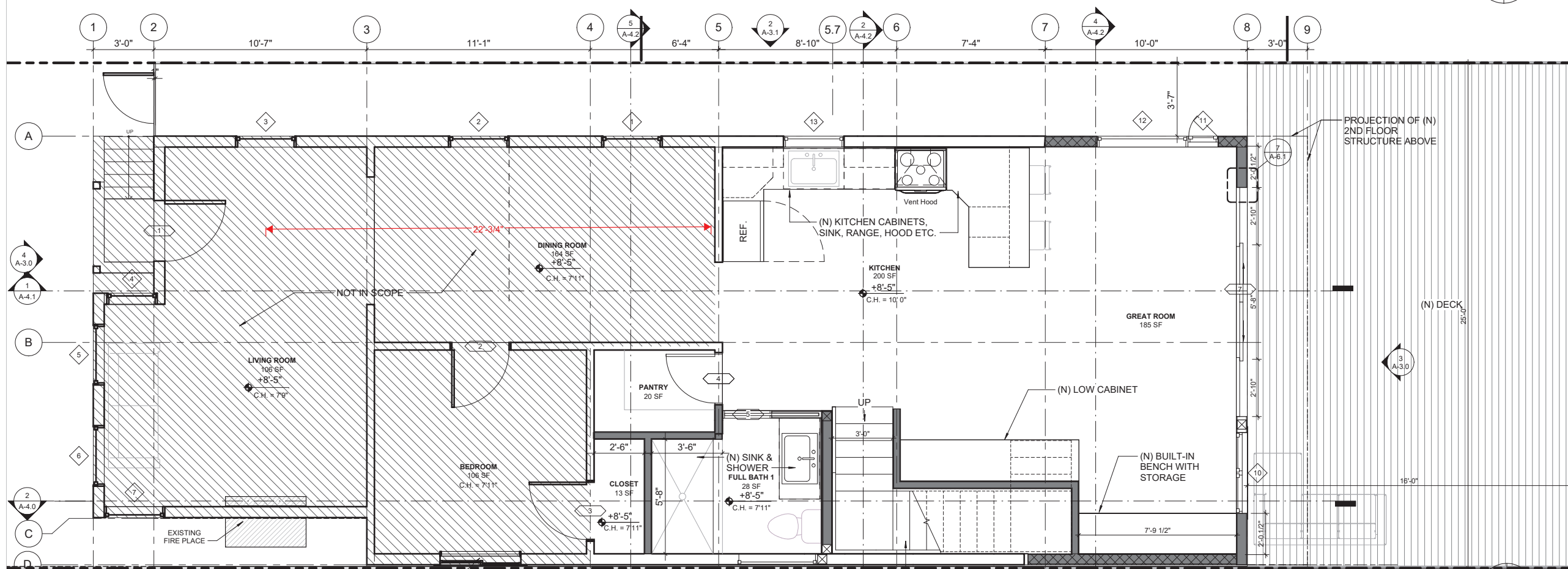
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BASEMENT PLAN

A-2.0



1 (E) FIRST FLOOR PLAN
3/8" = 1'-0"



2 (N) FIRST FLOOR PLAN
3/8" = 1'-0"

WALL TYPE LEGEND

- (E) WALL TO REMAIN
- TO BE DEMOLISHED
- (N) WALL
- (N) 1-HR FIRE RATED WALL
- NOT IN SCOPE OF WORK

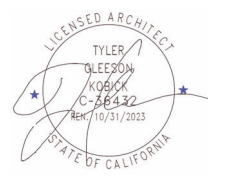
NOTES:

- PER SFPC SEC 209.1, TABLE 209.1: SIDE YARDS ARE NOT REQUIRED ON RH-1 DISTRICTS.
- AB-009 WINDOWS ON THE PROPERTY LINE TO BE FIXED AND 45 MIN FIRE RATED WITHIN A 1-HR RATED WALL PER SF AB-009.
- WINDOWS NOT COUNTED TOWARDS REQUIRED LIGHT & VENTILATION CALCULATIONS.
- PROPOSED WINDOWS ARE >6'-0" FROM ADJACENT BUILDINGS.
- OPENING SPRINKLERS NOT REQUIRED IN R3 OCCUPANCIES.



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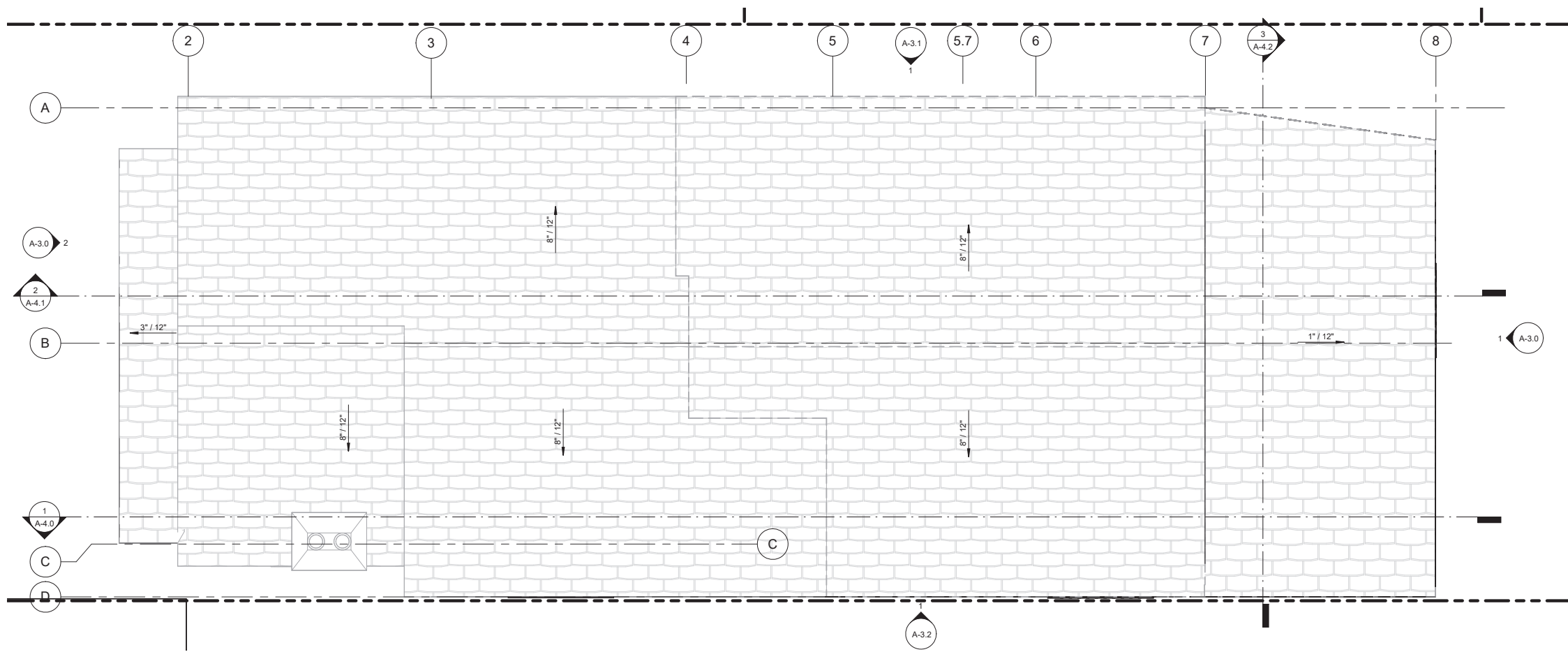
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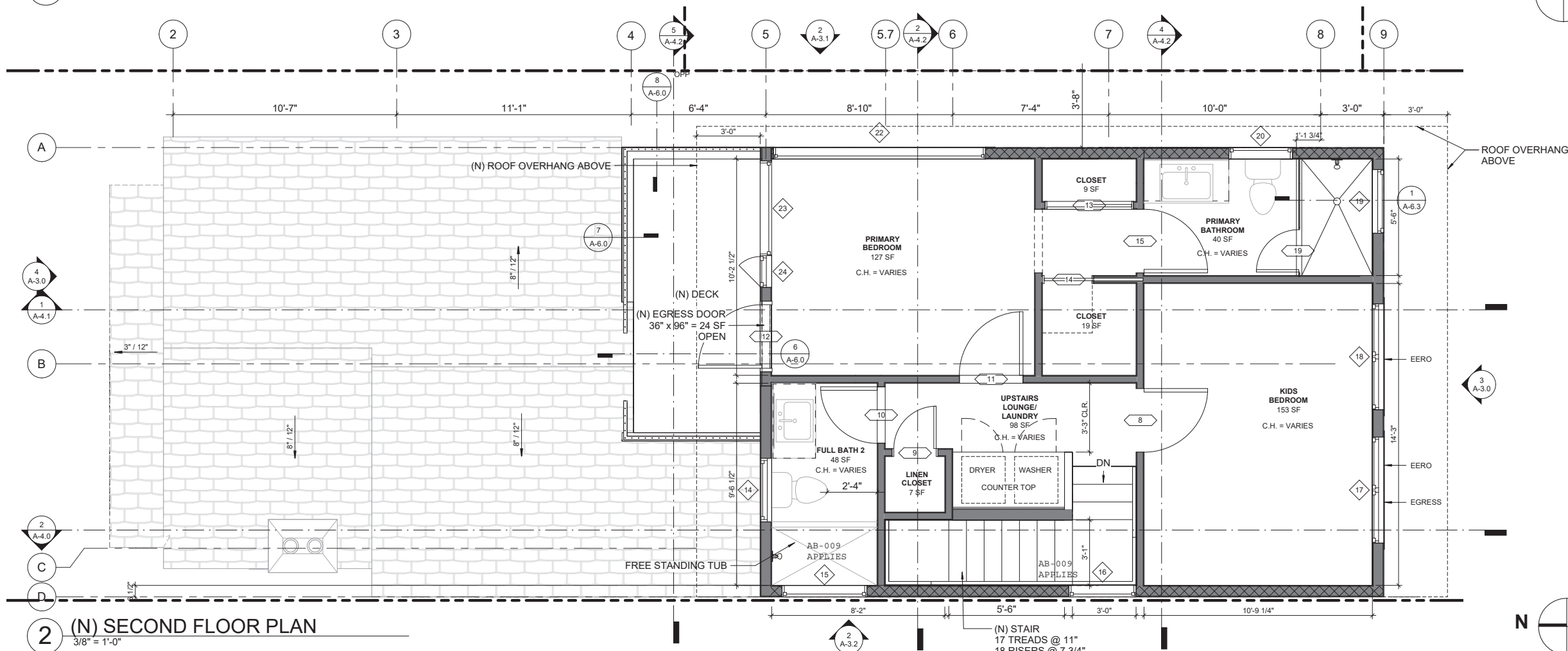
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FIRST FLOOR PLANS

A-2.1



1 (E) ROOF PLAN
3/8" = 1'-0"



2 (N) SECOND FLOOR PLAN
3/8" = 1'-0"

- WALL TYPE LEGEND**
- (E) WALL TO REMAIN
 - TO BE DEMOLISHED
 - (N) WALL
 - (N) 1-HR FIRE RATED WALL
 - NOT IN SCOPE OF WORK

NOTES:

- UPPER STORY ADDITION = 624 SF
- GROUND FLOOR REMODEL = 553 SF
- PER SFPD SEC 209.1, TABLE 209.1;
- SIDE YARDS ARE NOT REQUIRED ON RH-1 DISTRICTS.

AB-009
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PROPOSED WINDOWS ARE >6'-0" FROM ADJACENT BUILDINGS.
OPENING SPRINKLERS NOT REQUIRED IN R3 OCCUPANCIES.



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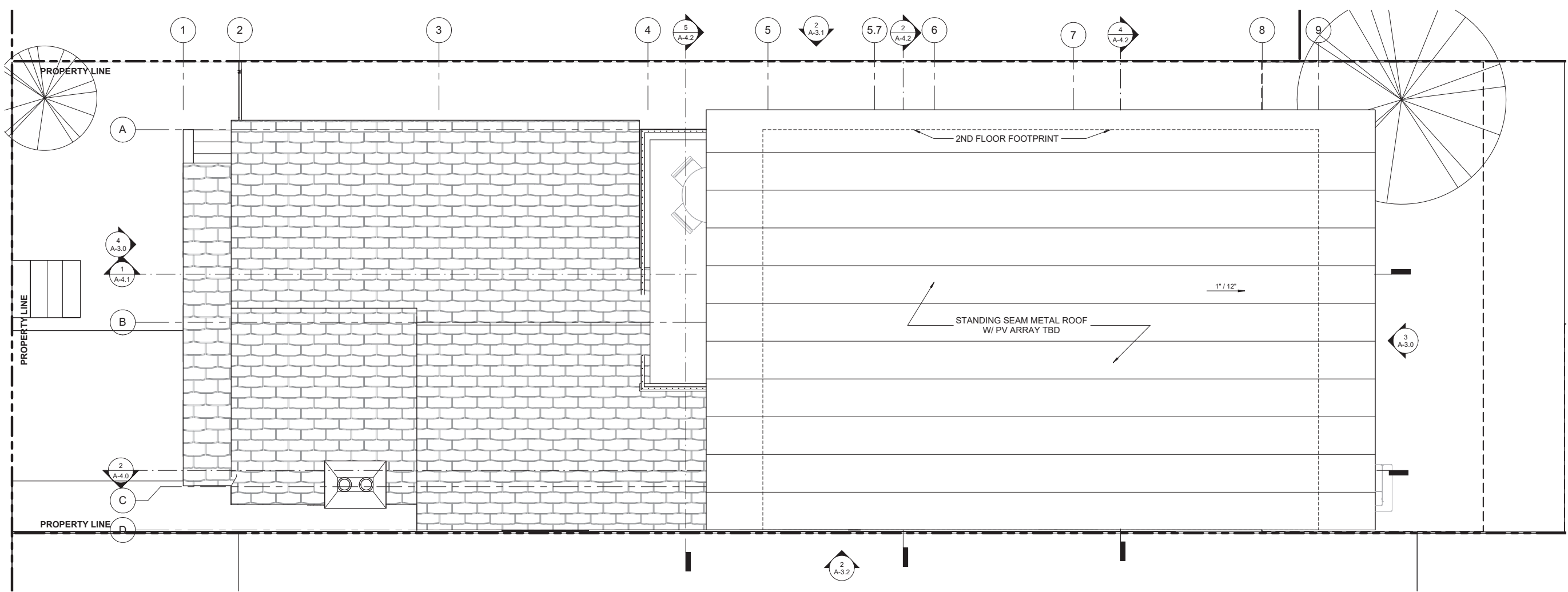
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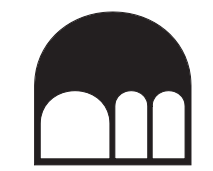
SECOND FLOOR PLANS

A-2.2



1 (N) ROOF PLAN
3/8" = 1'-0"

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ROOF PLAN

A-2.3

NOTES:
 - PER PLANNING CODE SEC. 311, THE PRE-APPLICATION PROCESS IS NOT REQUIRED FOR THE PROJECT IN QUESTION SINCE VERTICAL ADDITION AMOUNTS TO LESS THAN 7' FROM EXISTING TOP OF ROOF.

DEMO LEGEND

- (E) CONSTRUCTION TO REMAIN
- TO BE DEMOLISHED
- (N) CONSTRUCTION
- (N) CONSTRUCTION
- (N) 1-HR FIRE RATED CONSTRUCTION
- NOT IN SCOPE OF WORK

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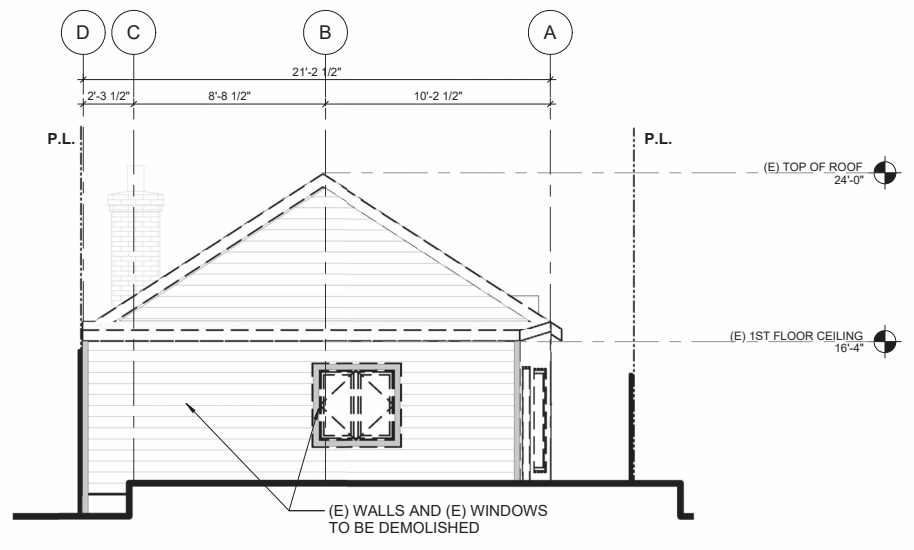
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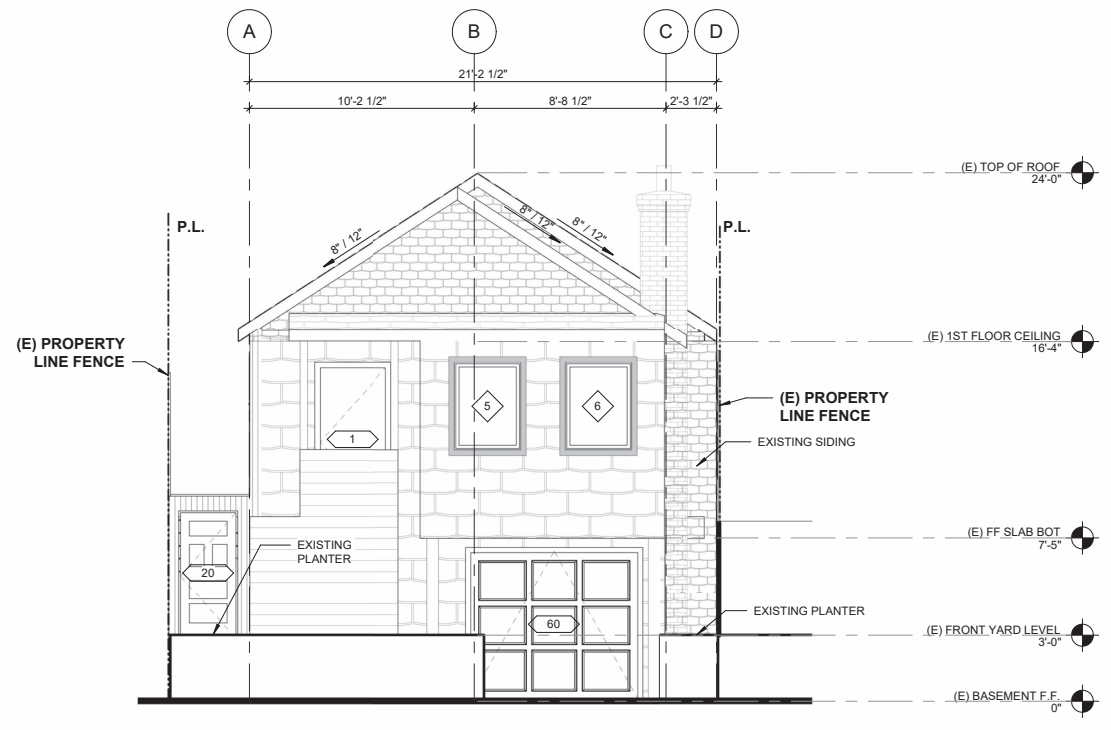
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NORTH + SOUTH ELEVATIONS

