

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
CHRISTOPHER OERTEL,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **23-056**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on November 10, 2023, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on October 31, 2023 to Sun Ho Au Yeung, of an Alteration Permit (attached ADU addition in the rear per Ordinance #162-16; roof deck/open space for ADU, new windows and new garage doors) at 54 Sunview Drive.

APPLICATION NO. 2020/08/27/2793

FOR HEARING ON January 10, 2024

Address of Appellant(s):

Address of Other Parties:

Christopher Oertel, Appellant(s) 50 Sunview Drive San Francisco, CA 94131	Sun Ho Au Yeung, Permit Holder(s) 54 Sunview Drive San Francisco, CA 94131
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Date Filed: November 10, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-056

I / We, **Christopher Oertel**, hereby appeal the following departmental action: **ISSUANCE** of **Alteration Permit No. 2020/08/27/2793** by the **Department of Building Inspection** which was issued or became effective on: **October 31, 2023**, to: **Sun Ho Au Yeung**, for the property located at: **54 Sunview Drive**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **December 21, 2023, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org matthew.greene@sfgov.org and sunnyay@yahoo.com

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **January 4, 2024, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org matthew.greene@sfgov.org and christopher.oertel@gmail.com

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, January 10, 2024, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

Not Submitted.

Appellant or Agent:

Signature: Via Email

Print Name: Christopher Oertel, appellant

Permit Details Report

Report Date: 11/10/2023 10:32:23 AM

Application Number: 202008272793
 Form Number: 3
 Address(es): 2853 / 017 / 0 54 SUNVIEW DR
 2853 / 017 / 0 54 SUNVIEW DR
 Description: ATTACHED ADU ADDITION IN THE REAR PER ORDINANCE #162-16. ROOF DECK/OPEN SPACE FOR ADU, NEW WINDOWS. NEW GARAGE DOORS.
 Cost: \$300,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
8/27/2020	TRIAGE	
8/27/2020	FILING	
8/27/2020	FILED	
6/26/2023	APPROVED	
10/31/2023	ISSUED	

Contact Details:

Contractor Details:

License Number: 977278
 Name: CHUNDONG YE
 Company Name: BLUEFIELD CONSTRUCTION
 Address: 643 BLUEFIELD LANE * HAYWARD CA 94541-0000
 Phone:

Addenda Details:

Description:

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
CPB		9/15/20	9/15/20			10/2/20	GUTIERREZ NANCY		10/2/2020:PAYMENT RECEIVED, SUBMITTED TO PPC. NG 9/15/2020:WAITING FOR PAYMENT-NG
PRE-PLN		10/6/20	12/14/20	10/8/20	12/14/20	12/14/20	BOTN KURT		Pre-screening Accepted
PRE-BLDG		10/6/20	10/16/20	10/16/20	6/23/21	6/23/21	KWOK STEPHEN		Pre-screening n/a, route for review, SK 6/23/21. Pre-screening comments in session, SK 10/16/20.
CP-ZOC		6/23/21	1/5/23	8/12/21	1/5/23	1/5/23	BOTN KURT		1/5/23: Approved - REAR ADDITION OF AN ATTACHED ADU PER GOVT CODE SECTION 65852.2. 8/12/21 In-hold. Comments issued in BB Session. Applicant has been notified - KB. 7/22/21: assign to planner; contact kurt.botn@sfgov.org - NK. 6/24/21: eviction history research - NK.
BLDG		5/24/23	5/24/23			5/24/23	HUANG VIVIAN		comments in BB Rev5
BLDG		1/6/22	2/15/22	3/9/22		5/31/23	HUANG VIVIAN		approved BB REV6 for S.Quan Recheck On Hold, comments in BB session
MECH		1/6/22	1/20/22	3/2/22	12/7/22	12/7/22	TAN (PETER) JIA JIAN		12/7/2022: Approved 3/2/2022: Placed in Hold pending comments 1/20/2022:

									Placed in Hold pending comments
MECH		12/7/22	12/7/22			12/7/22	TAN (PETER) JIA JIAN		12/7/2022: Approved 3/2/2022: Placed in Hold pending comments 1/20/2022: Placed in Hold pending comments
DPW-BSM		1/6/22	1/19/22	1/19/22	12/8/22	12/8/22	CHOY CLINTON		Approved *revision*. 12/8/22: No alteration or reconstruction of City Right-of-Way under this permit. -CC On hold (EPR - revision). 3/3/22: Applicant did not address Planning's comment from previous plan set. -CC On hold (EPR). 1/19/22: Waiting for applicant to respond to Planning's Bluebeam comment regarding the curb cut. -CC
SFPUC		1/6/22	2/4/22	2/25/22	3/11/22	3/11/22	BRIEN LULU		Capacity Charge not applicable per state or local ordinances; adding one ADU to a single family residence. Please note that existing meter is undersized. Meter upgrade is recommended. Please contact SFPUC, New Installations, 525 Golden Gate Ave, 2nd floor, San Francisco, CA 94102, Telephone: (415) 551-2900 for more info. Plans stamped in bluebeam. -03/11/2022 Awaiting additional fixture count info-- please follow up with lbrien@sfgwater.org - 2/25/2022
SFPUC		12/7/22	12/8/22			12/8/22	BRIEN LULU		Restamp in bluebeam no change in prior assessment. - 12/8/2022
MECH		2/2/23	2/2/23			2/2/23	TAN (PETER) JIA JIAN		
DPW-BSM		2/2/23	2/6/23			2/6/23	CHOY CLINTON		Approved *revision*. 2/6/23: No alteration or reconstruction of City Right-of-Way under this permit. -CC
SFPUC		2/2/23	2/3/23			2/3/23	IMSON GRACE		02/03/2023 - APPROVED. Capacity Charge not applicable per state or local ordinances; adding one ADU to a single family residence. Please note that existing meter is undersized. Meter upgrade is recommended. Please contact SFPUC, New Installations, 525 Golden Gate Ave, 2nd floor, San Francisco, CA 94102, Telephone: (415) 551-2900 for more info.
CP-ZOC		5/18/23	5/18/23			5/18/23	BOTN KURT		Approved - Re-stamp.
MECH		5/18/23	5/19/23			5/19/23	TAN (PETER) JIA JIAN		

DPW-BSM		5/18/23	5/22/23			5/22/23	CHOY CLINTON		Approved *revision*. 5/22/23: No alteration or reconstruction of City Right-of-Way under this permit. -CC
SFPUC		5/30/23	5/31/23			5/31/23	IMSON GRACE		05/31/2023 - RESTAMP REVISION #6 APPROVED.
CP-ZOC		5/30/23	6/5/23			6/5/23	BOTN KURT		Approved - Re-stamp.
MECH		5/30/23	6/1/23			6/1/23	TAN (PETER) JIA JIAN		Restamped
DPW-BSM		5/30/23	6/1/23			6/1/23	CHOY CLINTON		Approved *revision*. No alteration or reconstruction of City Right-of-Way under this permit.
CP-ZOC		1/5/23	1/5/23	1/5/23	6/5/23	6/5/23	BOTN KURT		2/10/23: Recorded NSR recieved - KB. 1/5/23: Prior to permit issuance, route back to Planning for final review of receipt of recorded document (Notice of Special Restrictions). Project sponsor has been notified.
DFCU		3/10/23	3/10/23			3/10/23	BLACKSHEAR JOHN		3/10/23: Planning entered a Child Care fee. This fee will be collected at permit issuance.
PPC		10/2/20	10/6/20			6/6/23	WU TIFFANY		06/06/23 01:22 PM Invite sent to CPB to close out permit; TW 5/30/2023: Invite sent to plan checkers to review and stamp REV6 drawing;nl 5/18/2023: Invite sent to plan checkers to review and stamp REV5 drawing;nl 2/2/2023: Invite sent to plan checkers to review and stamp REV4 drawing;nl 12/7/2022: Invite sent to plan checkers to review and stamp REV3 drawing;nl 3/1/2022: Invite sent to plan examiners (Planning, BLDG, MECH, BSM and PUC) to review and stamp REV2 drawing;nl 1/6/22: Concurrent review allowed per Kurt Botn (12/28/21). Invite sent to BLDG, MECH, BSM & PUC to start electronic plan review; HP 6/23/21: Invite sent to DCP to start electronic plan review; HP 10/06/20: Bluebeam session created; Invite PRE-building, PRE-Planning, and applicant for ADU Project; cm
CPB		6/6/23	6/7/23			10/31/23	GUTIERREZ NANCY	Administrative	10/31/2023: issued to contractor in BB.NG 08/22/2023: Extension fee paid. New Cancel Date: 12/27/2023.ay 06/27/2023: Extension fee required. 1st extension

									fee \$849.65. When pay fee, new cancel date: 12/27/2023.ay 06/09/2023: SFUSD fee included to issuance fee.ay 06/07/2023: SFUSD form sent for calculation, permit not ready to be issued.ay Waiting for school fees to be added to the permit.
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This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			IB1	CF2R-ENV-01-E - FENESTRATION INSTALLATION	
0			IB3	CF2R-ENV-03-E - INSULATION INSTALLATION	
0			IB64	CF2R-ENV-21-H HERS - QUALITY INSULATION INSTALLATION (QII) - FRAMING STAGE	
0			IB65	CF2R-ENV-22-H HERS - QUALITY INSULATION INSTALLATION (QII) - INSULATION STAGE	
0			VB56	CF3R-ENV-21-H HERS - QUALITY INSULATION INSTALLATION (QII) - FRAMING STAGE	
0			VB57	CF3R-ENV-22-H HERS - QUALITY INSULATION INSTALLATION (QII) - INSULATION STAGE	
0			IP6	CF2R-PLB-01-E - MULTIFAMILY CENTRAL HOT WATER SYSTEM DISTRIBUTION	
0			IB63	CF2R-MCH-27-H - INDOOR AIR QUALITY AND MECHANICAL VENTILATION	
0			IB67	CF2R-MCH-32-H HERS - LOCAL MECHANICAL EXHAUST	
0			VB53	CF3R-MCH-25-H - REFRIGERANT CHARGE VERIFICATION	
12					

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

APPELLANT(S) DID NOT SUBMIT A BRIEF

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

Respondent's Brief for Appeal No. 23-056

Dear Sirs/Madams,

I (Sunny Au Yeung) purchased my home (54 sunview dr) 20 years ago in 2004 and I was single at that time. I have since got married and we now have a growing family and need more space for my wife, children and my in-law. In 2018, we hired an architect to design a building extension back in 2018. While we were hosting the neighborhood meeting, the appellant, Mr. Christopher Oertel, (50 sunview dr) told us he didn't like our proposal design where they could see our extended 2nd floor from his home. We took in his concerns and went back to discuss with the architect and city planner to come up with a new design plan to accommodate him. He then rejected the design again because he didn't like the fact that they could potentially see us on the roof deck children play area. I suggested to use an addition of nice-looking landscaping as a partition to provide that privacy, and he said it might block his view of sun rise. We were unsure how accurate that is as we couldn't see the sun rise even though we have the same floor plan. He said he would reach out to the city and DBI to do everything he could to stop us on this project. We felt that all our good faith accommodations were brushed aside unreasonably.

City Planner suggested that we could apply for ADU the following year (2020), which would not require public hearing. We applied for the ADU permit with a design excluded the roof deck. Unfortunately, the application process was then further delayed by the pandemic. By 2022, we had to temporarily move out in 2022 as my newborn was growing fast and my home really is not big enough for us anymore. Mr Oertel's intervention has already caused us serious

time and money to pursue a comfortable home within our rights. When the city finally approved our permit in Sep 2023, we started project planning and soliciting contractors. Then we were notified of Mr Oertel's appeal just days before my contractor to start working. We were supposed to have drilling finished by the 2nd week of Dec to avoid the raining season.

I emailed Mr. Oertel right away to try to communicate with him. I included the design plan in the email to show that the current design does not have a roof deck, but he never replied to me. Two weeks later when I went to meet him in person, he acknowledged the receipt of my email but said he did not have time to read it. I asked him of the reason of his objections and he said it was about the roof deck. I explained to him there wasn't one and he said he didn't care and just didn't want more people living on this street. He said my ADU would lead to harder to find parking on our street. (Note: Mr. Oertel added an ADU on his home in 2022.) I explained to him that I accommodated the design by keeping both of my garage spots. He said he didn't care. I asked him if he was applying the same reasonings when he demolished one of his two garage spaces to turn it into an ADU, he refused to reply. I feel that Mr. Oertel is using a double standards to discriminate me personally, which has also caused me significant financial losses and kept me away from my home. I believe my application was done correctly and my design plan complies with all required codes.

Please find the attached exhibits for your reference.

STRUCTURE'S INFORMATION

This 2 story home with basement 3 bedroom with 3 bath 1622 SF.
SF lot size 3,645SF.

An ADU Unit will be added per Government Section 65852.2

(N)Total Number of Units will be 2 on the property.

SCOPE OF WORK

New Rear ADU 882 SF ADDITION

(E) 1 Unit (Single Family Residence).

(N) 1 ADU. Total 2 Units.

PROJECT DATA:

ADDRESS: 54 Sunview Drive, San Francisco, CA

BLOCK / LOT 2853/017

OCCUPANCY: R-3 (SINGLE FAMILY RESIDENCE)

CONSTRUCTION TYPE: V-B

ZONING: RH-1

(E) UNIT: 1 SFR

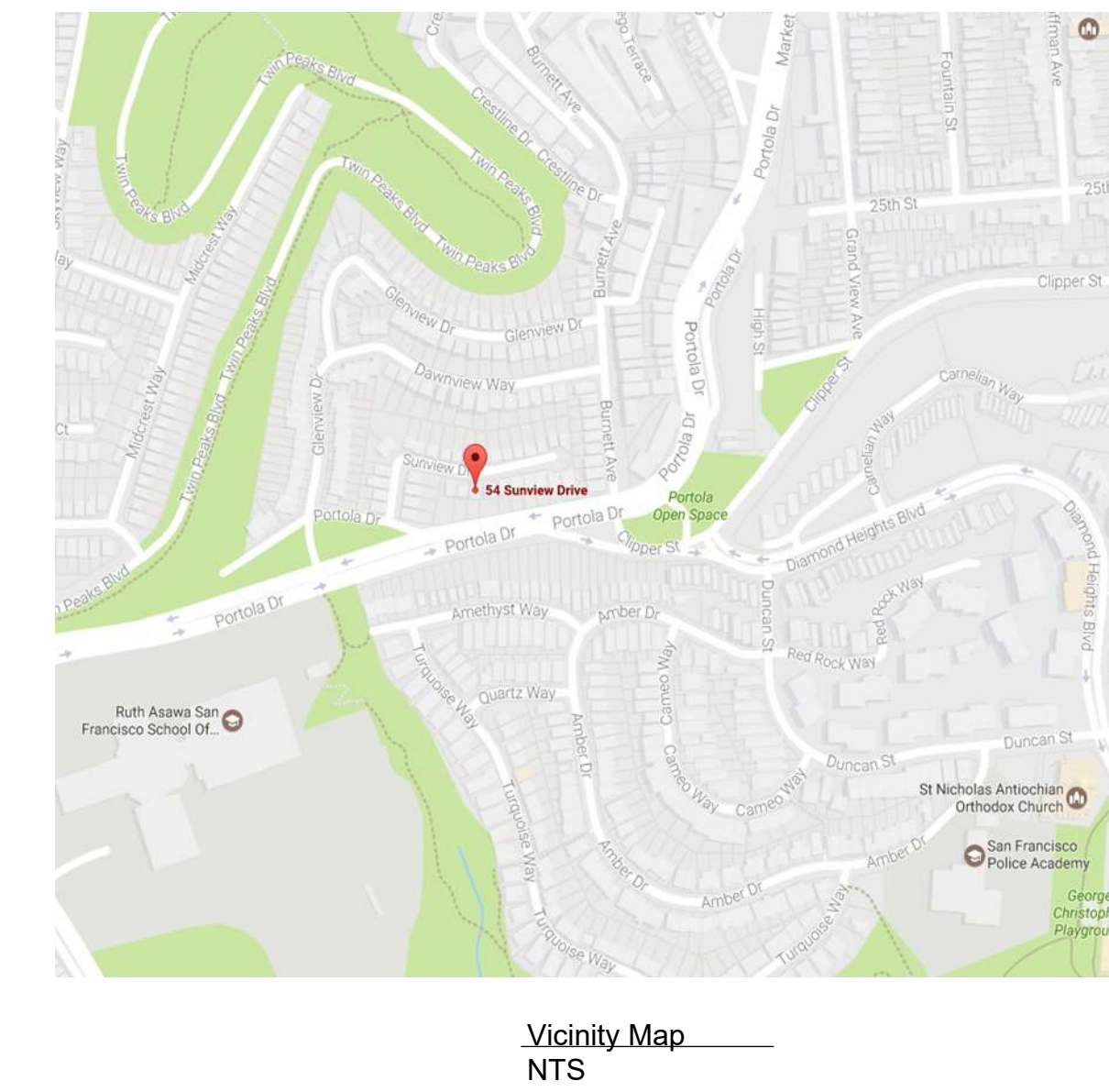
(N) UNIT: 1ADU (Attached)

(N) Total Units = 2

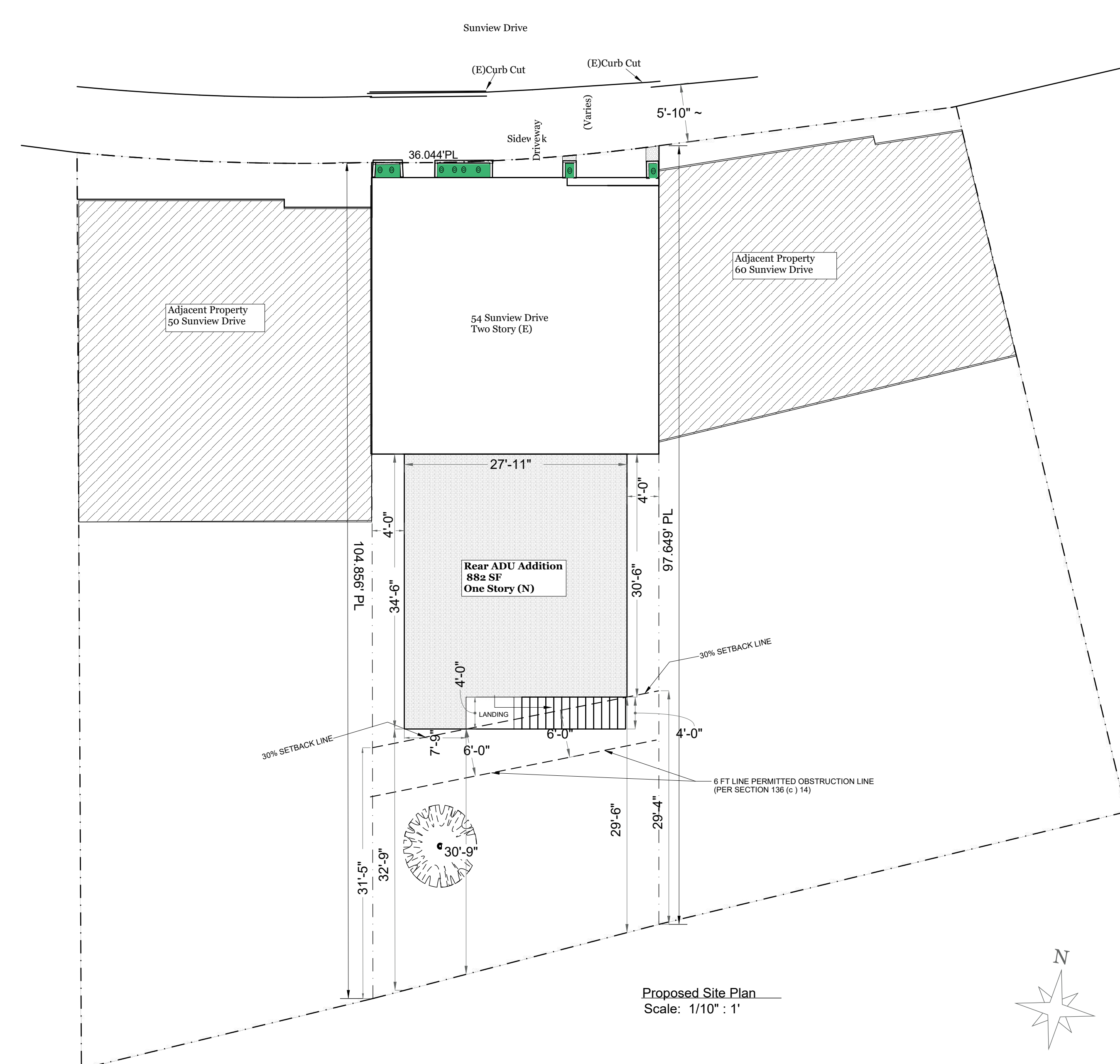
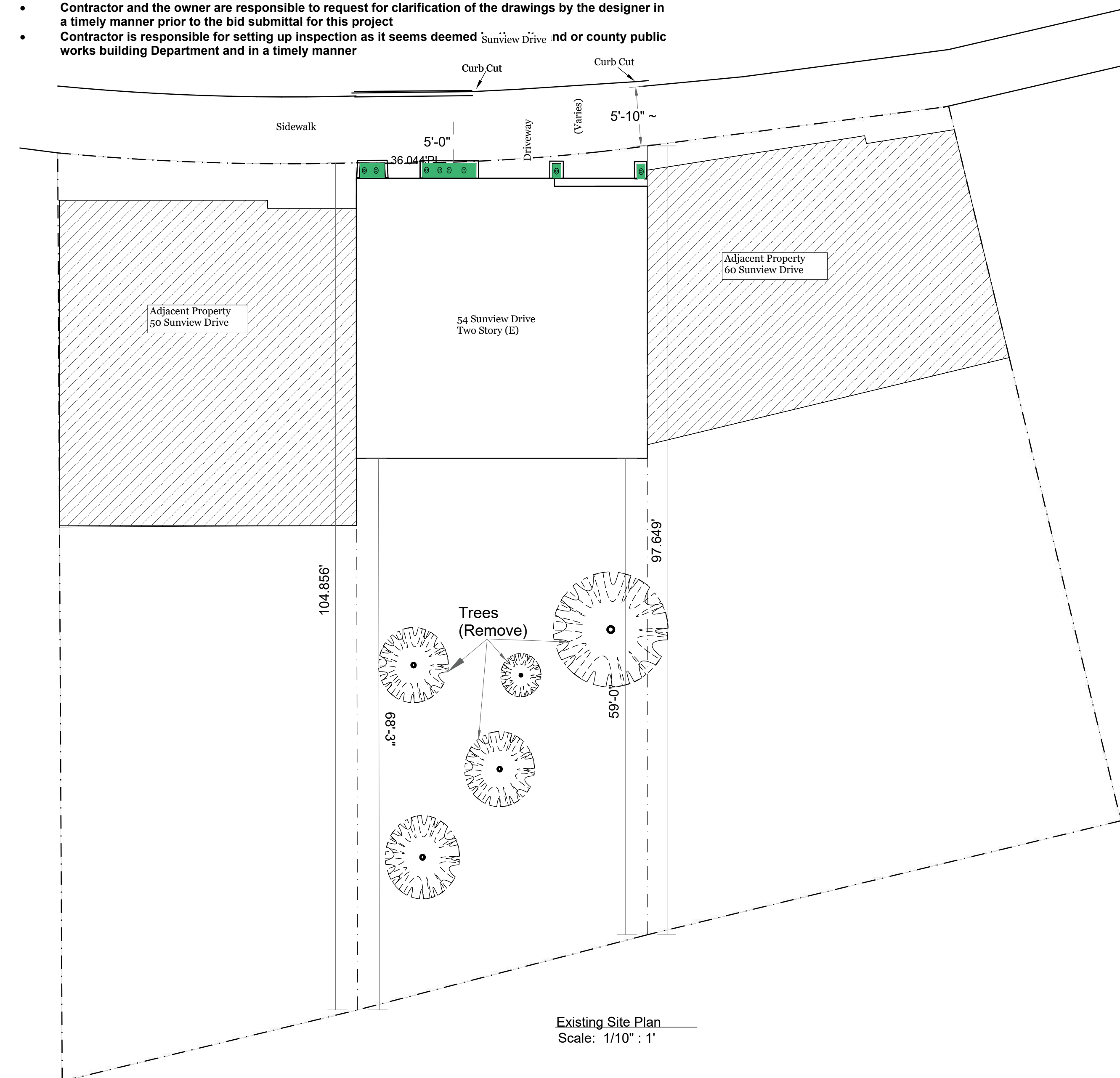
PROJECT PROVISIONS

- Plans and calculations for this project are in compliance with the 2019 California Residential Code, 2016 California Energy Code, and 2019 California Green Building Standards Code as applicable codes to this project.
- All remodeling should not damage the integrity of the structure and increase glass area
- Contractor is responsible for the safety of public and the workers. He will also be held liable for all property damages
- All changes shall be reported to designer and approval is required after field inspection is completed
- Contractor is responsible to report any discrepancies in the plans to the designer (Architect / Engineer) and the owner in a timely manner prior to the construction. Contractor shall be responsible for all corrections and errors in case of failure to inform the designer (Architect / Engineer)
- Contractor is responsible for confirming all existing information shown on the plans or might effect the construction and are not addressed on the plans that includes but not limited to: structures, facilities, drainage and sewage systems, utilities, electrical & communication lines, easements, terrain, archaeological, historical, environmental, public properties, driveways, sidewalks, trails and roads. He shall report any discrepancies with the plans to the designer (Architect / Engineer) in a timely manner prior to the construction
- Proper house keeping of the construction site is expected from the contractor
- Contractor is responsible for obtaining all necessary permits prior to the construction. This process and related expenditures are not the responsibility of the designer (Architect / Engineer)
- Contractor is responsible for the quality of the construction and material to be used. Also he shall hold the designer (Architect / Engineer) harmless, indemnify and defend if any legal action initiated by the owners (present and future) due to construction modifications, discrepancies, deficiencies and or lack of quality
- Contractor and the owner are responsible to request for clarification of the drawings by the designer in a timely manner prior to the bid submittal for this project
- Contractor is responsible for setting up inspection as it seems deemed and or county public works building Department and in a timely manner

