

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
DANIEL DESTEFANO,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **23-060**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on November 21, 2023, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the issuance on November 7, 2023, to Edward Wong, of Alteration Permit No. 2023/1020/9145 (new 7x14 foot deck at rear with 3 foot staircase; revision to Permit Application No. 2023/0314/3656) at 525 Hearst Avenue.

APPLICATION NO. 2023/1020/9145

FOR HEARING ON January 31, 2024

Address of Appellant(s):

Address of Other Parties:

Daniel DeStefano, Appellant(s) 519 Hearst Avenue San Francisco, CA 94112	Edward Wong, Dana Wong, Permit Holder(s) 1071 Portola Drive San Francisco, CA 94127
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Date Filed: November 21, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-060

I / We, **Daniel DeStefano**, hereby appeal the following departmental action: **ISSUANCE** of **Alteration Permit No. 2023/1020/9145** by the **Department of Building Inspection** which was issued or became effective on: **November 7, 2023**, to: **Edward Wong**, for the property located at: **525 Hearst Ave.**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **January 11, 2024**, (no later than three Thursdays prior to the hearing date). The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org and chanarten@gmail.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **January 25, 2024**, (no later than one Thursday prior to hearing date). The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org and daniel_destefano@sbcglobal.net.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, January 31, 2024, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place.**

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

Not provided.

Appellant filed the appeal in person at the Board Office.

Permit Details Report

Report Date: 11/21/2023 11:21:18 AM

Application Number: 202310209145
 Form Number: 8
 Address(es): 3122 / 047 / 0 525 HEARST AV
 Description: (N) 7X14 DECK AT REAR W/ 3 FT STAIRCASE. REV TO PA #202303143656
 Cost: \$25,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
10/20/2023	TRIAGE	
10/20/2023	FILING	
10/20/2023	FILED	
11/7/2023	APPROVED	
11/7/2023	ISSUED	

Contact Details:

Contractor Details:

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description:

Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
BID-INSP		10/20/23	10/20/23			10/20/23	GONZALEZ KENNETH	Approved	
INTAKE		10/20/23	10/20/23			10/20/23	CHEUNG DEREK	Administrative	
CP-ZOC		10/26/23	10/26/23			10/26/23	SITU JIA HONG	Approved	10/26/2023: Approved from rear deck at second floor. Not more than 10 ft from existing grade. Rear stairs to deck from first floor. All work within buildable area. No other work. jiahong.situ@sfgov.org
BLDG		11/2/23	11/2/23			11/2/23	HOM CALVIN	Approved	approved otc
CPB		11/7/23	11/7/23			11/7/23	VICTORIO CHRISTOPHER	Administrative	

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

[Contact SFGov](#) [Accessibility](#) [Policies](#)
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BRIEF SUBMITTED BY THE APPELLANT(S)

Daniel De Stefano
519 Hearst Ave.
San Francisco, CA 94112

January 9, 2024

Attn: San Francisco Board of Appeals

**Subject: Appeal of Building Permit #202310209145 Issued on November 7, 2023, to at Dana Wong at
525 Hearst Ave, San Francisco, CA, 94112**

Dear Members of the Appeal Board,

The appeal concerns the issuance of the Department of Building Inspection Permit #202310209145 issued to Ms. Dana Wong on November 7, 2023 at 525 Hearst Ave. I, Daniel De Stefano, along with my wife, Mary Sullivan are the owners of 519 Hearst Ave. located immediately to the east and adjacent to the Permit Holder's Property for which the Permit was issued. I reside at 519 Hearst Ave. with my family.

We are appealing the build of new structure/deck by the Permit Holder for the following reasons:

The Permit Holder built a concrete flooring and installed plumbing surrounded by a concrete wall that extends approximately 17 feet from the back of 525 Hearst Ave., this was not noted in the approved Property Owner's renovation plans nor was a permit pulled for this work. **Please see Exhibit A.** I spoke with Mr. Situ Hong at the Planning Department and was informed that this type of construction work merits a permit. I've tried numerous times to clarify this situation with the Department of Building Inspection, but never given a definitive answer. I spoke with Inspector Matthews from the Department of

Building Inspection after his inspection of the property regarding my concerns. He was unable to answer the need for permit question and he referred to the area as “maybe it’s landscaping and permits might be needed for plumbing.” This was not indicated in his inspection notes. You can also see deck brackets are now sitting on the concrete and were not installed in the same manner as noted in the original plans. **Please see Exhibit B.**

With respect to the deck that will reside on this concrete flooring, my understanding is that San Francisco Planning recommends at least a 3 feet setback and encourages a 5 feet setback when a deck proposal starts encroaching on a neighboring property’s existing enjoyment of light and privacy. The deck and stair extension will definitely negatively alter our existing enjoyment of our garden and privacy given our bedroom windows face the backyard. We did receive a text message from the applicants on May 18, 2023 stating, “...we are not doing any rear addition. We just lower a little portion of the rear yard to have the same level as the basement.” Clearly the scope of work goes beyond that.

I respectfully request that the Board of Appeals grant the appeal and rescind the permit.

Respectfully,

Daniel De Stefano

EXHIBIT A – PHOTO OF 525 HEARST AVE. BACKYARD PRIOR TO CONCRETE POUR



July 6, 2023



July 6, 2023

EXHIBIT B – PHOTO OF 525 HEARST AVE. BACKYARD POST CONCRETE POUR WITH BRACKETS



January 9, 2024

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

Edward & Dana Wong
525 Hearst Avenue
San Francisco, CA 94112

January 23, 2024

Delivery Via Email

boardofappeals@sfgov.org

julie.rosenberg@sfgov.org

corey.teague@sfgov.org

tina.tam@sfgov.org

matthew.greene@sfgov.org

daniel_destefano@sbcglobal.net

Re: Appeal No.: 23-060
Appeal Title: DeStefano vs. DBI, PDA
Subject Property: 525 Hearst Avenue
Determination Permit Type: Alteration Permit
Determination Permit No.: 2023/1020/9145
Hearing Date: January 31, 2024

Dear Members of the Appeal Board,

We, Edward and Dana Wong (the “**Respondents**”) are the owners of 525 Hearst Avenue (the “**Property**”), write to oppose Appeal No. 23-060 (the “**Appeal**”) of Permit No. 2023/1020/9145 (the “**Alteration Permit**”), which was properly issued by the Department of Building Inspection (“**DBI**”) on November 7, 2023. The Alteration Permit authorizes a new 7 x 14 feet deck with a 3 feet staircase at the rear of the property. The Board should deny this appeal, as the Alteration Permit was properly issued. The Project is appropriately designed and It’s consistent with the Guidelines for Deck per Planning Code and Residential Design Guidelines and respects the adjunction properties of light and privacy.