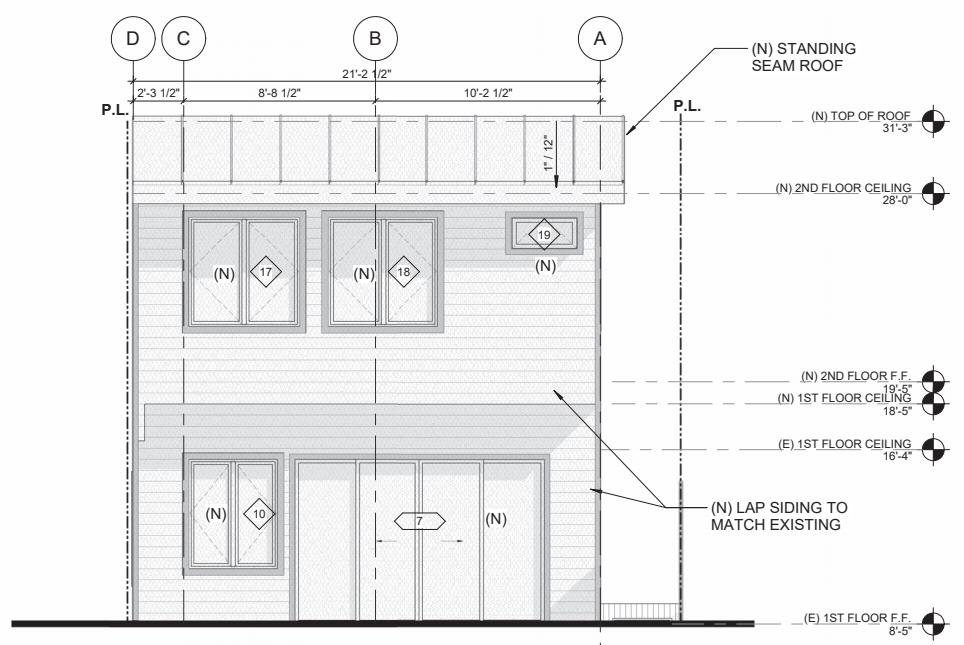
A-3.0



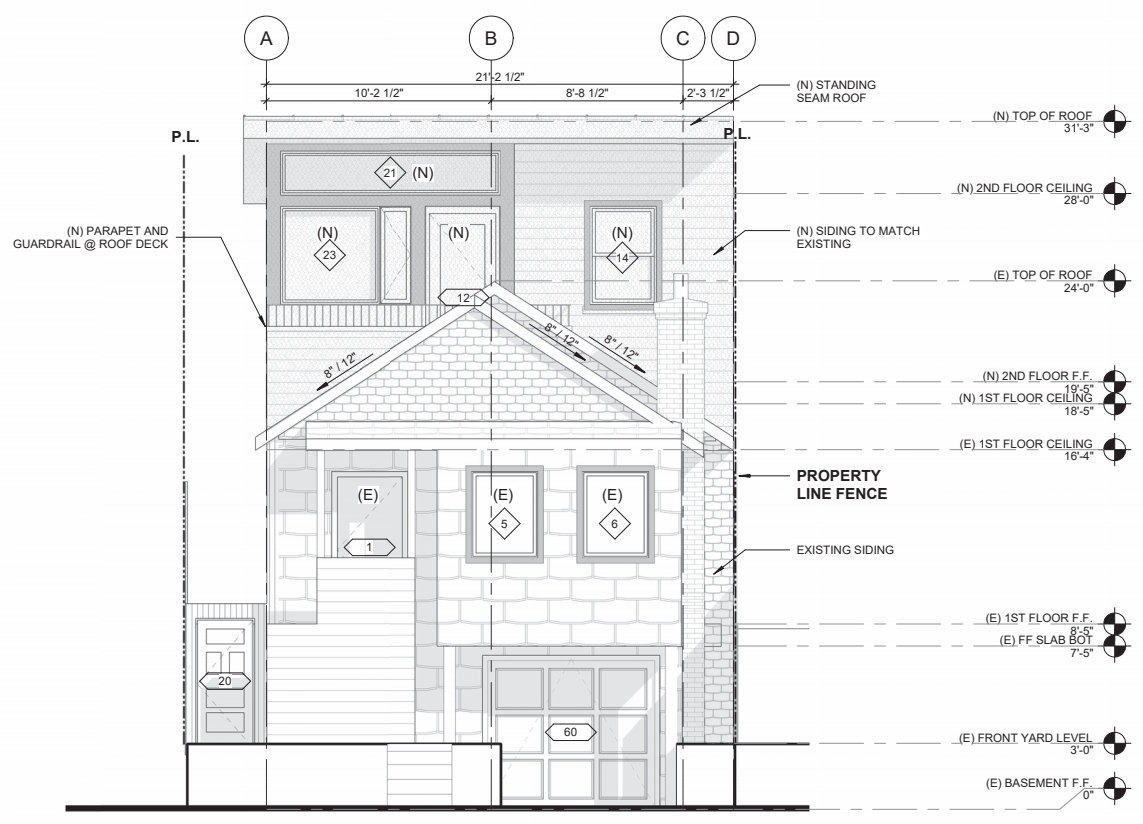
1 (E) SOUTH ELEVATION
 1/4" = 1'-0"



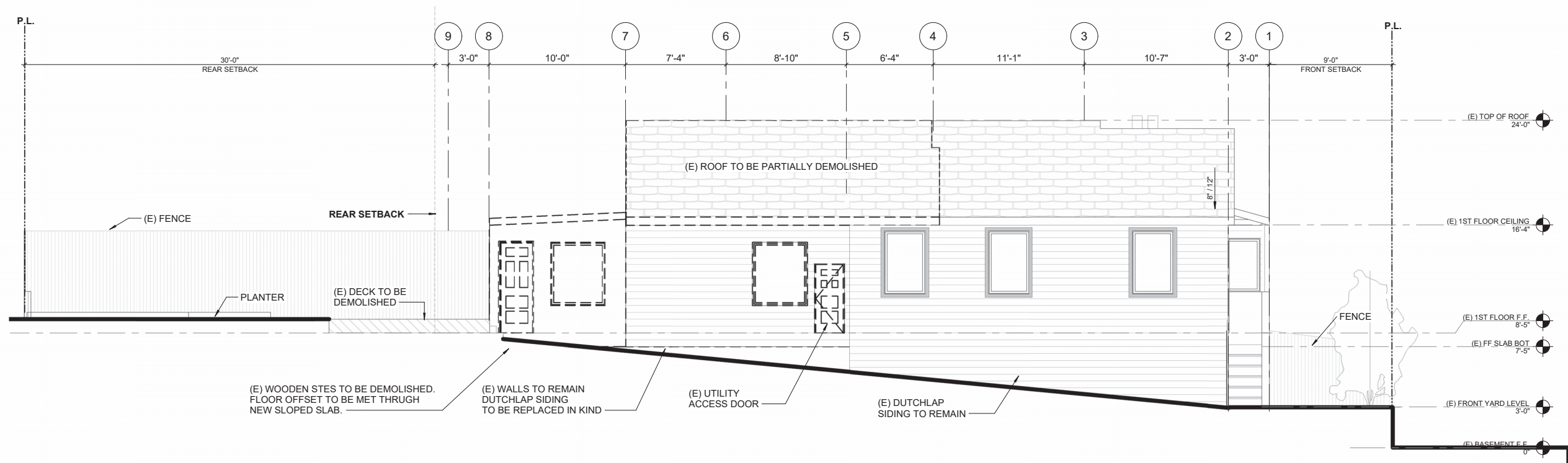
2 (E) NORTH ELEVATION
 1/4" = 1'-0"



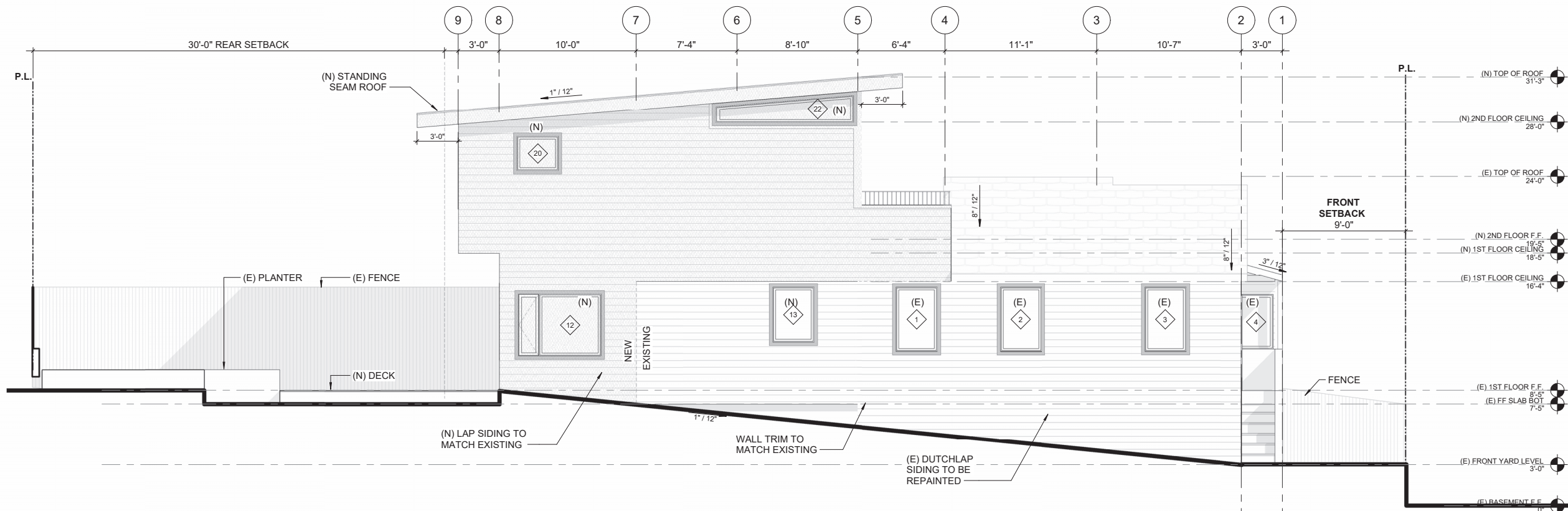
3 (N) SOUTH ELEVATION
 1/4" = 1'-0"



4 (N) NORTH ELEVATION
 1/4" = 1'-0"



1 (E) EAST ELEVATION
1/4" = 1'-0"



2 (N) EAST ELEVATION
1/4" = 1'-0"

NOTES:

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DEMO LEGEND

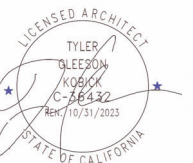
- (E) CONSTRUCTION TO REMAIN
- TO BE DEMOLISHED
- (N) CONSTRUCTION
- (N) CONSTRUCTION
- (N) 1-HR FIRE RATED CONSTRUCTION
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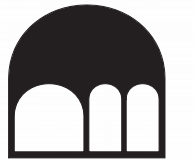
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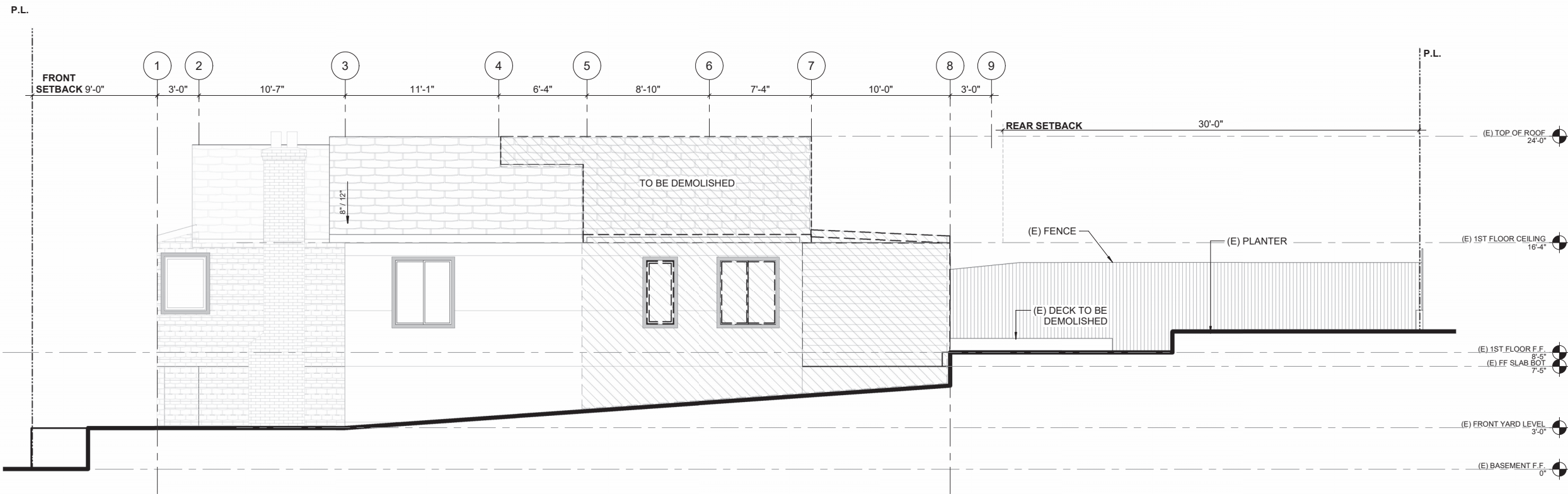
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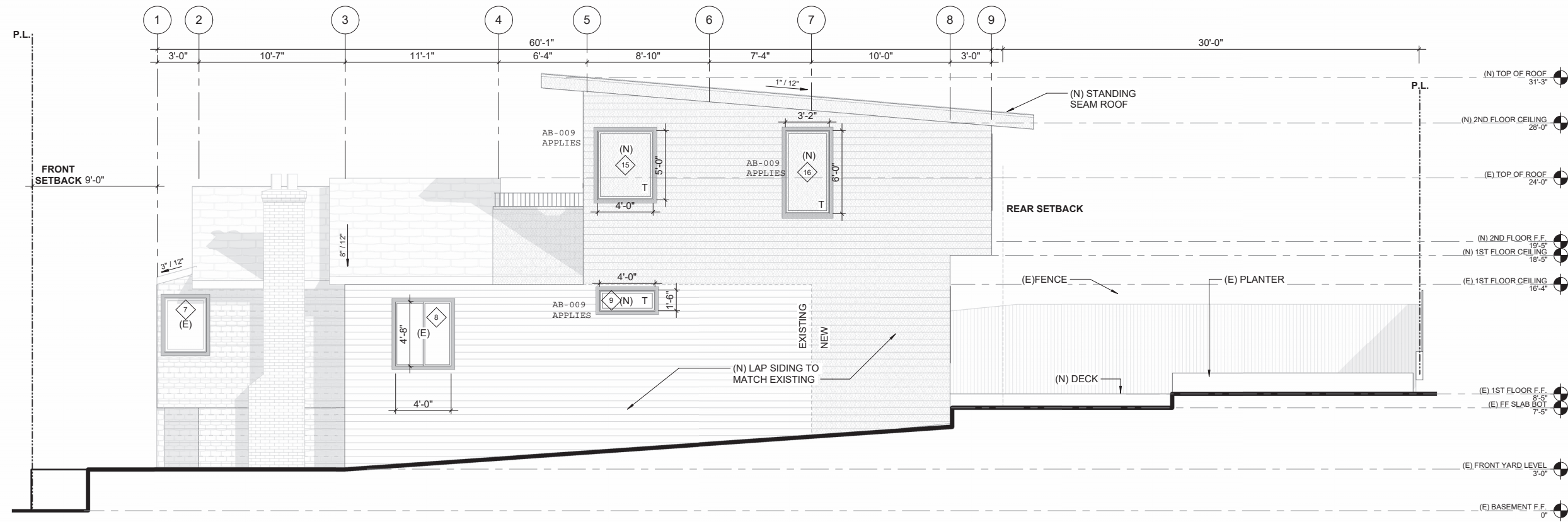
EAST ELEVATIONS

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1 (E) WEST ELEVATION
1/4" = 1'-0"



2 (N) WEST ELEVATION
1/4" = 1'-0"

NOTES:

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- AT WEST (N) ELEVATION, OPENINGS ACCOUNT FOR LESS THAN 25% OF WALL SURFACE ON P.L.:
673.21 SF WALL SURFACE
-82.17 SF OPENINGS
12.2% FRENESTRATION