DESCRIPTION	SHEET
COVER, VICINITY MAP & SITE PLANS	A-0
FLOOR PLANS (1st FLOOR)	A-1
FLOOR PLANS (2nd FLOOR)	A-2
ROOF PLAN AND FLOOR PLAN (3rd FLR)	A-3
LEFT, RIGHT, & BACK ELEVATIONS	A-4
FRONT ELEVATIONS & STREETSCAPE	A-5
SECTIONS & DETAILS	A-6
STRUCTURAL GENERAL NOTES	S-0
STRUCTURAL AND FRAMING PLANS	S-1
STRUCTURAL DETAILS	S-2
TITLE 24	T-1
TITLE 24 FORMS	T-2
GREEN BUILDING	G-1



FRONT YARD SETBACK AREA	LANDSCAPED AREA	NON-LANDSCAPE PERMEABLE AREA	TOTAL PERMEABLE SURFACE AREA	
90 SF	30.3 SF	31.9 SF	62.2 SF	
	33.7%		69.1%	% OF THE FRONT SETBACK AREA



SN Building Design Group
4101 DUBLIN BLVD
SUITE F # 554.
DUBLIN, CA 94568
SN.SNBDG@GMAIL.COM
510-507-0902

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DATE _____
DRAWN BY _____
CHECK BY _____
JOB NUMBER _____

REVISION	

PROJECT ADDRESS _____

SUNNY'S RESIDENCE
BLOCK: 2853 LOT: 017
54 SUNVIEW DRIVE
SAN FRANCISCO, CA 94131

SHEET TITLE: _____

COVER
EXISTING SITE PLAN

STAMP: _____



SHEET NUMBER _____

A-0

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DATE _____
 DRAWN BY _____
 CHECK BY _____
 JOB NUMBER _____

REVISION

NO.	DESCRIPTION

PROJECT ADDRESS

SUNNY'S RESIDENCE
 BLOCK: 2853 LOT: 017
 54 SUNVIEW DRIVE
 SAN FRANCISCO, CA 94131

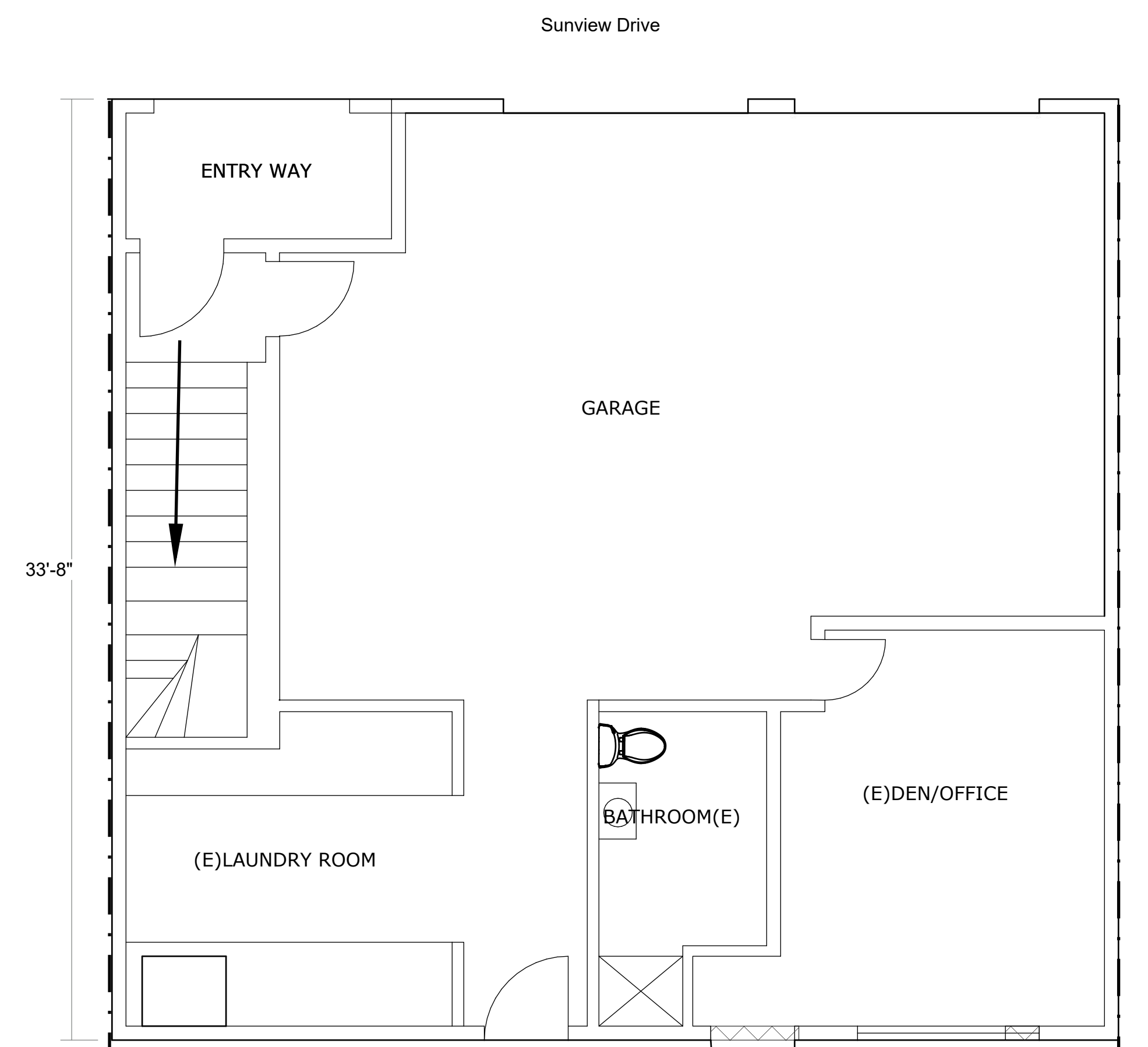
SHEET TITLE:

FLOOR PLANS &
 BASEMENT(E) &
 PROPOSED(N)

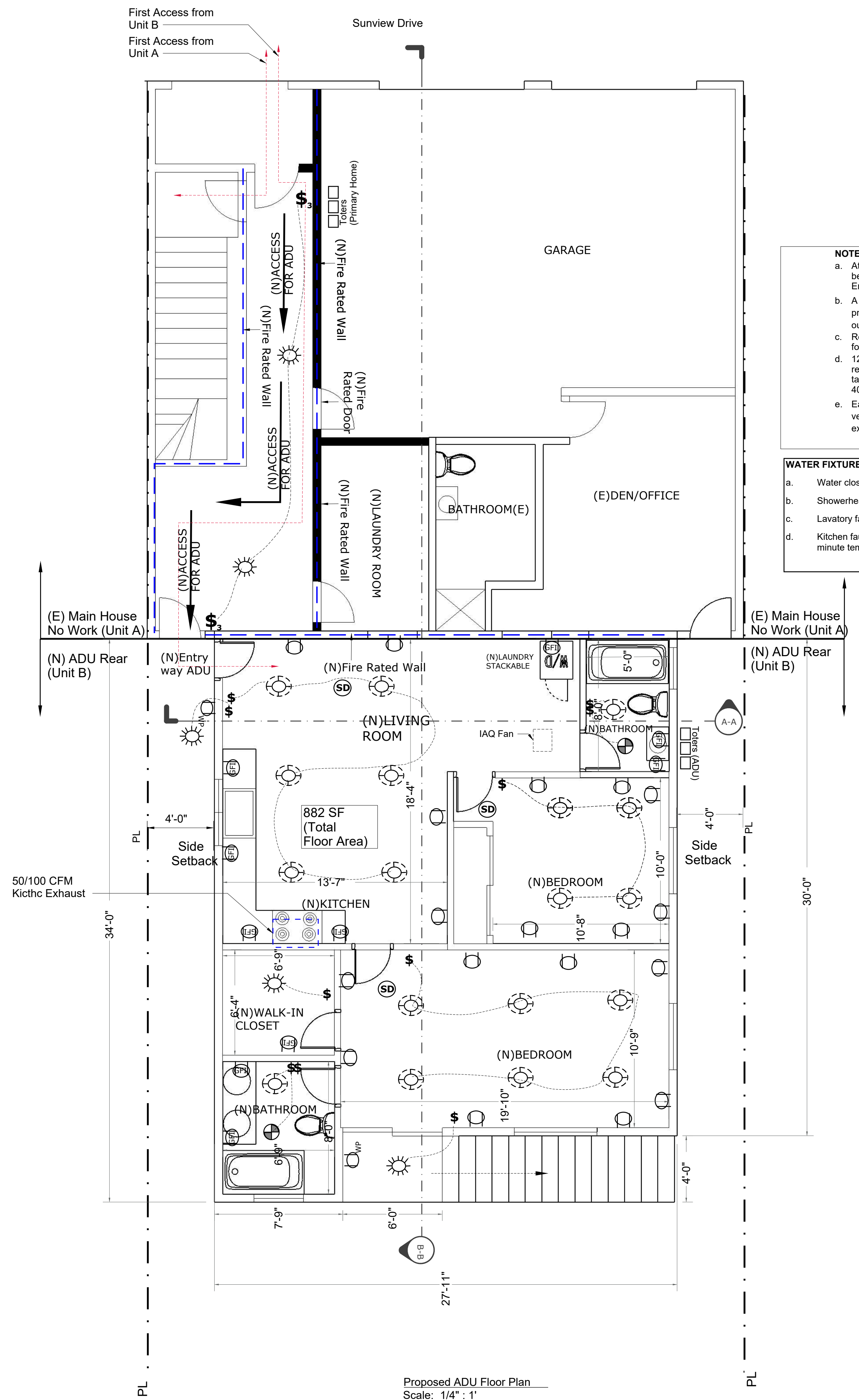
STAMP:



SHEET NUMBER



Existing Lower Floor Plan
 Scale: 1/4" : 1'



Proposed ADU Floor Plan
 Scale: 1/4" : 1'

Existing Wall
 New Wall
 Demo Wall
 Infill Wall
 (E) Existing
 (N) New
 PL Property Line
 Fire Access
 1 Hr Fire Rated Wall

- NOTES:**
- At least one luminaire in the bathroom shall be controlled by a vacancy sensor per CA Energy Code 150.0(k)2.
 - A dedicated 20 amp branch circuit shall be provided to supply bathroom receptacles outlets per CEC 210.11(C)(3).
 - Revise electrical note to include AFCI-protection for kitchens per CEC 210.12(A).
 - 125-volt, 15 amp and 20 amp receptacle outlets shall be listed tamper-resistant receptacles per CEC 406.11.
 - Each bathroom shall be mechanically ventilated with an ENERGY STAR exhaust fan (CALGreen Section 4.506.1).

- WATER FIXTURES MINIMUM REQUIREMENTS**
- Water closets: 1.28 gallons per flush
 - Showerheads: 2.0 gallons per minute
 - Lavatory faucets: 1.2 gallons per minute
 - Kitchen faucets: 1.8 gallons per minute with 2.2 gallons per minute temporary flow

NOTE: Outdoor lighting to be controlled by photocell and motion sensor, photocontrol, astronomical time clock, or an energy management control system

NOTE: Exhaust fan ratings shall be 50 cfm for intermittent ventilation or 20 cfm for continuous ventilation.

NOTE: Provide individual control valves of the pressure balance, thermostatic, or combination pressure balance/thermostatic mixing valve type

NOTE: Supply bathroom receptacle outlet(s) shall have no other outlets except with the same bathroom

NOTE: All receptacles shall be listed tamper-resistant receptacles.

NOTE: Field verified are carbon monoxide detector in area outside of the bedrooms per CRC R315.2. If not install carbon monoxide detector

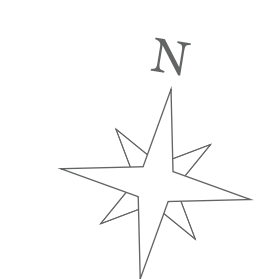
Field verified are smoke detector in sleeping areas and in area outside of the bedrooms per CRC R314.3. If not install, smoke detector in those areas.

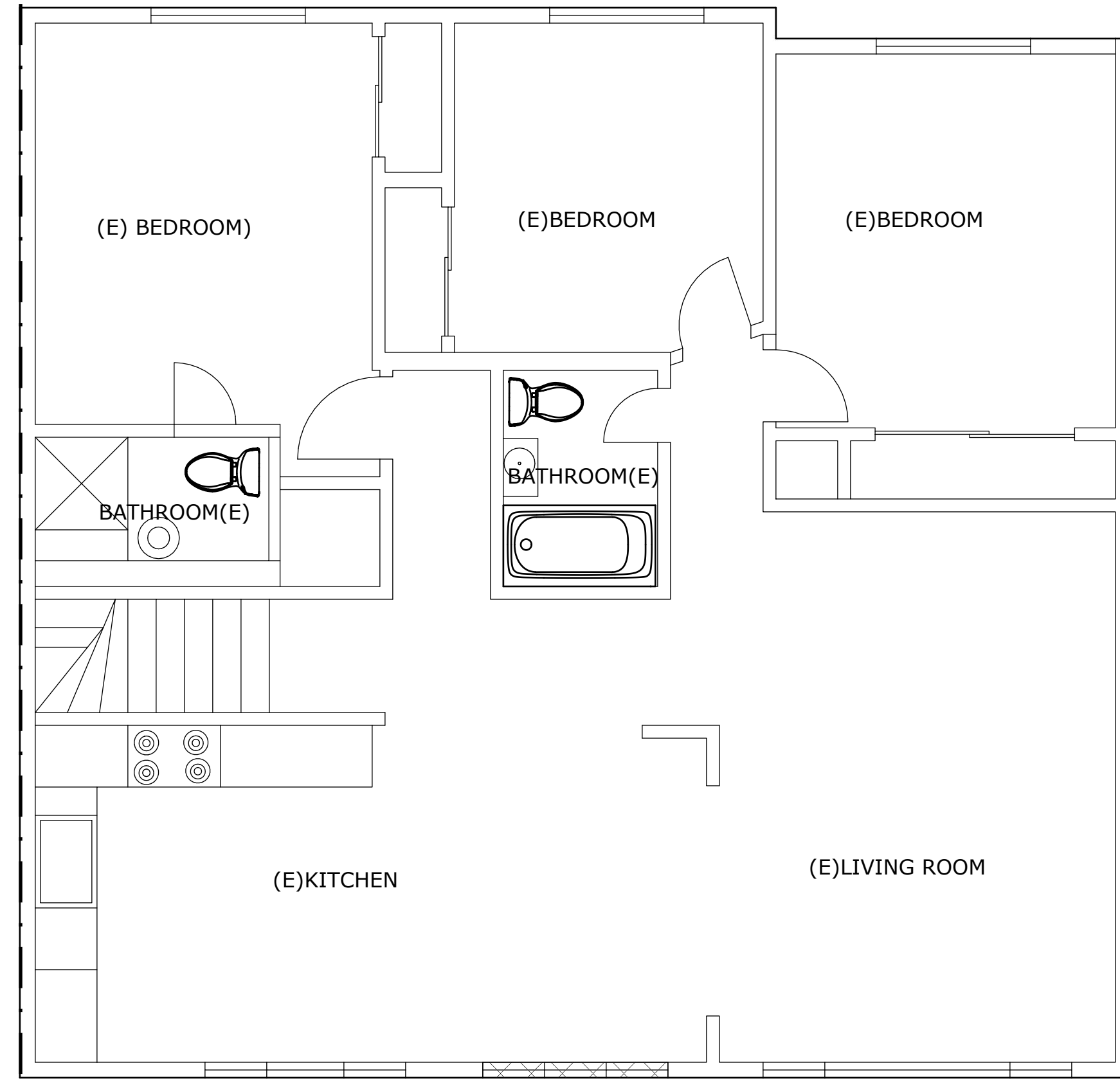
NOTE: Light fixture over the new showers shall be suitable for damp locations

NOTE: All bedroom window to provide one egress window with minimum 5.7 SF opening, height 24" minimum, 20" width, and 44" max height on sill. Contractor must verify the bedroom windows to meet egress before ordering.

Electrical Symbol Legend

- Duplex Outlet
- GFI Outlet
- Weather Proof Outlet
- Switch
- 3-Way Switch
- Smoke and CO Combo Detector
- Recessed light
- Thermostat
- Ventilation Fan
- Light Fixture





Existing Second Floor Plan
Scale: 1/4" = 1'

- Existing Wall
- New Wall
- Demo Wall
- Infill Wall
- (E) Existing
- (N) New
- PL Property Line

1 Hour Fire-Rated Construction		Loadbearing	Acoustical Performance		Reference
Construction Detail	Description	Test Number	STC	Test Number	Index
	<ul style="list-style-type: none"> • 5/8" SHEETROCK FIRECODE Core gypsum panels - 2x4 wood studs 24" o.c. - joints finished - optional insulation - optional plywood or OSB for shear purposes 	UL Des U344			A-61

SN Building Design Group
4101 DUBLIN BLVD
SUITE F # 554
DUBLIN, CA 94568
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DATE _____
DRAWN BY _____
CHECK BY _____
JOB NUMBER _____

REVISION		

PROJECT ADDRESS _____

SUNNY'S RESIDENCE
BLOCK: 2853 LOT: 017
54 SUNVIEW DRIVE
SAN FRANCISCO, CA 94131

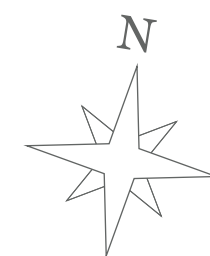
SHEET TITLE: _____

FLOOR PLANS

STAMP: _____



SHEET NUMBER _____



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 CHECK BY _____
 JOB NUMBER _____

REVISION	

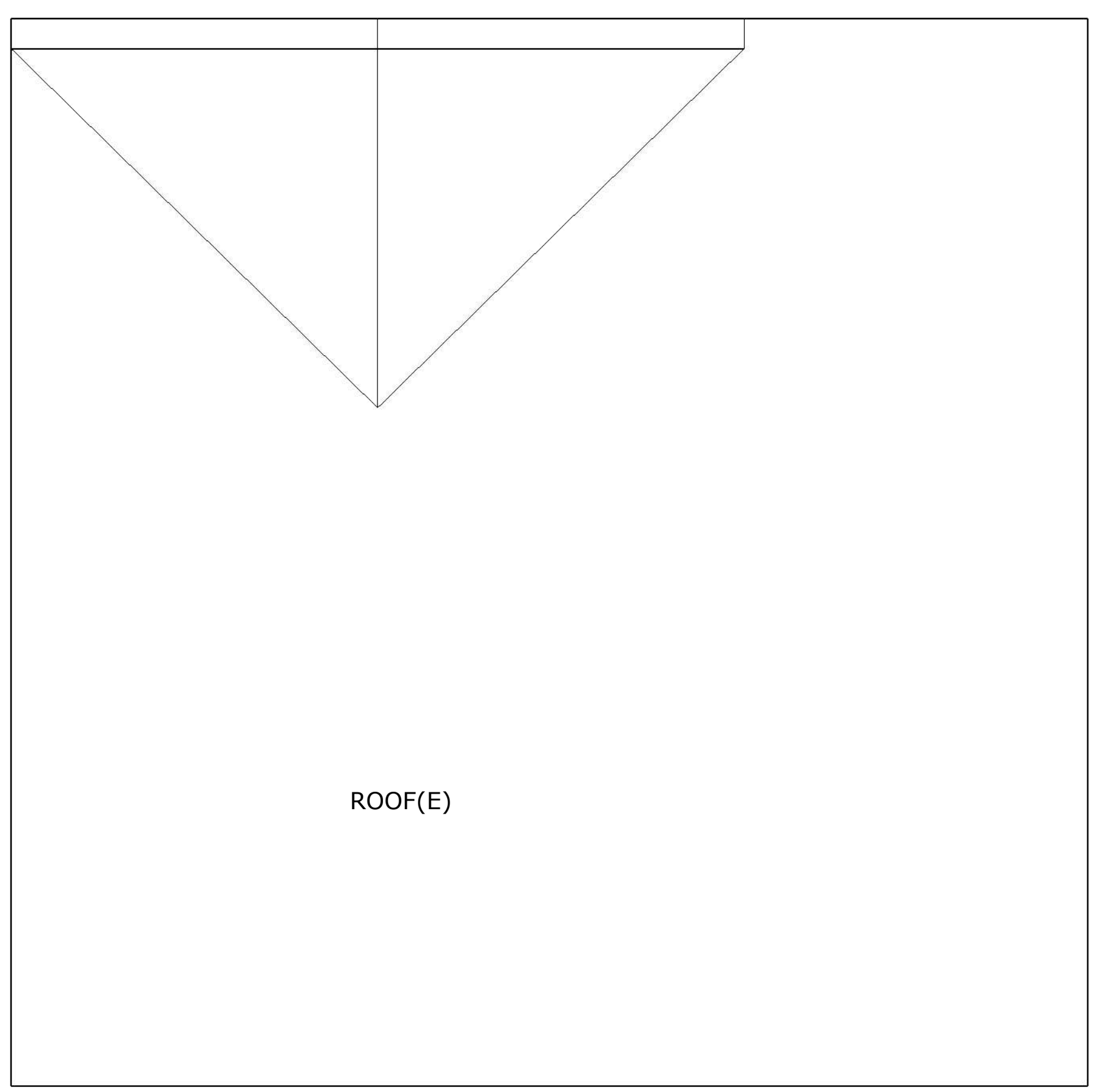
PROJECT ADDRESS _____

SUNNY'S RESIDENCE
 BLOCK: 2853 LOT: 017
 54 SUNVIEW DRIVE
 SAN FRANCISCO, CA 94131

SHEET TITLE: _____

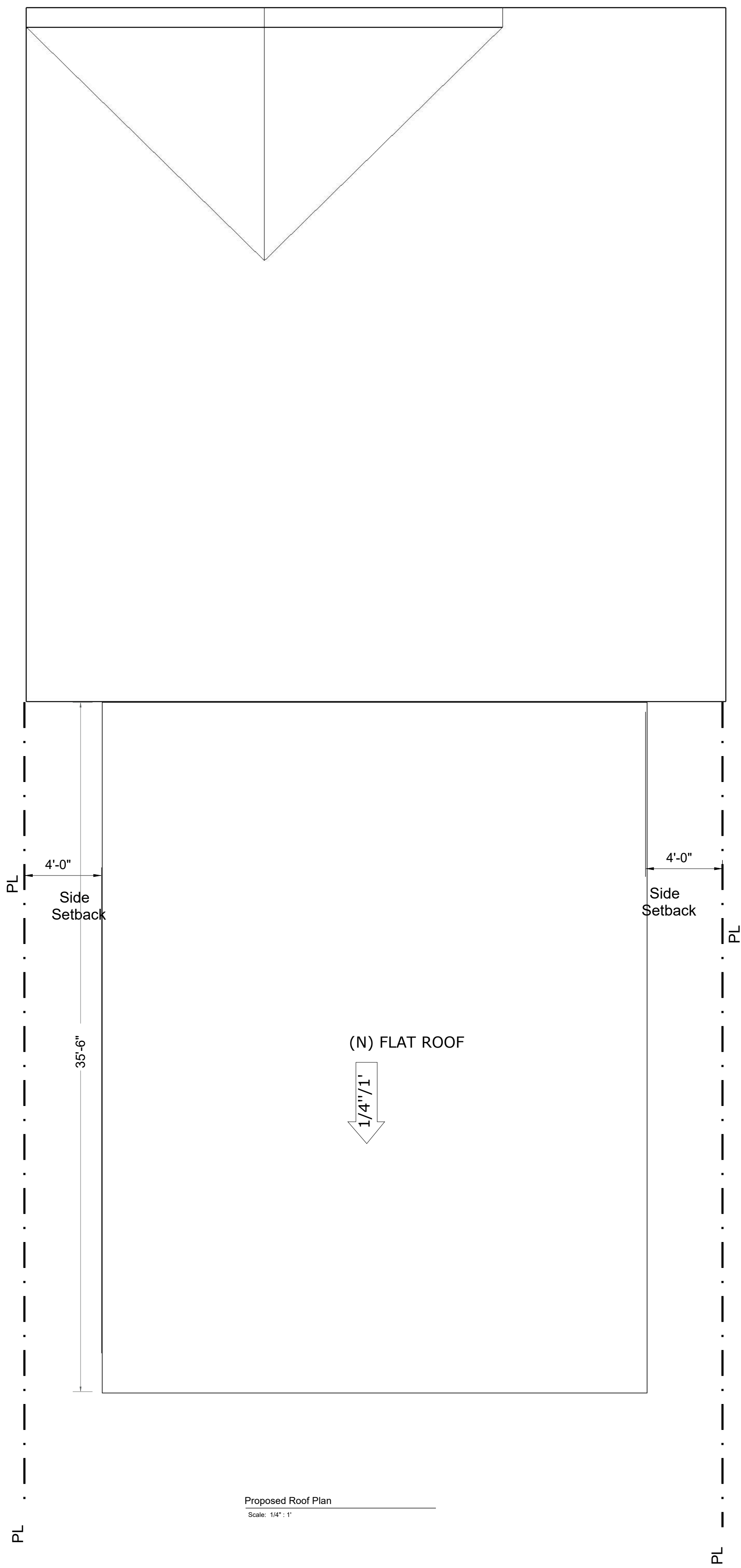
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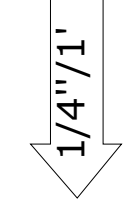