A. APPROVED PROJECT DESCRIPTION

The project proposes a new 7 x 14 feet deck with a 3 feet staircase to the rear of the property to allow for rear yard access. The property is a detached single-family house which is situated on 30 feet wide by 112 feet and 6 inches deep lot. **Please see Exhibit**

1. Planning Code requires the minimum rear yard depth shall be equal to 30% of the total depth of the lot on which the building is situated. Building a 7 x 14 feet deck with a 3 feet staircase in our rear yard will leave more than 30% of the rear yard depth. Please refer to Page 2 of the city-approved deck plan, 2023/1020/9145. A screenshot of part of the Page 2 is also attached. **Please see Exhibit 2.** Planning recommends at least a 3 feet setback and encourages a 5 feet setback when a deck proposal starts encroaching on a neighboring property's existing enjoyment of light and privacy. The proposed desk is approximately 7 feet and 9 inches setback from Mr. DeStefano ("**Appellant**")'s property line. It's also approximately 8 feet setback from the other side neighbor's property line. **Please see Exhibit 3.** Therefore, the impact of the light and privacy of the adjoining neighbors by the proposed deck are very minimal. Furthermore, Mr. DeStefano ("**Appellant**")'s property is longer than our property in the rear for approximately 7 feet and the proposed deck is 7 feet deep. So, we won't be able to see Mr. DeStefano ("**Appellant**")'s bedroom windows which are facing to the backyard from the proposed deck. **Please see Exhibit 4.**

B. CONCRETE FLOOR WITH PLUMGING AND CONCRETE RETAINING WALL

The concrete floor and installed plumbing surrounded by a concrete wall are done with permits accordingly or permits are not required. We need to lower a little portion of the rear yard to level the floors to avoid the water getting inside the basement from the rear yard. By lowering the rear yard, we need to build a concrete retaining wall. The concrete retaining wall is approximately 42 inches from the bottom of the footing, which doesn't require a building permit. It's 8.5 inches wide and the height from the inner is 23 inches. The concrete retaining wall is approximately 5 feet 2 inches setback from Mr. DeStefano ("**Appellant**")'s property line and it's approximately 5 feet and 4 inches setback from the other side neighbor's property line. The photos of the retaining concrete wall are attached. **Please see Exhibit 5.** The plumbing installed on the concrete flooring are the

floor drains. On 8/6/2023, our plumber obtained a plumbing permit to add floor and rain drains. **Please see Exhibit 6.** As Mr. DeStefano (“**Appellant**”) mentioned in his brief that he has filed the complaint numerous times with DBI but never given a definitive answer. However, the inspectors had inspected the works and had given the clear answers to Mr. DeStefano (“**Appellant**”). Please see the inspector's comments below:

1. On 7/28/2023, inspector confirmed that “Site visit (9:40am): work being performed as per bpa 202303143656. Full Foundation replacement and interior remodel of 2nd and ground floor.....Real poured footing/retaining wall is not over 4’, (approximately 42 inches from the bottom of footing; does not require a building permit, does not appear to be for extension of building.” **Please see Exhibit 7.**
2. On 10/10/2023, inspector again confirmed that “work being performed under bpa 202303143656.” **Please see Exhibit 8.**
3. On 12/04/2023, inspector again and again confirmed that “Site Visit, work being performed under PA202303143656. There is no extension to the existing property, PA 202310209145 for a new deck has been suspended. Deck has not been built and not under construction at time of visit.” **Please see Exhibit 9.**

C. Conclusion

As we, Edward and Dana Wong (**Respondents**) pledged to be complying neighbors and to be part of the community, we wish to solve this issue without attending the appeal. We provided more details of our proposed deck plan to Mr. DeStefano (“**Appellant**”) by phone calls and text messages. Furthermore, Mr. DeStefano (“**Appellant**”) and we went over and discussed the proposed deck plan at the job site on 12/8/2023. After the meeting, Mr. DeStefano (“**Appellant**”) didn’t have any more questions for us, and we were hoping that Mr. DeStefano (“**Appellant**”) would voluntarily withdraw the appeal. We have sent several text messages to follow up with Mr. DeStefano (“**Appellant**”) after the meeting as

well. However, Mr. DeStefano (“**Appellant**”) has no intention to withdraw the appeal which is unreasonable. As illustrated herein, We, Edward and Dana Wong (**Respondents**) propose a contemplated design project. It is consistent with the Guidelines for Deck from Planning Code and Residential Design Guidelines and respects the adjunction properties of light and privacy. Accordingly, we respectfully request that the Board deny the appeal.

Very truly yours,

Edward Wong

Edward Wong

Dana Wong

Dana Wong



LOTS MERGED
 LOT 13 MERGED INTO LOTS 15 AND 16 "1923"
 " 17 " " " 16 " 18 "
 " 21 " " " 20 " 22 "
 " 49 AND 50 OMITTED 1923