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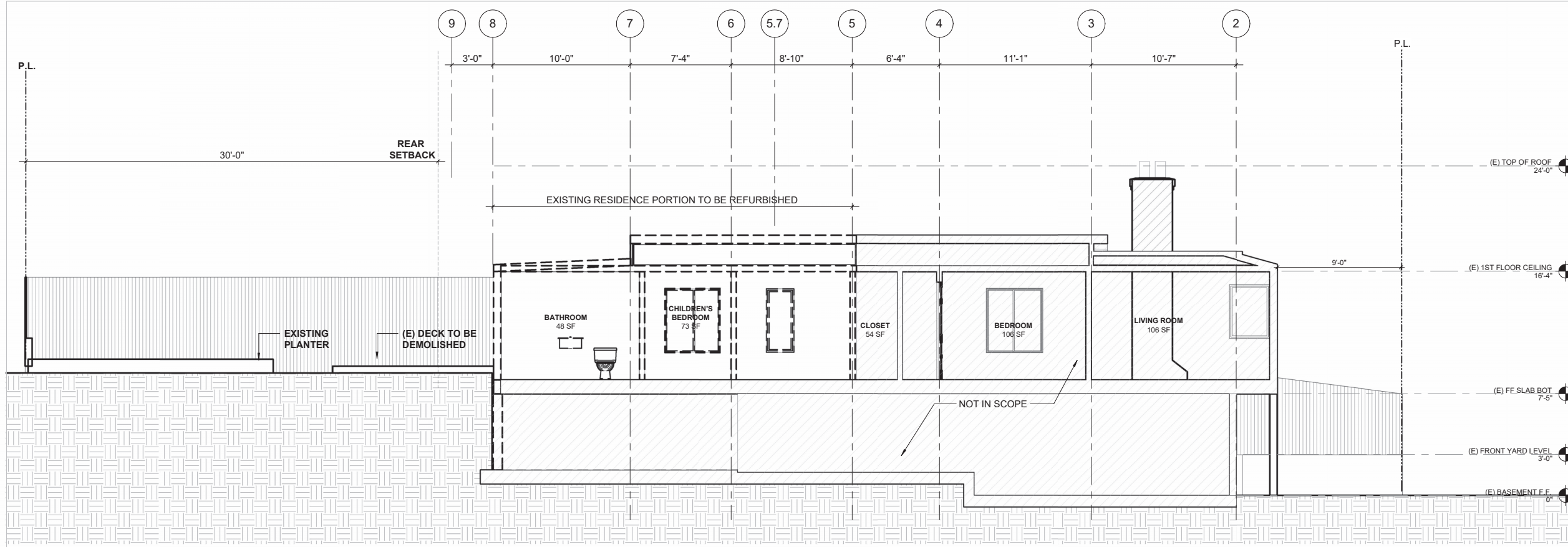
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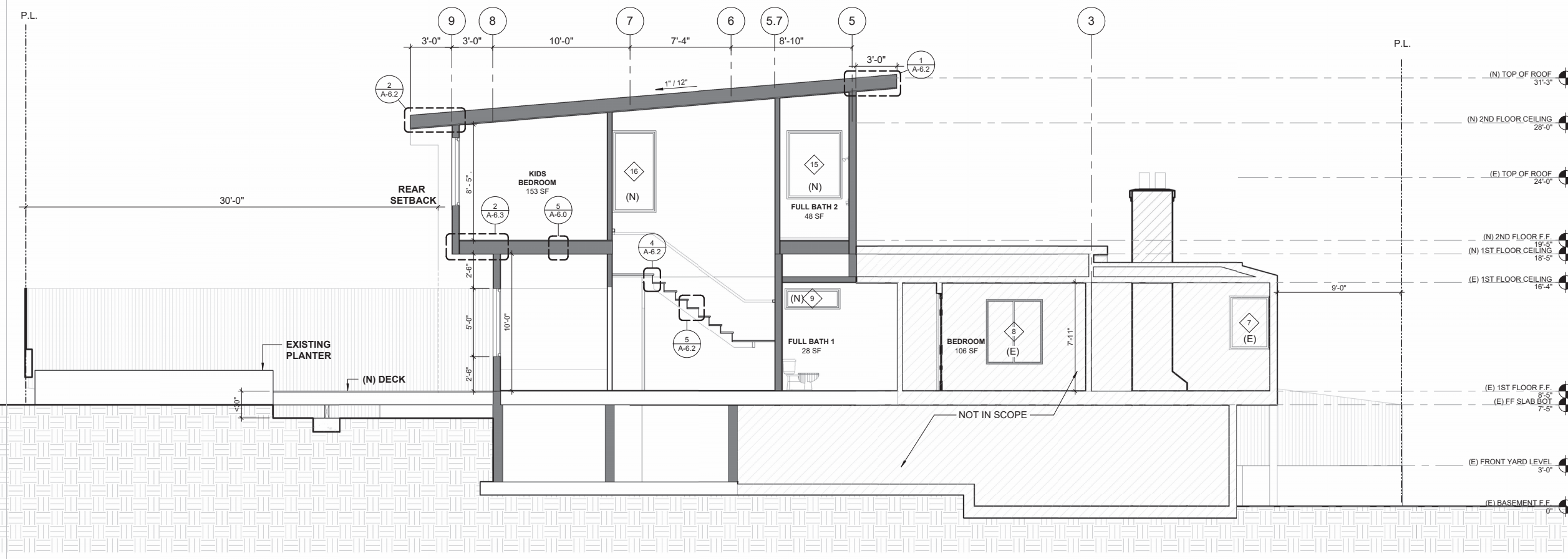
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WEST ELEVATIONS



1 (E) LONGITUDINAL SECTION 01
1/4" = 1'-0"



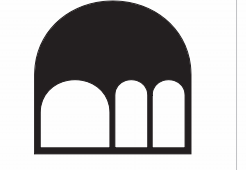
2 (N) LONGITUDINAL SECTION 01
1/4" = 1'-0"

- WALL TYPE LEGEND**
- (E) WALL TO REMAIN
 - TO BE DEMOLISHED
 - (N) WALL
 - (N) 1-HR FIRE RATED WALL
 - NOT IN SCOPE OF WORK

NOTES:

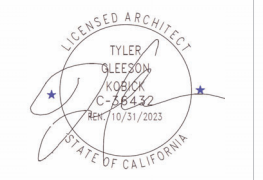
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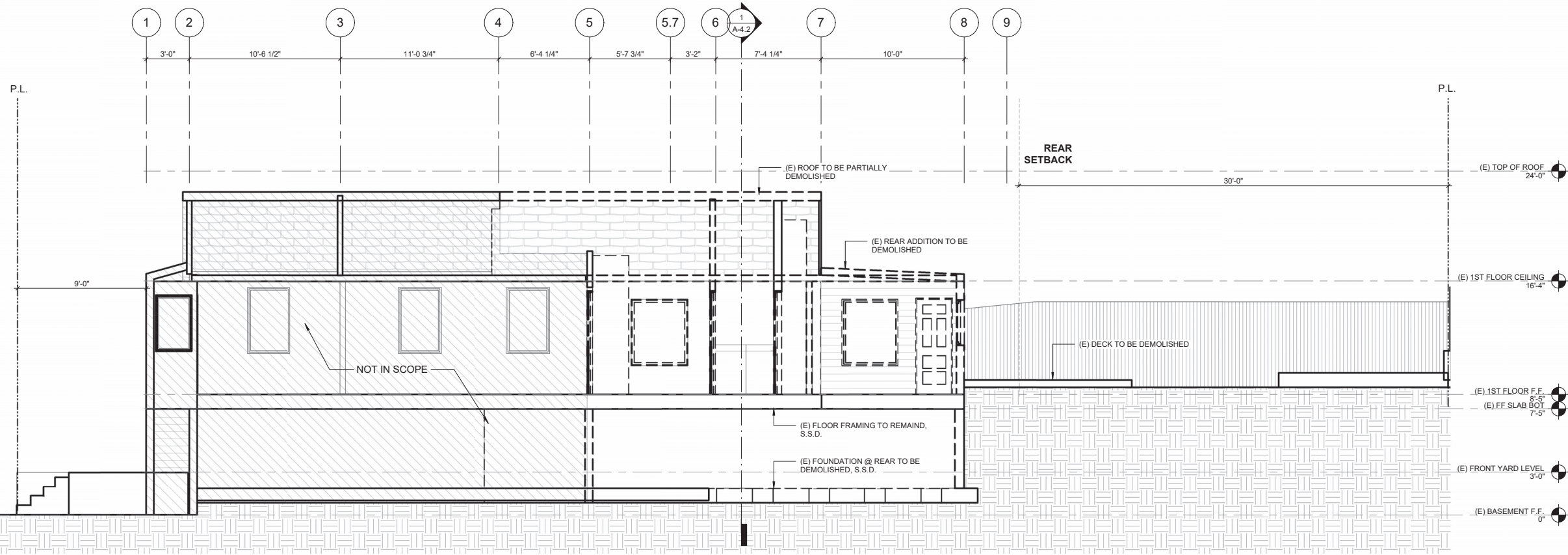
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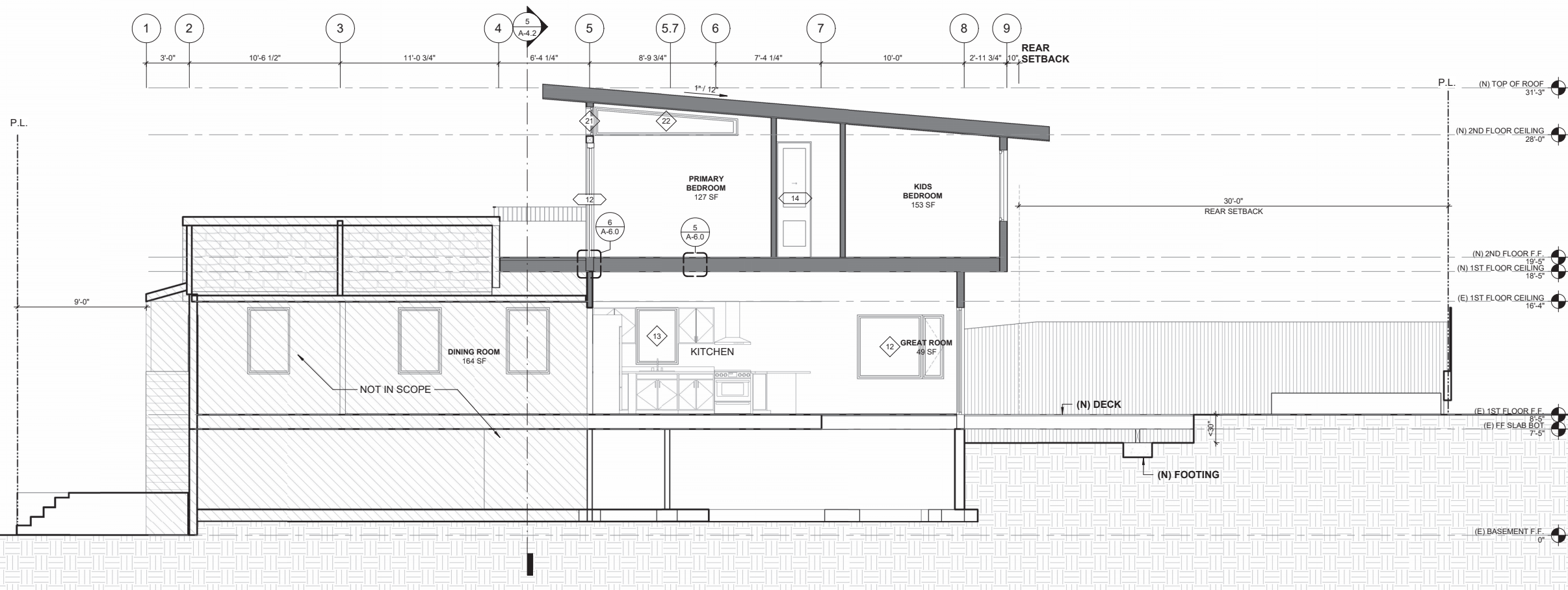
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LONGITUDINAL SECTIONS

A-4.0



2 (E) LONGITUDINAL SECTION 02
1/4" = 1'-0"



1 (N) LONGITUDINAL SECTION 02
1/4" = 1'-0"

DEMO LEGEND

- (E) CONSTRUCTION TO REMAIN
- TO BE DEMOLISHED
- (N) CONSTRUCTION
- (N) CONSTRUCTION
- (N) 1-HR FIRE RATED CONSTRUCTION
- NOT IN SCOPE OF WORK

NOTES:
- PER PLANNING CODE SEC. 311, THE PRE-APPLICATION PROCESS IS NOT REQUIRED FOR THE PROJECT IN QUESTION SINCE VERTICAL ADDITION AMOUNTS TO LESS THAN 7' FROM EXISTING TOP OF ROOF.

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November 15, 2023
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Patrick O'Riordan
PATRICK O'RIORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

415 GRAFTON ST.
SAN FRANCISCO, CA
08/07/2023



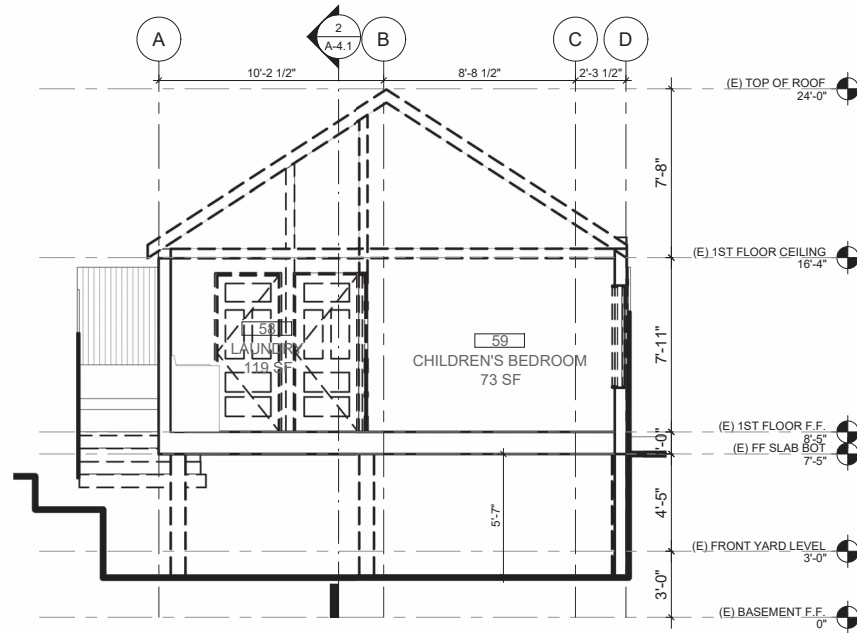
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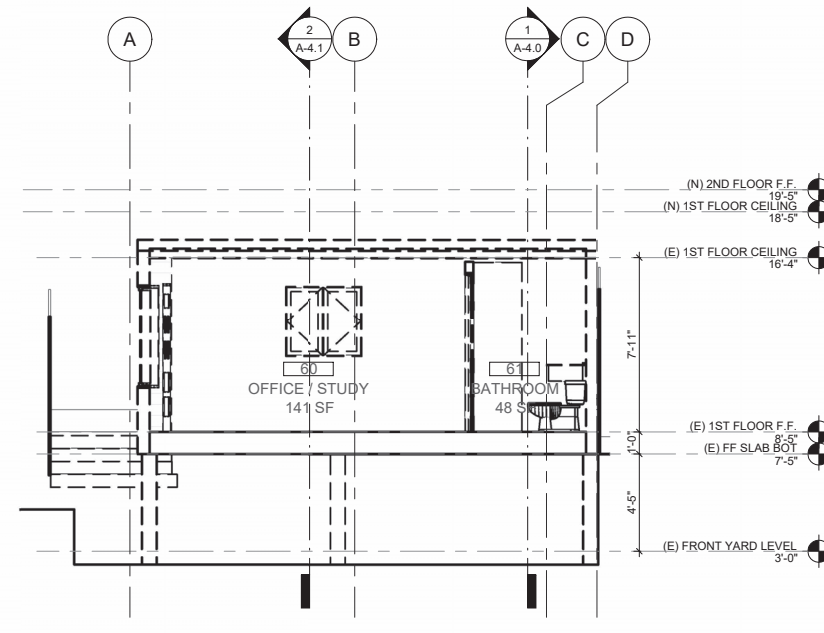
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LONGITUDINAL SECTIONS

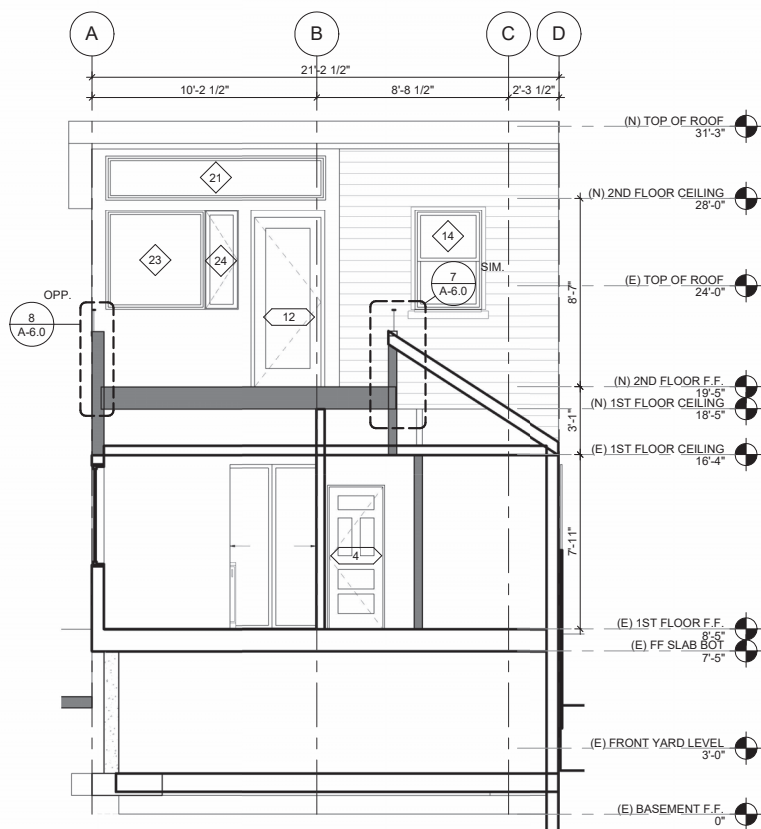
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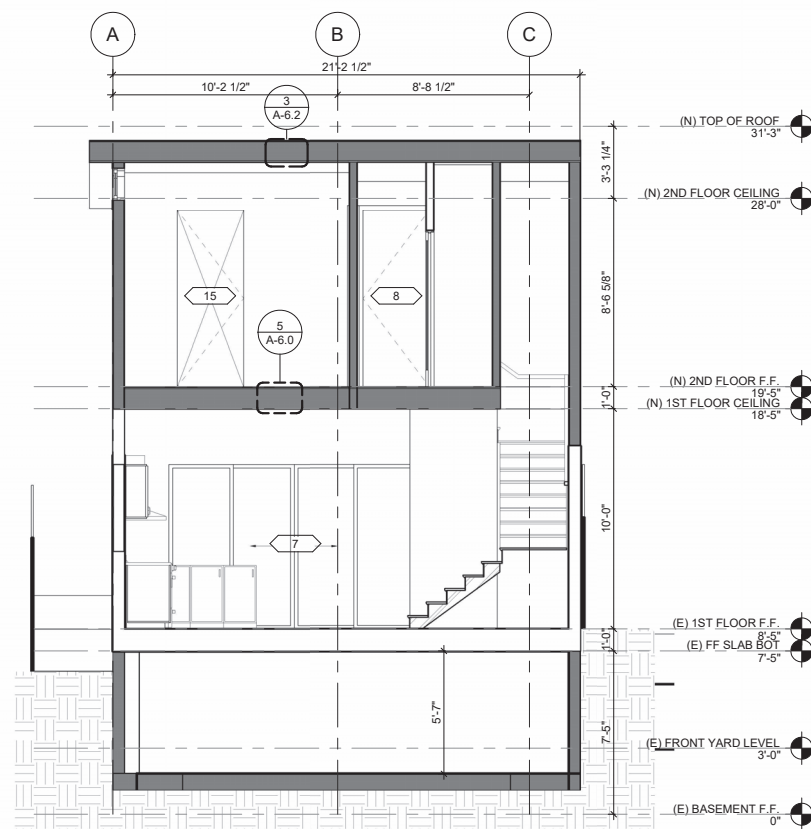
1 (E) CROSS SECTION
1/4" = 1'-0"