ROOF(E)

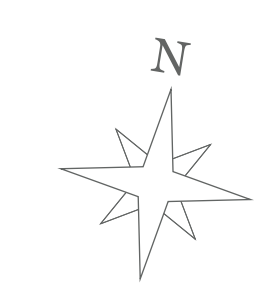
Existing Roof
 Scale: 1/4" = 1'



(N) FLAT ROOF



Proposed Roof Plan
 Scale: 1/4" = 1'



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 JOB NUMBER _____

REVISION	

PROJECT ADDRESS _____

SUNNY'S RESIDENCE
 BLOCK: 2853 LOT: 017
 54 SUNVIEW DRIVE
 SAN FRANCISCO, CA 94131

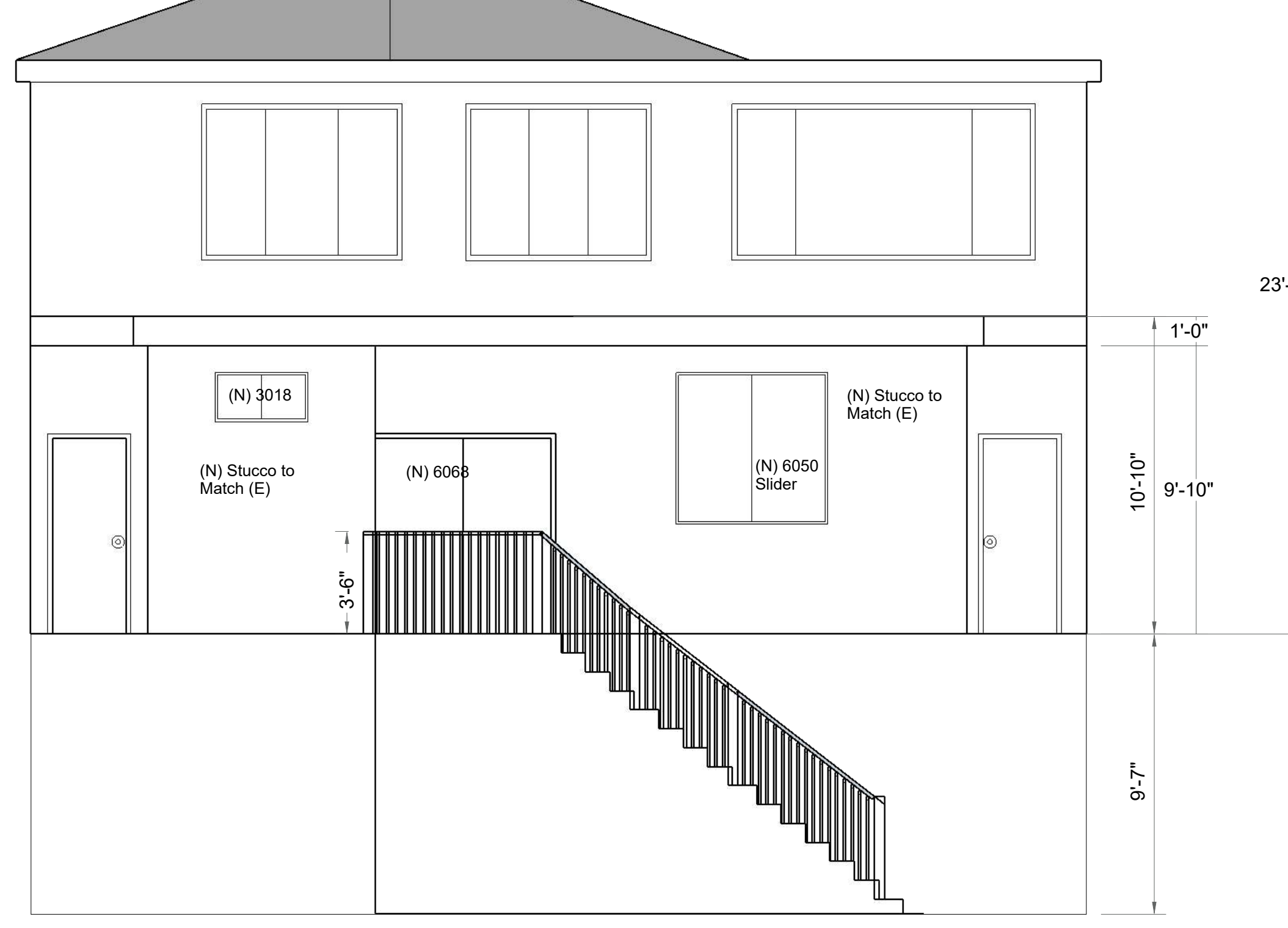
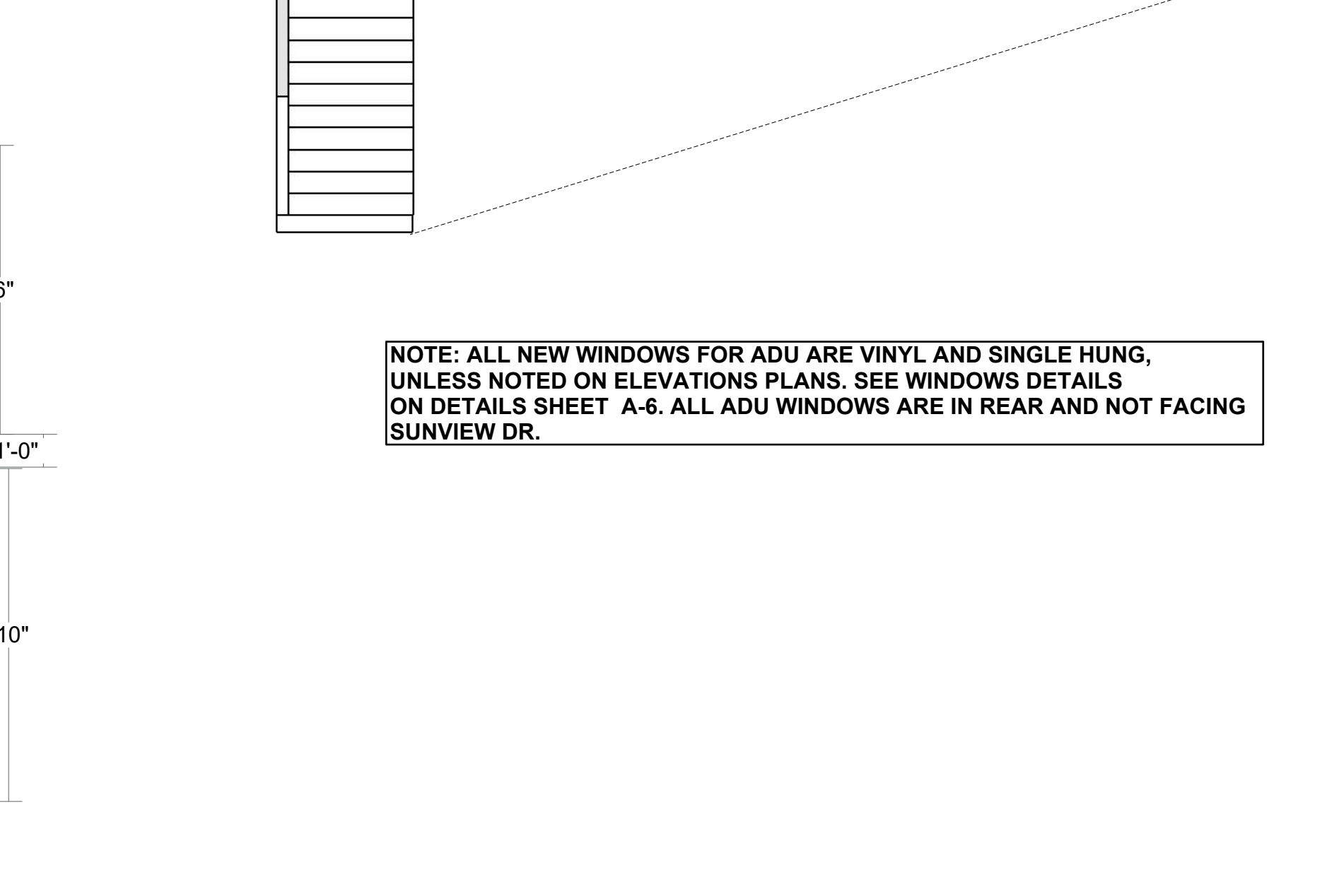
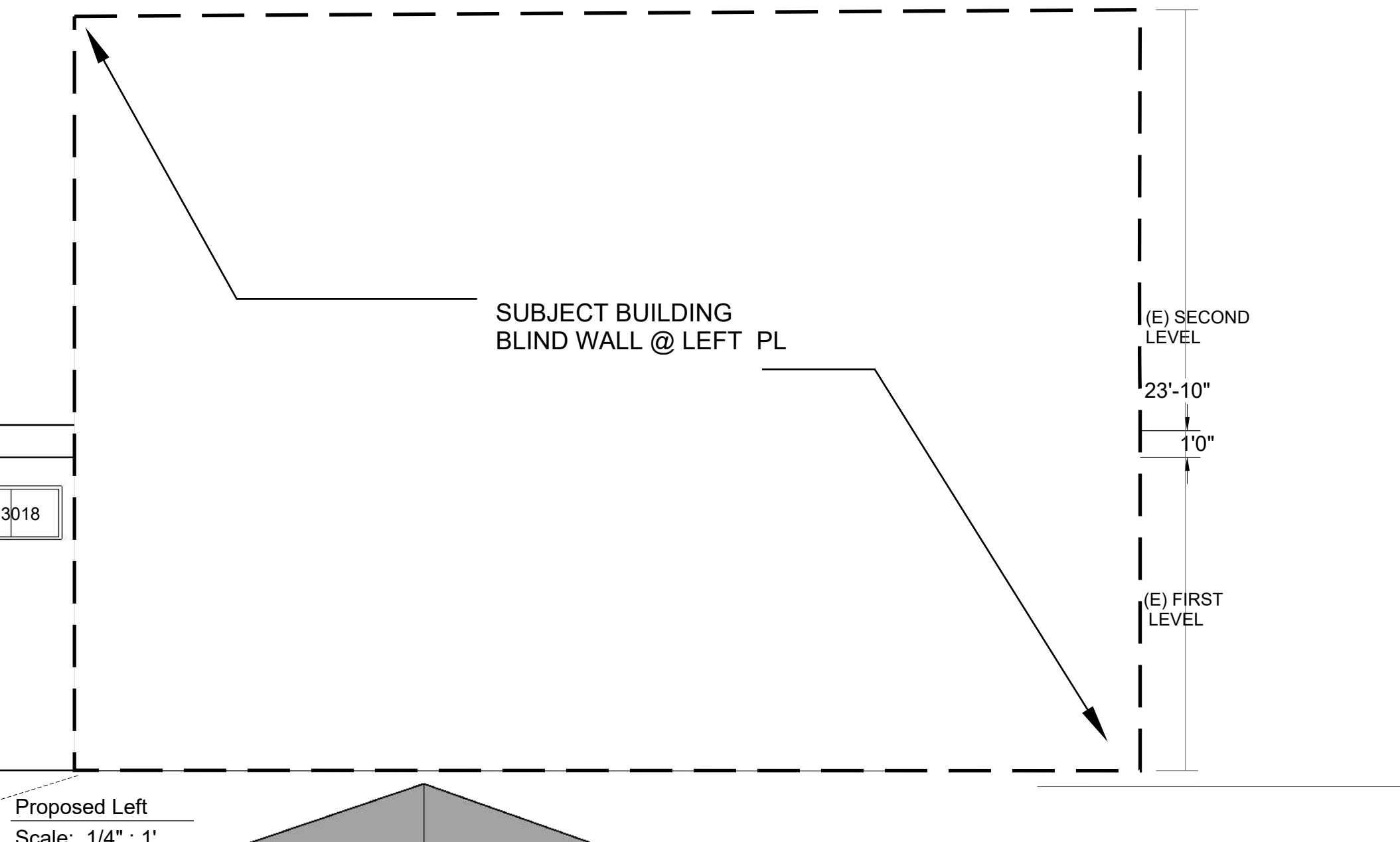
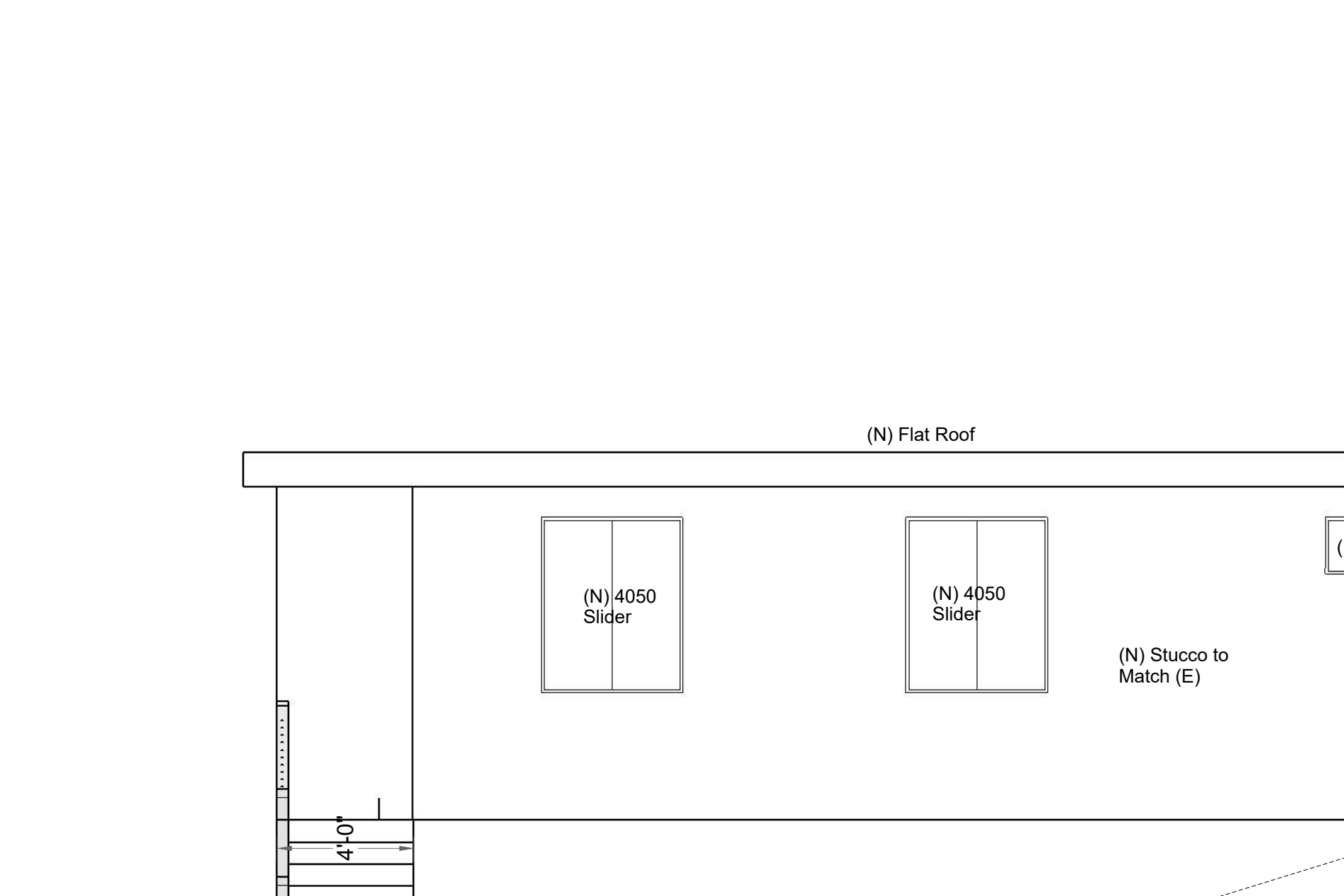
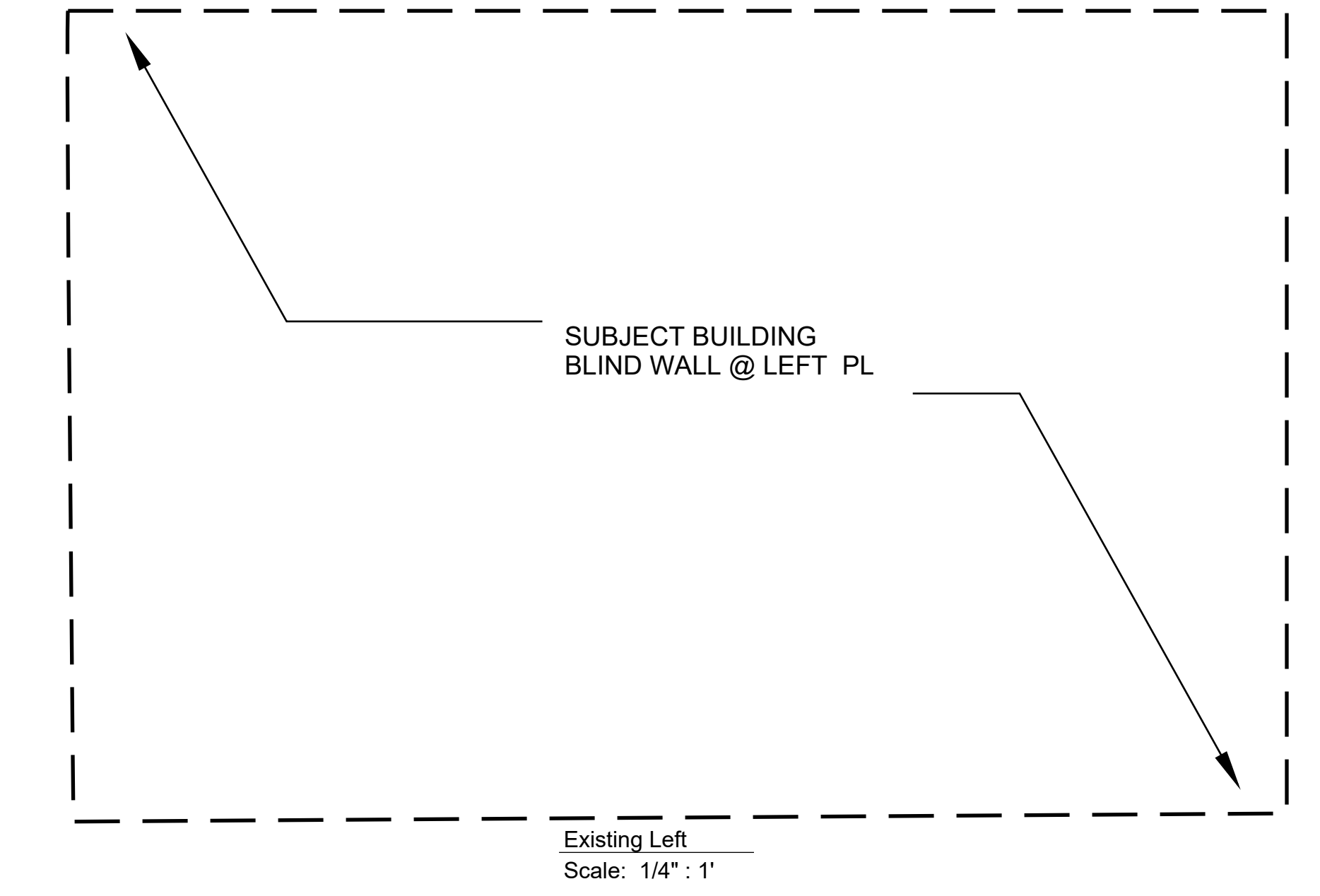
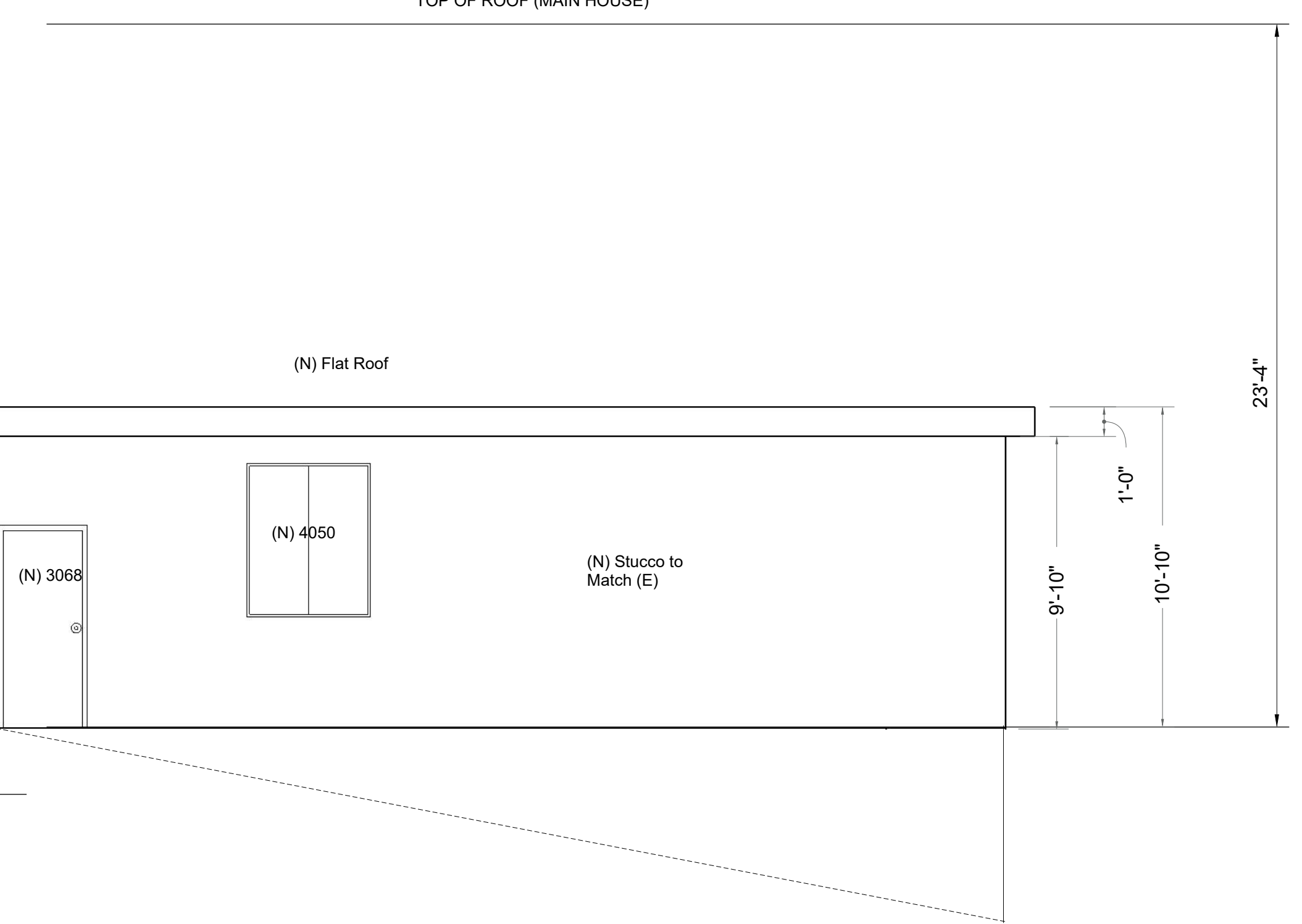
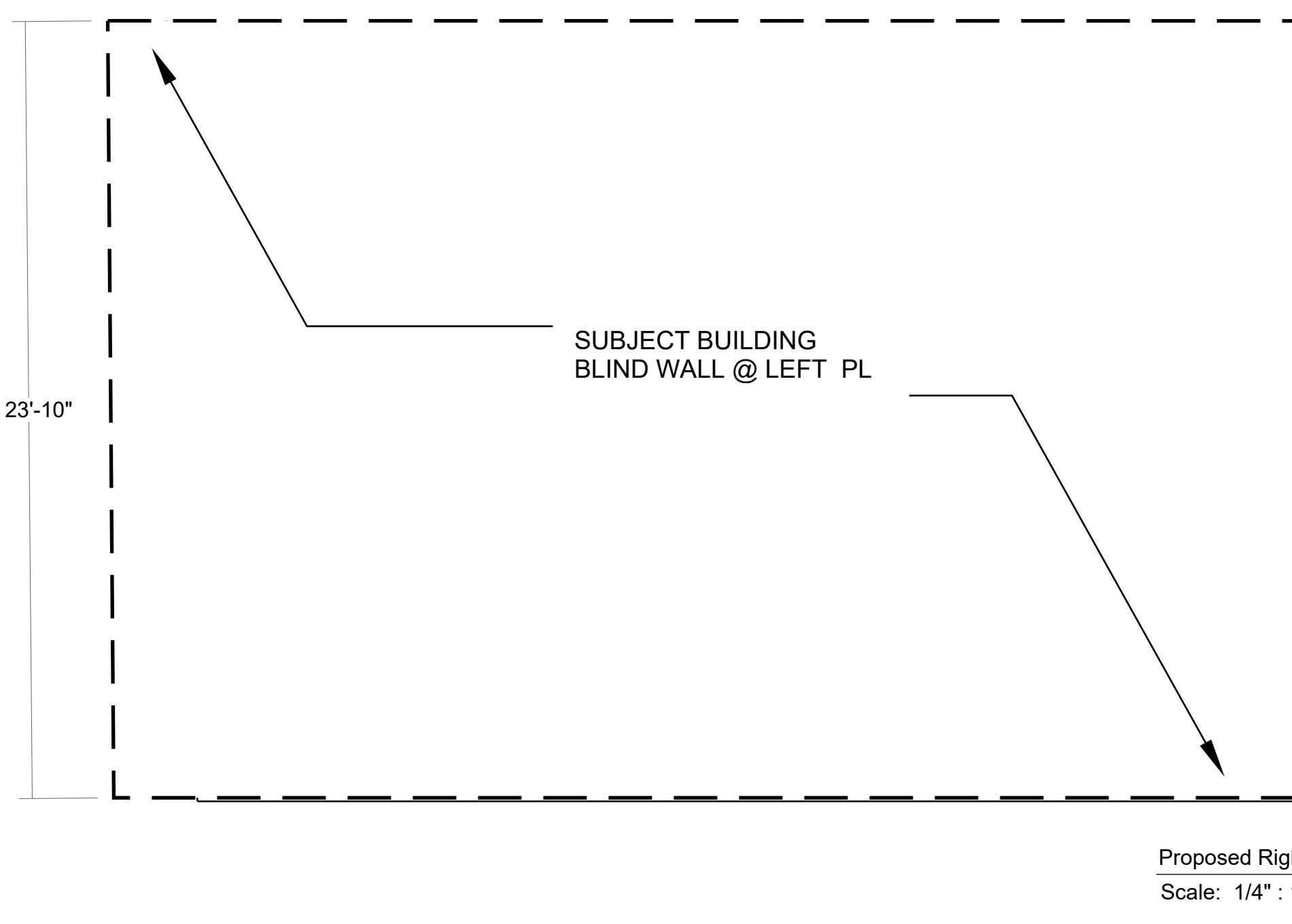
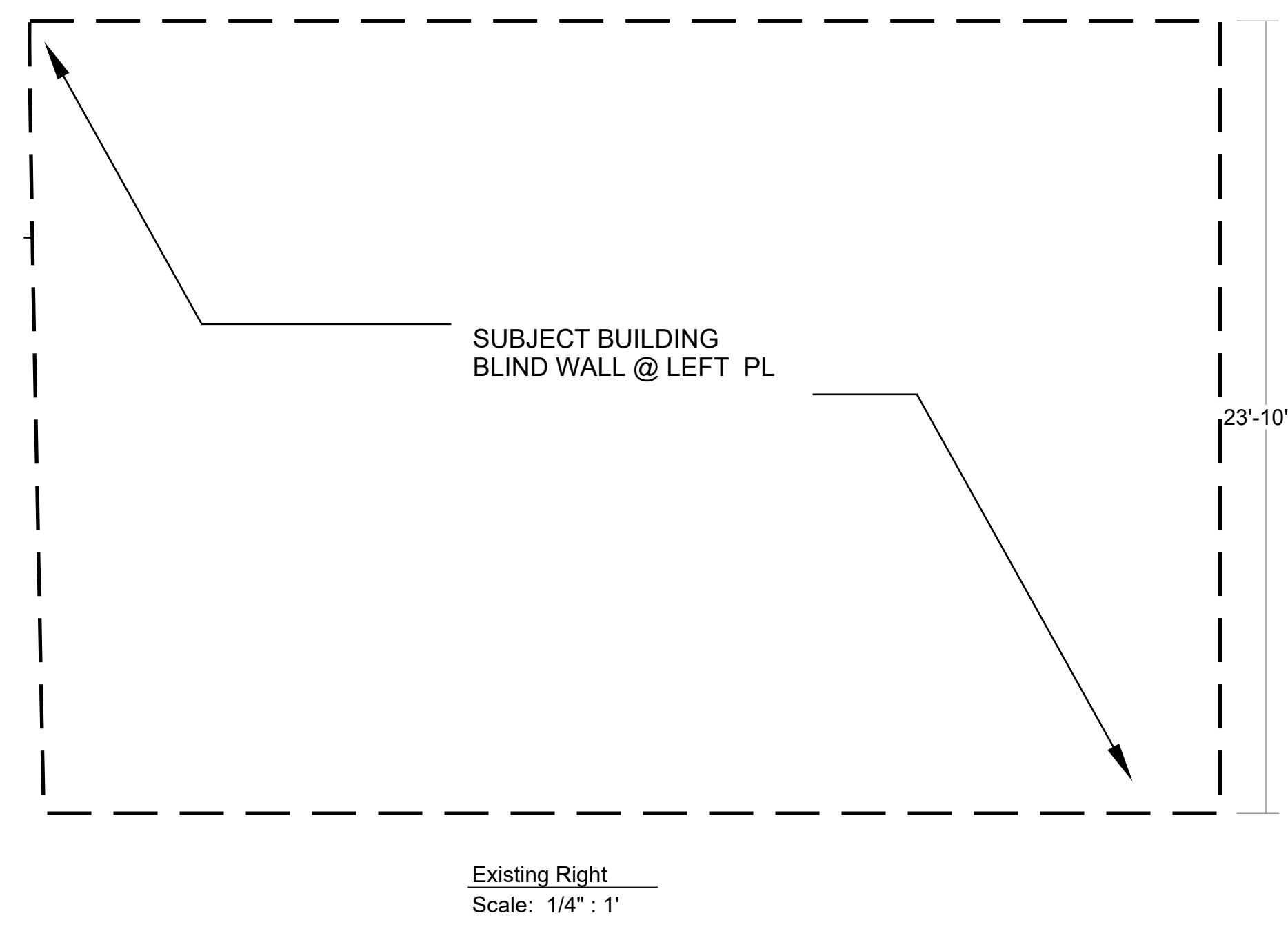
SHEET TITLE: _____