3122
 SUNNYSIDE BLK 12

FOERSTER

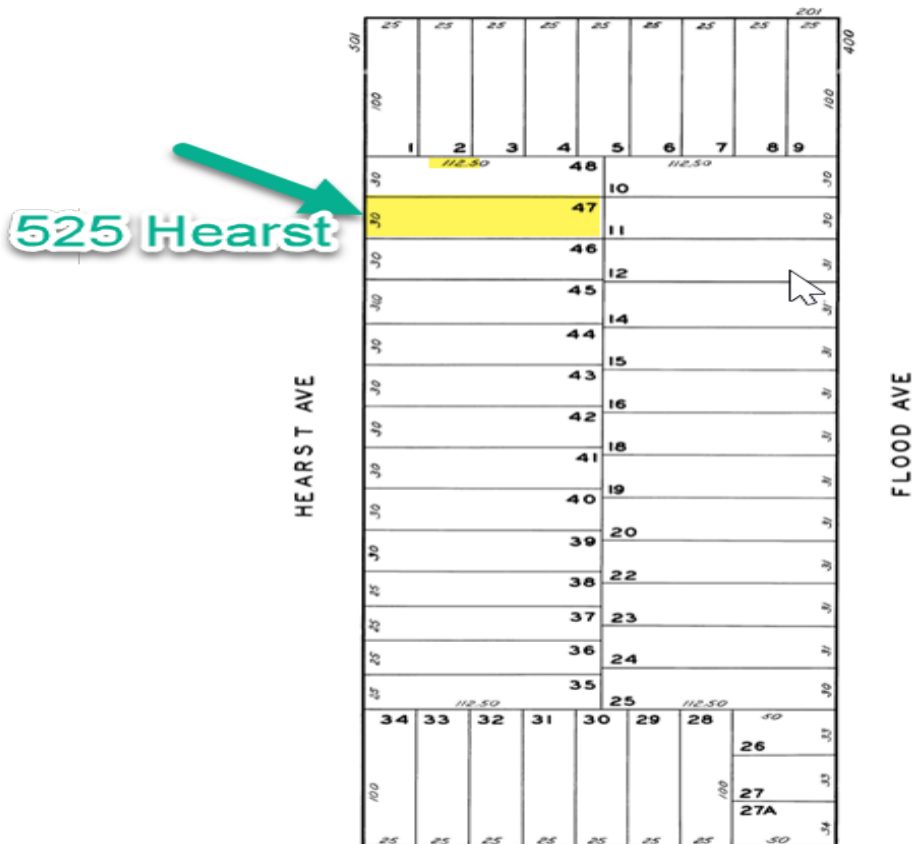


Exhibit 1

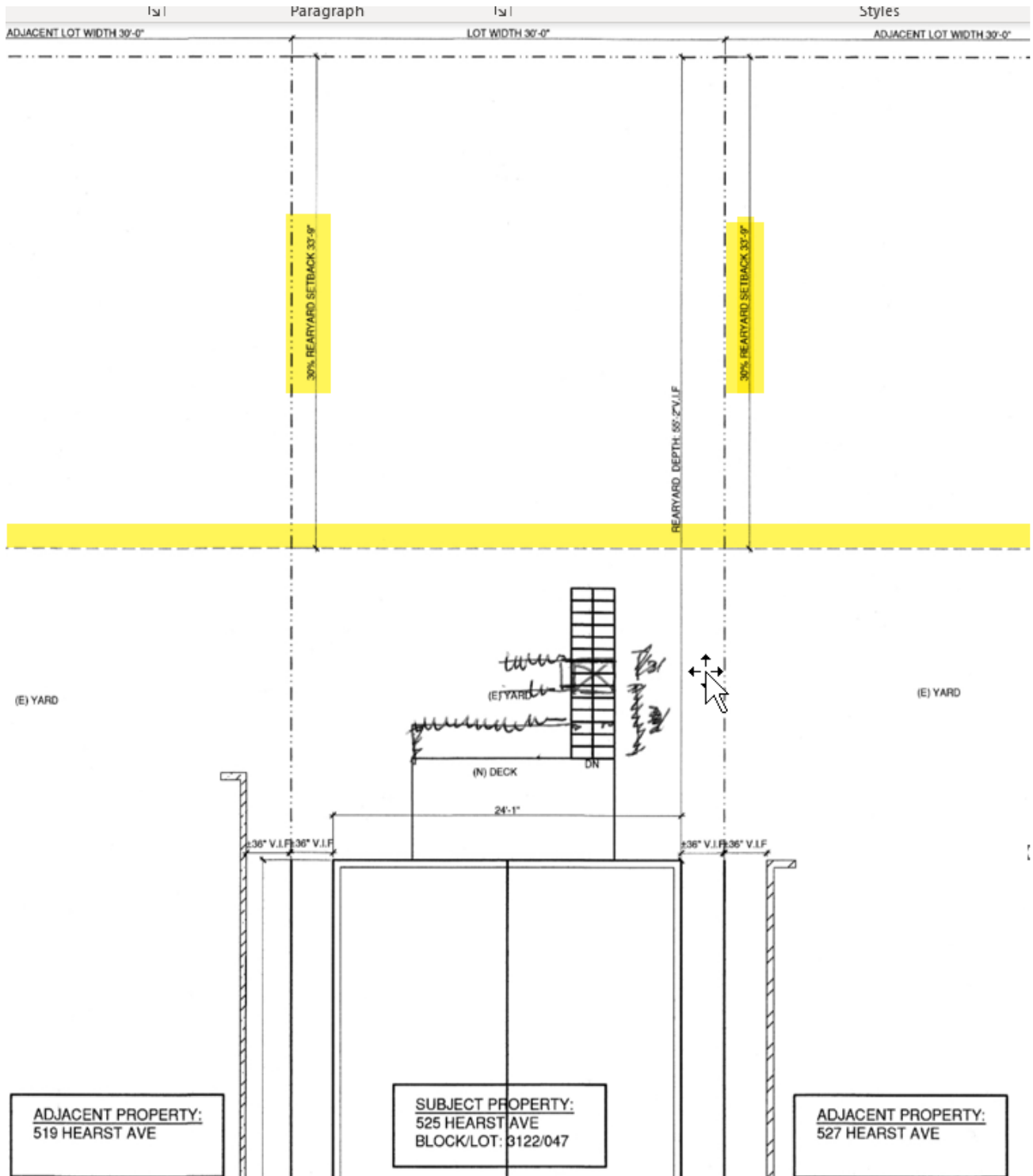


Exhibit 2



Outline of proposed deck by white baseboard



The proposed deck is approximately 7 feet and 9 inches setback from Mr. DeStefano ("Appellant")'s property line.



The proposed deck is approximately 8 feet setback from the other side neighbor's property line.

Exhibit 3

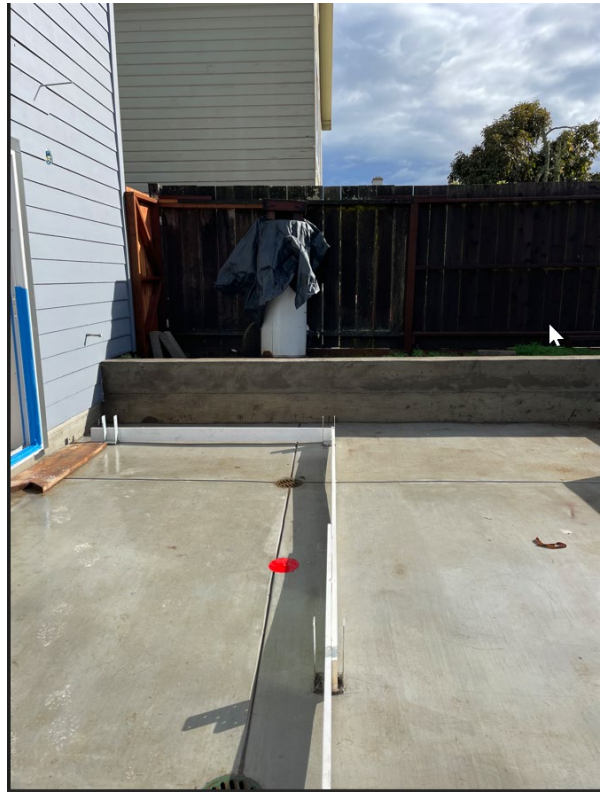


Exhibit 4



The concrete retaining wall is approximately 8.5 inches wide and the height from the inner is approximately 23 inches.



The concrete retaining wall is approximately 5 feet 2 inches setback from Mr. DeStefano ("Appellant")'s property line



The concrete retaining wall is approximately 5 feet 4 inches setback from the other side neighbor's property line.

Exhibit 5



Photo of the Floor Drains



Welcome to our Permit / Complaint Tracking System!