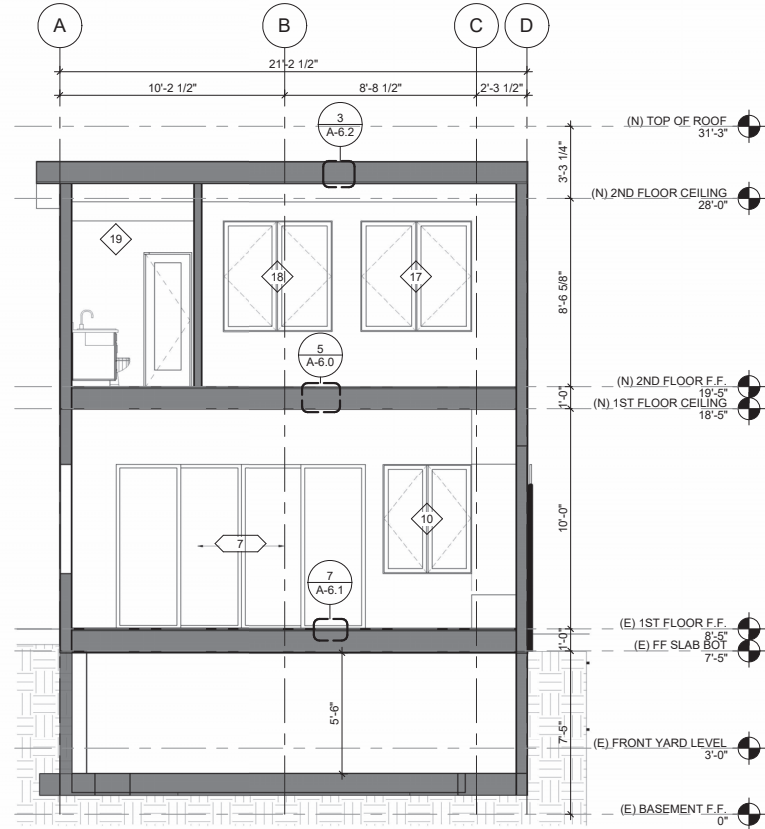
3 (E) CROSS SECTION 02
1/4" = 1'-0"



5 (N) CROSS SECTION @ ROOF DECK
1/4" = 1'-0"



2 (N) CROSS SECTION
1/4" = 1'-0"

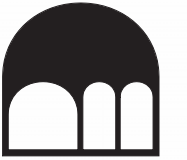


4 (N) CROSS SECTION 02
1/4" = 1'-0"

- WALL TYPE LEGEND**
- (E) WALL TO REMAIN
 - TO BE DEMOLISHED
 - (N) WALL
 - (N) 1-HR FIRE RATED WALL
 - NOT IN SCOPE OF WORK

NOTES:
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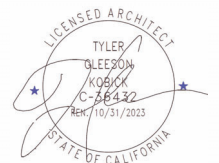
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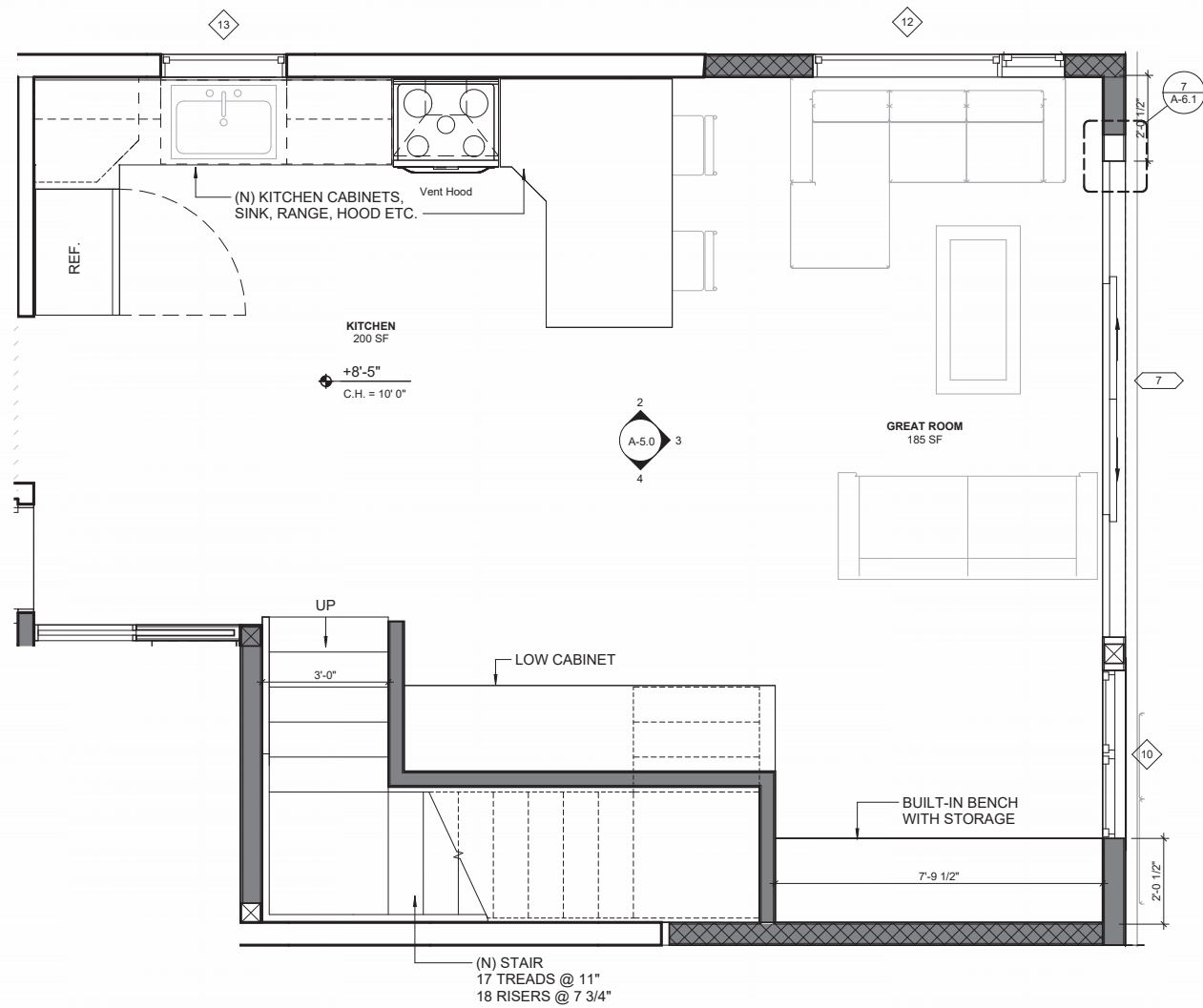
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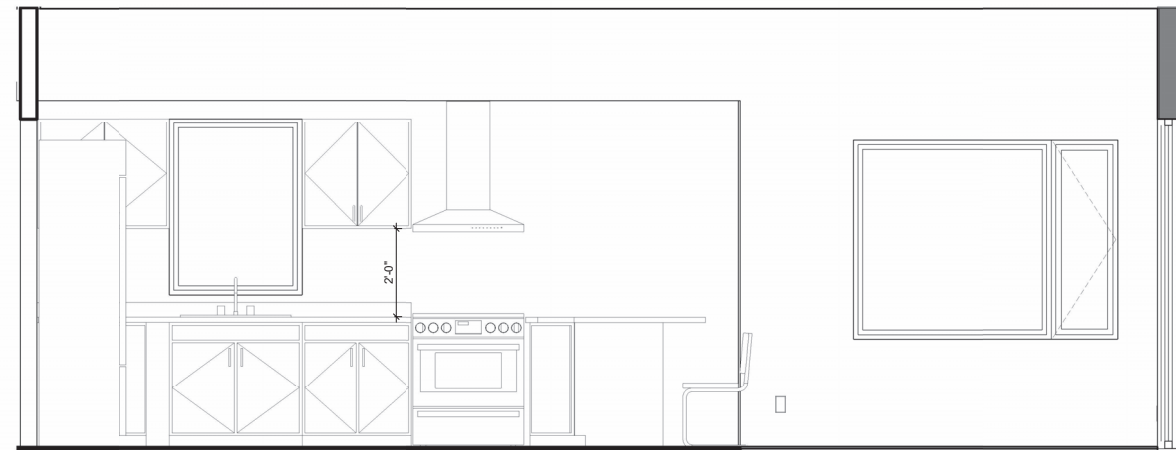
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CROSS SECTIONS

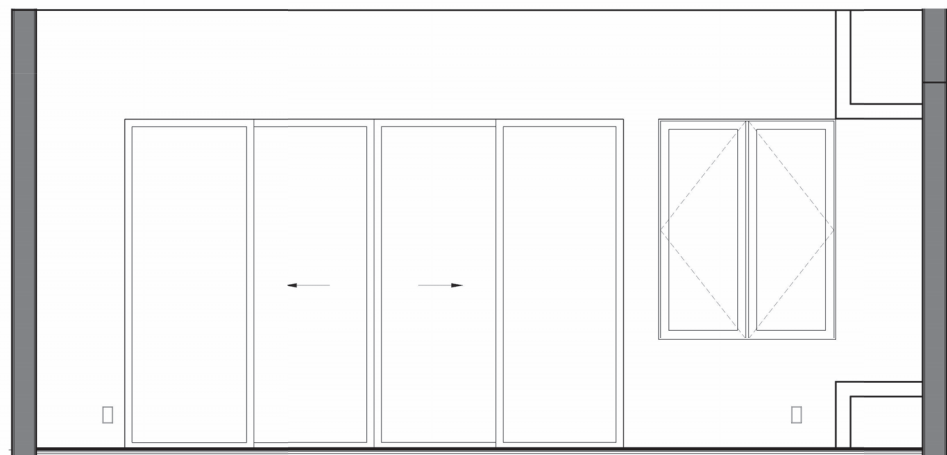
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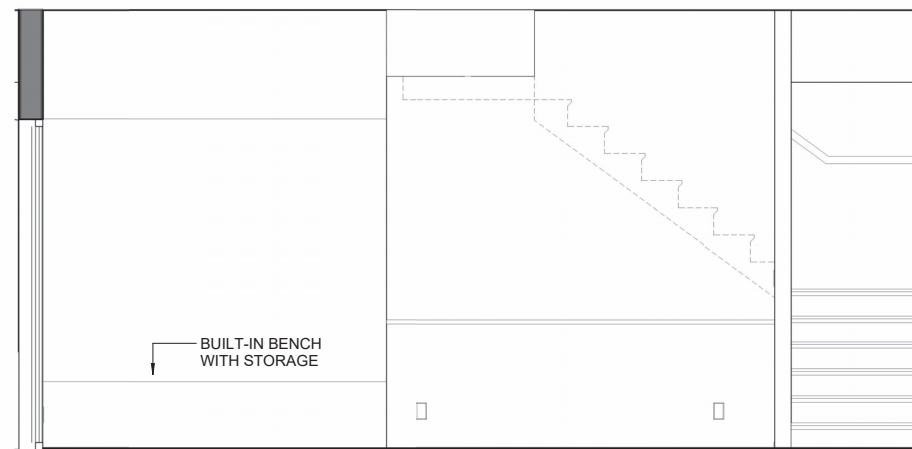
1 ENLARGED KITCHEN AND GREAT ROOM PLAN
1/2" = 1'-0"



2 KITCHEN ELEVATION
1/2" = 1'-0"



3 GREAT ROOM ELEVATION
1/2" = 1'-0"



4 STAIR ELEVATION
1/2" = 1'-0"

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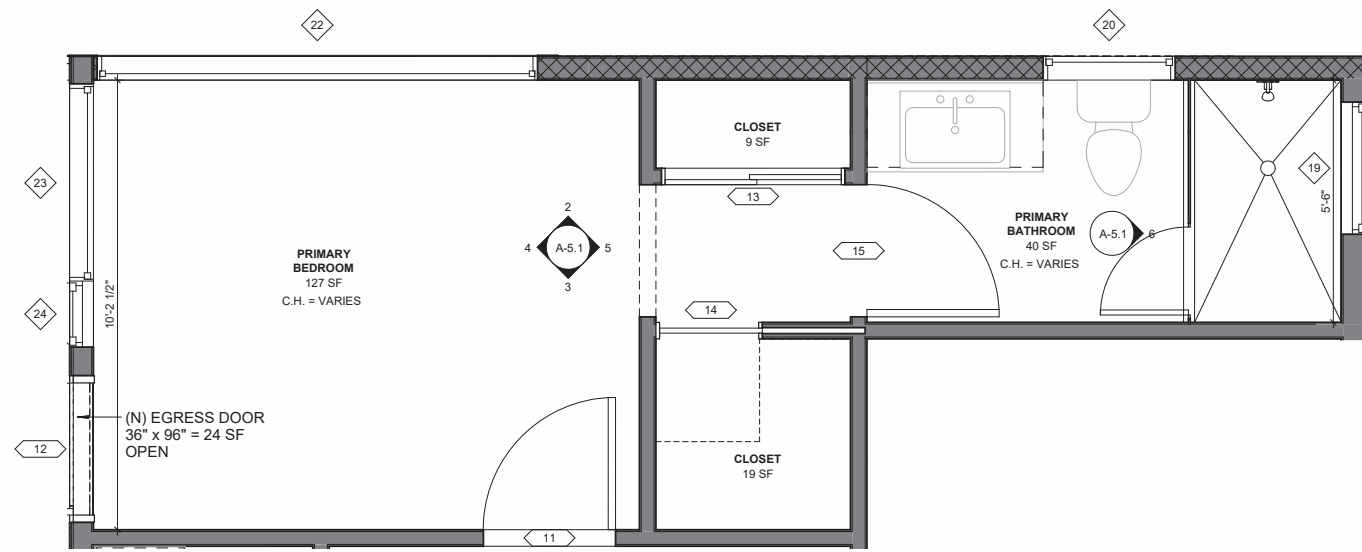
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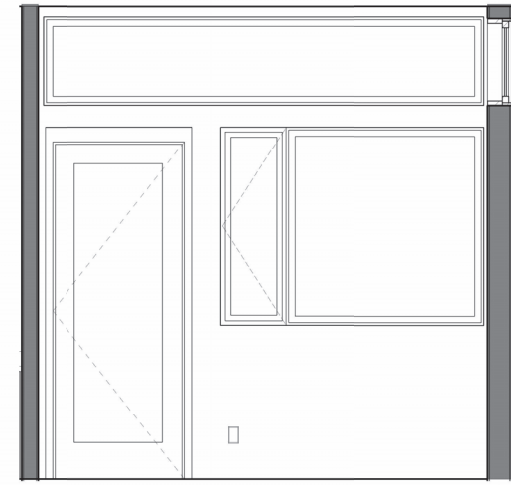
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ENLARGED PLAN AND ELEVATION - KITCHEN AND GREAT ROOM

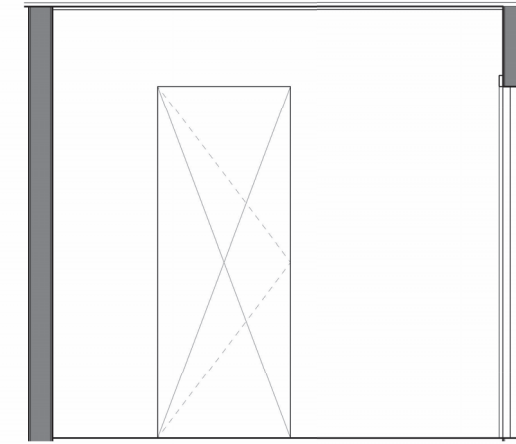
A-5.0



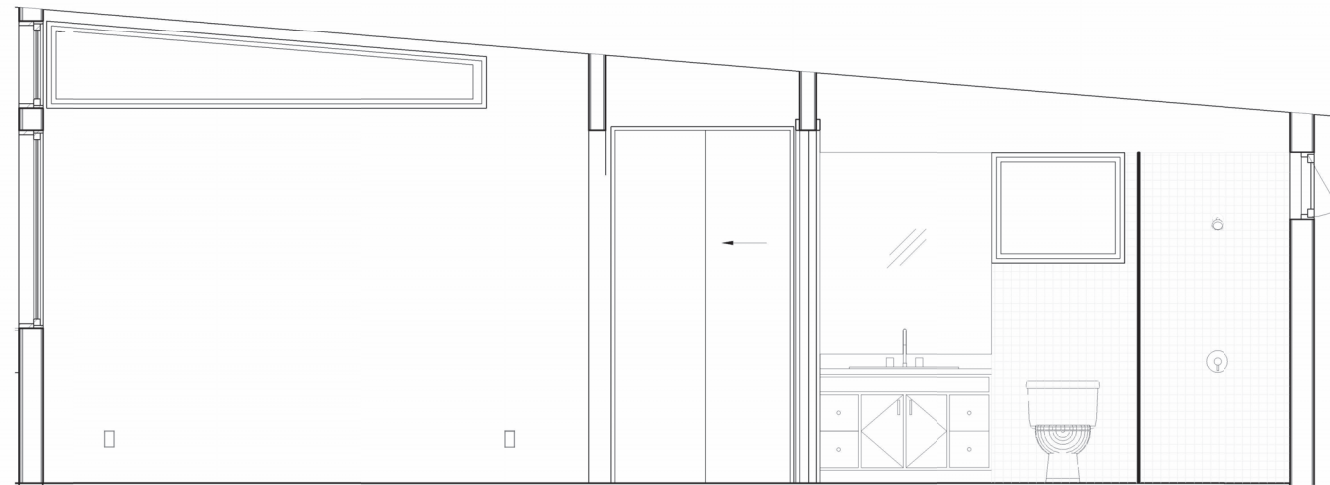
1 ENLARGED PRIMARY BEDROOM AND BATHROOM PLAN
1/2" = 1'-0"



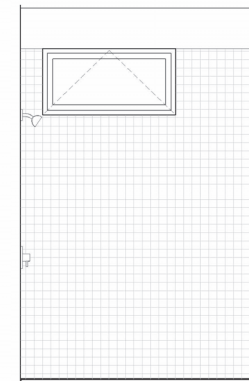
4 BEDROOM ELEVATION 01
1/2" = 1'-0"