LEFT AND RIGHT ELEVATIONS

STAMP: _____



SHEET NUMBER _____



NOTE: ALL NEW WINDOWS FOR ADU ARE VINYL AND SINGLE HUNG, UNLESS NOTED ON ELEVATIONS PLANS. SEE WINDOWS DETAILS ON DETAILS SHEET A-6. ALL ADU WINDOWS ARE IN REAR AND NOT FACING SUNVIEW DR.

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DATE _____
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 CHECK BY _____
 JOB NUMBER _____

REVISION	

PROJECT ADDRESS _____

SUNNY'S RESIDENCE
 BLOCK: 2853 LOT: 017
 54 SUNVIEW DRIVE
 SAN FRANCISCO, CA 94131

SHEET TITLE: _____

**FRONT ELEVATIONS
 & STREETSCAPE**

STAMP: _____



SHEET NUMBER _____



Existing Front (No Change)
 Scale: 1/4" : 1'

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DATE _____
 DRAWN BY _____
 CHECK BY _____
 JOB NUMBER _____

REVISION	

PROJECT ADDRESS _____

SUNNY'S RESIDENCE
 BLOCK: 2853 LOT: 017
 54 SUNVIEW DRIVE
 SAN FRANCISCO, CA 94131

SHEET TITLE: _____

SECTIONS & DETAILS

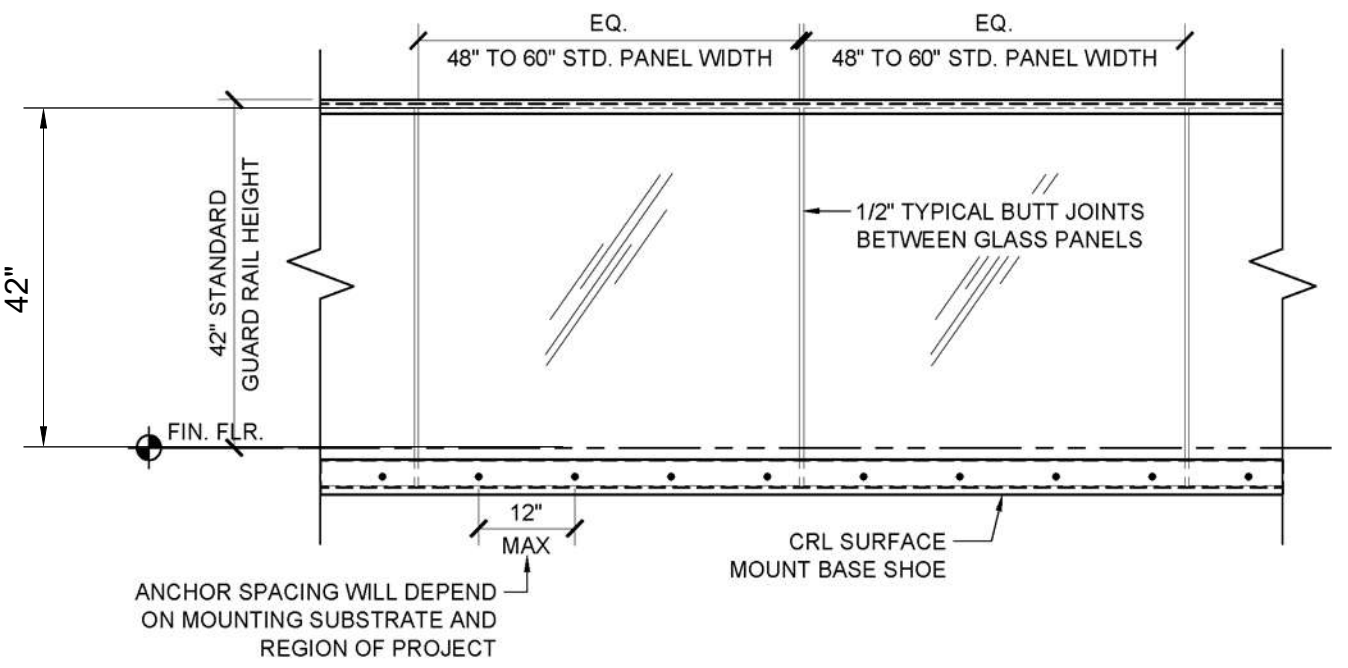
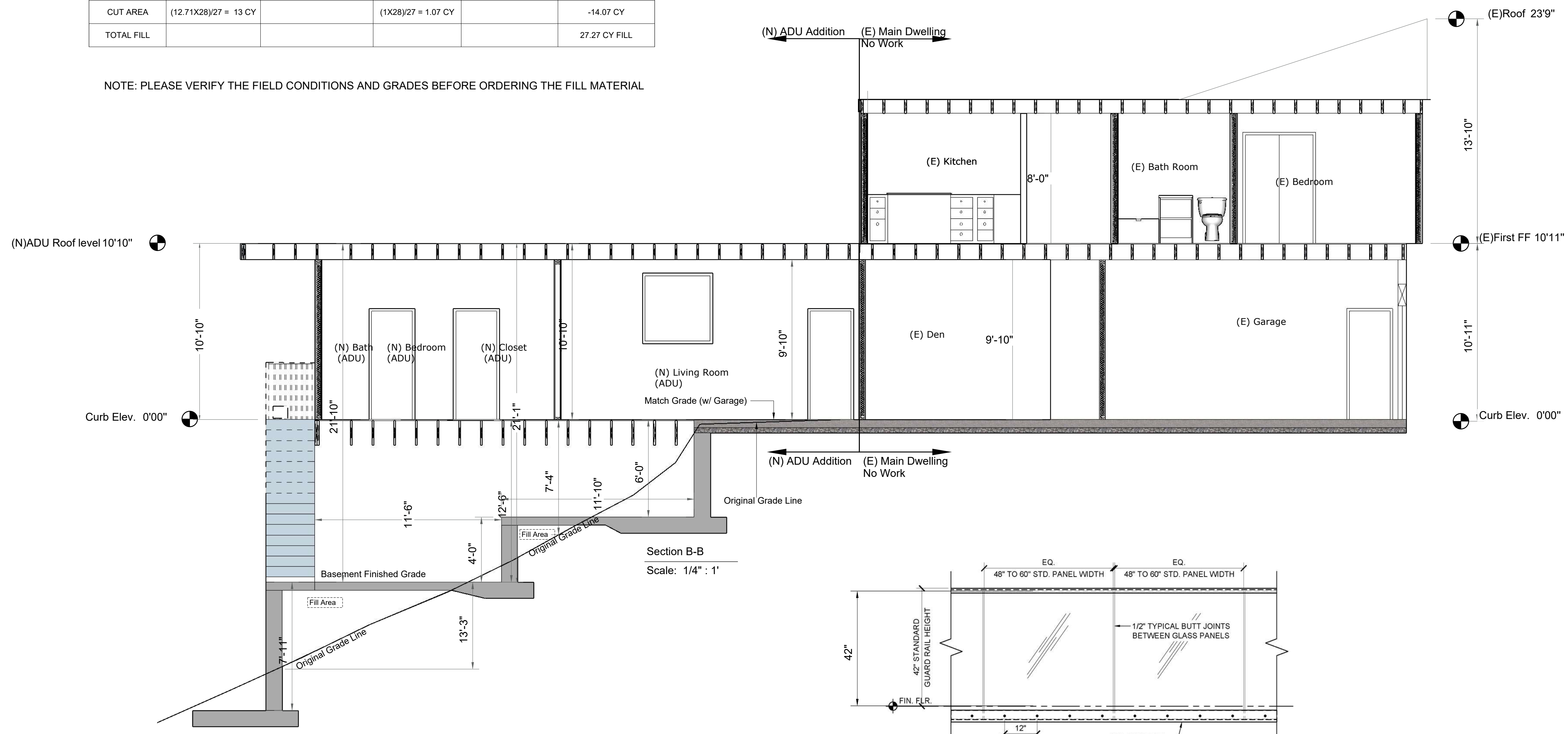
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SHEET NUMBER _____

	A	B	C	D	TOTAL
FILL AREA		(3.6X28)/27 = 3.74 CY		(23.7X28)/27 = 24.6 CY	28.34 CY
CUT AREA	(12.71X28)/27 = 13 CY		(1X28)/27 = 1.07 CY		-14.07 CY
TOTAL FILL					27.27 CY FILL

NOTE: PLEASE VERIFY THE FIELD CONDITIONS AND GRADES BEFORE ORDERING THE FILL MATERIAL



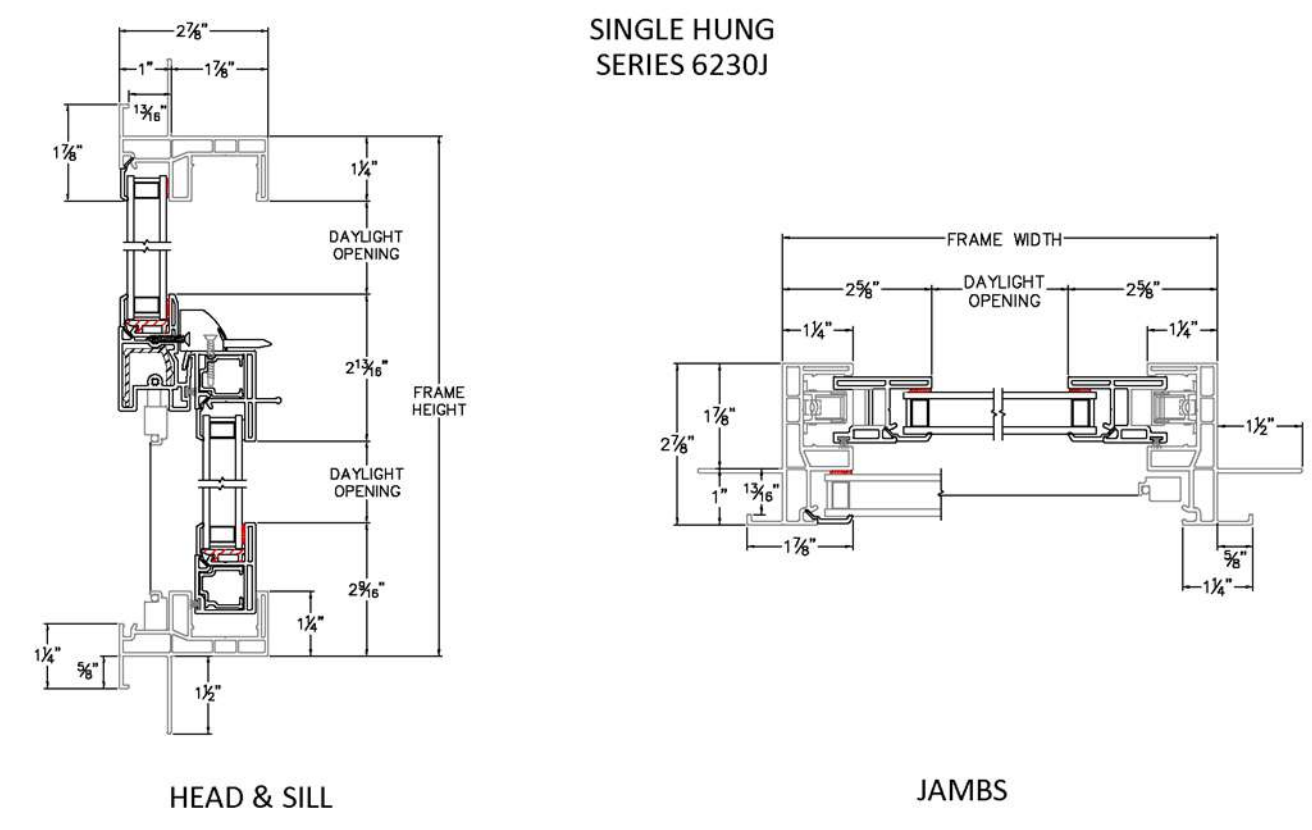
TYPICAL GRS GLASS RAILING ELEVATION VIEW - FASCIA MOUNT

Cross Section Drawing
 StyleLine Single Hung Window
 1" Fin Set Back W/ "J" Channel

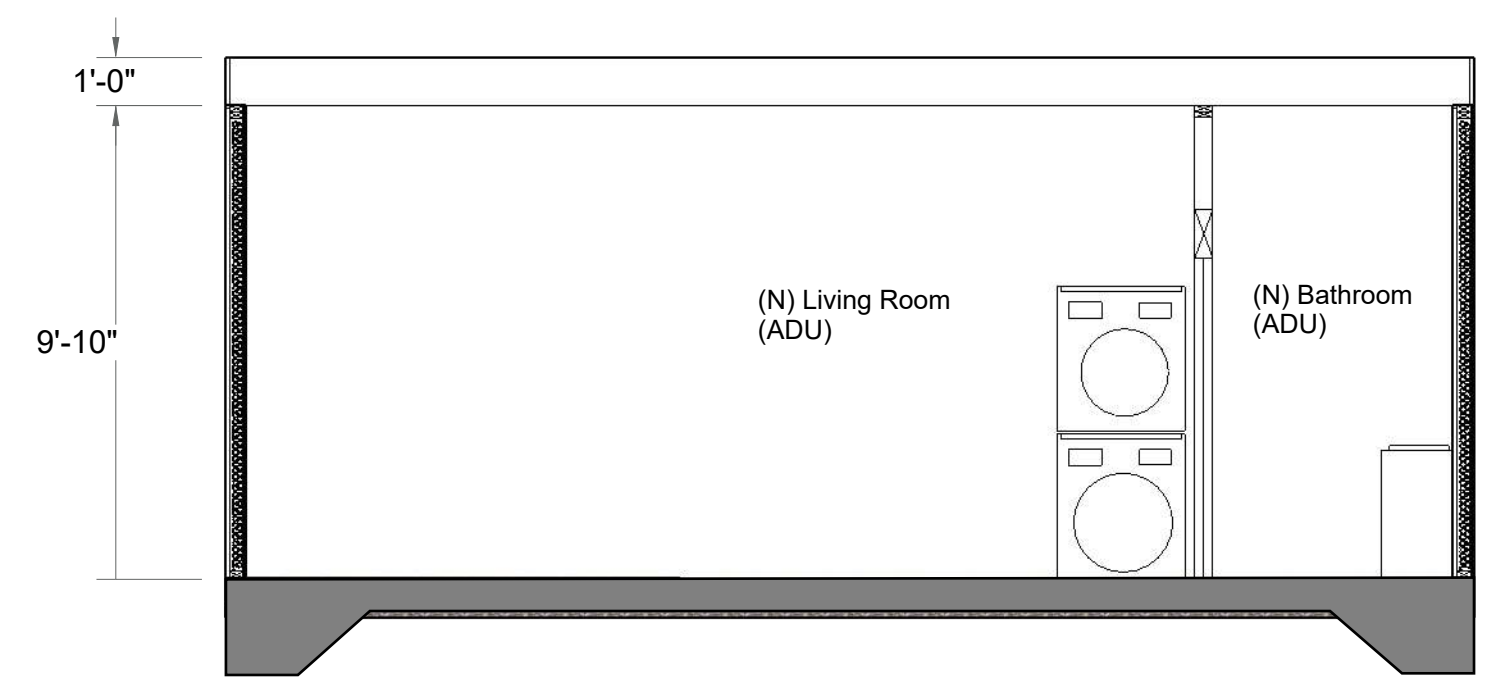
Milgard
Clearly the best

CAD File Scale: NTS | View: Horizontal & Vertical | File Name: 6230J-015H | Units: Inch

More Technical Documents can be found at milgard.com/professionals
 Due to technical considerations and developments, all details may be changed at any time. ©2023 Milgard 11/23



Typical Window Cut Sheet Detail Single Hung (Not To Scale)



Section A-A
 Scale: 1/4" : 1'

FOUNDATION NOTES:

1. Soils report prepared by: CBC Chapter 18 and match existing foundation shall be referenced for this project.
2. Foundation design is based on allowable soil bearing pressure of 1500 pound per square foot.
3. Finish grade shall be slope away from the foundation and minimum 6" below the sill plate.
4. Site drainage requirements including final pad grades, roof drainage downspouts shall be discharged to approved location.

CONCRETE NOTES:

1. Foundation concrete shall have a minimum compressive strength of 2500 psi at 28 days.
2. Re-bars, dowels and other embedded elements shall be secured in place before pouring concrete.
3. Cold joints may be used where shown only. Jointing surface shall be clean, free of foreign material and intentionally roughened.
4. Special inspections required where concrete epoxy anchor to existing foundation

REINFORCEMENT NOTES:

1. Reinforcing steel shall be deformed bars of billet or axle steel per ASTM A615 Grade 40. For #4 and smaller, Grade 60 for #5 and larger.
2. Reinforcement shall be clean and free of extraneous material.
3. All reinforcement shall be placed and supported in a true line as shown.
4. 3" clearance shall be provided where concrete is casted against earth, 2" clearance for concrete exposed to earth or weather but deposited against forms, and 3/4" clearance for slabs and walls where concrete is not exposed to earth or weather.
5. Lap all reinforcing splices a minimum 40 bar diameters but in no cases less than 24". ANCHORAGE NOTES:
 - 1: On foundation plan, sill plates for all exterior, interior bearing and shear walls shall be anchored to concrete foundation with 5/8" diameter anchor bolts at maximum 4 feet on center. Provide a 3X3X0.229" plate washer at every anchor bolt. Typical, unless otherwise noted. (U.O.N.)
 2. All wall sills receiving fasteners shall have the first fastener at 6" from each cut end of the sill.
 3. Anchor bolts material shall be ASTM A307.
 4. Anchor bolts shall be held in place when pouring concrete. Retrofit fasteners shall be installed after the concrete has set for 7 days minimum.
 5. Anchor bolts shall be embedded 7" minimum into concrete. U.O.N. Individual isolated posts shall be anchored by Post Base connector. Special Inspection required for epoxy holddown anchors.

1. Contractor shall review all typical framing details (e.g. top plate splice, wall corner connection, shear panel nailing, DRF etc...), sill nailing and block nailing requirements per footnotes in SHEAR WALL SCHEDULE prior to starting any framing work.
2. Where partition walls parallel to the framing below, double joists shall be provided below the wall. Where perpendicular, 2x blockings shall be provided between each joist.
3. 2x blockings shall be provided between the floor joists at the ends and at each support of the floor joists, such as bearing wall, structural beam, etc. Blockings may be omitted only as at the ends of the floor joists where they are supported by a flush beam.
4. Bottom at posts shall have full bearing in a tight-fit condition with the supporting structural member below.
5. Where posts terminated on floor with stud walls or beams below, the space between the bottom of the post at the top of the plate or the beam shall be solidly filled with 2x blockings and the stud wall below shall have matching post at same location.
6. Bottom of posts when terminated on floor shall be fixed to the floor diaphragm by
 - 2-A35 framing anchors.
 7. All door and window headers at 8'-1" plate shall be 4x12 DF#2 Grade at 2x4 walls or 6x12 DF#2 Grade at 2x6 walls. Unless otherwise noted. (U.O.N.)
 8. Cutting beams, joists, and rafters; Notches from top edge and bored holes limited to 1/6 member depth; cutting or notching and bored holes exceeding 2" diameter shall be to be approved by the engineer in advance.
 9. All window and door openings 8 feet and under shall have double king studs. U.O.N.
 10. Follow the nailing schedule specified in UBC Table 2304.9.1 for various framing connections. U.O.N.
 11. All bearing wall and/or shear walls that are plumbing walls shall be 2x4 or 2x6 stud walls unless specified.