Plumbing Permit Details Report

Report Date: 1/19/2024 5:40:42 PM

Application Number: PW20230806089

Address(es): 3122 / 047 : 525 HEARST AV

Description: WORK CATEGORY: 2PB; REMODELING FOUR BATHROOMS, FOUR SHOWER PANS, ONE KITCHEN, ONE BAR SINK, ONE SET WASHER AND DRYER, FLOOR AND RAIN DRAINS. WATER MAIN GAS LINES SEWER AND HOUSE TRAP REPLACEMENT.

Stage:

Action Date	Stage	Comments
8/6/2023	ISSUED	

Contractor Details:

License Number: 619642
 Name: KEN YONG JIAN CHEN
 Company Name: NATIONAL PLUMBING
 Address: 1472 24TH AV SAN FRANCISCO CA, 94122
 Phone: 4157531618

Appointment Details:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
1/17/2024	PM	WS	Web Scheduled	SHOWER PAN INSTALLATION	1
9/5/2023	PM	WS	Web Scheduled	ROUGH IN PLUMBING	1
8/24/2023	PM	CS	Clerk Scheduled	UNDERGROUND DWV PIPING	1

Inspection Details:

Activity Date	Inspector	Inspection Description	Inspection Status
1/17/2024	Kenneth Young	SHOWER PAN INSTALLATION	INSPECTION CANCELLED
9/5/2023	Mark Berdichevsky	ROUGH IN PLUMBING	ROUGH IN PLUMBING APPROVED
8/24/2023	Daniel Ortega	UNDERGROUND DWV PIPING	PARTIAL ROUGH

For information, or to schedule an inspection, call 558-6570 between 8:30 am and 3:00 pm.

Exhibit 6



Welcome to our Permit / Complaint Tracking System!

COMPLAINT DATA SHEET

Complaint Number: 202311015
Owner/Agent: OWNER DATA SUPPRESSED
Owner's Phone: --
Contact Name: --
Contact Phone: --
Complainant: COMPLAINANT DATA SUPPRESSED
Date Filed:
Location: 525 HEARST AV
Block: 3122
Lot: 047
Site:
Rating:
Occupancy Code:
Received By: SLWONG
Division: BID
Complainant's Phone:
Complaint Source: WEB FORM
Assigned to Division: BID
Description: date last observed: 22-JUL-23; time last observed: 9:00am; identity of person performing the work: Edward and Dana Wong, 415-810-; exact location: Main Bldg; building type: Residence/Dwelling WORK BEYOND SCOPE OF PERMIT; ELECTRICAL WORK BEING PERFORMED W/O PERMIT; STRUCTURAL PROBLEMS; OTHER PLUMBING; ; additional information: Approved and current building permits do not cover the extent of work being done.;

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	ZENG	8367	7	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
07/24/23	OTHER BLDG/HOUSING VIOLATION	BID	Zeng	CASE UPDATE	Case reviewed and assigned to district inspector per CM; slw
07/24/23	CASE OPENED	BID	Zeng	CASE RECEIVED	
07/28/23	OTHER BLDG/HOUSING VIOLATION	BID	Zeng	CASE CLOSED	Site visit (9:40am): work being performed as per bpa 202303143656. Full foundation replacement and interior remodel of 2nd and ground floor. Contractor stated dispute on working hours between contractor and neighbor. I have advised contractor that he must keep work at legal working hours, Monday to Sunday 7am to 8pm. Rear poured footing/retaining wall is not over 4', (approximately 42 inches from bottom of footing; does not require a building permit, does not appear to be for extension of building. Case closed. Vz-7/28/2023.

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information



Welcome to our Permit / Complaint Tracking System!

COMPLAINT DATA SHEET

Complaint Number: 202307867

Owner/Agent: OWNER DATA SUPPRESSED
 Owner's Phone: --
 Contact Name:
 Contact Phone: --
 Complainant: COMPLAINANT DATA SUPPRESSED

Date Filed:
 Location: 525 HEARST AV
 Block: 3122
 Lot: 047
 Site:
 Rating:
 Occupancy Code:
 Received By: Bonnie Kim
 Division: BID

Complainant's Phone:
 Complaint Source: 311 INTERNET REFERRAL
 Assigned to Division: BID

Description: cross is foerester --- construction in the back of property work being done is out of the existing property it looks like an extension to the homeconstruction has been ongoing for almost a month (311 SR 16774030)

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	MATTHEWS	6384	7	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
05/11/23	CASE OPENED	BID	Pena	CASE RECEIVED	
05/11/23	OTHER BLDG/HOUSING VIOLATION	BID	Pena	CASE UPDATE	case assigned to district inspector. bk for CM.
05/16/23	OTHER BLDG/HOUSING VIOLATION	BID	Pena	CASE UPDATE	Site visit spoke with contractor over the phone, direction given to schedule a ok to start work inspection to go over approve plan propose scope of work. J. Peña
05/16/23	OTHER BLDG/HOUSING VIOLATION	BID	Pena	CASE UPDATE	Site visit spoke with contractor over the phone, direction given to schedule a ok to start work inspection to go over approve plan propose scope of work. J. Peña
10/10/23	OTHER BLDG/HOUSING VIOLATION	BID	Zeng	CASE UPDATE	work being performed under bpa 202303143856. Case update. vz-10/10/2023

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information



Welcome to our Permit / Complaint Tracking System!

COMPLAINT DATA SHEET

Complaint Number: 202316498

Owner/Agent: OWNER DATA SUPPRESSED
 Owner's Phone: --
 Contact Name:
 Contact Phone: --

Date Filed:
 Location: 525 HEARST AV
 Block: 3122
 Lot: 047

Complainant: COMPLAINANT DATA SUPPRESSED

Site:
 Rating:
 Occupancy Code:
 Received By: Suzanna Wong

Complainant's Phone:
 Complaint Source: TELEPHONE
 Assigned to Division: BID

Division: BID

Description: Working outside scope of existing permit. They have extended the floor/foundation in the back of the property without permit.

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	MATTHEWS	6384	7	

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
11/29/23	CASE OPENED	BID	Matthews	CASE RECEIVED	
12/01/23	OTHER BLDG/HOUSING VIOLATION	BID	Matthews	CASE UPDATE	Case reviewed and assigned to district inspector per CM; slw
12/04/23	OTHER BLDG/HOUSING VIOLATION	BID	Matthews	CASE ABATED	Site visit, work being performed under PA 202303143656. There is no extension to the existing property, PA 202310209145 for a new deck has been suspended. Deck has not been built and not under construction at time of visit.

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

Inspector Contact Information



London N. Breed, Mayor
Patrick O'Riordan, Interim Director

APPROVED
Dept. of Building Insp.
- San Francisco -
NOV 07 2023

Patrick O'Riordan
PATRICK O'RIORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS 225 Hearst Ave APPLICATION NO. _____ ADDENDUM NO. _____

OWNER NAME Dora Wong OWNER PHONE NO. (____) _____

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.6. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and high-rise projects, and for projects utilizing new processes or materials.