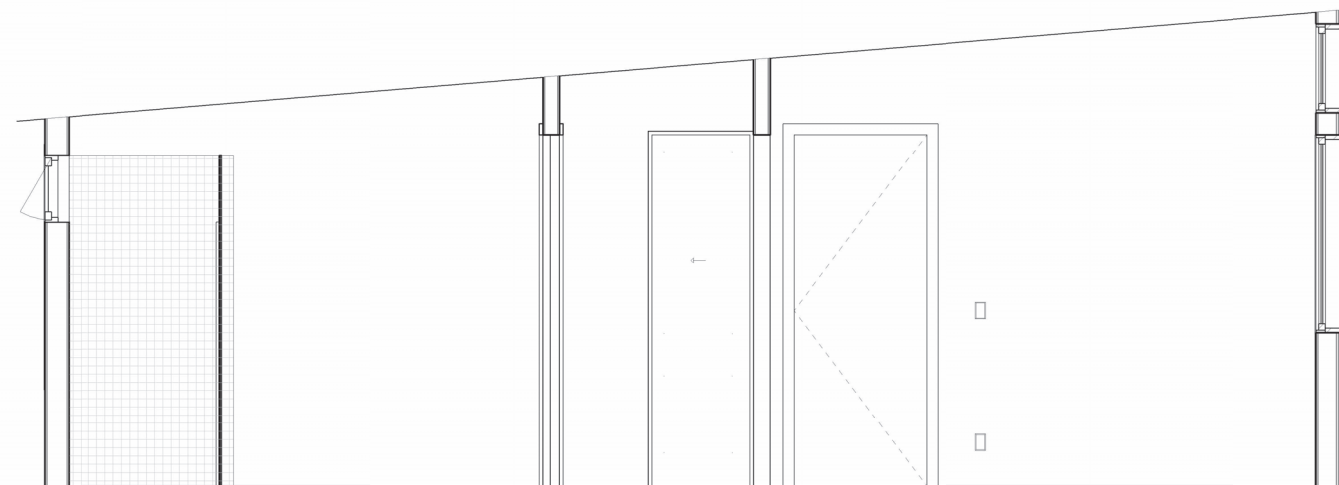
5 BEDROOM ELEVATION 02
1/2" = 1'-0"



2 BEDROOM AND BATHROOM ELEVATION 01
1/2" = 1'-0"



6 BATHROOM ELEVATION
1/2" = 1'-0"



3 BEDROOM AND BATHROOM ELEVATION 02
1/2" = 1'-0"

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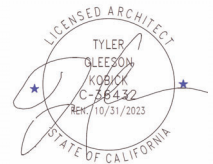


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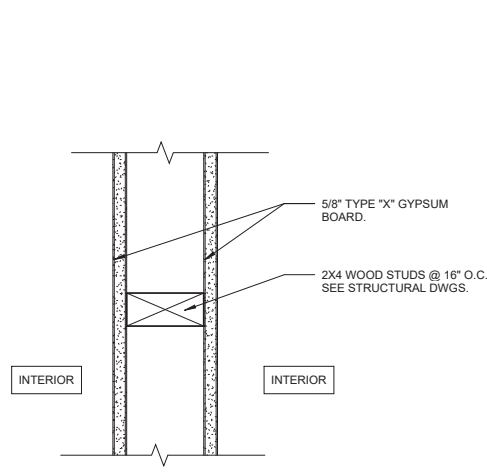
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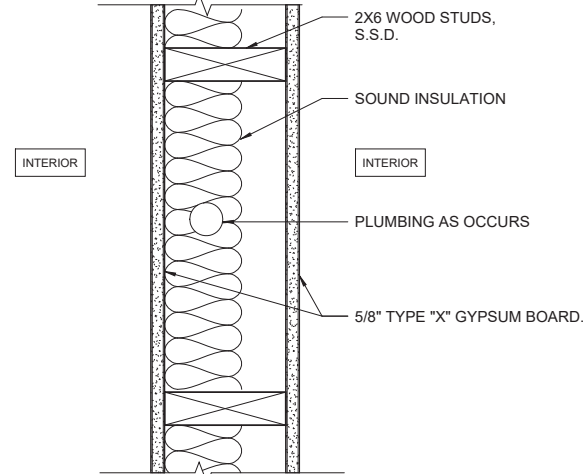
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ENLARGED PLAN AND ELEVATION - PRIMARY BEDROOM AND BATHROOM

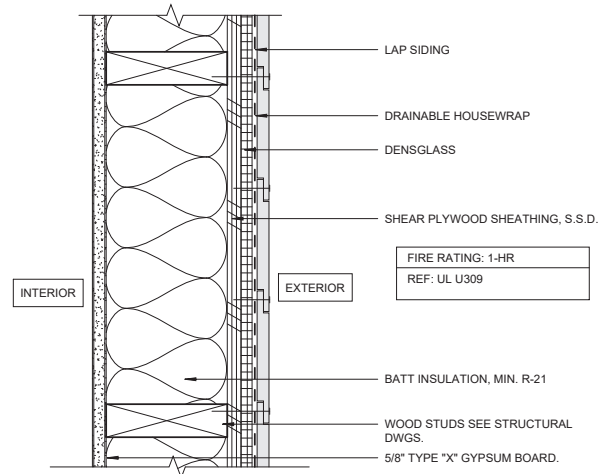
A-5.1



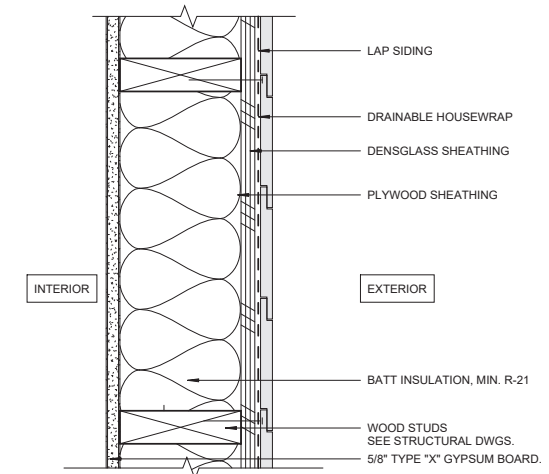
4 TYP. INTERIOR WALL
3" = 1'-0"



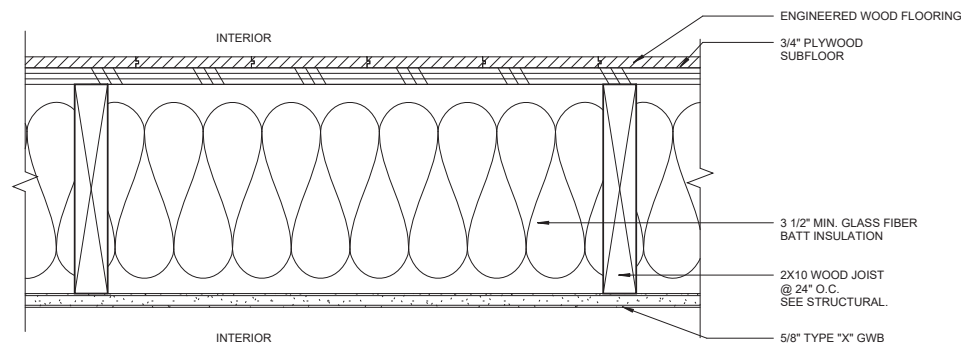
3 TYP. PLUMBING WALL
3" = 1'-0"



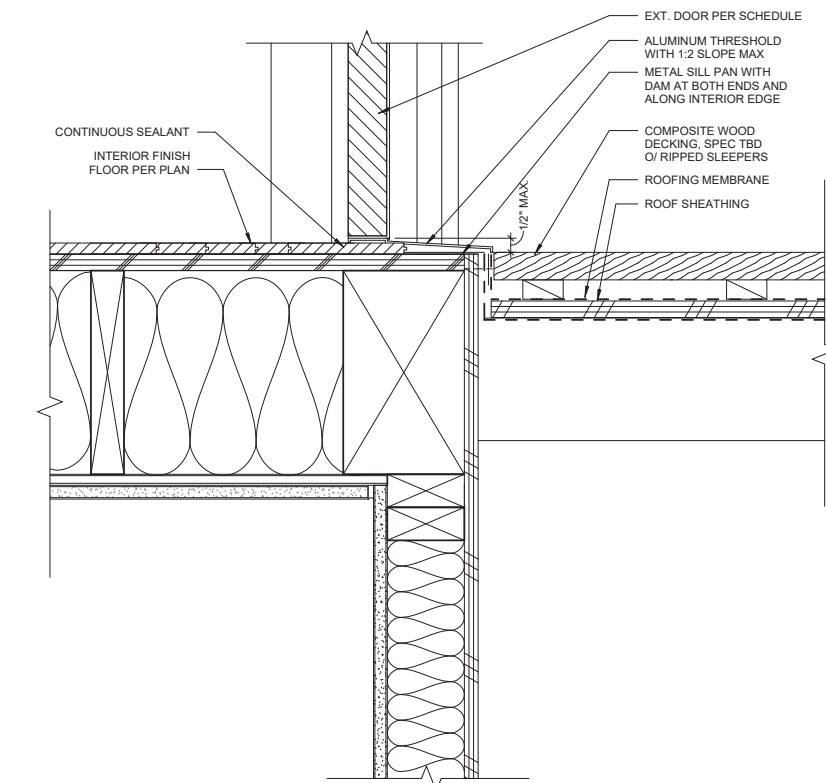
2 TYP. EXTERIOR WALL (1-HR)
3" = 1'-0"



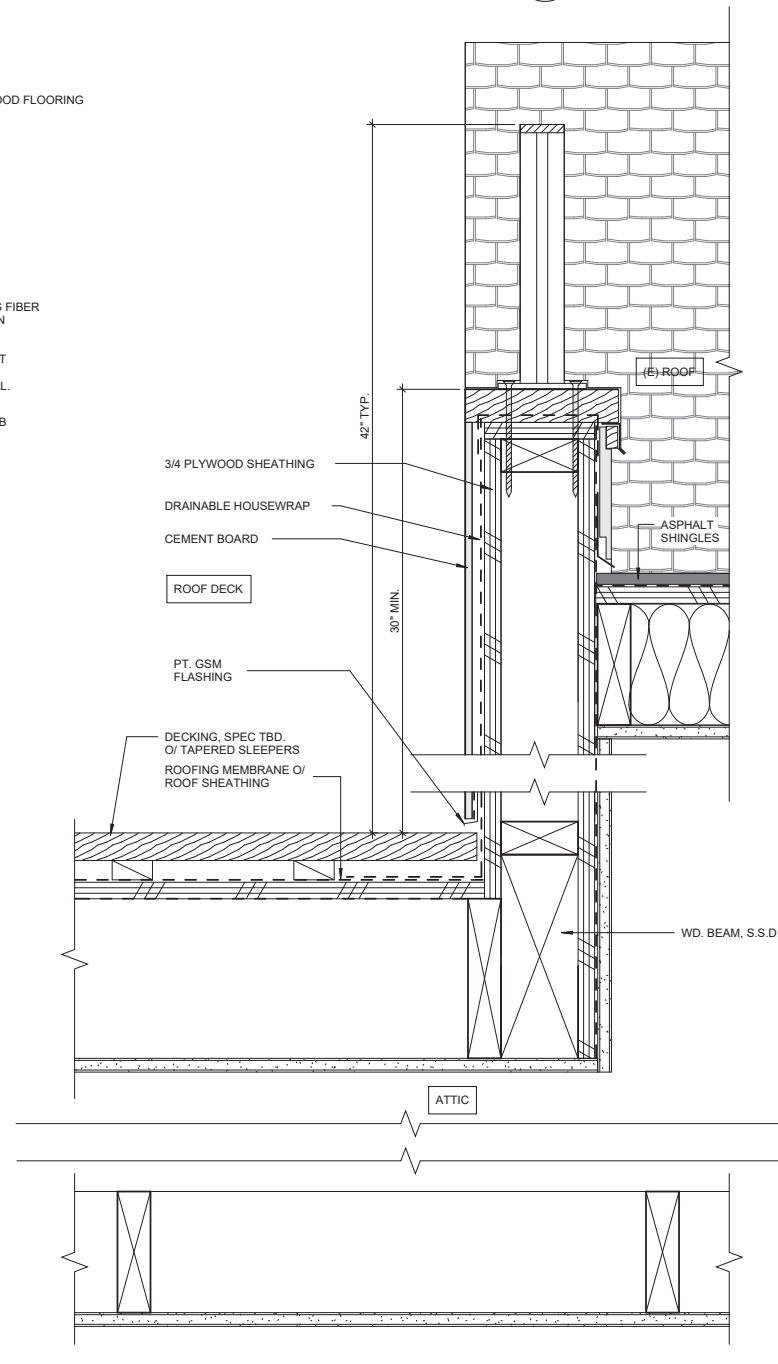
1 TYP. EXTERIOR WALL
3" = 1'-0"



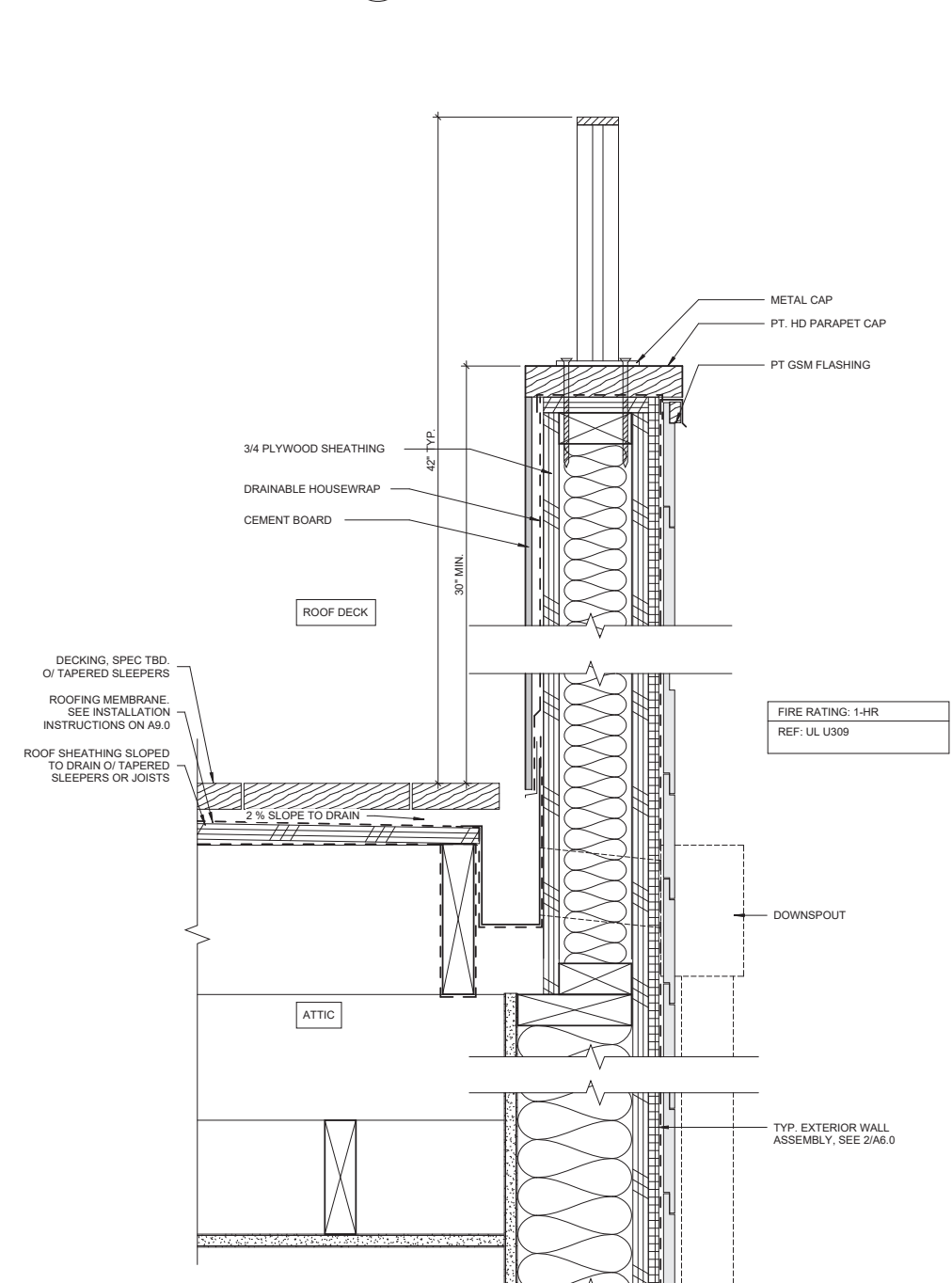
5 TYP. FLR. ASSEMBLY
3" = 1'-0"



6 DECK-WALL CONNECTION DETAIL
3" = 1'-0"



7 ROOF DECK RAILING @ ROOF
3" = 1'-0"



8 ROOF DECK RAILING @ WALL
3" = 1'-0"

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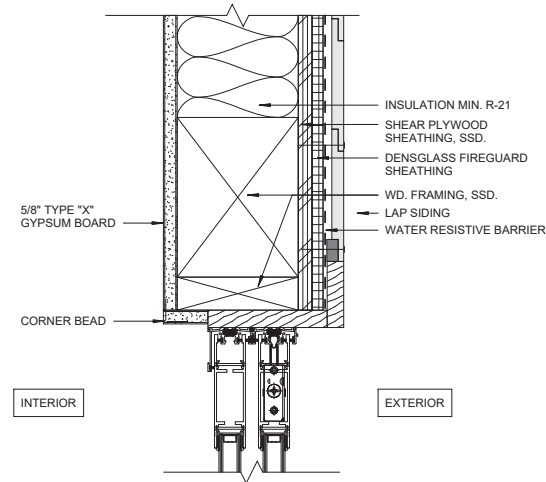
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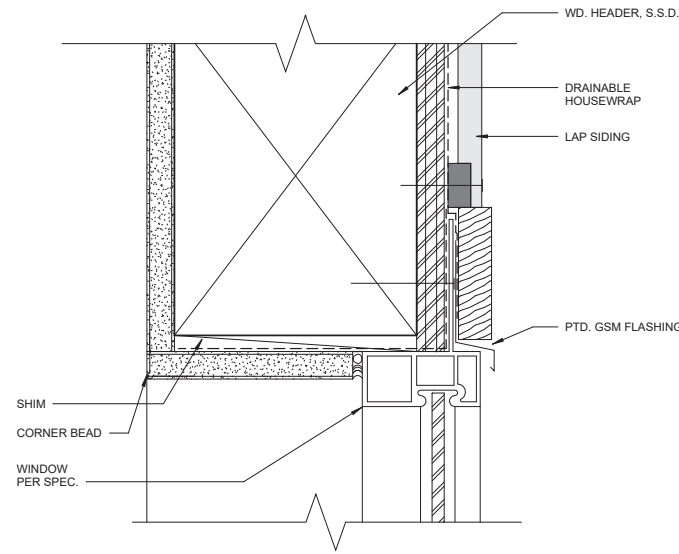
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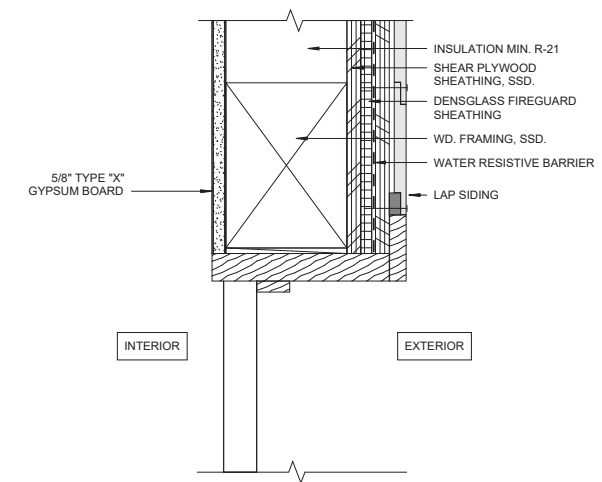
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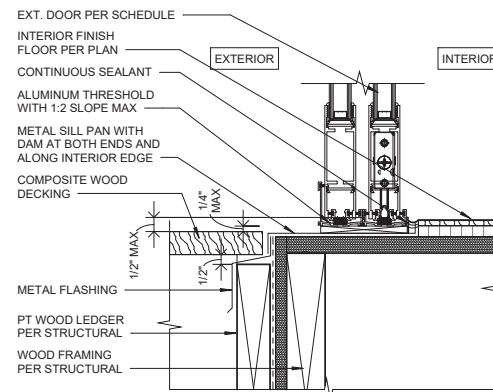
6 REAR SLIDING DOOR HEAD
3" = 1'-0"