SHEATHING NOTES:

1. Any plywood sheathing panels used on roof, floor and shear walls shall not be less than 24 inches wide. Undersized sheets may be used only if all edges of the sheets are fastened to framing members.
2. Roof plywood shall be 1/2" CDX APA 32/16, face grain perpendicular to framing members below, stagger adjacent panels by 4 feet.
3. Floor plywood shall be 3/4" CDX APA 48/24 tongue and groove, face grain perpendicular to framing members below, stagger adjacent panels by 4 feet, nailed with 1 Od common nails at 6" o.c. all plywood panel edges and at 12" o.c. all intermediate supports.
4. Shear wall plywood sheathing shall be 3/8" CDX Afpa 24/0, all plywood panel edges blocked and nailed per Shear Wall Schedule.
5. Oriented-Strand Board (OSB) of the same structural/ exterior rating as the plywood sheathing specified above may be used in lieu of plywood.
6. All California roof framing shall have roof sheathing at both upper and lower roofs.
7. All roof/floor beams and collectors shall receive edge nailing along its full length.

1. All door and window headers at 8'-1" plate shall be 4x12 DF#2 Grade at 2x4 walls or 6x12 DF#2 Grade at 2x6 walls. Unless otherwise noted. (U.O.N.)
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7. All roof/floor beams and collectors shall receive edge nailing along its full length.

STRUCTURAL CALCULATIONS –
Wind load design factor, V, is 110 m.p.h - exposure based on geographical location

SEISMIC DESIGN CATEGORY determined by design professional considering construction design and site soil properties as per CBC sec 1613 is site class D soil bearing used as 1500 psf.

Simpson Strong-Tie® Wood Construction Connectors

AC/ACE/LPCZ/LCE/RTC

Post Caps

The LCE4's universal design provides high capacity while eliminating the need for rights and lefts. For use with 4x or 6x lumber LPCZ – Adjustable design allows greater connection versatility.

Materials: LCE4 – 20 gauge AC, ACE, LPCZ – 18 gauge LPCZ – 16 gauge; RTC – 14 gauge

Finish: Galvanized. Some products available in ZMA® coating and stainless steel, see Corrosion Information, pp. 15-18.

Installation:

- Use all specified fasteners; see General Notes.
- Install all models in pairs. LPCZ – 2x4 beams may be used if 10d x 1 1/2" nails are substituted for 10d common.

Codes: See p. 14 for Code Reference Key Chart

Typical ACE Installation (For 4x or 6x Lumber)

Typical LCE4 Installation (Aligned corner)

Typical LCE4 Installation (Misaligned corner)

Typical ACE Installation (AC similar)

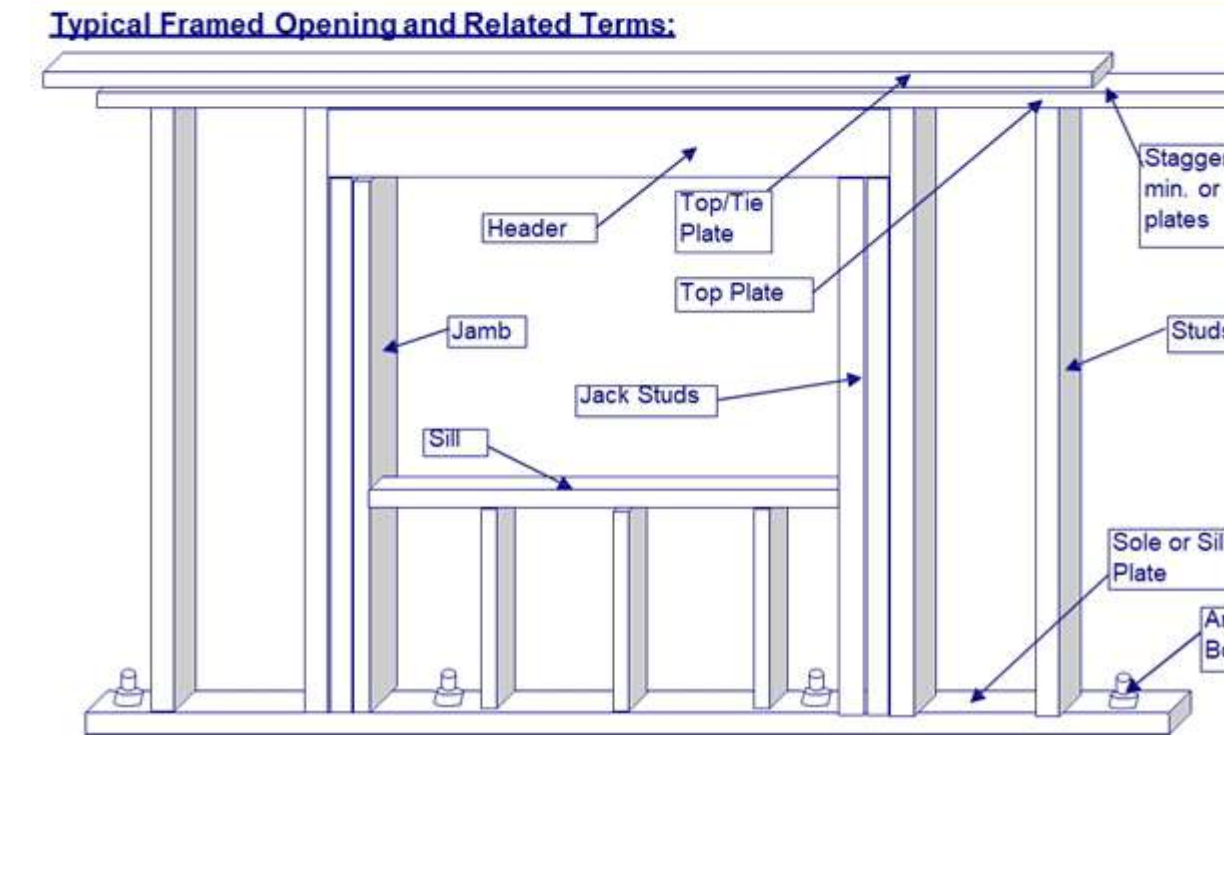
RTC4 Installation (Square cut)

RTC4 Installation (Misaligned corner)

EXTERIOR BEARING WALL GIRDER AND HEADER SPANS (Continued)

(Measured perpendicular to the ridge. For widths between those shown, spans are permitted to be interpolated.)

GIRDERS AND HEADERS SUPPORTING:	SIZE	Building Width					
		20	28	36	Number of Jack Studs		
Roof, ceiling and two center-bearing floors	2-2x4	3-1	1	2-8	1	2-5	1
	2-2x6	4-6	1	3-11	1	3-6	1
	2-2x8	5-9	1	5-0	2	4-5	2
	2-2x10	7-0	2	6-1	2	5-5	2
	2-2x12	8-1	2	7-0	2	6-3	2
	3-2x8	7-2	1	6-3	1	5-7	2
	3-2x10	8-9	1	7-7	2	6-9	2
	3-2x12	10-2	2	8-10	2	7-10	2
	4-2x8	9-0	1	7-8	1	6-9	1
	4-2x10	10-1	1	8-9	1	7-10	2
Roof, ceiling and two clear span floors	2-2x4	2-2	1	1-10	1	1-7	1
	2-2x6	3-2	2	2-9	2	2-5	2
	2-2x8	4-1	2	3-6	2	3-2	2
	2-2x10	4-11	2	4-3	2	3-10	3
	2-2x12	5-9	2	5-0	3	4-5	3
	3-2x8	5-1	2	4-5	2	3-11	2
	3-2x10	6-2	2	5-1	2	4-10	2
	3-2x12	7-2	2	6-3	2	5-7	3
	4-2x8	6-1	1	5-3	2	4-8	2
	4-2x10	7-2	2	6-2	2	5-6	2
4-2x12	8-4	2	7-2	2	6-5	2	
Roof, ceiling and two clear span floors	2-2x4	2-0	1	1-8	1	1-5	2
	2-2x6	2-11	2	2-7	2	2-3	2
	2-2x8	3-9	2	3-3	2	2-11	3
	2-2x10	4-7	3	4-0	3	3-6	3
	2-2x12	5-4	3	4-7	3	4-1	4
	3-2x8	4-8	2	4-1	2	3-8	2
	3-2x10	5-9	2	4-11	2	4-5	3
	3-2x12	6-8	2	5-9	3	5-2	3
	4-2x8	5-5	2	4-8	2	4-2	2
	4-2x10	6-7	2	5-9	2	5-1	2
4-2x12	7-8	2	6-8	2	6-11	3	



Note:

- a. All wood framing members in contact with concrete or exposed to weather to be pressure treated or "natural durable" wood per CRC R317.1
- b. Fasteners for pressure-preservative treated wood shall be hot-dipped zinc coated galvanized steel, stainless steel, silicon bronze, or copper.

Simpson Strong-Tie® Wood Construction Connectors

CBS/CBSQ

Column Bases

This product is preferable to similar connectors because of its wider installation, its higher base, its cover installed over, or a combination of these features.

The CBS/Column Base installed with machine bolts and provides tested capacity. The 1 1/2" standard included meets code requirements for structural posts installed in basements or exposed to weather or water splash. The CBSQ uses Simpson Strong-Tie® Strong Drive® SDS Heavy-Duty Connector screws, which allow for fast installation, reduced reveal and high capacity, provide a greater net section area of the column compared to bolts.

Material: See table

Finish: Galvanized, available in HDG

Installation:

- Use all specified fasteners; see General Notes.
- For CBS, install with two machine bolts.
- For CBSQ, install 1/2" x 2" Strong Drive SDS Heavy-Duty Connector screws, which are provided with the column base. (Ag screws will not achieve the same load.)
- For full load, a minimum of 3" side cover shall be provided.
- Floor bases do not provide adequate resistance to prevent members from rotating about the base and therefore are not recommended for non-top-supported installations (such as lean-in or unbraced supports).

To order the CBSQ with screws, specify CBSQ-SDS2. To order without screws, specify CBSQ.

Codes: See p. 14 for Code Reference Key Chart

These products are available with additional corrosion protection. For more information, see p. 18.

INTERIOR BEARING WALL GIRDER AND HEADER SPANS

(Measured perpendicular to the ridge. For widths between those shown, spans are permitted to be interpolated.)

GIRDERS AND HEADERS SUPPORTING:	SIZE	Building Width					
		20	28	36	Number of Jack Studs		
Roof, ceiling and two center-bearing floors	2-2x4	3-1	1	2-8	1	2-5	1
	2-2x6	4-6	1	3-11	1	3-6	1
	2-2x8	5-9	1	5-0	2	4-5	2
	2-2x10	7-0	2	6-1	2	5-5	2
	2-2x12	8-1	2	7-0	2	6-3	2
	3-2x8	7-2	1	6-3	1	5-7	2
	3-2x10	8-9	1	7-7	2	6-9	2
	3-2x12	10-2	2	8-10	2	7-10	2
	4-2x8	9-0	1	7-8	1	6-9	1
	4-2x10	10-1	1	8-9	1	7-10	2
Roof, ceiling and two clear span floors	2-2x4	2-2	1	1-10	1	1-7	1
	2-2x6	3-2	2	2-9	2	2-5	2
	2-2x8	4-1	2	3-6	2	3-2	2
	2-2x10	4-11	2	4-3	2	3-10	3
	2-2x12	5-9	2	5-0	3	4-5	3
	3-2x8	5-1	2	4-5	2	3-11	2
	3-2x10	6-2	2	5-1	2	4-10	2
	3-2x12	7-2	2	6-3	2	5-7	3
	4-2x8	6-1	1	5-3	2	4-8	2
	4-2x10	7-2	2	6-2	2	5-6	2
4-2x12	8-4	2	7-2	2	6-5	2	

The following is a guide, intended to provide maximum spans that the residential code allows for Douglas fir-arch #2 or better lumber. The reference Table R502.2(1) for the exterior bearing wall requirements and Table R502.5(2) for interior bearing walls.

EXTERIOR BEARING WALL GIRDER AND HEADER SPANS

(Measured perpendicular to the ridge. For widths between those shown, spans are permitted to be interpolated.)

GIRDERS AND HEADERS SUPPORTING:	SIZE	Building Width					
		20	28	36	Number of Jack Studs		
Roof and ceiling	2-2x4	2-10	1	2-6	1	2-3	1
	2-2x6	4-2	1	3-8	2	3-3	2
	2-2x8	5-4	2	4-7	2	4-1	2
	2-2x10	6-6	2	5-7	2	5-0	2
	2-2x12	7-8	2	6-6	2	5-10	3
	3-2x8	6-9	1	5-9	2	5-2	2
	3-2x10	8-2	2	7-0	2	6-4	2
	3-2x12	9-5	2	8-2	2	7-4	2
	4-2x8	7-8	1	6-8	1	5-11	2
	4-2x10	9-5	2	8-2	2	7-3	2
Roof, ceiling and one center-bearing floor	2-2x4	2-7	1	2-3	1	2-0	1
	2-2x6	3-9	2	3-3	2	2-11	2
	2-2x8	4-9	2	4-2	2	3-9	2
	2-2x10	5-9	2	5-1	2	4-7	3
	2-2x12	6-8	2	5-10	3	5-3	3
	3-2x8	5-11	2	5-2	2	4-8	2
	3-2x10	7-3	2	6-4	2	5-8	2
	3-2x12	8-5	2	7-4	2	6-7	2
	4-2x8	6-10	1	6-0	2	5-5	2
	4-2x10	8-1	2	7-0	2	6-7	2
Roof, ceiling and one clear span floor	2-2x4	2-5	1	2-1	1	1-10	1
	2-2x6	3-6	2	3-1	2	2-9	2
	2-2x8	4-8	2	3-11	2	3-6	2
	2-2x10	5-8	2	4-9	2	4-3	3
	2-2x12	6-4	2	5-6	3	5-0	3
	3-2x8	5-7	2	4-11	2	4-5	2
	3-2x10	6-10	2	5-0	2	5-4	2
	3-2x12	7-11	2	6-11	2	6-3	2
	4-2x8	6-6	1	5-8	2	5-1	2
	4-2x10	7-11	2	6-11	2	6-2	2
4-2x12	8-2	2	8-0	2	7-2	2	

Simpson Strong-Tie® Wood Construction Connectors

HDU/DTT

Holdowns

HDU holdowns are pre-deflected during the manufacturing process, virtually eliminating deflection under load due to material stretch. They use Simpson Strong-Tie® Strong Drive® SDS Heavy-Duty Connector screws which install easily, reduce fastener reveal and provide a greater net section when compared to bolts.

The DTT tension ties are designed for lighter-duty holdown applications on single 2x posts. The DTT is installed with nails or Simpson Strong-Tie® Strong Drive SD Connector screws and the DTTZ installs easily with the Strong Drive SDS Heavy-Duty Connector screws (included). The DTTZ holdowns have been tested for use in designed shearu walls and prescriptive braced wall panels as well as prescriptive wood deck applications (see p. 337 for deck applications).

For more information on holdown options, contact Simpson Strong-Tie.

HDU Special Features:

- Holdown design virtually eliminates deflection due to material stretch.
- Uses Strong Drive SDS Heavy-Duty Connector screws which install easily, reduce fastener slip, and provide a greater net section area of the post compared to bolts.
- Strong Drive SDS Heavy-Duty Connector screws are applied with the holdowns to ensure proper fasteners are used.
- No stud bolts to counteract air openings.

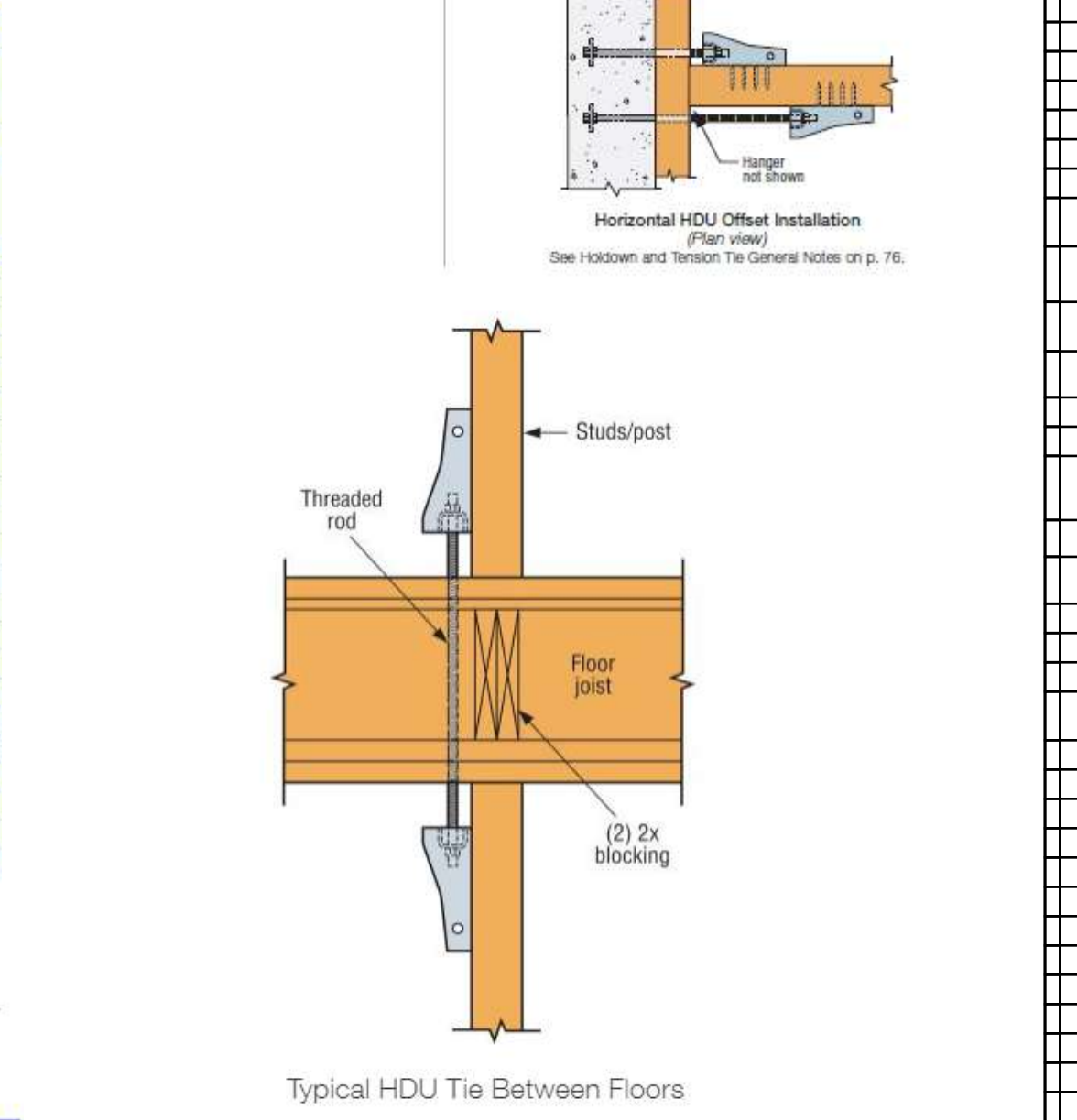
Material: See table

Finish: HDU – Galvanized; DTTZ and DTTZ – ZMA® coating; DTTZSS – stainless steel

Installation:

- See General Notes on pp. 75-76
- The HDU requires no additional washer; the DTT requires a standard cut washer (included with DTTZ) to be installed between the nut and the steel.
- Strong Drive SDS Heavy-Duty Connector screws install best with a low-speed high-torque drill with a 1/8" hex-head driver.

Codes: See p. 14 for Code Reference Key Chart



Simpson Strong-Tie® Wood Construction Connectors

MSTC48B3/MSTC66B3

Pre-Bent Straps

The MSTC48B3 and MSTC66B3 are pre-bent straps designed to transfer tension from an upper story diaphragm to a beam on the story below.

Material: 14 gauge

Finish: Galvanized, contact Simpson Strong-Tie

Codes: See p. 14 for Code Reference Key Chart

These products are available with additional corrosion protection. For more information, see p. 18.

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER, b, c	SPACING OF FASTENERS
Roof			
1	Blocking between joists or rafters to top plate, toe nail	4-8d box (2 1/2 x 0.113) or 3-8d (21/2" x 0.113) or 3-10d box (3x0.128) or 3-3x0.131" nails	Toe nail
2	Ceiling joists to plate, toe nail	4-8d box (2 1/2 x 0.113) or 3-8d box (3x0.128) or 3-3x0.131" nails	Per joist, toe nail
3	Ceiling joists not attached to parallel rafter, less over partitions, face (see Sections R802.3.2, R802.3 and Table R802.5.1(9))	4-10d box (3x0.128) or 3-16d common (3/2" x 0.162) or 4-3x0.131" nails	Face nail
4	Ceiling joist attached to parallel rafter (heel joint)	Table R802.5 (9)	Face nail
5	Collar tie to rafter, face nail or 1 1/4" x 20 gauge ridge strap to rafter	4-10d box (3x0.128) or 3-10d common (3" x 0.148) or 4-3x0.131 nails	Face nail each rafter
6	Rafter or roof truss to plate	3-10d common nails (3" x 0.148) or 4-10d box (3x0.128) or 4-3x0.131" nails	2 toe nails on one side and 1 toe nail on opposite side of each rafter or truss
7	Roof rafters to ridge, valley or hip rafters or roof rafter to minimum 2" ridge beam	3-16d common (3/2" x 0.162) or 4-10d box (3x0.128) or 4-3 x 0.131 nails	Toe nail
8	Slud to stud (not at braced wall panels)	16d box (3/2" x 0.162) or 3x0.131" nails	24" o.c. face nail
9	Slud to stud and abutting studs at intersecting wall corners (at braced wall panels		

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DATE _____
 DRAWN BY _____
 CHECK BY _____
 JOB NUMBER _____