In accordance with Chapter 17 (SFBC), Special Inspection and/or testing is required for the following work:

- | | | |
|---|--|--|
| 1. <input type="checkbox"/> Concrete (Placement & sampling) | 6. <input type="checkbox"/> High-strength bolting | 18. Bolts Installed in existing concrete or masonry: |
| 2. <input type="checkbox"/> Bolts installed in concrete | 7. <input type="checkbox"/> Structural masonry | <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry |
| 3. <input type="checkbox"/> Special moment - Resisting concrete frame | 8. <input type="checkbox"/> Reinforced gypsum concrete | <input type="checkbox"/> Pull/torque tests per SFBC Sec. 507C & 515C |
| 4. <input type="checkbox"/> Reinforcing steel and prestressing tendons | 9. <input type="checkbox"/> Insulating concrete fill | 19. <input type="checkbox"/> Shear walls and floor systems used as shear diaphragms |
| 5. Structural welding: | 10. <input type="checkbox"/> Sprayed-on fireproofing | 20. <input type="checkbox"/> Holdowns |
| A. Periodic visual inspection | 11. <input type="checkbox"/> Piling, drilled piers and caissons | 21. Special cases: |
| <input type="checkbox"/> Single pass fillet welds 5/16" or smaller | 12. <input type="checkbox"/> Shotcrete | <input type="checkbox"/> Shoring |
| <input type="checkbox"/> Steel deck | 13. <input type="checkbox"/> Special grading, excavation and filling (Geo. Engineered) | <input type="checkbox"/> Underpinning; <input type="checkbox"/> Not affecting adjacent property |
| <input type="checkbox"/> Welded studs | 14. <input type="checkbox"/> Smoke-control system | <input type="checkbox"/> Affecting adjacent property: PA _____ |
| <input type="checkbox"/> Cold formed studs and joists | 15. <input type="checkbox"/> Demolition | <input type="checkbox"/> Others _____ |
| <input type="checkbox"/> Stair and railing systems | 16. <input type="checkbox"/> Exterior Facing | 22. <input type="checkbox"/> Crane safety (Apply to the operation of tower cranes on high-rise building) (Section 1705.22) |
| <input type="checkbox"/> Reinforcing steel | 17. Retrofit of unreinforced masonry buildings: | 23. <input type="checkbox"/> Others: "As recommended by professional of record" _____ |
| B. Continuous visual inspection and NDT (Section 1704) | <input type="checkbox"/> Testing of mortar quality and shear tests | |
| <input type="checkbox"/> All other welding (NDT exception: Fillet weld) | <input type="checkbox"/> Inspection of repointing operations | |
| <input type="checkbox"/> Reinforcing steel; and <input type="checkbox"/> NDT required | <input type="checkbox"/> Installation inspection of new shear bolts | |
| <input type="checkbox"/> Moment-resisting frames | <input type="checkbox"/> Pre-installation inspection for embedded | |
| <input type="checkbox"/> Others _____ | <input type="checkbox"/> Pull/torque tests per SFBC Sec. 1607C & 1615C | |
| 24. Structural observation per Sec. 1704.6 (SFBC) for the following: | <input checked="" type="checkbox"/> Foundations | <input type="checkbox"/> Steel framing |
| <input type="checkbox"/> Concrete construction | <input type="checkbox"/> Masonry construction | <input checked="" type="checkbox"/> Wood framing |
| <input type="checkbox"/> Other: _____ | | |
| 25. Certification is required for: <input type="checkbox"/> Glu-lam components | | |
| 26. <input type="checkbox"/> Firestops in high-rise building | | |

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required *in addition to* the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or **628-652-3407**. If there are any field problems regarding special inspection, please call your District Building Inspector or 628-652-3400 Ext 1.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1704.6. **The building permit will not be finalized without compliance with the structural observation requirements.**

Special Inspection Services Contact Information

- Telephone: (628) 652-3407
- Email: dbi.specialinspections@sfgov.org
- In person: 49 South Van Ness Ave – Suite 400

Note: We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services
49 South Van Ness Ave – Suite 400 – San Francisco CA 94103
Office (628) 652-3407 – www.sfdbi.org

Updated 10/05/2020

Updated 10/05/2020

Prepared by: TOMMY LEE Phone: (____) _____
Engineer/Architect of Record

Required information:
FAX: (____) _____ Email _____

Review by: Calvin Hom, DBI Phone: (628) 652-_____
DBI Engineer or Plan Checker **NOV 12 2023**