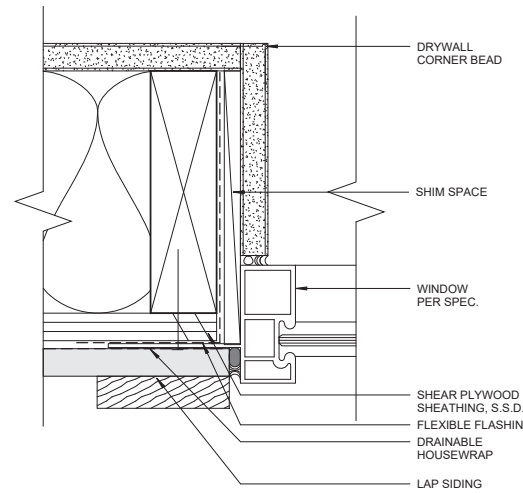
3 TYP. WINDOW HEAD
6" = 1'-0"



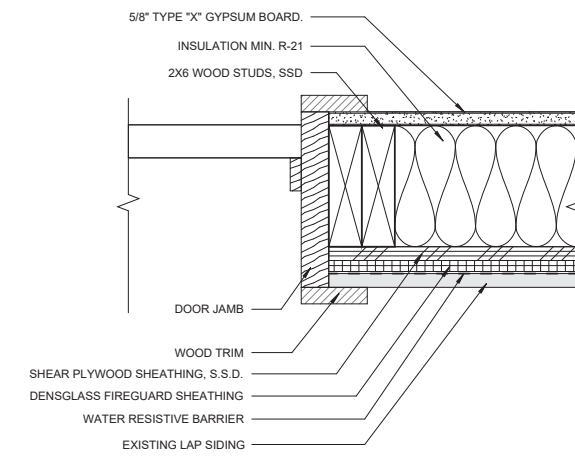
1 TYP. DOOR HEAD
3" = 1'-0"



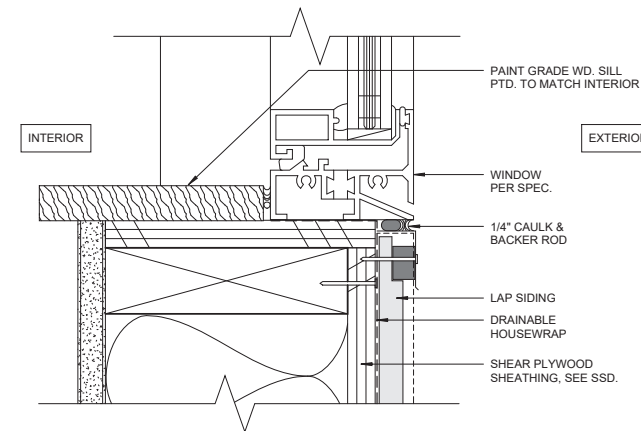
7 REAR SLIDING DOOR THRESHOLD
3" = 1'-0"



4 TYP. WINDOW JAMB
6" = 1'-0"



2 TYP. DOOR JAMB
3" = 1'-0"



5 TYP. WINDOW SILL
6" = 1'-0"

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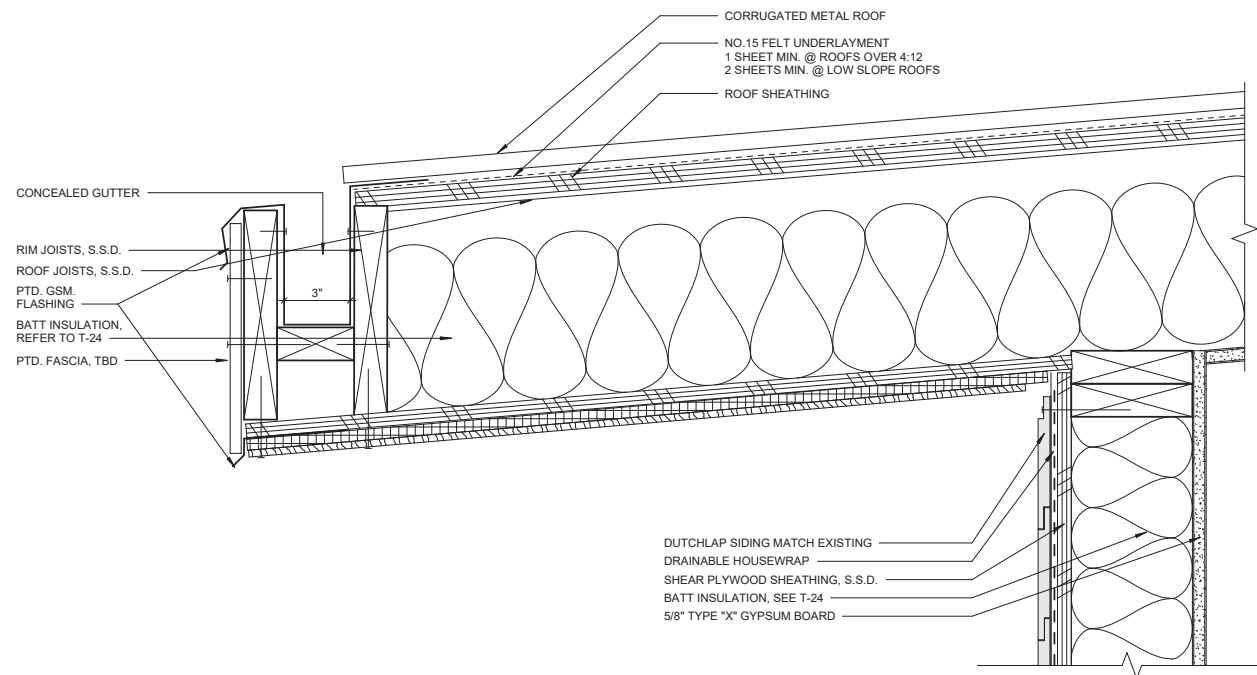
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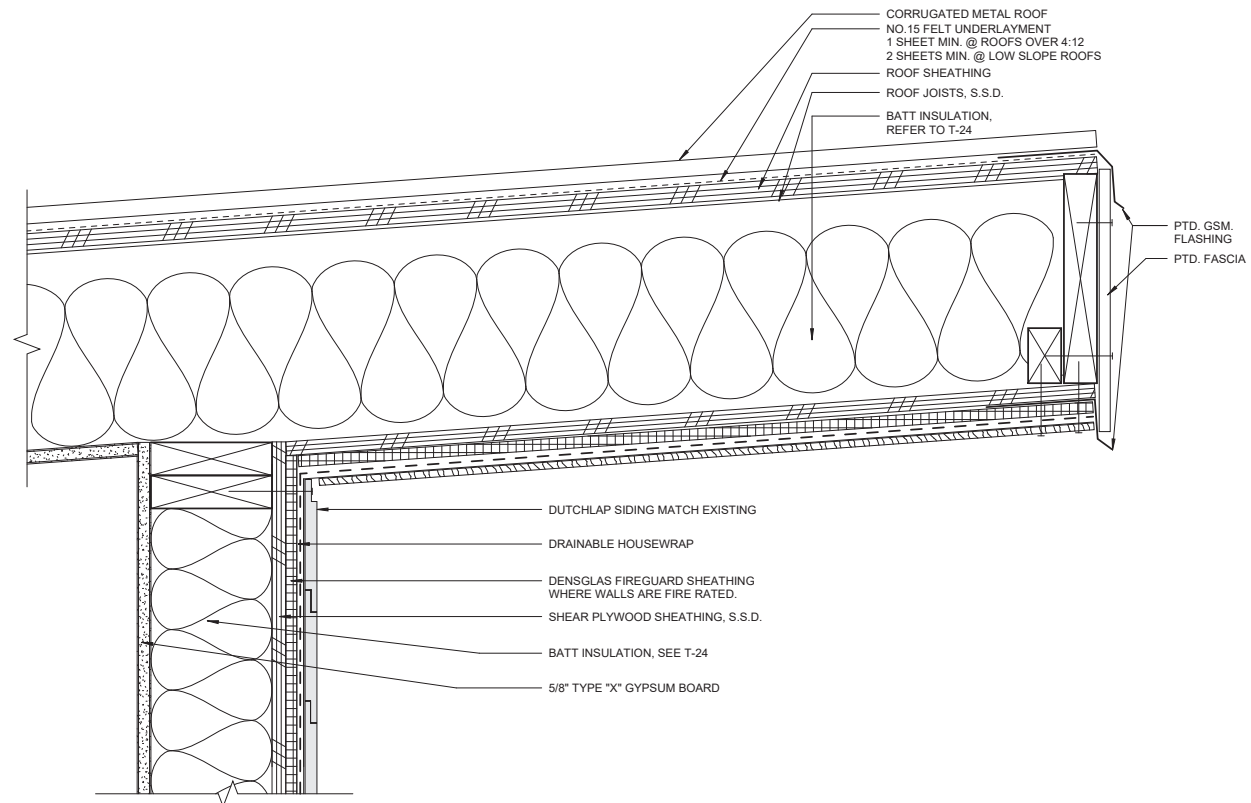
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WINDOW AND DOOR DETAILS

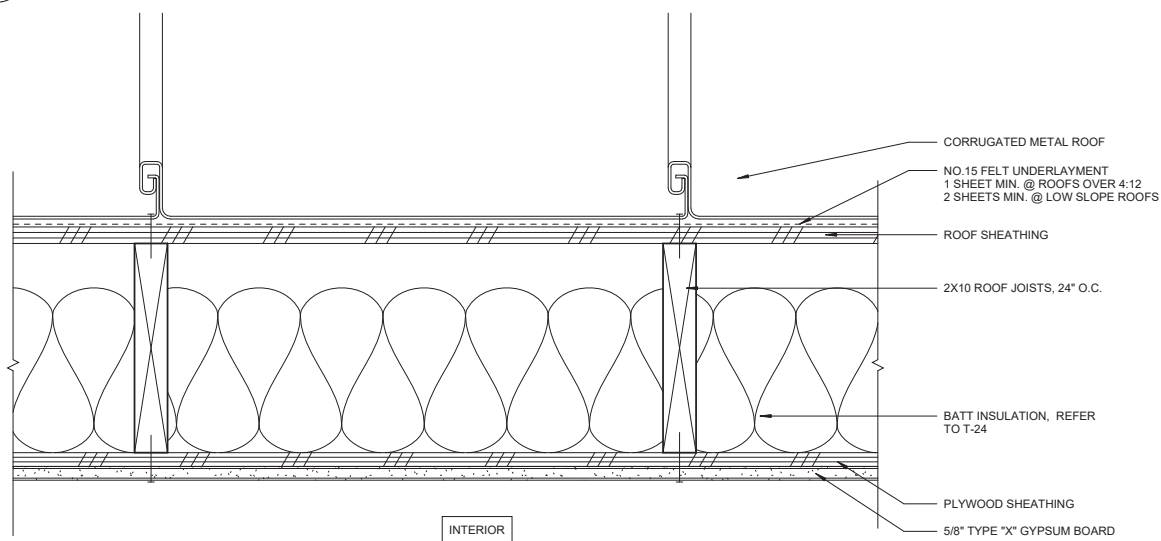




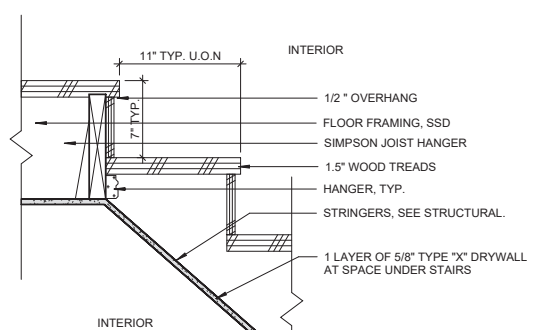
2 REAR EAVE DETAIL
3" = 1'-0"



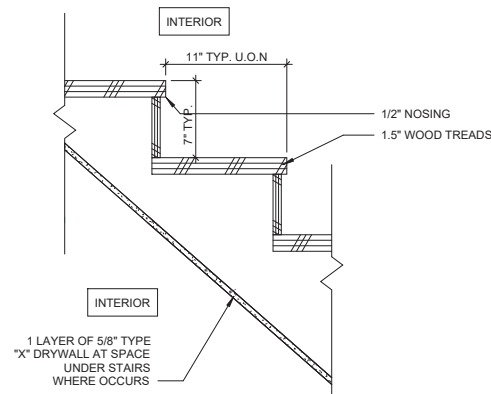
1 FRONT EAVE DETAIL (SIDES SIM.)
3" = 1'-0"



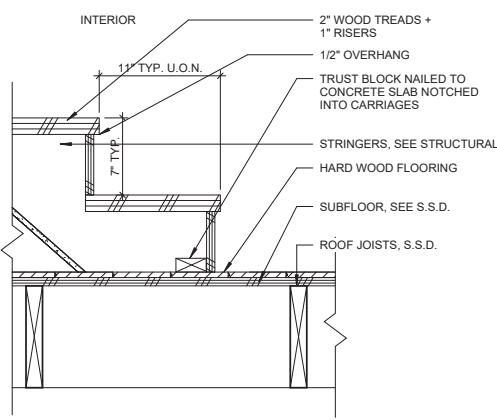
3 CORRUGATED ROOF DETAIL
3" = 1'-0"



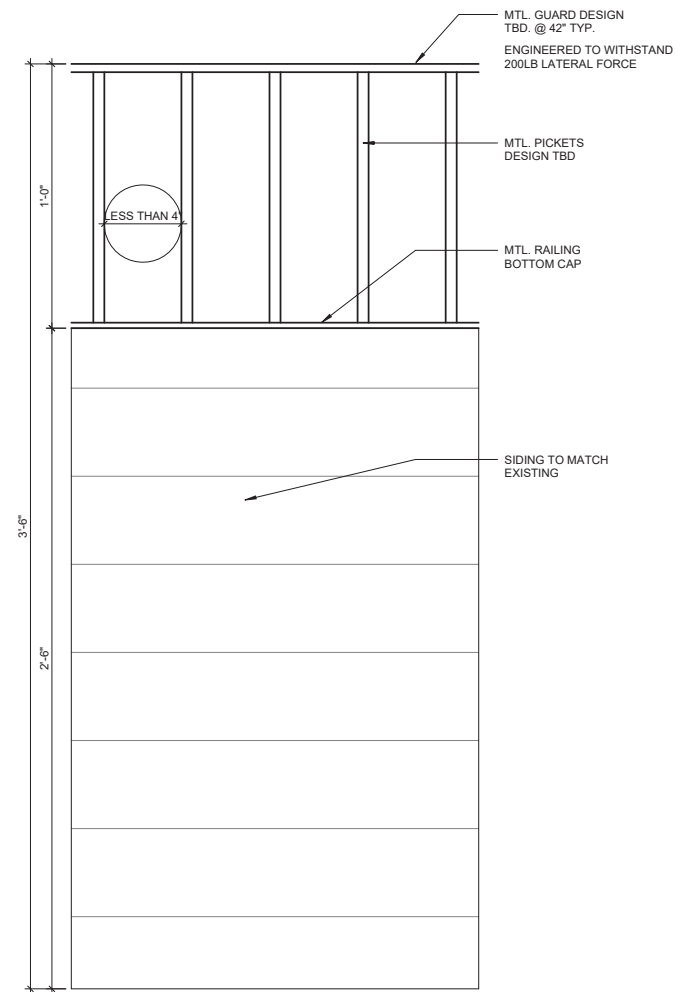
4 TYP. TOP OF STAIR
1 1/2" = 1'-0"