REVISION

NO.	DESCRIPTION

PROJECT ADDRESS

SUNNY'S RESIDENCE
 BLOCK: 2853 LOT: 017
 54 SUNVIEW DRIVE
 SAN FRANCISCO, CA 94131

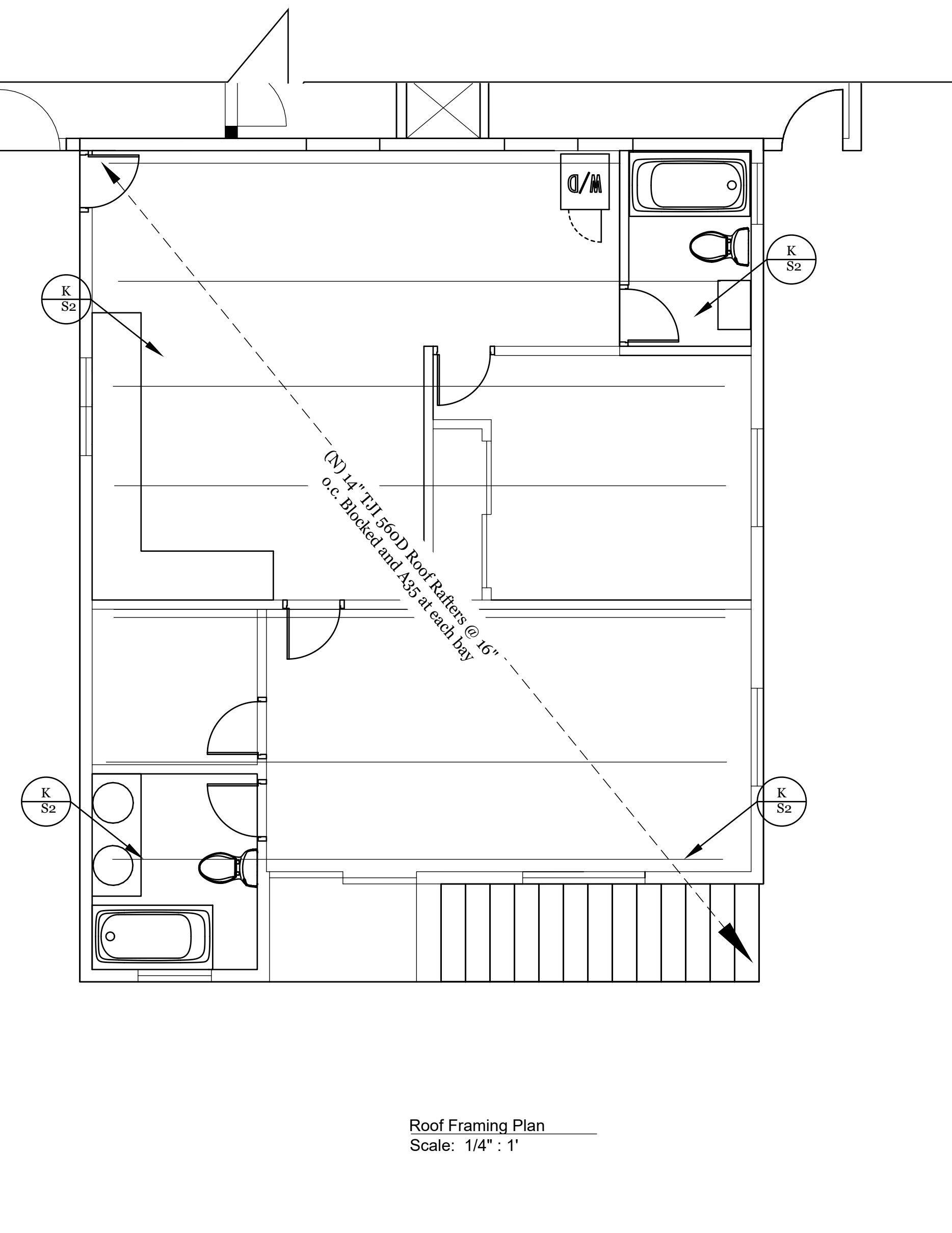
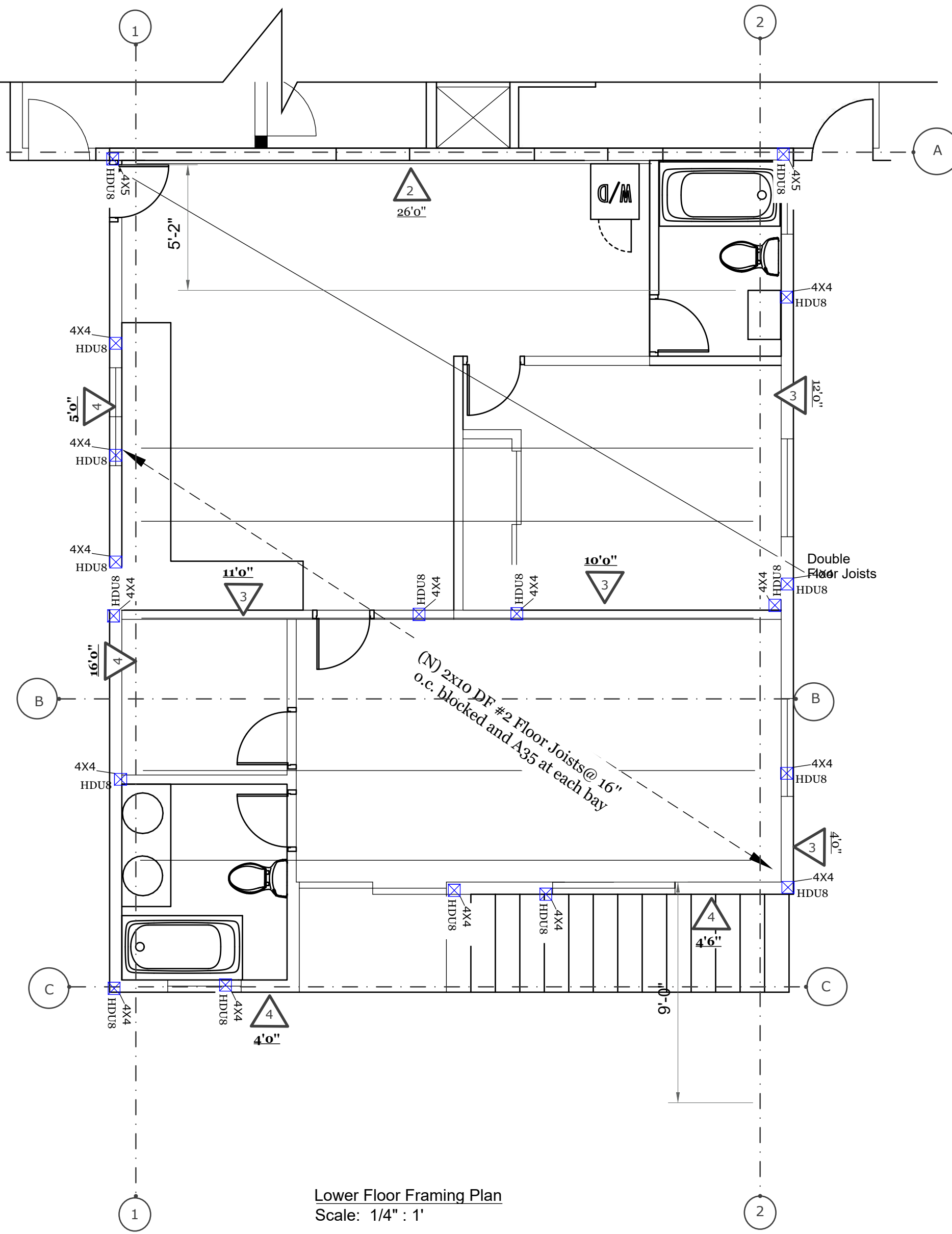
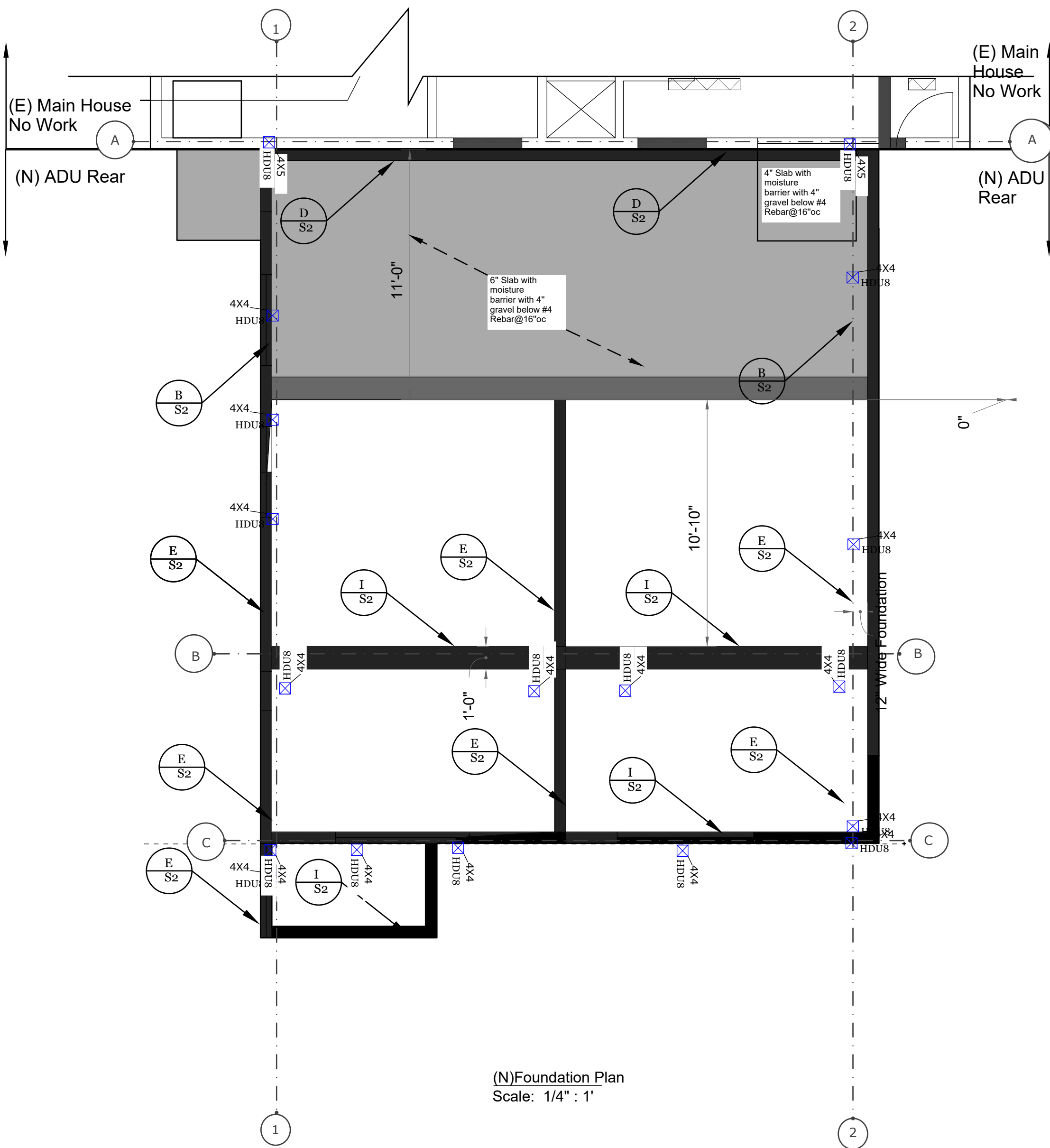
SHEET TITLE:

STRUCTURAL PLANS
 (Foundation & Framing)

STAMP:



SHEET NUMBER



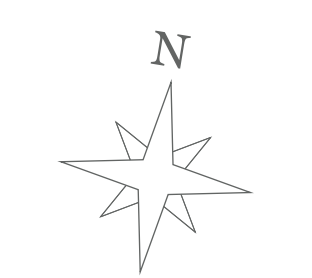
SHEAR WALL TABLE

SHEAR WALL TYPE	FRAMING	OSB/CDX-STRUCTURAL ¹	NAILING	SILL PLATE	SILL PLATE CONNECTION	REMARKS
6	3X	15/32"	10D 6" E.N. 12" F.N.	3X PT	5/8" HDG J-BOLTS @ 48" (with Hot Dipped 3" x 3" x 1/4" Bearing Plate)	One Side
4	3X	15/32"	10D 4" E.N. 12" F.N.	3X PT	5/8" HDG J-BOLTS @ 32" (with Hot Dipped 3" x 3" x 1/4" Bearing Plate)	One Side
3	3X	15/32"	10D 3" E.N. 12" F.N.	3X PT	5/8" HDG J-BOLTS @ 32" (with Hot Dipped 3" x 3" x 1/4" Bearing Plate)	One Side
2	3X	15/32"	10D 2" E.N. 12" F.N.	3X PT	5/8" HDG J-BOLTS @ 16" (with Hot Dipped 3" x 3" x 1/4" Bearing Plate)	One Side

HOLDDOWN SCHEDULE

HOLDDOWN	HD STU/MEMBER	ANCHOR DIAMETER	HOLDDOWN ANCHOR	MIN. ANCHOR EMBED INTO FOUNDATION
H DU4	3X	5/8"	SB5/8x24	18"
H DU5	3X	5/8"	-	-
H DU14	8X	1"	PAB8	24 7/8"
H DU11	6 X	1"	PAB8	24 7/8"
H DU19	8X (DF#1 or better)	1 1/4"	-	-
MSTC66B3	4X	-	-	-

Existing Foundation
 New Foundation
 Existing Foundation
 New Foundation
 Shear Walls



SCALE 1/4" = 1'

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DATE _____
 DRAWN BY _____
 CHECK BY _____
 JOB NUMBER _____

REVISION	

PROJECT ADDRESS _____

SUNNY'S RESIDENCE
 BLOCK: 2853 LOT: 017
 54 SUNVIEW DRIVE
 SAN FRANCISCO, CA 94131

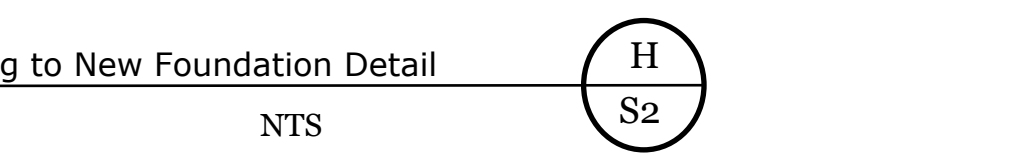
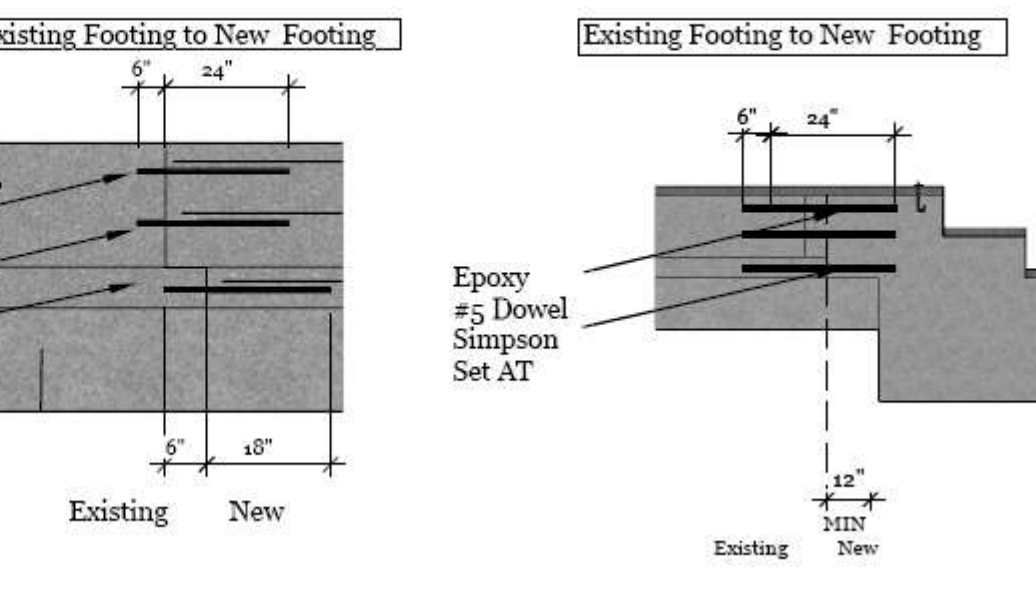
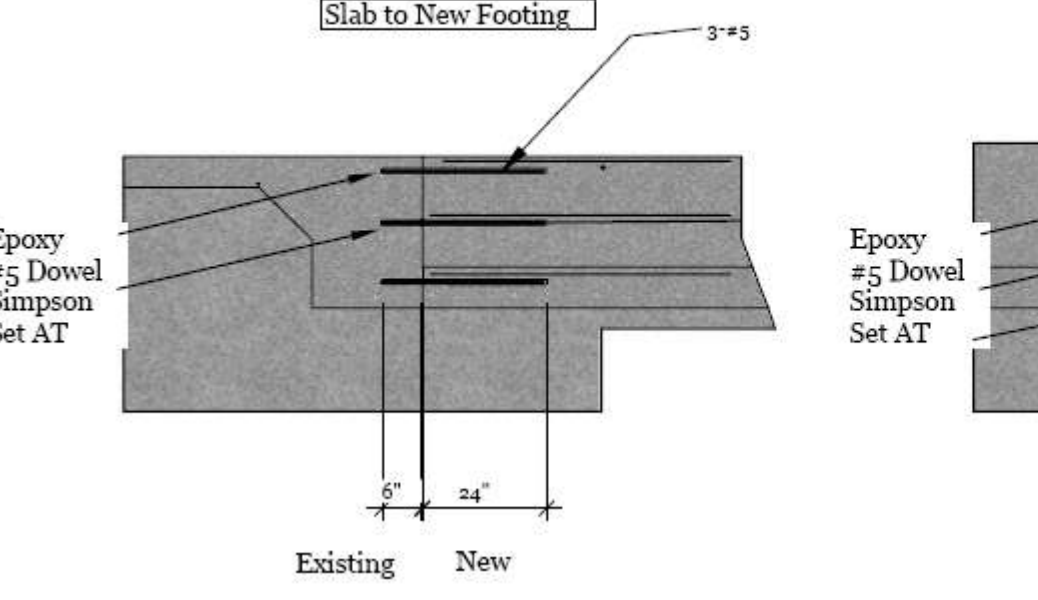
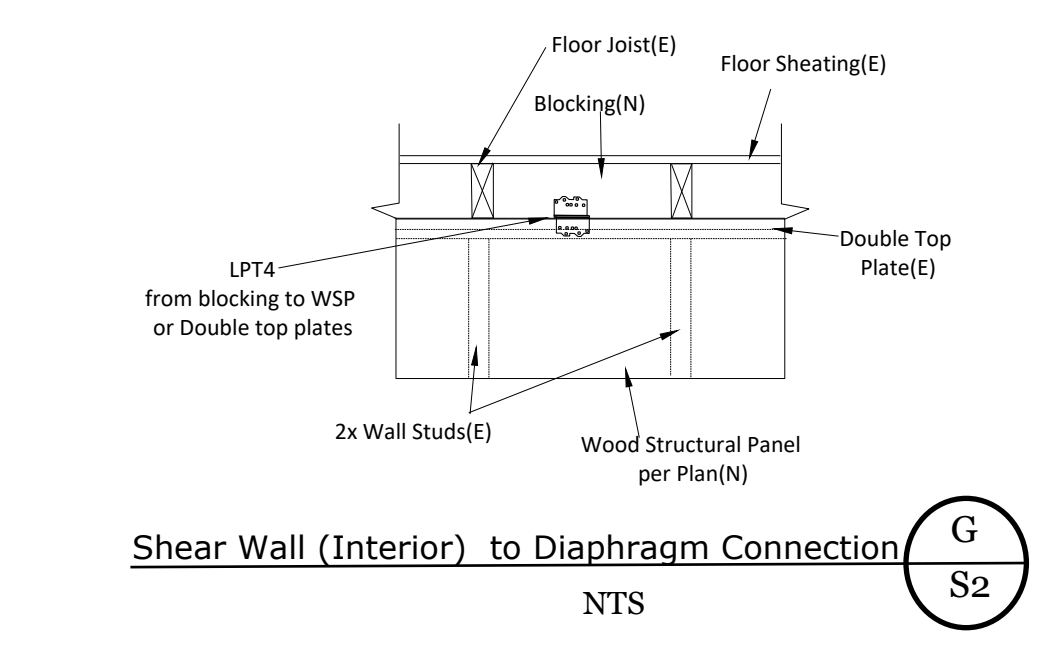
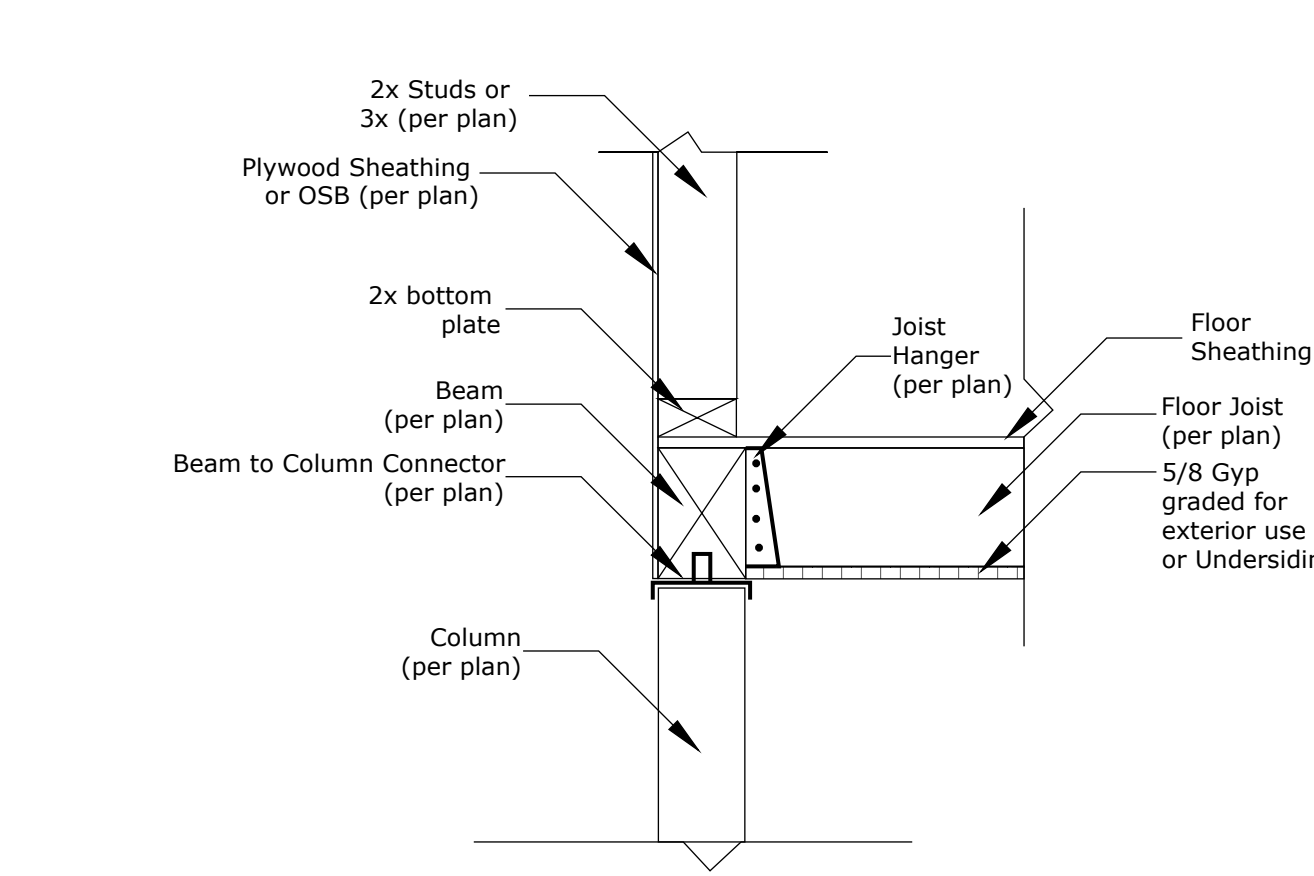
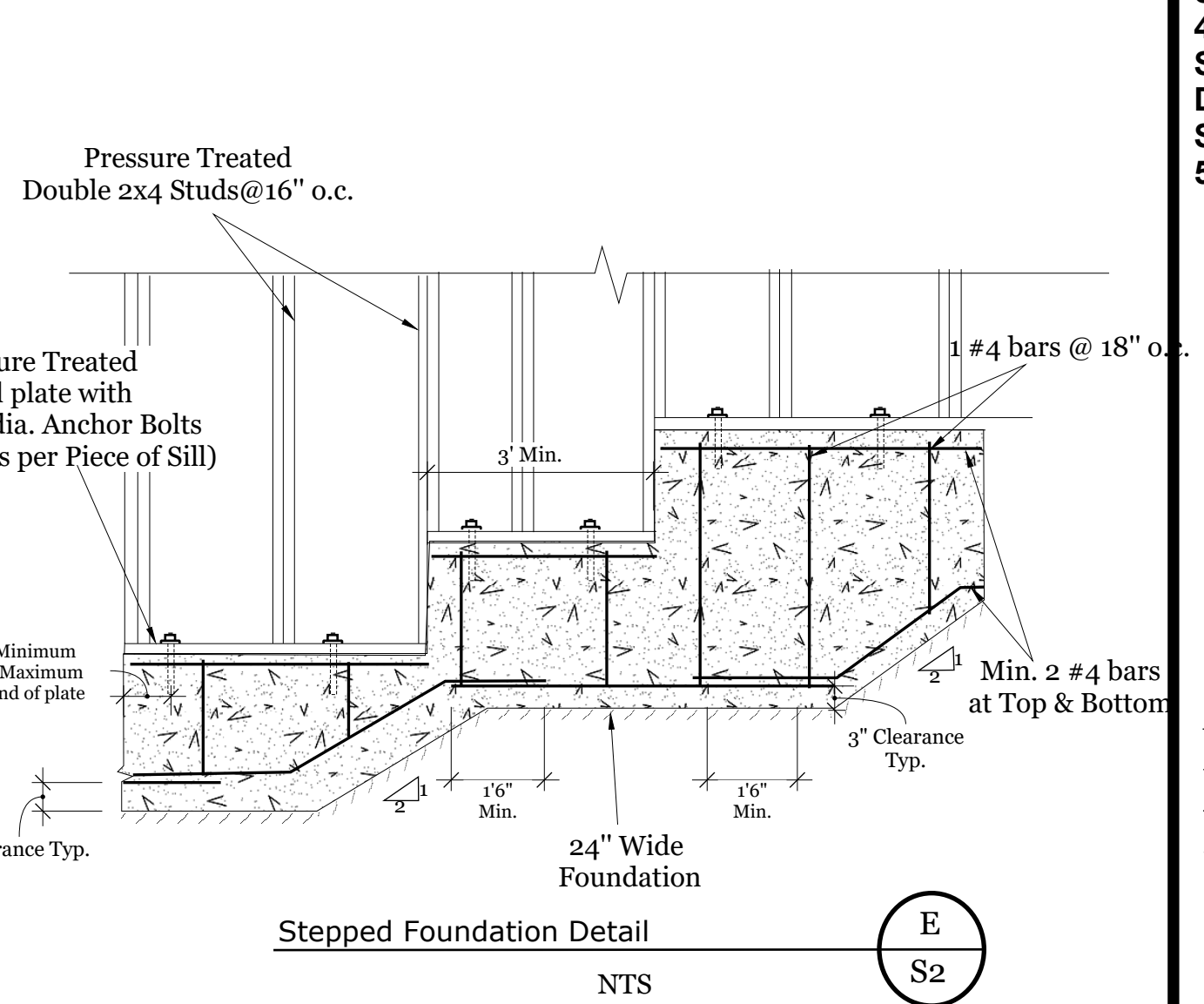
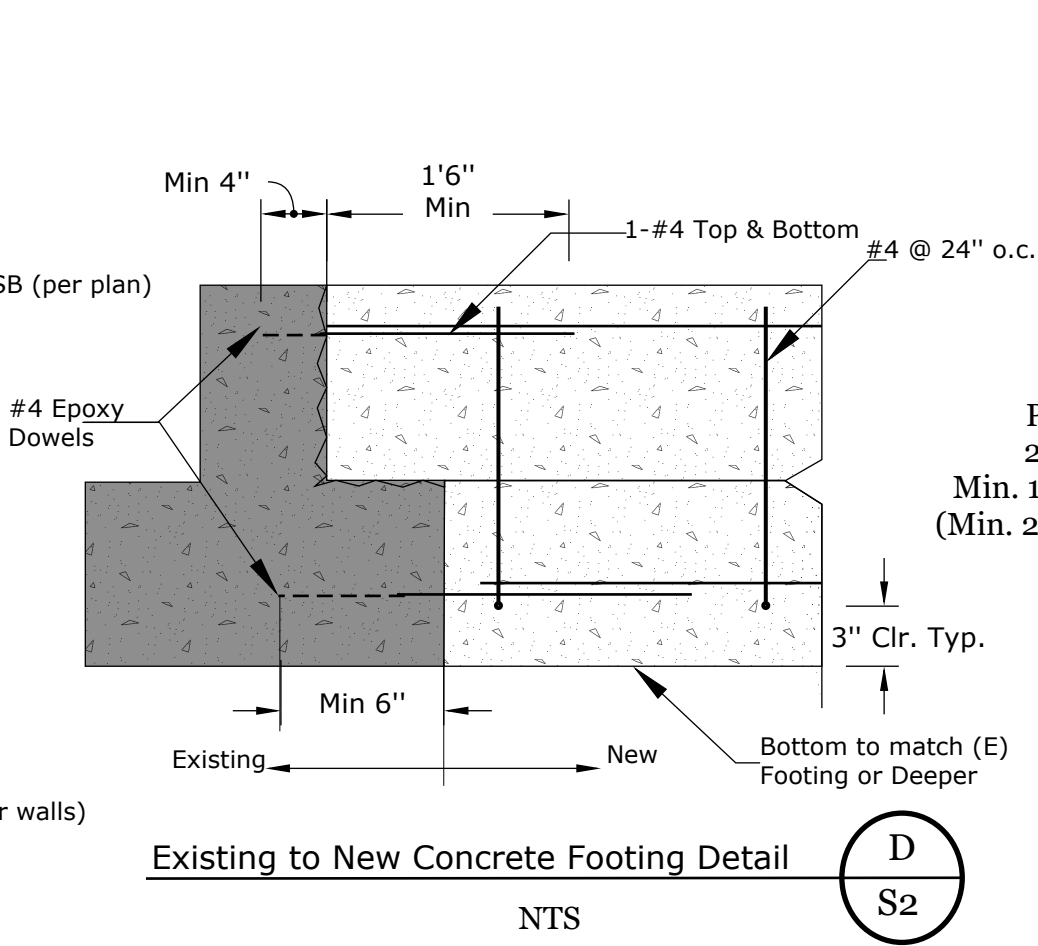
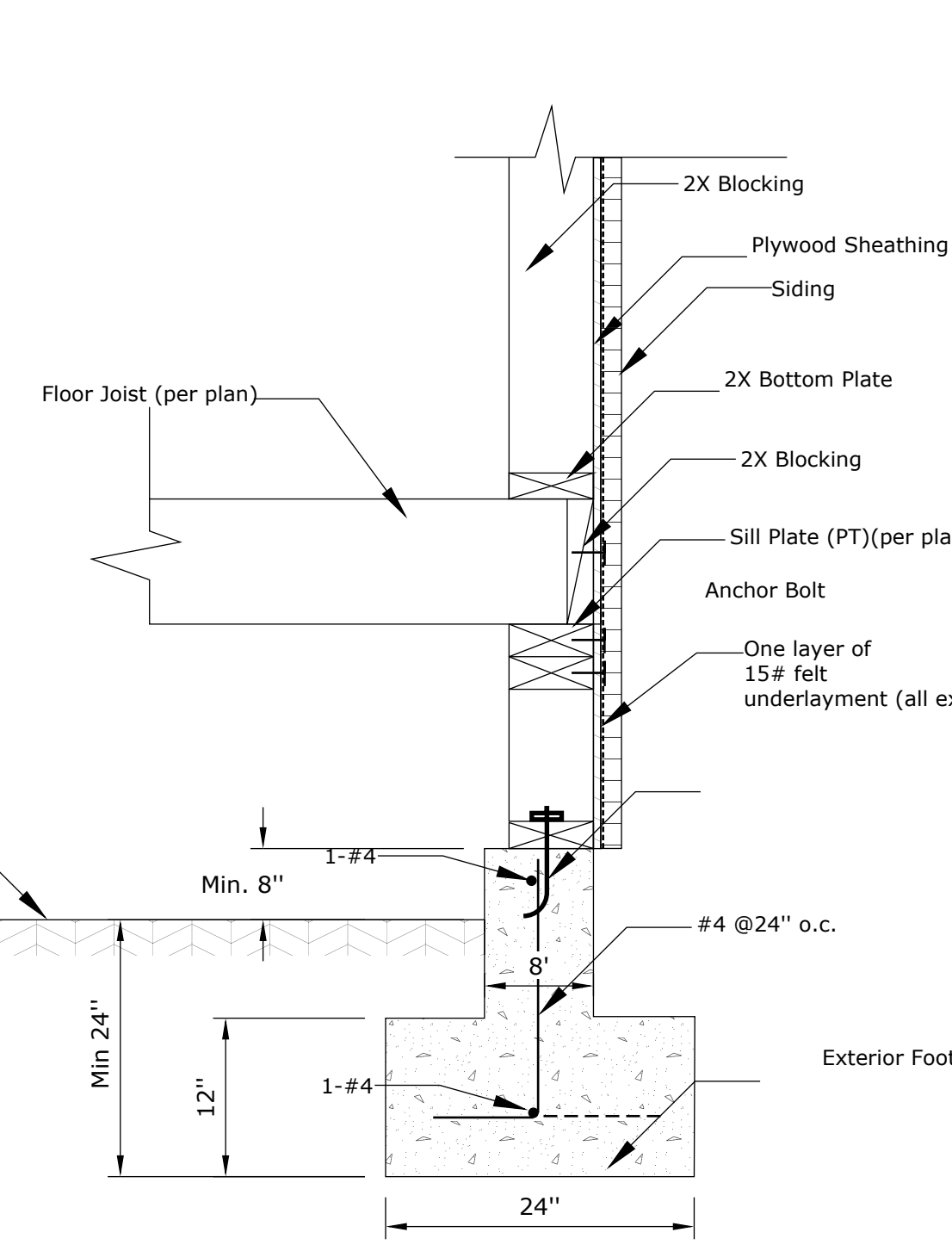
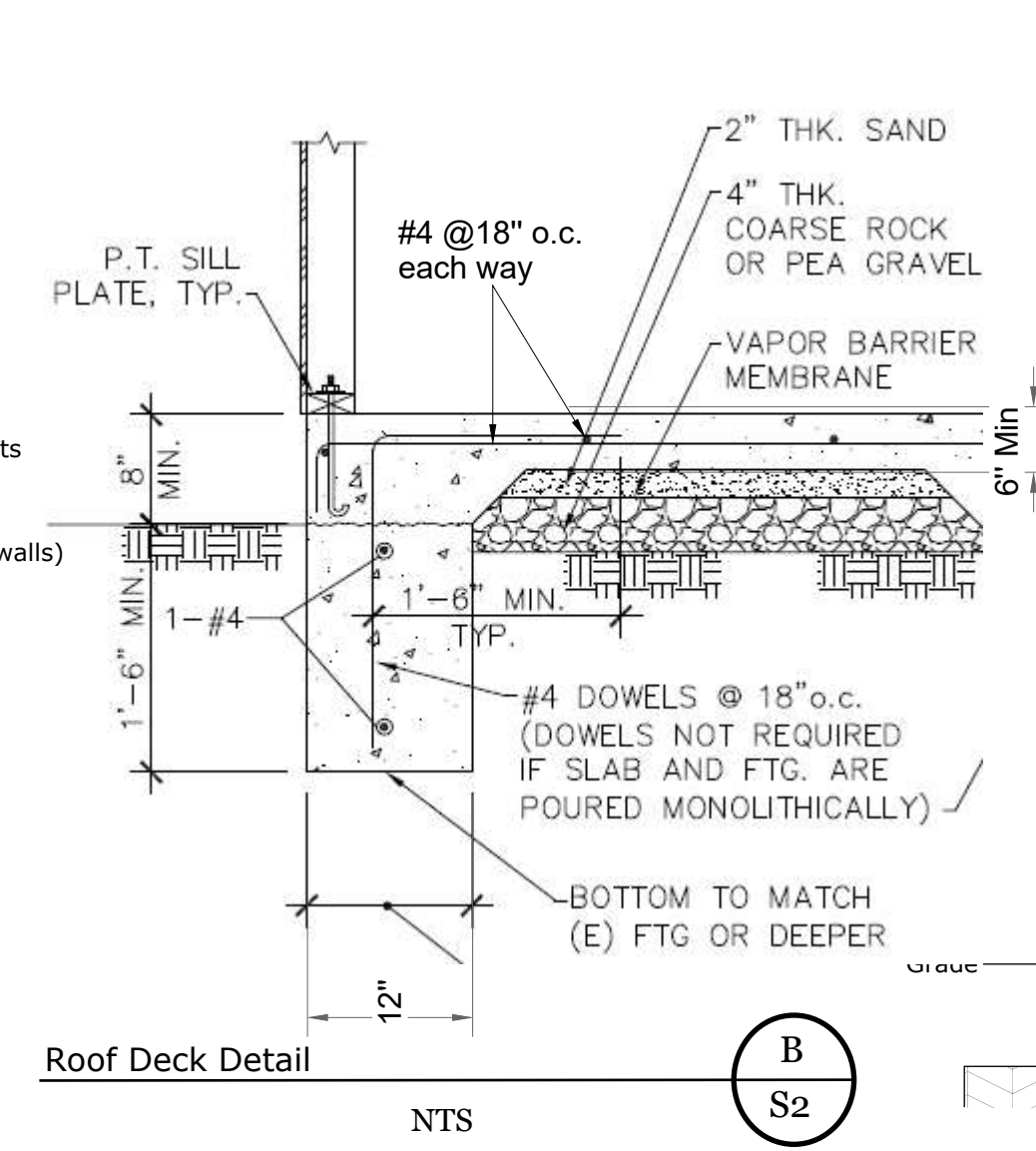
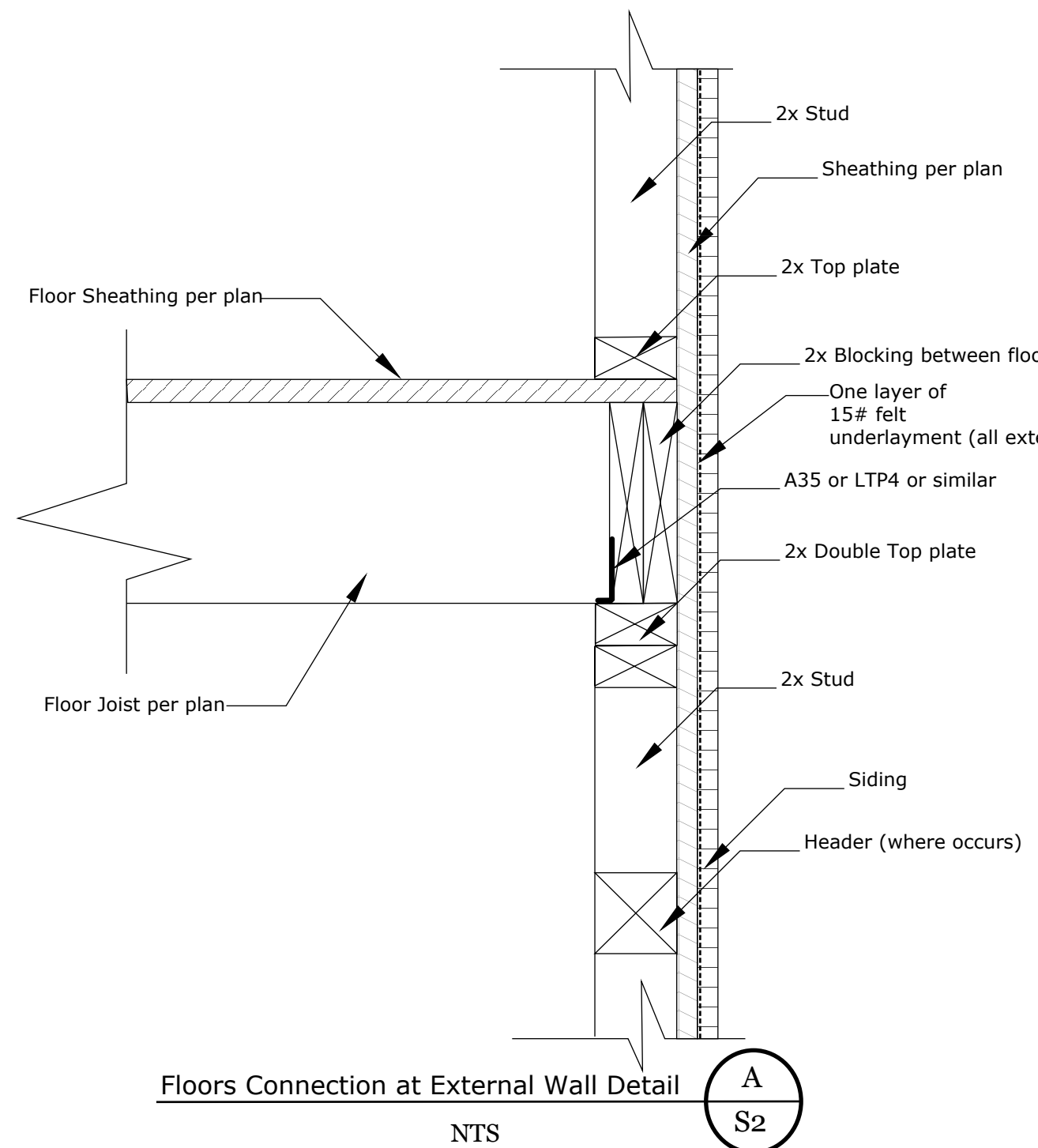
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STRUCTURAL DETAILS