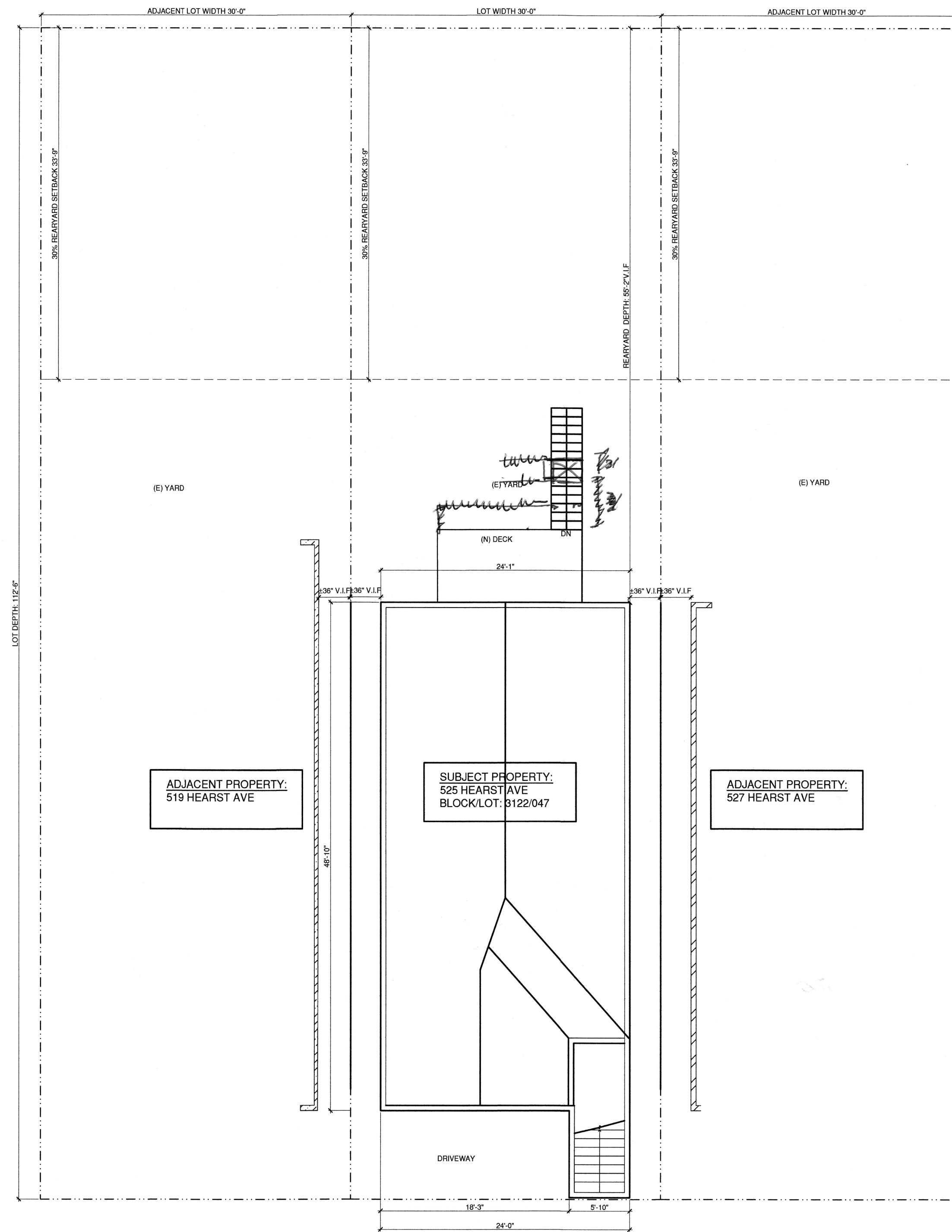
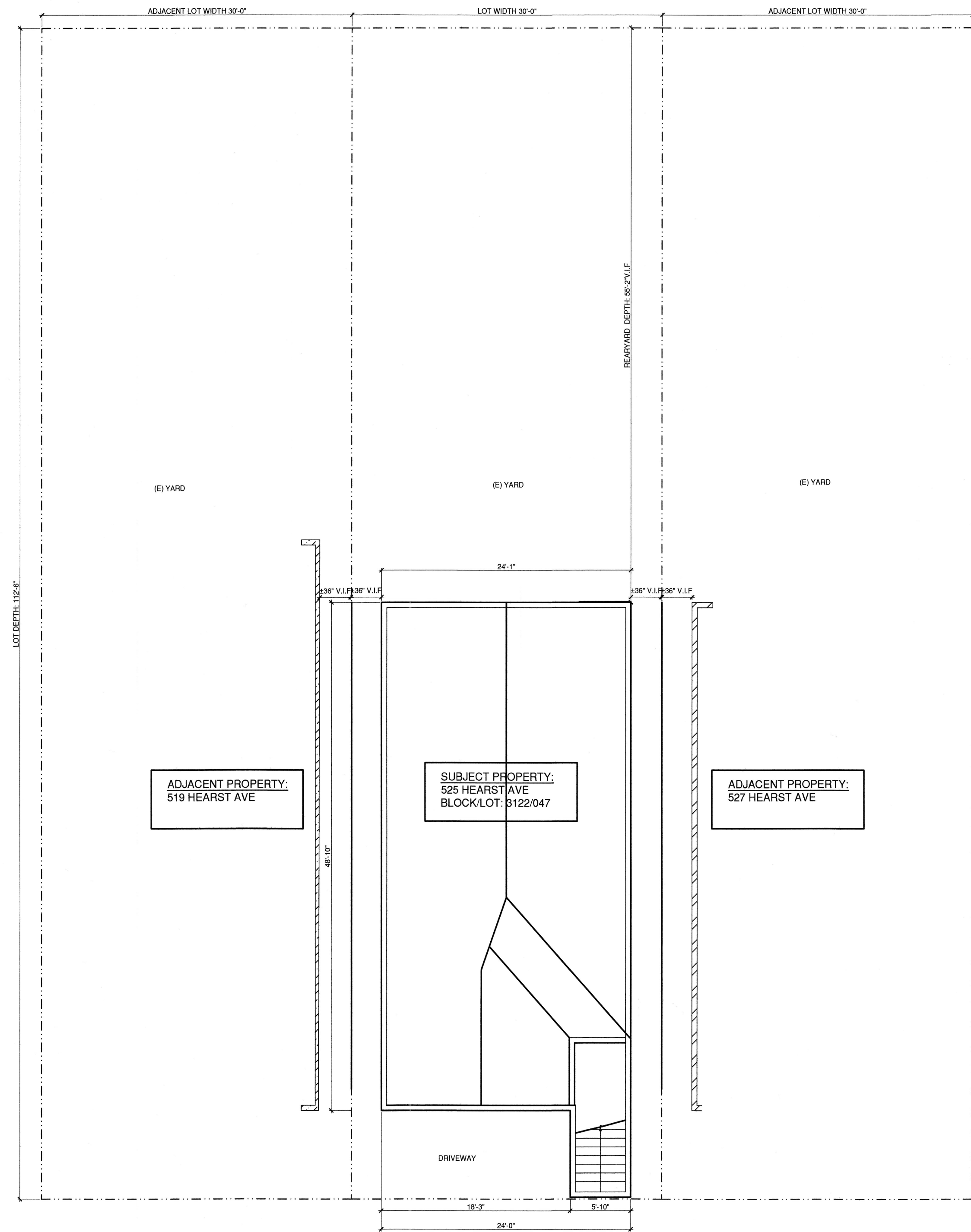
APPROVAL (Based on submitted reports.)

DATE _____ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO:
Special Inspection Services (628) 652-3407; or, dbi.specialinspections@sfgov.org

10/20/2023 12:45 AM Plotted by: Admin

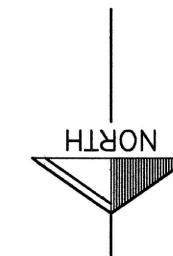
38x24



BUILDING ENLARGEMENT
 HORIZONTAL
 VERTICAL
STRUCTURAL NOTIFICATION

Jia Hong Situ
 OCT 26 2023
 SF Planning Department

Calvin Horn, DBI
 NOV 02 2023



(E)/(P) SITE PLAN
 SCALE: 3/16" = 1'-0"

(N)DECK AT REAR
525 HEARST AVE
SF, CA, 94112



PROJECT INFO

OWNER: DANA WONG
 PROJECT CONTACT: ARTEN CHAN
 CHANARTEN@GMAIL.COM

BUILDING INFO:
 BLOCK: 3122
 LOT: 047
 OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: V-B
 NUMBER OF STORIES: 2
 NUMBER OF DWELLING UNITS: 1

APPLICABLE CODES:
 2022 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA ELECTRICAL CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA PLUMBING CODE WITH LOCAL AMENDMENTS
 2022 GREEN BUILDING CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE WITH LOCAL AMENDMENTS
 2022 SAN FRANCISCO HOUSING CODE