5 TYP. STAIR
1 1/2" = 1'-0"



6 TYP. BOTTOM OF STAIR
1 1/2" = 1'-0"



7 DECK RAILING
3" = 1'-0"

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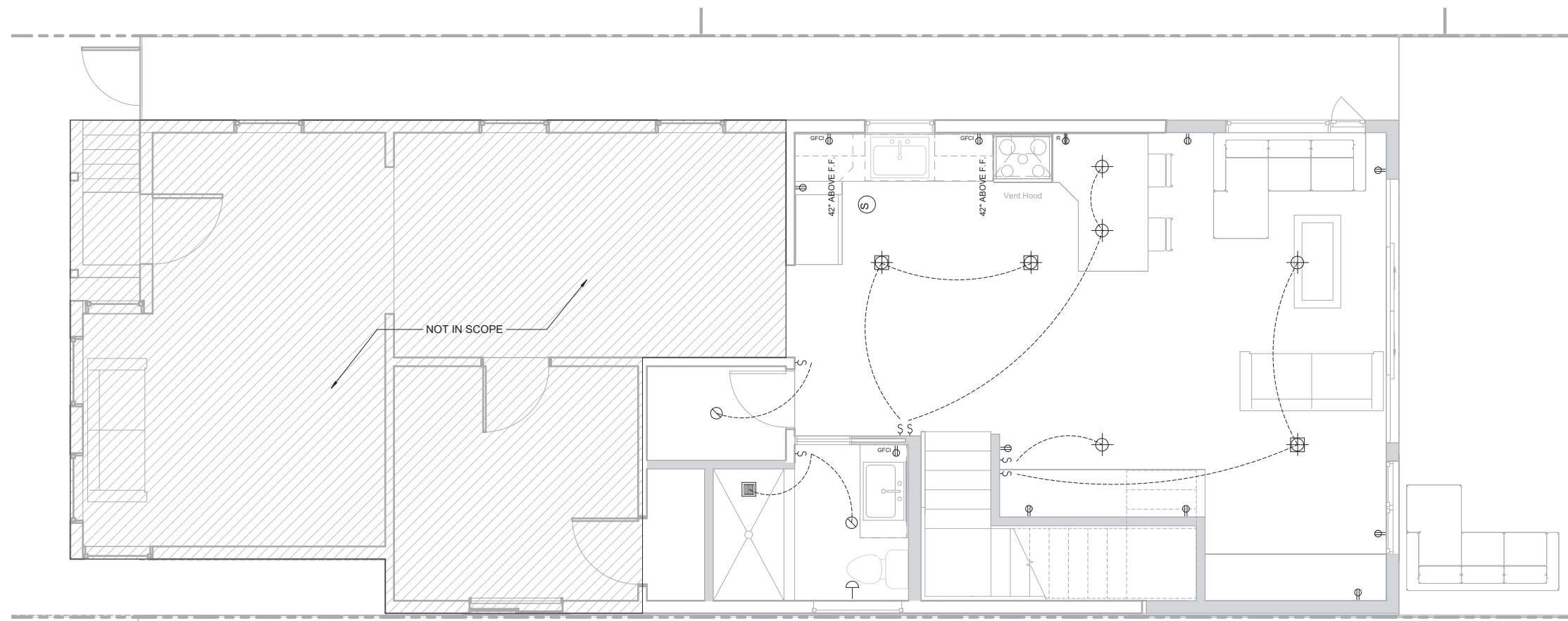
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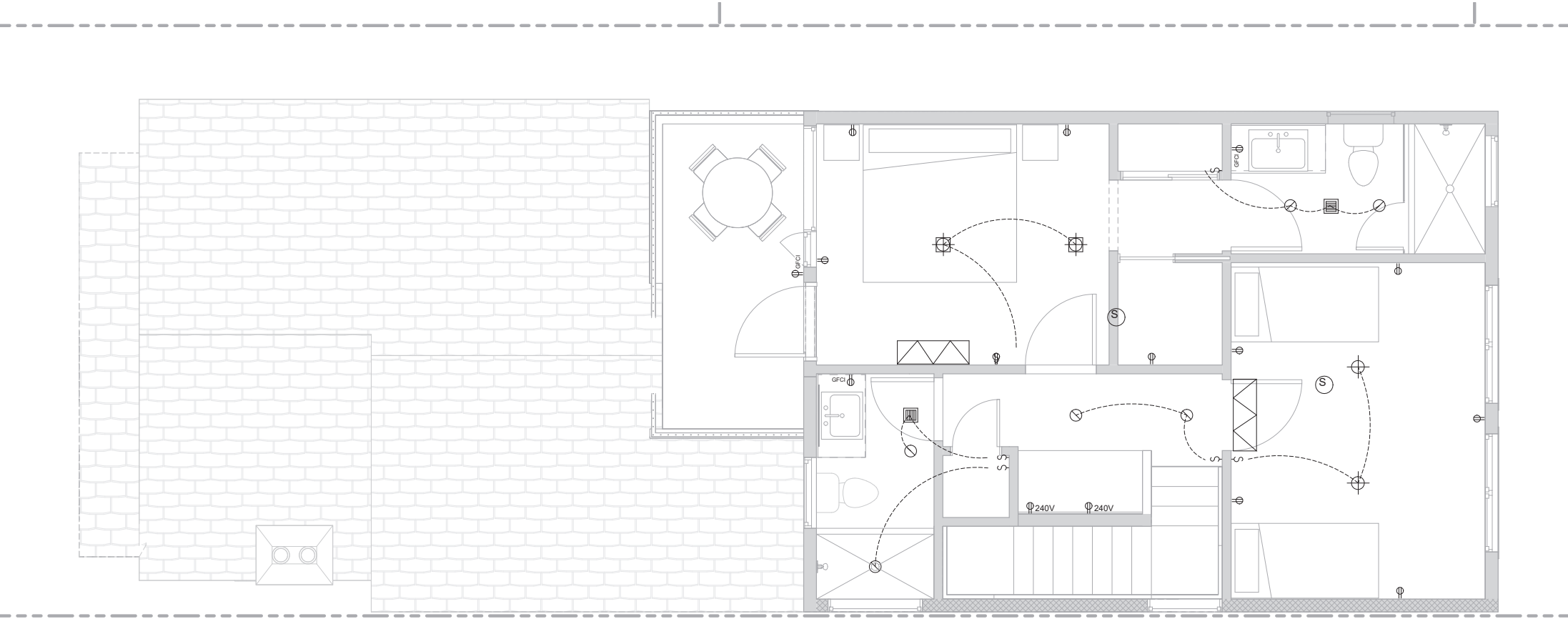
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ARCHITECTURAL
DETAILS

A-6.2



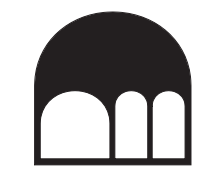
1 (N) FIRST FLOOR ELECTRICAL PLAN
3/8" = 1'-0"



2 (N) SECOND FLOOR ELECTRICAL PLAN
3/8" = 1'-0"

- LEGEND**
- CEILING FAN
 - FLUSHMOUNT LIGHTING
 - WALL MOUNTED LIGHTING
 - PENDANT LIGHTING
 - UNDERCABINET LIGHTING
 - 3" RECESSED CAN LIGHTING
 - CEILING MOUNTED LIGHTING
 - TRACK LIGHTING
 - DIRECTIONAL LIGHTING
 - EXT. WALL MOUNTED LIGHTING
 - LINEAR BOX LIGHTING
 - CEILING FAN
 - EXHAUST FA W/ HUMIDITY/OCCUPANCY SENSOR
 - GARBAGE DISPOSAL
 - TV CABLE
 - THERMOSTAT
 - CAT 5
 - SMOKE ALARM
 - CARBON MONOXIDE ALARM
 - ELECTRICAL PANEL
 - GAS VALVE
 - DUPLEX OUTLET
 - QUADPLEX OUTLET
 - GFCI OUTLET
 - GFCI WATERPROOF OUTLET
 - 240 VOLT OUTLET
 - GROUND OUTLET
 - EV CAPABLE OUTLET
 - LIGHT SWITCH TYP.
 - 3-WAY LIGHT SWITCH
 - DIMMABLE LIGHT SWITCH
 - OCCUPANCY LIGHT SWITCH
 - HOSE BIB
 - EMERGENCY LIGHT
 - SECURITY CAMERA
 - MINI SPLIT HEAD
 - MINISPLIT CONDENSOR
 - TANKLESS WATER HEATER

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(N) ELECTRICAL PLAN

Door Schedule								
Door Tag	Level	Room	Height	Width	Swing Type	Tempered	Description	Comments
(E) 1ST FLOOR F.F.								
1	(E) 1ST FLOOR F.F.	FOYER	6'-9"	3'-0"	LH INSWING			EXISTING
2	(E) 1ST FLOOR F.F.	BEDROOM	7'-2"	2'-10"	RH INSWING			EXISTING
3	(E) 1ST FLOOR F.F.	BEDROOM	7'-2"	2'-10"	RH OUTSWING			EXISTING
4	(E) 1ST FLOOR F.F.	PANTRY	6'-5"	2'-5"	RH INSWING			PROPOSED
5	(E) 1ST FLOOR F.F.	FULL BATH 1	7'-0"	2'-4"	POCKET DOOR			PROPOSED
7	(E) 1ST FLOOR F.F.	GREAT ROOM	7'-6"	5'-8"	SLIDING			PROPOSED
(N) 2ND FLOOR F.F.								
8	(N) 2ND FLOOR F.F.	KIDS BEDROOM	8'-0"	3'-0"	LH INSWING			PROPOSED
9	(N) 2ND FLOOR F.F.	CLOSET	7'-0"	2'-0"	LH INSWING			PROPOSED
10	(N) 2ND FLOOR F.F.	FULL BATH 2	8'-0"	2'-8"	RH INSWING			PROPOSED
11	(N) 2ND FLOOR F.F.	MASTER BEDROOM	8'-0"	3'-0"	RH INSWING			PROPOSED
12	(N) 2ND FLOOR F.F.	MASTER BEDROOM	7'-8"	3'-0"	LH INSWING			PROPOSED
13	(N) 2ND FLOOR F.F.	CLOSET	8'-0"	4'-0"	SLIDING			PROPOSED
14	(N) 2ND FLOOR F.F.	CLOSET	8'-0"	2'-4"	POCKET DOOR			PROPOSED
15	(N) 2ND FLOOR F.F.	MASTER BATHROOM	8'-0"	3'-0"	RH INSWING			PROPOSED
19	(N) 2ND FLOOR F.F.	MASTER BATHROOM	6'-0"	2'-0"	LH INSWING	Yes		PROPOSED

Window Schedule									
Mark	Level	Height	Width	Sill Height	Room	Fire Rating	Tempered	Notes	Comments
(E) 1ST FLOOR F.F.									
1	(E) 1ST FLOOR F.F.	4'-8"	3'-0"	2'-10"	DINING ROOM				EXISTING
2	(E) 1ST FLOOR F.F.	4'-8"	3'-0"	2'-10"	DINING ROOM				EXISTING
3	(E) 1ST FLOOR F.F.	4'-8"	3'-0"	2'-10"	LIVING ROOM				EXISTING
4	(E) 1ST FLOOR F.F.	4'-0"	2'-6"	3'-0"	LIVING ROOM				EXISTING
5	(E) 1ST FLOOR F.F.	4'-0"	3'-0"	3'-0"	LIVING ROOM				EXISTING
6	(E) 1ST FLOOR F.F.	4'-0"	3'-0"	3'-0"	LIVING ROOM				EXISTING
7	(E) 1ST FLOOR F.F.	4'-0"	3'-0"	3'-0"	LIVING ROOM				EXISTING
8	(E) 1ST FLOOR F.F.	4'-8"	4'-0"	2'-0"	BEDROOM			EGRESS WINDOW	EXISTING
9	(E) 1ST FLOOR F.F.	1'-6"	4'-0"	6'-0"	FULL BATH 1	45 MIN	Yes	FIXED	PROPOSED
10	(E) 1ST FLOOR F.F.	5'-0"	4'-0"	2'-6"	GREAT ROOM				PROPOSED
11	(E) 1ST FLOOR F.F.	4'-6"	1'-6"	2'-6"	GREAT ROOM			EGRESS WINDOW	PROPOSED
12	(E) 1ST FLOOR F.F.	4'-6"	4'-6"	2'-6"	GREAT ROOM				PROPOSED
13	(E) 1ST FLOOR F.F.	4'-0"	3'-0"	3'-6"	KITCHEN				PROPOSED
(N) 2ND FLOOR F.F.									
14	(N) 2ND FLOOR F.F.	4'-6"	3'-0"	3'-6"	FULL BATH 2				PROPOSED
15	(N) 2ND FLOOR F.F.	5'-0"	4'-0"	3'-0"	FULL BATH 2	45 MIN	Yes	FIXED	PROPOSED
16	(N) 2ND FLOOR F.F.	6'-0"	3'-2"	2'-0"	STAIR	45 MIN	Yes	FIXED	PROPOSED
17	(N) 2ND FLOOR F.F.	5'-0"	5'-0"	2'-6"	KIDS BEDROOM				PROPOSED
18	(N) 2ND FLOOR F.F.	5'-0"	5'-0"	2'-6"	KIDS BEDROOM			EGRESS WINDOW	PROPOSED
19	(N) 2ND FLOOR F.F.	1'-6"	3'-0"	6'-0"	PRIMARY BATHROOM				PROPOSED
20	(N) 2ND FLOOR F.F.	2'-6"	3'-0"	5'-0"	PRIMARY BATHROOM				PROPOSED
21	(N) 2ND FLOOR F.F.	2'-0"	10'-0"	8'-6"	PRIMARY BEDROOM				PROPOSED
22	(N) 2ND FLOOR F.F.	1'-2"	10'-0"	8'-6"	PRIMARY BEDROOM			ANGLED FIXED WINDOW	PROPOSED
23	(N) 2ND FLOOR F.F.	4'-6"	4'-6"	3'-6"	PRIMARY BEDROOM				PROPOSED
24	(N) 2ND FLOOR F.F.	4'-6"	1'-6"	3'-6"	PRIMARY BEDROOM			EGRESS WINDOW	PROPOSED

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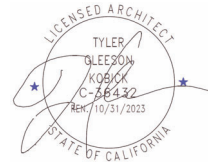


APPROVED
 Dept. of Building Insp.
 - San Francisco -

November 15, 2023
 202208150509_SITE DWGS REV4

P. J. Riordan
 PATRICK J. RIORDAN
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

415 GRAFTON ST.
SAN FRANCISCO, CA
08/07/2023



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REV	SET ISSUE	DATE
	BUILDING SUBMITTAL	08/13/2023
1	REVISION	08/25/2023

DOOR AND WINDOW SCHEDULE

A-8.0



Attachment A

SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST

A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

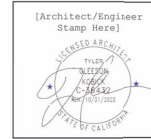
JOB ADDRESS 415 Grafton Ave APPLICATION NO. 202208150509 ADDENDUM NO. _____
OWNER NAME Eryan Corwin OWNER PHONE NO. (415)509 3696

1: PROPERTY LOCATION		3: PROPOSED CONSTRUCTION	
EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2010.	YES <input type="checkbox"/>	CONSTRUCTION OF NEW BUILDING OR STRUCTURE HAVING OVER 1000 SQFT OF NEW PROJECTED ROOF AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
	NO <input checked="" type="checkbox"/>	HORIZONTAL OR VERTICAL ADDITIONS HAVING OVER 500 SQFT OF NEW PROJECTED ROOF AREA	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
2: AVERAGE SLOPE OF PROPERTY		SHORING	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
		UNDERPINNING	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE <i>(APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)</i>		GRADING, INCLUDING EXCAVATION OR FILL OF OVER 50 CUBIC YARDS OF EARTH MATERIAL	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
		CONSTRUCTION ACTIVITY LISTED BELOW DETERMINED BY THE BUILDING OFFICIAL THAT MAY HAVE A SUBSTANTIAL IMPACT ON THE SLOPE STABILITY:	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
		RETAINING WALL:	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
		OTHERS: _____	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

SECTION 4: LICENSED DESIGN PROFESSIONAL VERIFICATION AND SIGNATURES

Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.

Prepared by: Tyler Kobick
Engineer/Architect of Record
510 833 2643 Telephone
studio@designdrawbuild.com Email
Tyler Kobick Signature
7/28/2023 Date



Technical Services Division
1660 Mission Street - San Francisco CA 94103
Office (415) 558-6205 - FAX (415) 558-6401 - www.sfdbi.org

FOR DBI USE ONLY

ASSIGNMENT OF REVIEW TIER

EXEMPTED: Reports per Section E and Third Party Peer Review Not Required

If the box in Section 1 "Property Location" **AND** the box in Section 2 "Average Slope of Property" are marked "No" **OR** if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.

TIER I: Reports per Section E Required but Third Party Peer Review Not Required

If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.

TIER II: Reports per Section E and Third Party Peer Review Required

If the box in Section 2 "Average Slope of Property" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes" **AND** the property lies within the areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.

If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.

TIER III: Structural Advisory Committee (SAC) Review

If the box in Section 1 "Property Location" **AND** any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBC Section 105A.6.

Tier assigned by: _____
DBI Plan Review Engineer Phone: (415) _____

Comment: _____

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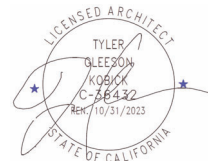


APPROVED
Dept. of Building Insp.
- San Francisco -

November 15, 2023
202208150509_SITE DWGS REV4

Patrick Jordan
PATRICK JORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

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REV	SET ISSUE	DATE
	BLDG SUBMITTAL	07/13/2023
1	REVISION	08/25/2023

SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST

A-0.3

ADMINISTRATIVE BULLETIN

NO. AB-009
DATE: September 18, 2002 (Updated 01/01/2008 for code references)
SUBJECT: Fire and Life Safety
TITLE: Local Equivalency for Approval of New Openings in New and Existing Building Property Line Walls

PURPOSE: The purpose of this Administrative Bulletin is to provide standards and procedures for the application and case-by-case review of requests for a modification based on local equivalency to allow openings in exterior walls closer to property lines than are permitted by the 2007 San Francisco Building Code (SFB/C).

REFERENCE: 2007 San Francisco Building Code
- Section 104A.2.7, Modification
- Section 104A.2.8, Alternate materials, alternate designs and methods of construction
- Section 704.8 Allowable Area of Openings
DBI Administrative Bulletin AB-005, Procedures for Approval of Local Equivalencies. San Francisco Administrative Code Article 5, Section 23.47, Lot Line Window Agreements

DISCUSSION: Project sponsors may request the application of this local equivalency allowing openings in building walls closer to property lines than allowed by SFB/C Section 704.8 when it can be demonstrated on a case-by-case basis that there are practical difficulties in meeting the provisions of the code, and that reasonable equivalency is provided in fire protection and structural integrity.

Such proposed modification may conform with the below listed standard provisions. The Department of Building Inspection (DBI) and other City departments may impose additional requirements in the approval of any request for a code modification or alternate based upon individual building and property conditions. Other City agencies that may review such requests include the San Francisco Fire Department, the Planning Department and, for buildings adjoining City-owned property, the Department of Real Estate.

If a project sponsor wishes to propose methods of opening protection different than those listed below, proposals for the use of alternate materials, designs, or methods of construction may be submitted for review in the same manner as for this local equivalency. The Department of Building Inspection may require that additional substantiation be provided supporting any claims made for such proposals.

Procedure for Application of Local Equivalencies
Project sponsors wishing to apply local equivalencies must fill out and submit the Request for Approval of Local Equivalency form (Attachment A). Fees to be paid and scheduling of review of requests are as noted on that form. Following DBI review, such request will either be approved, approved with conditions, disapproved, or placed on Hold pending submission of additional information.

Further details of procedures for the review of local equivalencies may be found in AB-005, Procedures for Approval of Local Equivalencies.