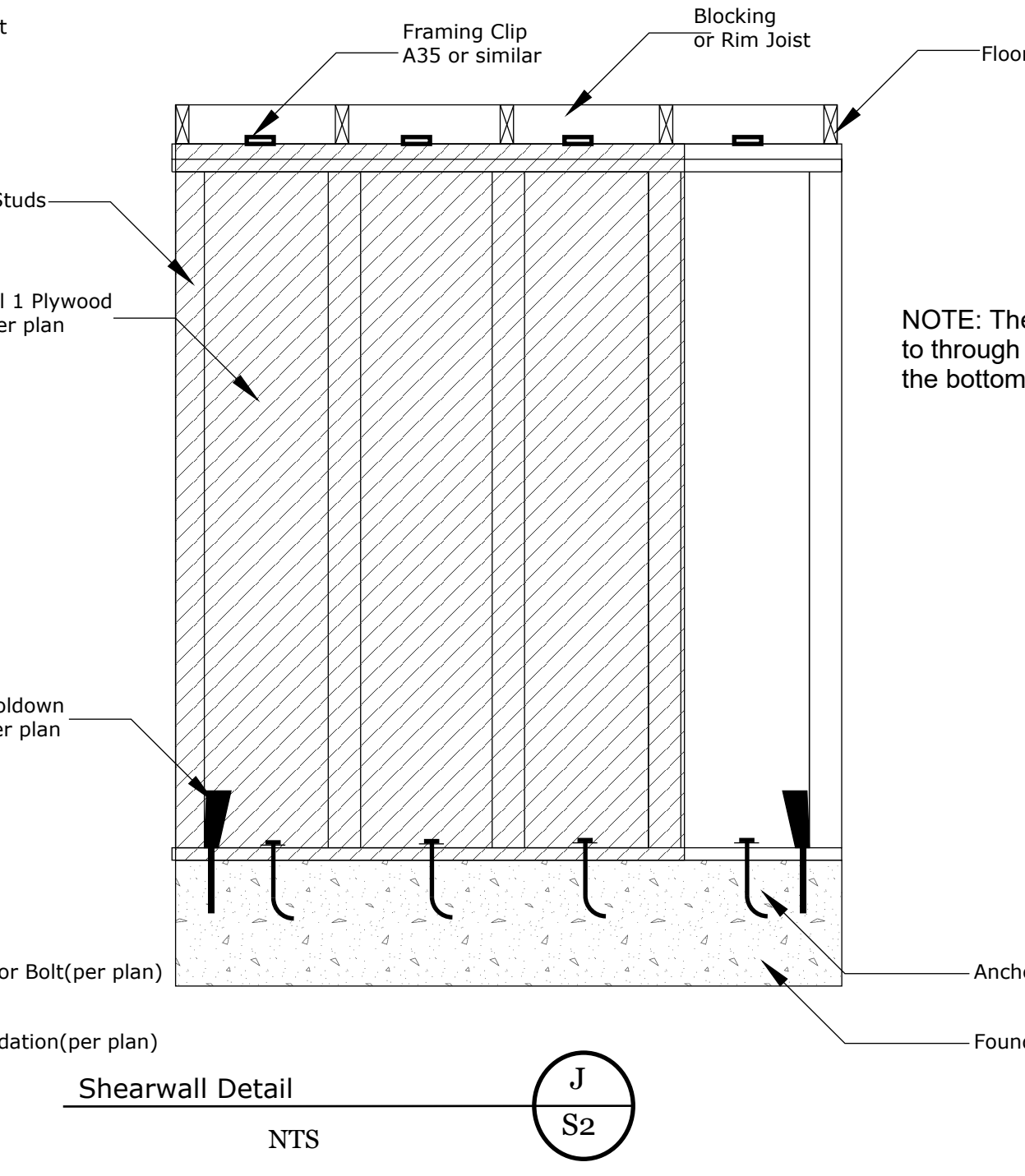
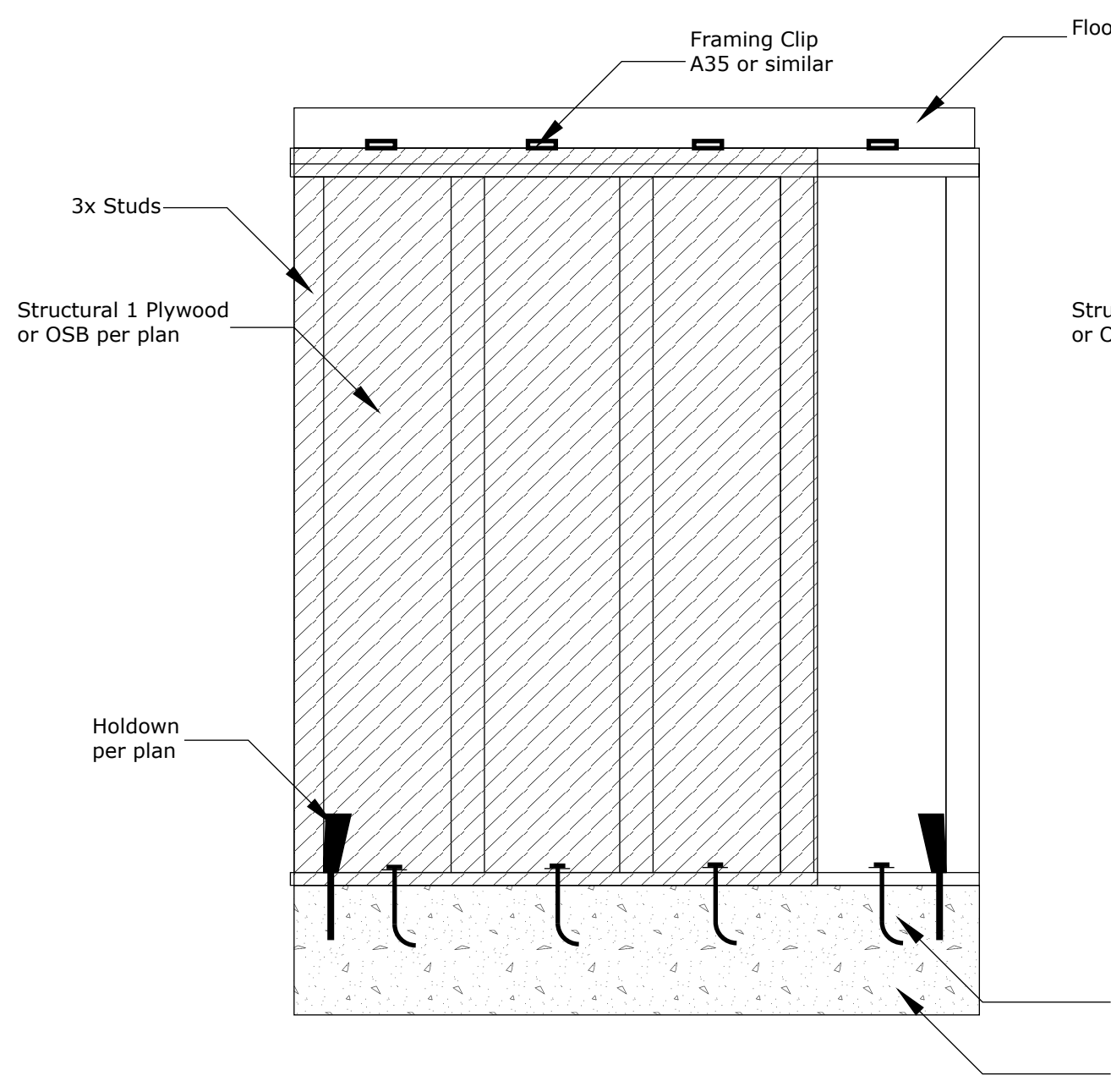
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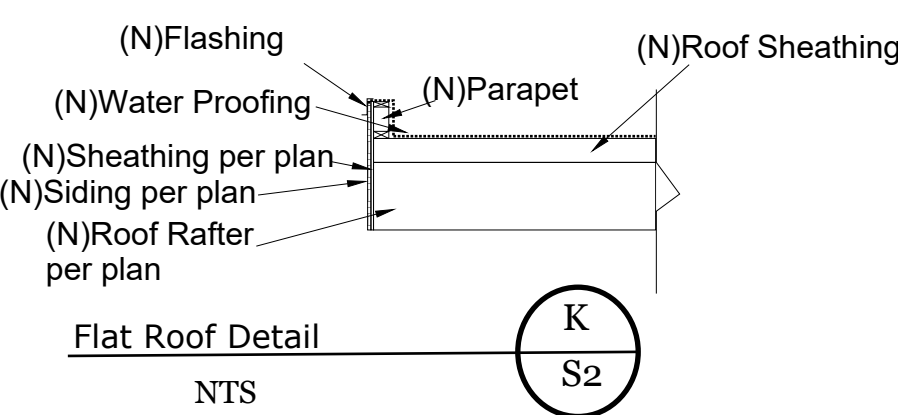
SHEET NUMBER _____



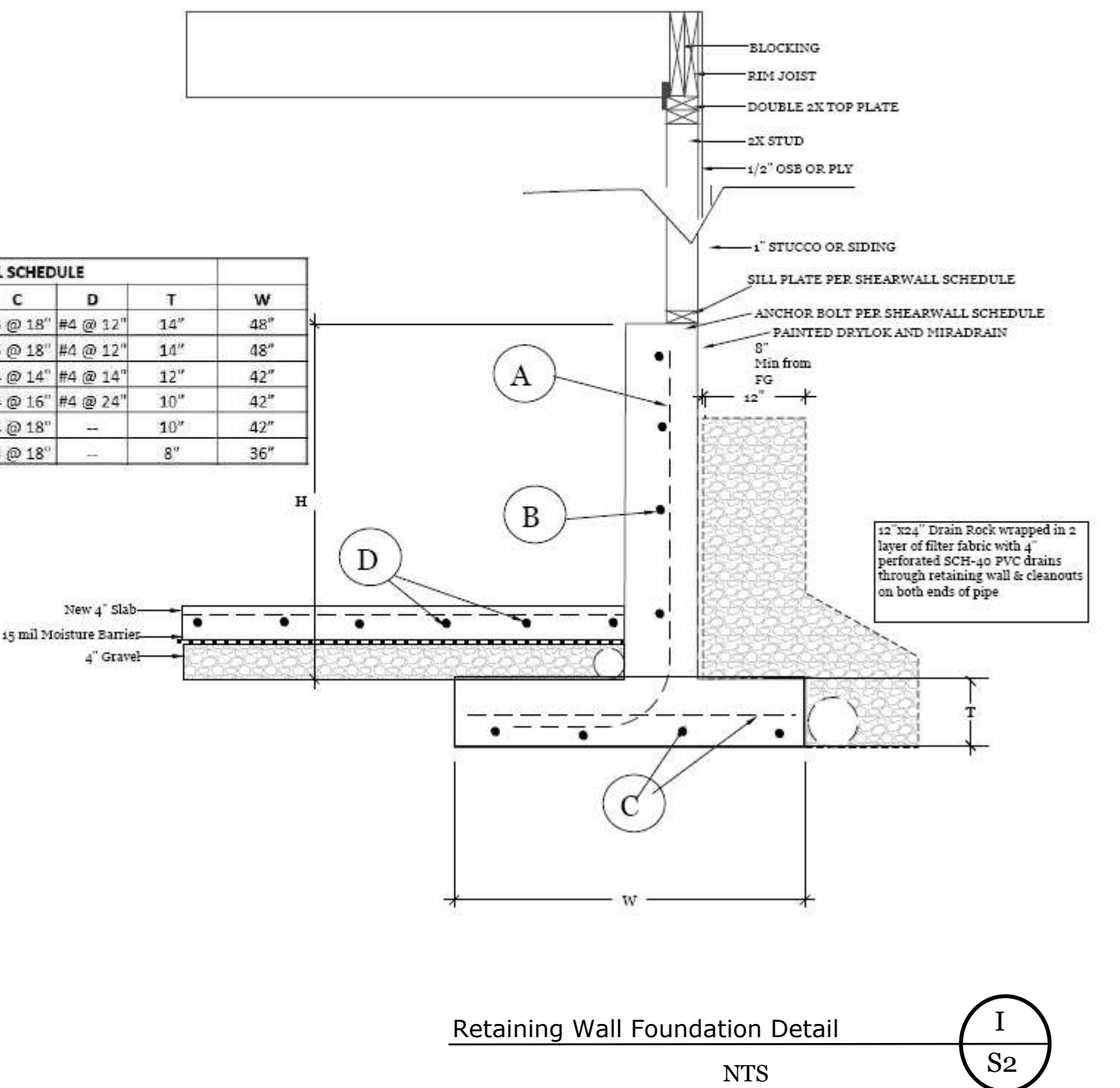
Notes:
 All fasteners, nails, screws and connectors including nuts and washer in contact to pressure treated and fire retardant pressure treated wood, stall in concrete or exposed to weather shall be of hot-dipped zinc-coated galvanized steel, stainless steel, silicon bronze or copper.
 All wood that exposed to the weather and in contact to dirt shall be pressure treated, redwood or wood with natural resistance to decay.