SCOPE OF WORK

1. NEW DECK 7X14 AT REAR PER PLAN AND 3 FEET STAIRS

APPROVED
 Dept. of Building Insp.
 San Francisco
 NOV 07 2023

PATRICK ORRIBAN
 INSPECTOR
 DEPT. OF BUILDING INSPECTION

SPECIAL INSPECTION
 REQUIRED PER SFBC
 SECTION 1704

SHEET INDEX

A0	TITLE SHEET, DRAWING INDEX, GENERAL INFO AND SITE PLAN.
A1	(E) & (P) GROUND FLOOR PLAN
A2	(E) & (P) SECOND FLOOR PLAN
A3	(E) & (P) SECTION CUT Y
A4	(E) & (P) REAR ELEVATIONS

RECEIVED

OCT 26 2023

DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR DIGITIZING
 ACCEPTED

S1 DECK DRAWING PLAN
 DECK FOUNDATION PLAN

NOTE:

- DRAWING INDICATES APPROXIMATE (E) SITE DIMENSIONS. NO SURVEYOR WAS RETAINED ON THIS PROJECT. CONTRACTOR SHALL VERIFY IN FIELD OF ALL DIMENSIONS AND PROPERTY AND NOTIFY ENGINEER OF RECORD IMMEDIATELY FOR ANY DISCREPANCIES
- NO NEW UTILITIES UPGRADE; (E) UTILITIES TO REMAIN AT ITS ORIGINAL LOCATION U.O.N
- NO (N) SITE WORK PERFORMED AT (E) SIDEWALK; ALL PLANTERS TO REMAIN

PROJECT DATA

EXISTING GARAGE:	1058 SQ. FT
EXISTING GROUND FLOOR:	0 SQ. FT
EXISTING SECOND FLOOR:	1140 SQ.FT
EXISTING TOTAL GROSS FLOOR AREA:	1140 SQ.FT
PROPOSED GARAGE:	282 SQ.FT
PROPOSED GROUND FLOOR:	776 SQ.FT
PROPOSED SECOND FLOOR:	1140 SQ.FT
PROPOSED TOTAL GROSS FLOOR AREA:	1916 SQ.FT
776 SQ FT HABITABLE SPACE ADDED ON GROUND FLOOR	

SCOPE OF WORK:
NEW DECK AT REAR
JOB ADDRESS:
525 HEARST AVE
SAN FRANCISCO CA 94112

SHEET TITLE:
 (E)/(P) SITE PLAN, GENERAL INFO

PERMIT NUMBER:
2023 10209145

REVISIONS

NO.	DESCRIPTION	DATE	BY

DATE PREPARED: 10/19/23
 SCALE: AS NO
 DRAWN BY: A.C
 BLOCK/LOT: 3122/047

SHEET NUMBER
AO
 OF 6 SHEETS

SCOPE OF WORK:
NEW DECK AT REAR
JOB ADDRESS:
525 HEARST AVE
SAN FRANCISCO CA 94112

SHEET TITLE:
 (E)/(P) GROUND FLOOR PLAN
PERMIT NUMBER:

REVISIONS	BY

DATE PREPARED: 10/19/23
 SCALE: AS NOTED
 DRAWN BY: A.C
 BLOCK/LOT: 3122/047
 SHEET NUMBER
A1
 OF 6 SHEETS

INTERIOR WALL DEMOLITION CALC.
 GROUND LEVEL:
 EXISTING WALL = 0 LF
 WALL TO BE REMOVE = 0 LF
 SECOND LEVEL:
 EXISTING WALL = 148 LF
 WALL TO BE REMOVE = 90 LF
 TOTAL (E) INTERIOR WALL = 148 LF
 TOTAL INTERIOR DEMO WALL = 90 LF
 TOTAL INTERIOR DEMO WALL % = (90/148) x100 = 60.8%
 MEET REQUIREMENT: YES (60.8% < 75%)

WALL LEGEND

	(E) WALL TO REMAIN
	DEMO (E) WALL/DOOR/WINDOW/STAIR
	(N) WALL
	(N) 1 HR FIRE RATED WALL

- MECHANICAL NOTES:**
- (M1) PROVIDE MINIMUM 200 SQ. IN. VENTILATION FOR GARAGE DOOR
 - (M2) FURNACE PROVIDE COMBUSTION AIR FROM EXTERIOR AND PROVIDE 26 GAUGE SHEET METAL DUCTS PER CMC 2019 CH.7 AND CMC 802.6 & 802.8 FOR GAS VENT & SFMC 802.5.2
 - (M3) LIGHTING INSTALLED IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE AT LEAST ONE FIXTURE MUST BE CONTROLLED BY A VACANCY SENSORS.
 - (M4) TERMINATE GAS VENT 4'-0" FROM PROPERTY LINE AND 2'-0" ABOVE ANY PORTION OF A BUILDING WITHIN 10'-0" COMBUSTION AIR PER CMC CHAPTER 7
 - (M5) EXHAUST TERMINATION OF 3" FROM PROPERTY LINE & BUILDING OPENINGS WITH BACK DRAFT DAMPER. LENGTH PER MANUFACTURE'S RECOMMENDATION. EXHAUST MUST PROVIDE HUMIDIFY CONTROL AND ENERGY STAR COMPLIANT
 - (M6) EXHAUST TERMINATION 3" FROM PROPERTY LINE AND BUILDING OPENINGS, MAX 14' IN LENGTH