Condition of Local Equivalencies
Openings in new building walls and new openings in existing building walls in Groups B, M, and R occupancies that are closer to property lines than permitted under SFB/C Section 704.8 and Table 704.8 may be permitted on a case-by-case basis when the following provisions or approved equivalent provisions are met and the project sponsor provides documentation of the practical difficulties involved in carrying out the provisions of the regular code. The standard provisions for this Local Equivalency include all of the following:

- 1. The openings may not be used to provide required light and ventilation, required egress, or for required emergency rescue.
2. The openings shall be fixed (non-operable) unless more than 50 feet above the roof of any adjoining building or more than the distance prescribed for protected openings in Table 704.8 in any direction from an adjoining building.
3. The openings shall be located entirely above any adjoining roof or at least six feet laterally beyond any wall of an adjoining building.
4. The openings shall be protected with fire assemblies, such as fire shutters or rated window assemblies, having a rating of at least 3/4 hour. Openings in walls which have a fire-protection rating of greater than 1-hour shall be protected by a fire assembly having a three-hour fire-protection rating in four-hour fire-resistive walls, a two-hour fire-protection rating in three-hour fire-resistive walls, and one and one-half hour fire-protection rating in two-hour fire-resistive walls. Fire shutters, if provided, shall be actuated by smoke detectors located inside and by fusible links or other approved devices on the outside of the protected openings.
5. The opening shall be protected by a fire sprinkler system having ordinary temperature, quick-response type heads installed within 18' of the openings and spaced at 6 feet on center or at the manufacturer's recommended minimum spacing, whichever provides the closer spacing.
6. If the adjoining building contains R occupancies, proposed openings shall not be located closer than six feet measured in any direction to any existing opening on the adjoining building unless the adjoining owner gives written consent. A copy of the statement giving such consent shall be attached to the permit application.

7. The owner of a building with such openings shall provide a recorded statement that these openings will be closed or protected with approved fire resistive wall construction in the event that the adjoining property is improved in such a manner that the openings no longer comply with the provisions of this Administrative Bulletin. A copy of a Declaration of Use Limitation (Attachment B) shall be submitted to the plan reviewer prior to completion of Department of Building Inspection plan review.
8. Property line openings which open onto property owned by the City and County of San Francisco shall meet the requirements of San Francisco Administrative Code, Article VI, Sections 23.27 through 23.30 (Attachment C). An approved and executed "A" Lot Line Window Agreement shall be submitted as part of the documents required under Item 9 (below).

9. A permit application and related submittal documents shall detail all construction which is approved as a result of this request for local equivalency.

Approved by the Building Inspection Commission on September 18, 2002
Originally signed by: Gary Masterson, Fire Marshal
October 9, 2002
Frank Y. Chin, Director
October 3, 2002

Attachment A: Request for Approval of Local Equivalency
Attachment B: Assessor/Recorder's Office Document - "Declaration of Use Limitation"
Attachment C: SF Administrative Code

PLAN REVIEWER COMMENTS: PA# 202208150509
RECOMMENDATIONS: Approve, Approve with conditions, Disapprove
Plan Reviewer: [Signature]
Division Manager: [Signature]
for Director of Bldg. Inspection: N/A
for Fire Marshal: N/A
CONDITIONS OF APPROVAL or OTHER COMMENTS: (3) openings at the plans West property line

Recording Requested by and when Recorded Mail to:
Director, San Francisco
Department of Building Inspection
49 South Van Ness Avenue
San Francisco, CA 94103-2414

DECLARATION OF USE LIMITATION
I/We, Bryant Corwin, owner(s) of the herein described property Commonly known as 415 Grafton Ave. in San Francisco, Assessor's Block No. 7018, Lot No. 049 hereby consent to the within described limitations that:
In the event that the property located at 415 Grafton Ave. commonly known as Block No. 7018, Lot No. 50 is improved in such a manner that the openings in the building located at 415 Grafton Ave. no longer comply with the San Francisco Building Code, then said openings shall be closed off or protected as required by the Director of the Department of Building Inspection.

NOTARY ACKNOWLEDGMENT
A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.
STATE OF CALIFORNIA
County of San Francisco
On 08/18/2013 before me,曹安, Alca Ventura, notary public (insert name and title of the officer)

personally appeared Bryant Corwin (insert name and title of the officer) who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.
I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.
WITNESS my hand and official seal.
Signature: [Signature] (Seal)
4/1/2011 (8-5) Page 9-7

ATTACHMENT C San Francisco - Administrative Code
ARTICLE V: LOT LINE WINDOW AGREEMENTS

Sec. 23.45. Authority of Director of Property.
Sec. 23.46. Determination of Value.
Sec. 23.47. Requirements for Lot Line Window Agreements.
Sec. 23.48. Fees and Fee Payments.

SEC. 23.45. AUTHORITY OF DIRECTOR OF PROPERTY.
An owner of Real Property adjoining Real Property of the City may request that the City consent to openings in building walls on the owner's Real Property that are closer to the common property line than the distances prescribed in the San Francisco Building Code by filing with the Director of Property an original and two copies of a written application, together with plans, specifications and other supporting documents, and paying the required application fee. Upon such filing, the Director of Property shall investigate the application and consult with the department that has jurisdiction over the Real Property. Copies of the application and its supporting documents shall be delivered by the Director of Property to the Department of City Planning and the Bureau of Building Inspection for review and comment as that department and that bureau may deem appropriate. If the department having jurisdiction over the Real Property approves and the Director of Property concludes that it is in the best interest of the City to give the requested consent, the Director of Property is authorized to approve and execute a lot line window agreement which complies with all of the provisions of this Article. (Formerly Sec. 23.27, added by Ord. 559-85, App. 12/7/85; amended and renumbered by Ord. 15-01, File No. 001965, App. 2/2/2001)

SEC. 23.46. DETERMINATION OF VALUE.
All lot line window agreements shall comply with the following requirements:
1. The building to which the agreement relates shall comply with the Building Code and all other applicable codes, ordinances and regulations of the City and with all applicable federal and State laws and regulations.

2. The building shall be constructed or remodeled in conformity with the plans and specifications submitted with the application for a lot line window agreement and shall be used for the purposes stated in the application.
3. The agreement shall be terminable at any time, with or without cause and without penalty, by either party. The termination will not be effective, however, unless the terminating party gives at least 90 days prior written notice of termination which is mailed or delivered to the other party. The notice of termination shall contain the legal descriptions of both properties and shall be acknowledged by the terminating party. The notice of termination may be recorded by either party at any time and, after the termination date, the recorded notice shall be conclusive proof of termination of the agreement.
4. The building owner shall agree that, in the event the agreement is revoked, the openings consented to by the agreement shall be protected or closed, as required by the Building Code, and the building otherwise modified as may be necessary to comply with those Building Code requirements that become applicable because of protecting or closing the openings.
5. The building owner shall indemnify the City, its officers, employees and agents, against all liabilities that may result from or be connected with the agreement.
6. During the life of the agreement, the building owner shall maintain comprehensive personal liability insurance with limits satisfactory to the Risk Manager of the City and with the City, its officers, agents and employees named as additional insureds.
7. The agreement shall be binding upon and inure to the benefit of the parties, their successors and assigns.
8. The agreement shall be executed by both parties and shall contain the legal descriptions of both properties. The Director of Property shall execute the agreement for and on behalf of the City, provided the agreement has been previously approved by the City Attorney and the head of the department having jurisdiction over the City's Real Property. The agreement shall be acknowledged by both parties and the Director of Property shall cause the agreement to be recorded. (Formerly Sec. 23.29, added by Ord. 559-85, App. 12/7/85; amended and renumbered by Ord. 15-01, File No. 001965, App. 2/2/2001)

DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
1660 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED: 8/20/2013 [Note: This form shall be recorded as part of the permanent construction records of the project]
If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFB/C Table 1-B, Item 8. Additional fees may be required by Fire Department and other City review agencies.

Permit Application #: 202208150509
Property Address: 415 Grafton Ave
Block and Lot: 7018 / 049 Occupancy Group: R-3 Type of Construction: V8 No. of Stories: 2
Describe Use of Building: single family home

Under the authority of the 2007 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8, the 2007 San Francisco Mechanical Code, Section 108.7; the 2007 San Francisco Electrical Code, Section 089.16; and the 2007 San Francisco Plumbing Code, Section 108.7; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Section):
CBC 705.8 does not typically permit openings between 0 and 3 feet of the property line

Proposed Modification or Alternate:
Removing 2 existing windows along the property line on the west elevation (one fixed, one operable) and adding 3 new fixed, 45-minute fire-rated windows in 1-hour rated walls. They are located 11 feet from the adjacent building and will not be used for required light and ventilation, required egress, or ETEC. (See the B.C. Code, the exception for fire sprinklers, egress).

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Review, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration. This project is a vertical addition above an existing building in a neighborhood where many older buildings encroach over property lines.

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER
Print Name: Tyler Kobick
Signature: Tyler Kobick (PROFESSIONAL STAMP HERE)
Telephone: 510-633-2643

Professional Engineer Seal: Tyler Kobick, License No. 51064, State of California, Mechanical Engineering

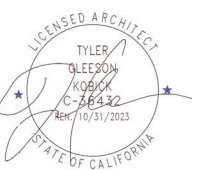
DESIGN DRAW BUILD
ARCHITECTURE + CONSTRUCTION
TYLER KOBICK, AIA
2866 WESTER STREET
OAKLAND, CA 94609
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www.designdrawbuild.com



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- San Francisco -

November 15, 2023
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PATRICK JORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

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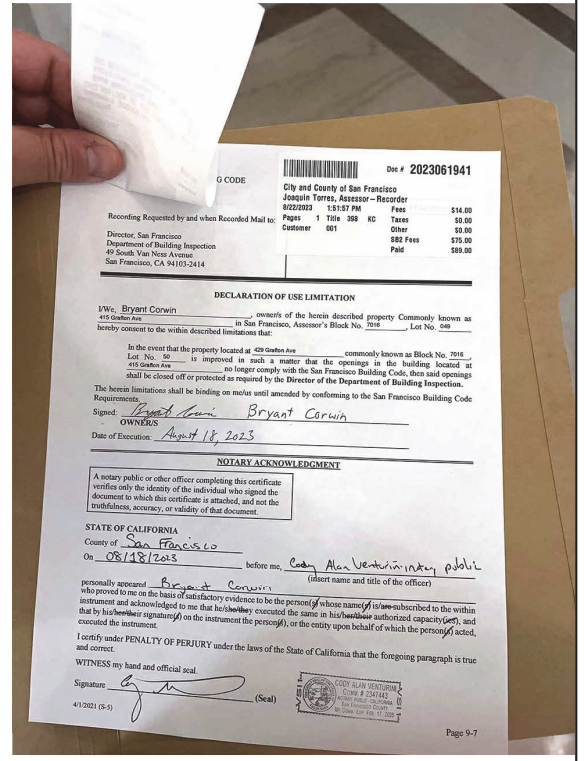
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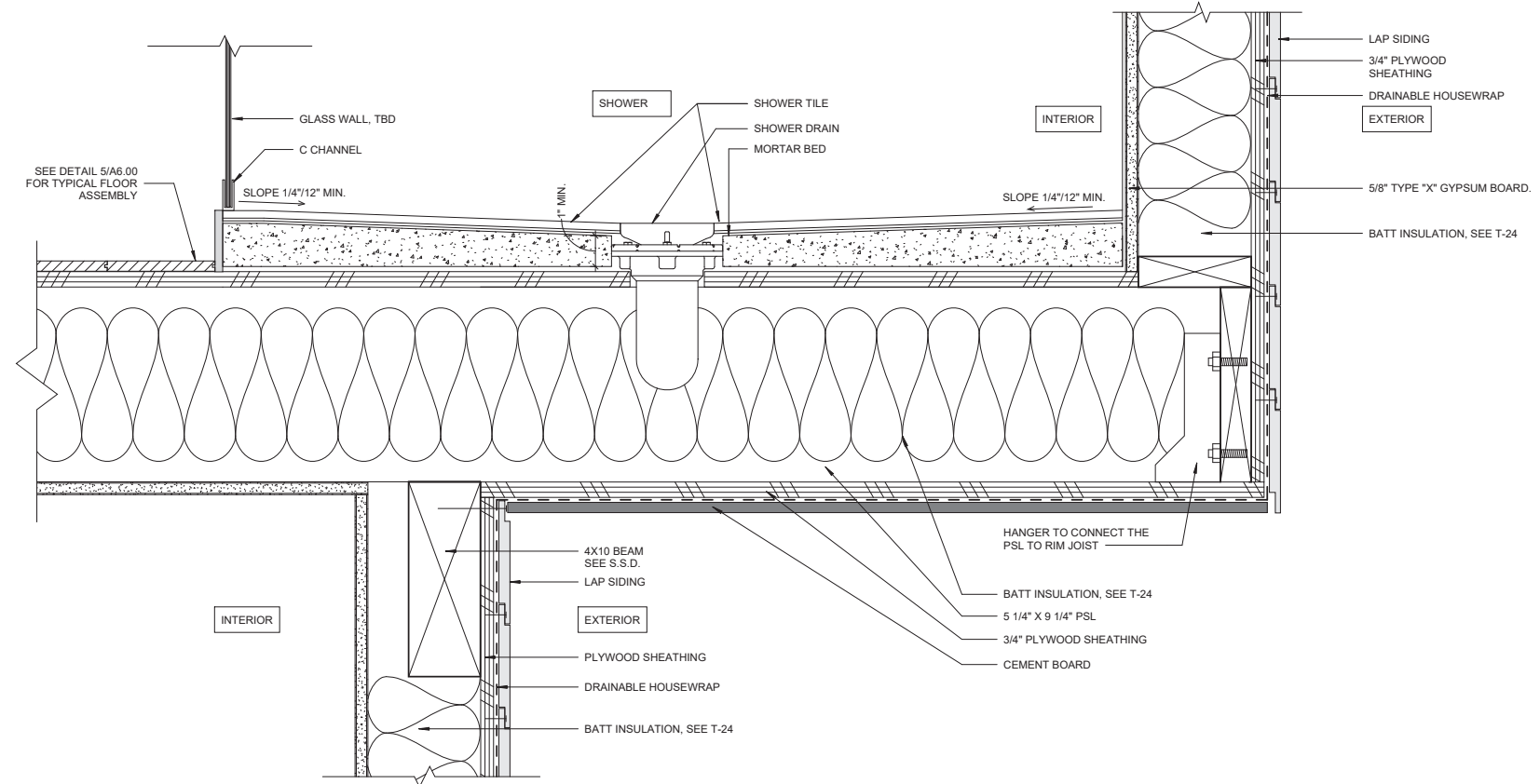
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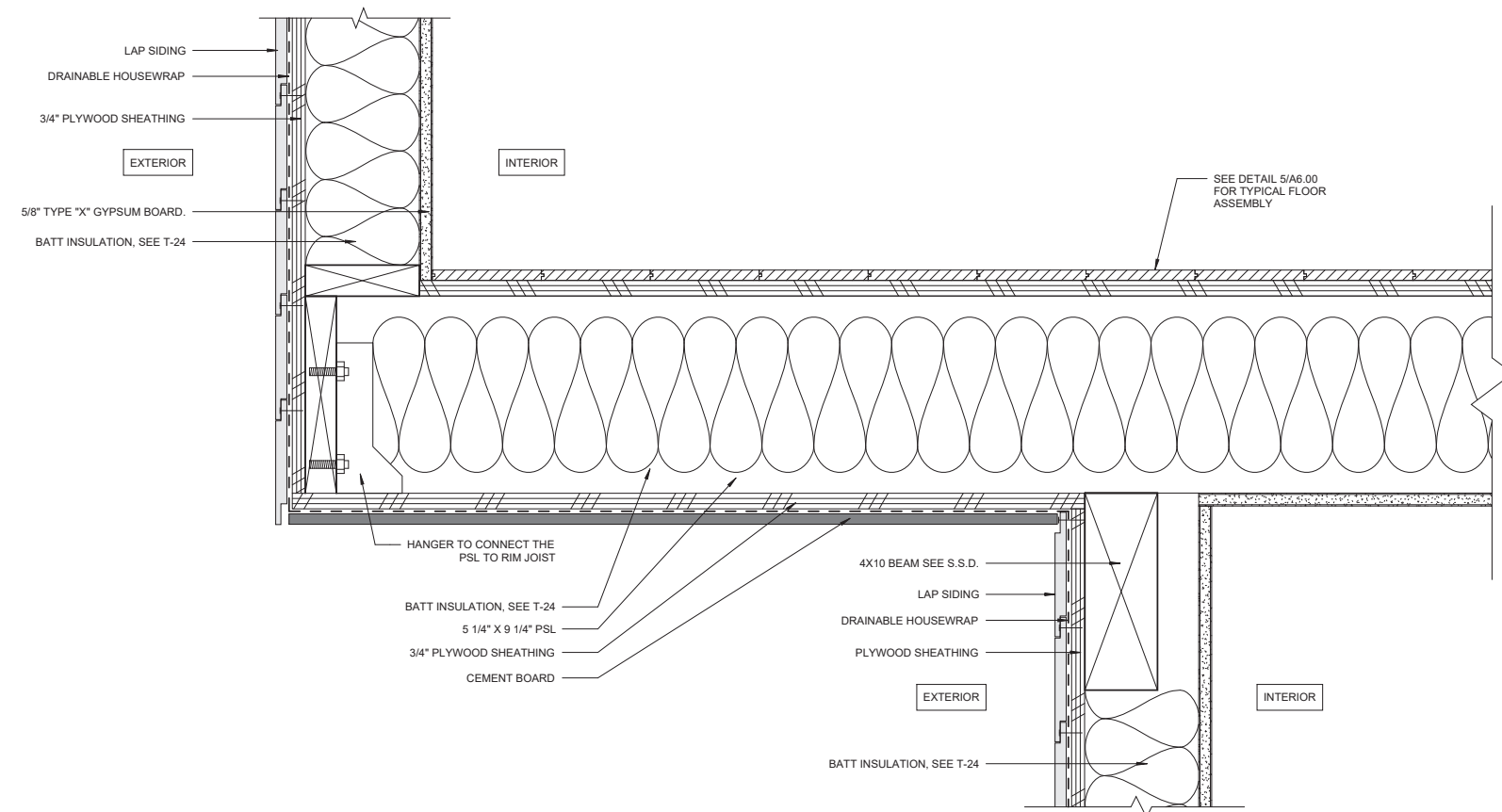
AB-009 LOCAL EQUIVALENCY

A-0.4





1 FLOOR DETAIL @ ROLL-IN SHOWER W/ CENTER DRAIN
3" = 1'-0"



2 FLOOR DETAIL @ KIDS BEDROOM
3" = 1'-0"

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ARCHITECTURE + CONSTRUCTION
TYLER KORBICK, AIA
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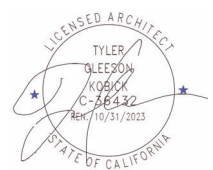


APPROVED
Dept. of Building Insp.
- San Francisco -

November 15, 2023
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P. O'Riordan
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08/07/2023



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REV	SET ISSUE	DATE
	BUILD SUBMITTAL	08/13/2023
1	REVISION	08/25/2023

ARCHITECTURE
DETAILS

A-6.3