NOTE: The Shearwall Panel should continue to through the cripple wall or pony wall and nailed to the bottom plate per shearwall schedule.



H	A	B	C	D	T	W
8'-0"	#5 @ 18"	#4 @ 18"	#5 @ 18"	#6 @ 12"	12"	48"
6'-0"	#5 @ 18"	#4 @ 18"	#5 @ 18"	#4 @ 12"	14"	48"
5'-0"	#5 @ 18"	#4 @ 18"	#4 @ 14"	#4 @ 14"	12"	42"
4'-0"	#4 @ 18"	#4 @ 18"	#4 @ 15"	#6 @ 24"	10"	42"
3'-0"	#4 @ 21"	#4 @ 18"	#4 @ 18"	-	10"	42"
2'-0"	#4 @ 24"	#4 @ 18"	#4 @ 18"	-	8"	36"



GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

SN Building Design Group
4101 DUBLIN BLVD
SUITE F # 554.
DUBLIN, CA 94568
SN.SNBDG@GMAIL.COM
510-507-0902

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DATE _____
DRAWN BY _____
CHECK BY _____
JOB NUMBER _____

REVISION	

PROJECT ADDRESS _____

SUNNY'S RESIDENCE
BLOCK: 2853 LOT: 017
54 SUNVIEW DRIVE
SAN FRANCISCO, CA 94131

SHEET TITLE: _____

GREEN BUILDING

STAMP: _____



SHEET NUMBER _____

INSTRUCTIONS:				OTHER RESIDENTIAL ALTERATIONS + ADDITIONS
1. Fill out the project information in the Verification box at the right.				adds any amount of conditioned area, volume, or size
2. Submittal must be a minimum of 11" x 17".				
3. This form is for permit applications submitted January 2020 through December 2022.				
	TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT	
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	if applicable
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	•
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	•
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.	•
	MOISTURE CONTENT	CALGreen 4.505.3	Wall + floor <19% moisture content before enclosure.	•
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).	•
MATERIAL EMISSIONS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5, SFGBC 4.103.3.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	•
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1, SF Housing Code sec.12A10	Meet flush/flow requirements for: toilets (1.28 gpf); urinals (0.125 gpf wall, 0.5 gpf floor); showerheads (1.8 gpm); lavatories (1.2 gpm private, 0.5 gpm public/common); kitchen faucets (1.8 gpm); wash fountains (1.8 gpm); metering faucets (0.2 gpc); food waste disposers (1 gpm/8 gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10.	•
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area.	•
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Energy Code.	•
PARKING	BICYCLE PARKING	Planning Code sec.155.1-2	Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2.	if applicable
RESOURCE RECOVERY	RECYCLING BY OCCUPANTS	SF Building Code 106A.3.3, CalGreen 5.410.1, AB-088	Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials. For help estimating adequate space for collection by hauler, see supporting materials including a design guide and calculator at: www.sfenvironment.org/refusecalculator .	•
	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	Environment Code ch. 14 SFGBC 4.103.2.3 CalGreen 4.408.2, 4.408.5	Construction Discards Management - 100% of mixed debris must be taken by a Registered Transporter to a Registered facility and processed for recycling. Demonstrate ≥65% recovery. See www.dbi.org for details.	•
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained in best practices.	•
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	•
GOOD NEIGHBOR	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	•
	TOBACCO SMOKE CONTROL	Health Code art.19F	Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	•
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	if project extends outside envelope
	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	if project extends outside envelope
INDOOR AIR QUALITY	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1	Seal permanent HVAC ducts/equipment stored onsite before installation.	•

VERIFICATION

Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. **FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion**

PROJECT NAME
SUNNY'S ADU ADDITION

BLOCK/LOT
2853/017

ADDRESS
54 SUNVIEW DR

PRIMARY OCCUPANCY
R-1

GROSS BUILDING AREA
(N) 1000 SF

INCREASE IN CONDITIONED FLOOR AREA

I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

LICENSED PROFESSIONAL (sign & date)
May be signed by applicant when <1,000 sq. ft. is added.

AFFIX STAMP BELOW:

SEE SHEET STAMP

Projects that increase total conditioned floor area by ≥1,000 sq.ft.: Green Building Compliance Professional of Record will verify compliance.

GREEN BUILDING COMPLIANCE PROFESSIONAL
(name & contact phone #)

FIRM

I am a LEED Accredited Professional

I am a GreenPoint Rater

I am an ICC Certified CALGreen Inspector

GREEN BUILDING COMPLIANCE PROFESSIONAL
(sign & date)

Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green building requirements are met.

Indoor Water Efficiency		Water Efficiency of Existing Non-Compliant Fixtures	
Each fixture must not exceed CALGreen 4.303 maximum flow rates:		All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDBI.org .	
FIXTURE TYPE	MAXIMUM FIXTURE FLOW RATE		
Showerheads ²	1.8 gpm @ 60 psi	<p>NOTES:</p> <p>1. For dual flush toilets, effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8L)</p> <p>2. The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1)</p> <p>NON-COMPLIANT PLUMBING FIXTURES INCLUDE:</p> <p>1. Any toilet manufactured to use more than 1.6 gallons/flush</p> <p>2. Any urinal manufactured to use more than 1 gallon/flush</p> <p>3. Any showerhead manufactured to have a flow capacity of more than 2.5 gpm</p> <p>4. Any interior faucet that emits more than 2.2 gpm</p> <p><i>Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.</i></p>	
Lavatory Faucets: residential	1.2 gpm @ 60 psi		
Kitchen Faucets	1.8 gpm @ 60 psi default		
Wash Fountains	1.8 gpm / 20 [rim space (inches) @ 60 psi]		
Metering Faucets	.20 gallons per cycle		
Tank-type water closets	1.28 gallons / flush ¹ and EPA WaterSense Certified		
Flushometer valve water closets	1.28 gallons / flush ¹		
Urinals	Wall mount: 0.125 gallons / flush		
	Floor mount: 0.5 gallons / flush		

From: sunny au Yeung sunnyay@yahoo.com
Subject: Appeal for permit
Date: November 10, 2023 at 1:42 PM
To: christopher.oertel@gmail.com



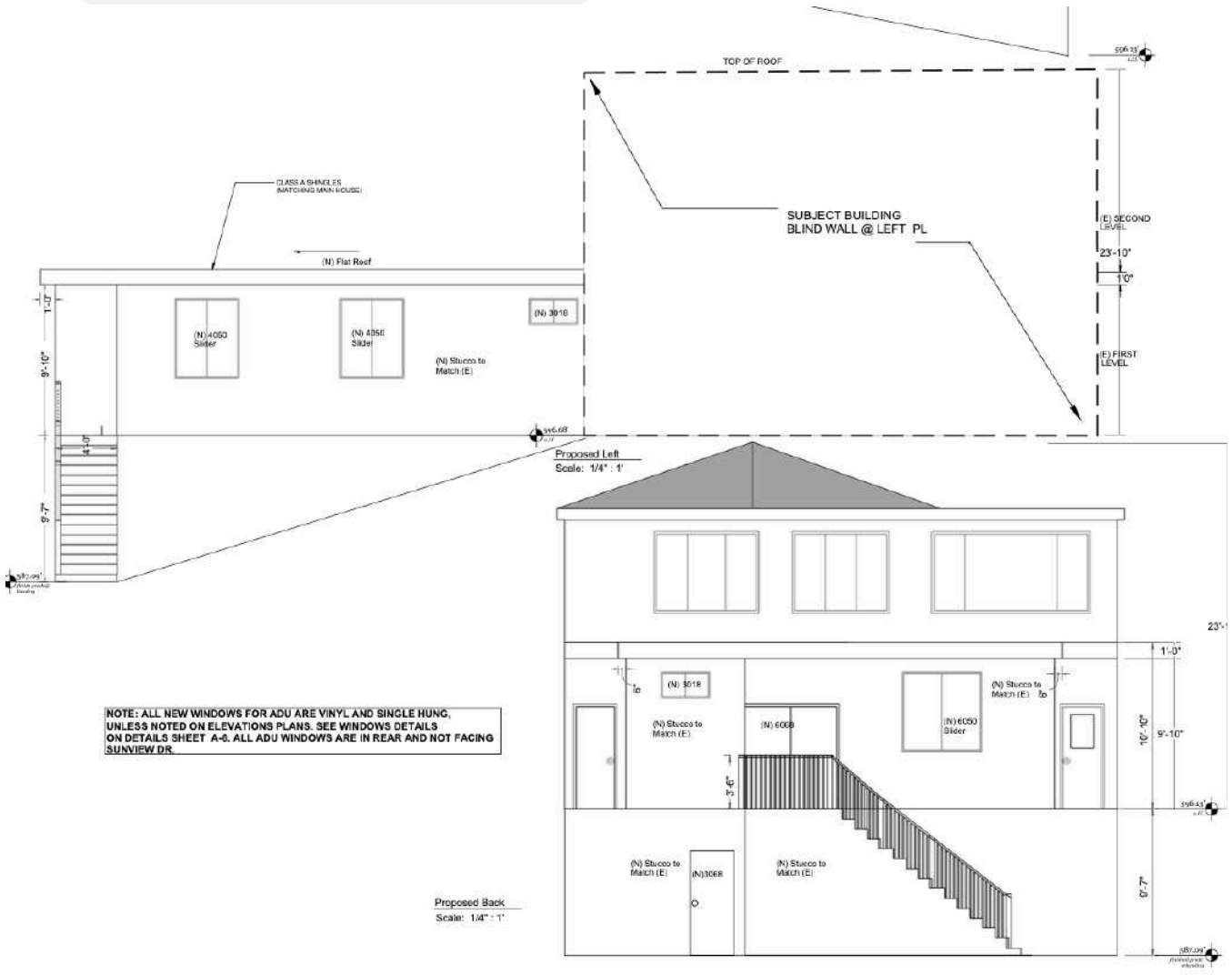
Hi chris

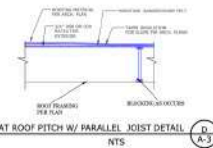
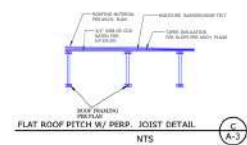
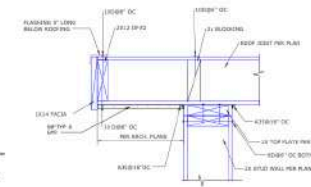
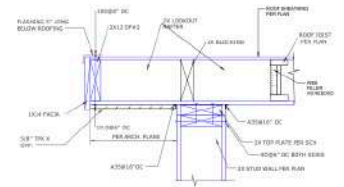
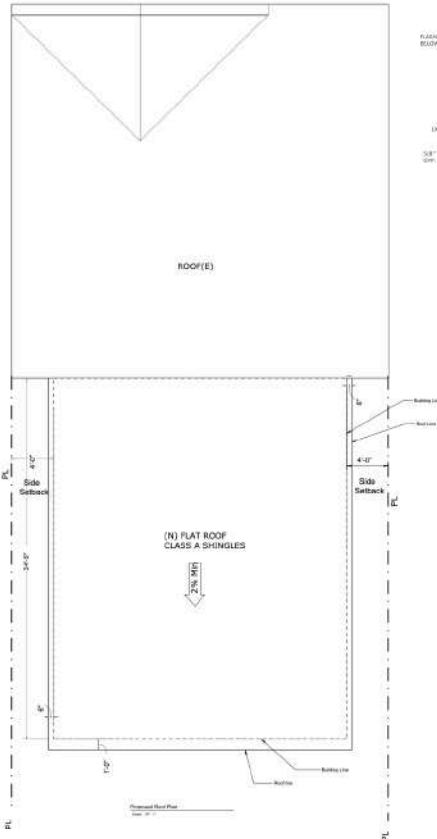
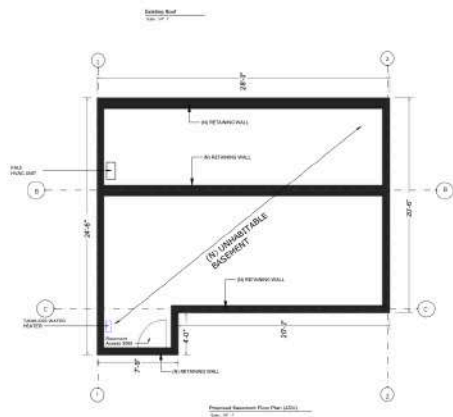
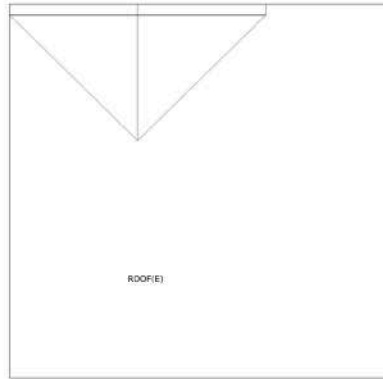
You have file an appeal for my permit .
I want to know what seem to be bothering you on it ?
I have done everything with in the book to request for this permit
I know you dislike with having a deck over my extension ADU .
So we took it out already . Noting that we build will be over our first floor and the roof is just a plat roof (pls take a look at the plan)
Pls advise what is your concern , so we can resolve this matter
And I can able to move forward with my remodeling ?
I am trying to build this and leave the house to my two sons
One level each .
If you want to talk about it , pls call me 5107721330


I have attached a plan for you to review . Pls point out which part it seem to bother you , so I can work with city planning dept and my architect to resolve it .

Thanks

Sunny





From: sunny sunnyay@yahoo.com 
Subject: 54 sunview dr addition plan
Date: April 26, 2017 at 6:27 PM
To: christopher.oertel@gmail.com

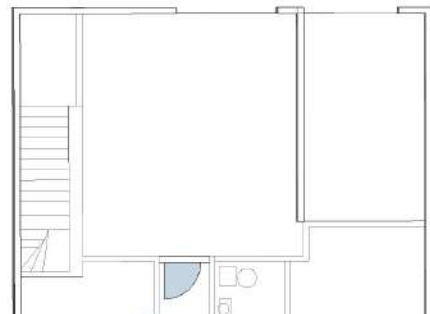
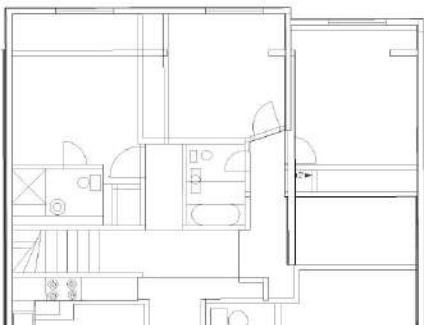
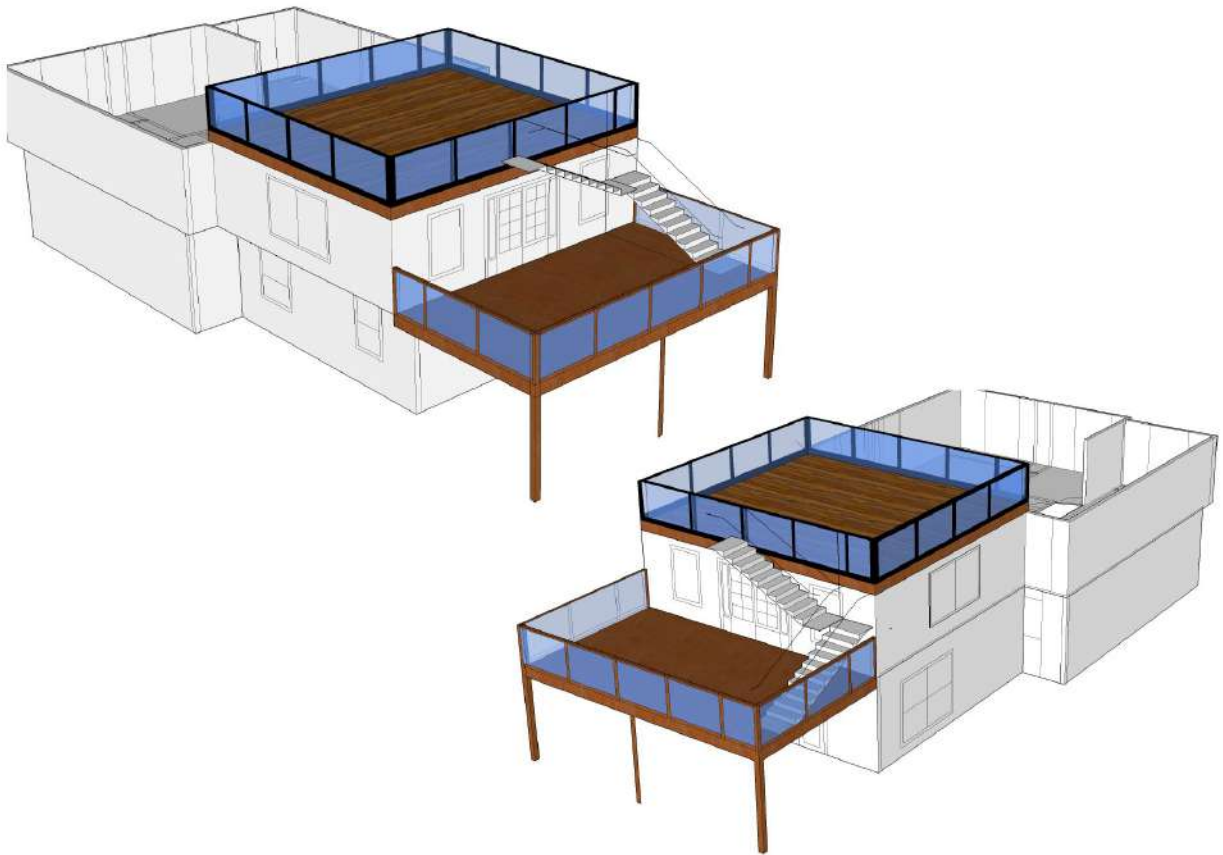


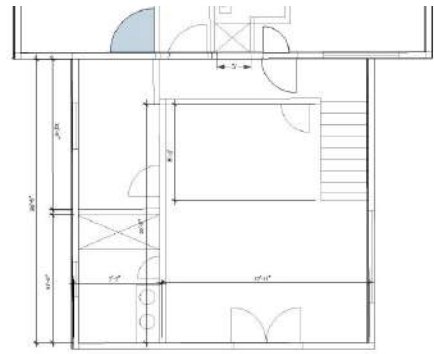
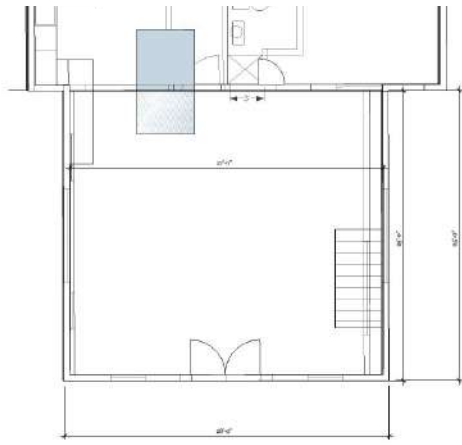
Hi chris

Nice talking to you today .
Here is the design and view of the addition plan
Please let me know if you have any question ?

Thanks so much

Sunny



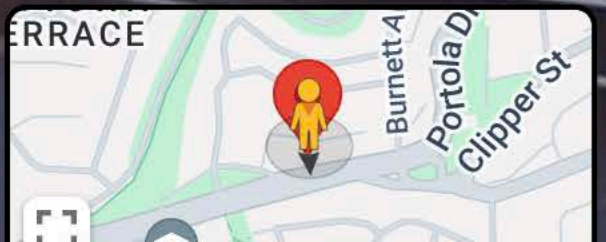


55 Sunview Dr 📍 ⋮
 San Francisco, California
 🌐 Google Street View
 Mar 2022 [See more dates](#)



54

50



PUBLIC COMMENT

Longaway, Alec (BOA)

From: John Forsyth <sotts@earthlink.net>
Sent: Tuesday, January 2, 2024 1:49 PM
To: BoardofAppeals (PAB)
Subject: Appeal No. 23-056 54 Sunview Drive RE: Alteration Permit No. 2020/0827/2793

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To the San Francisco Board of Permit Appeals,

This communication serves as my opposition to any and all alteration permits considered to the above mentioned property.

My name is John D. Forsyth. I am a member of the California State Bar (Bar No. 178341). I am a current resident of Sunview Drive and I was born on this street in 1959. I have represented the residents of Sunview in the past in opposition to a permit appeal of 40 Sunview Drive and regarding the short term rental use of several properties on this block. I represent only my family as residents of 73 Sunview Drive for the last 20 years. My mother's home at 41 Sunview was purchased in 1954 and she remained there until her passing in 2022. That property was sold in June 2023 and I believe the new owner is busy with unpermitted renovations as we speak.

I am very aware of the history of use at 54 Sunview Drive. During the 60's and 70's the residence was used as a rental for families. In the 80's that changed to a rental unit housing upwards of 4 to 5 separate tenants. An illegal room existed in the garage (and may still today) where the tenant used a hot plate to cook. The current owner took over in the early 2000's I believe and lived there until moving to San Mateo County. I am uncertain if the property is occupied at this time.

Sunview has seen many non-resident landlords turn single family rentals into multiple tenant housing at the expense of street parking and a the general peace and well being of a quiet neighborhood. Much of this has occurred with the unpermitted construction of in-law units and make shift rooms in the garages. But what is being proposed here is the construction of a *de facto* apartment building. An expansion to maximize tenant space to maximize profit at the expense of the neighborhood. This is what occurred in the 90's with 40 Sunview where the owner proposed the construction of an entire separate structure with at least 3 rooms that were designated for "storage". Thankfully, that appeal was denied for obvious reasons. However, 40 Sunview has multiple tenants and the garage is used for storage. Approximately 3 to 5 vehicles are parked on the street from that property as a result.

What is being proposed here sets an unprecedented standard that would alter the common scheme of the current architecture on the street as well as give other non-resident landlords the opportunity to convert their properties similarly. If the owner of 54 Sunview wishes to reap profit from multiple tenants (long term or short term) he can purchase an apartment building in a neighborhood that is zoned for such. There is a charm and peaceful sanctity here on Sunview that has persevered for over 70 years. That should not become subordinate to a non resident landlord's greed and avarice.

You may contact me with any questions or concerns via the information below.

John D. Forsyth

THE LAW OFFICE OF JOHN D. FORSYTH

2431 Fillmore Street
San Francisco, California 94115
415-401-0729 office
415-401-7609 facsimile

https://url.avanan.click/v2/___www.forsyth4defense.com___YXAzOnNmZHQyOmE6bzoZNWUwODExMWRhNTA2Njc1N2EwOWY5MWU2MTg5MGE1Yzo2OjM3YjU6MjYzZWU3ZmUzZWVhOGYxNjY0MzVkYTc2Yzk1MTJiN2JjNmNiNjQzMGVjOTYzM2Q1NjcyNmRhZTE5NGViOGQ2Mjp0OIQ

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From: [Thomas Cunnane](#)
To: [BoardofAppeals \(PAB\)](#)
Subject: 54 Sunview Drive, San Francisco
Date: Thursday, January 4, 2024 3:50:43 PM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Board of Appeals members,

My name is Thomas Cunnane.

I am a native San Franciscan and have resided at 46 Sunview Drive for over 25 years.

Sunview Drive is a small residential cul-de-sac.

It seems like an oasis in the middle of a bustling urban environment.

I am OPPOSED to the granting of a permit for an attached Additional Dwelling Unit at 54 Sunview Drive.

I believe it would negatively impact all of the neighbors on this small block.

Even though I have lived here for many years, I have never met the owner of 54 Sunview.

Other neighbors have said that he is a resident of Hillsborough in San Mateo County.

I fully support additional housing in San Francisco, however, this is not the location to increase density in this small residential block. Any additional units, would place stress on the existing environment.

As an example, several years ago on this block, a neighbor was changing a propane tank for his outdoor barbecue grill. Unfortunately, it exploded, injuring him and setting his and the neighbors fence on fire. The hook and ladder fire truck from Station 12 had a very difficult time entering and exiting the small cul-de-sac.

This is just one reason to oppose any additional dwellings on our cul-de-sac.

Thank you for your time.

Respectfully,

Thomas J. Cunnane

46 Sunview Drive

San Francisco, Ca. 94131