ELECTRICAL / MECHANICAL LEGEND

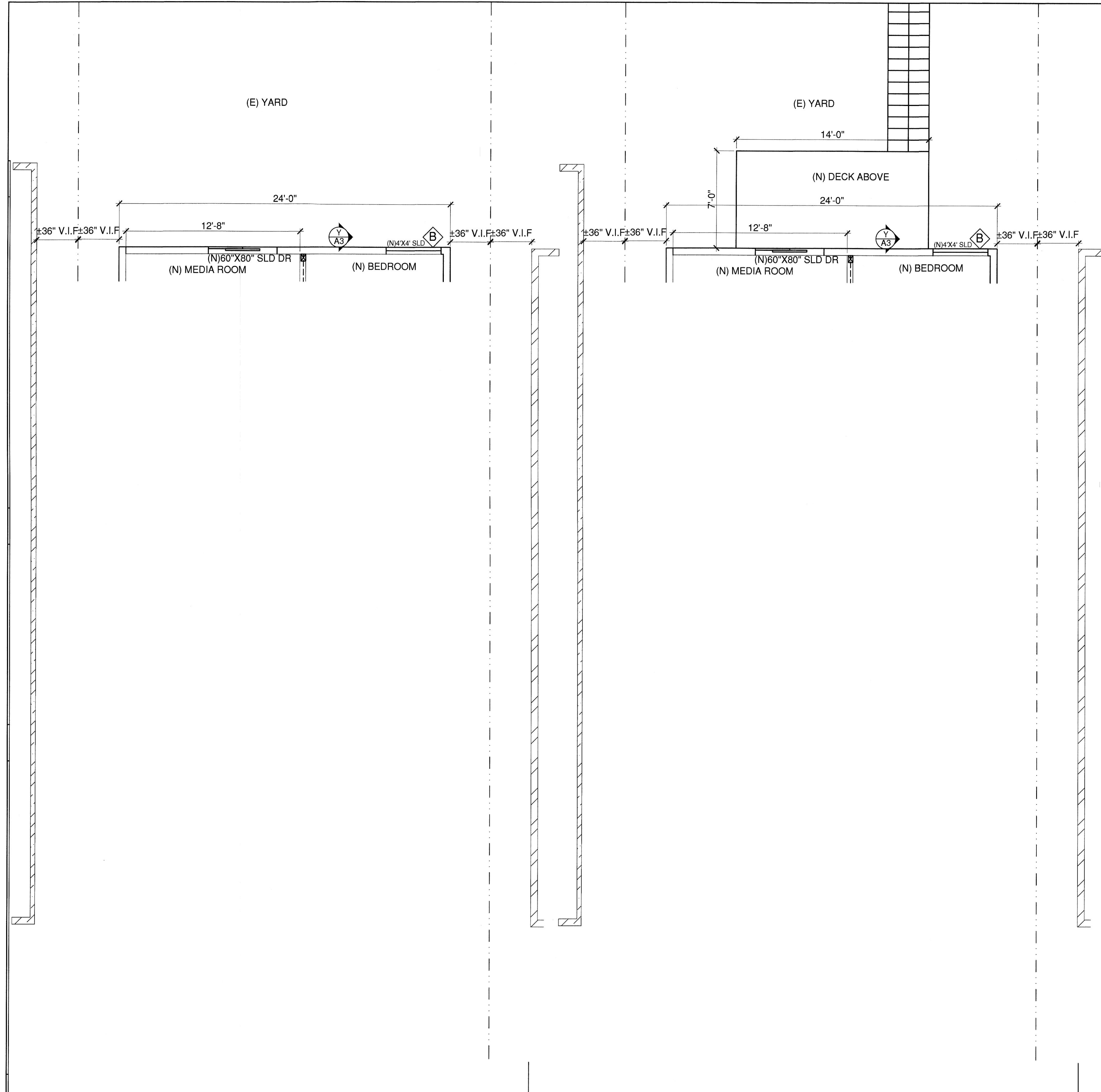
SYMBOL	DESCRIPTION
	110V HEAT / SMOKE DETECTOR - HARDWARE w/ BATTERY BACK-UP
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN/ LIGHT FIXTURE WITH HUMIDITY CONTROL

INTERIOR DOOR/ WINDOW SCHEDULE

MARK	WIDTH	HEIGHT	COMMENTS
①	2'-0"	6'-8"	
②	2'-6"	6'-8"	
③	2'-8"	6'-8"	
④	2'-8"	6'-8"	20 MIN RATED DOOR SELF CLOSE
A	2'-6"	4'-6"	SINGLE HUNG, VINYL
B	4'-0"	4'-0"	SLIDING, VINYL
C	5'-0"	4'-0"	SLIDING, VINYL

ARCHITECTURAL LEGEND

MARK	DESCRIPTION
①	(E) WINDOW TO BE ENCLOSED TYP. NOT FOR EGRESS
②	REARRANGE WH WITH STRAP AND F.A.U RELOCATED OVERHEAD
③	NEW TYPICAL BATHROOM 3 FIXTURE
④	NEW 42" WIDTH INTERNAL STAIRCASE;
⑤	REMOVE AND RELOCATE INTERNAL STAIRCASE
⑥	PROVIDE KITCHEN HOOD ABOVE
⑦	(N) GARAGE & UNIT SEPARATED FROM DWELLING BY 5/8" TYPE X G.B. ON ALL WALLS AND CEILING, INSULATED WALLS w/ MIN. R-19 CEILING INSULATION



(E) GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

(P) GROUND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Jia Hong Situ
 OCT 26 2023
 SF Planning Department

Calvin Hom
 Calvin Hom, DBI
 NOV 02 2023

APPROVED
 DEPT. OF BUILDING INSPECTION
 San Francisco
 NOV 07 2023
 PATRICK O'RORIAN
 DEPT. OF BUILDING INSPECTION

RECEIVED
 OCT 20 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY STANDARD FOR UTILIZING ACCEPTED



TOMMY LEE
CONSULTING
CHANARTEN@GMAIL.COM
650-302-1199

SCOPE OF WORK:
NEW DECK AT REAR
JOB ADDRESS:
525 HEARST AVE
SAN FRANCISCO CA 94112

SHEET TITLE:
(E)/(P) SECOND FLOOR PLAN

PERMIT NUMBER:

REVISIONS	BY

DATE PREPARED: 10/19/23
SCALE: 1/4" = 1'-0"
DRAWN BY: A.C
BLOCK/LOT: 3122/047
SHEET NUMBER
A2
OF 6 SHEETS

WALL LEGEND

	(E) WALL TO REMAIN
	DEMO (E) WALL/DOOR/WINDOW/STAIR
	(N) WALL
	(N) 1 HR FIRE RATED WALL

- MECHANICAL NOTES:**
- (M1) PROVIDE MINIMUM 200 SQ. IN. VENTILATION FOR GARAGE DOOR
 - (M2) FURNACE PROVIDE COMBUSTION AIR FROM EXTERIOR AND PROVIDE 26 GAUGE SHEET METAL DUCTS PER CMC 2019 CH.7 AND CMC 802.6 & 802.8 FOR GAS VENT & SFMC 802.5.2
 - (M3) LIGHTING INSTALLED IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS SHALL BE AT LEAST ONE FIXTURE MUST BE CONTROLLED BY A VACANCY SENSORS.
 - (M4) TERMINATE GAS VENT 4'-0" FROM PROPERTY LINE AND 2'-0" ABOVE ANY PORTION OF A BUILDING WITHIN 10'-0" COMBUSTION AIR PER CMC CHAPTER 7
 - (M5) EXHAUST TERMINATION OF 3' FROM PROPERTY LINE & BUILDING OPENINGS WITH BACK DRAFT DAMPER. LENGTH PER MANUFACTURE'S RECOMMENDATION. EXHAUST MUST PROVIDE HUMIDIFY CONTROL AND ENERGY STAR COMPLIANT
 - (M6) EXHAUST TERMINATION 3' FROM PROPERTY LINE AND BUILDING OPENINGS, MAX 14' IN LENGTH

ELECTRICAL / MECHANICAL LEGEND

SYMBOL	DESCRIPTION
	110V HEAT / SMOKE DETECTOR - HARDWIRE w/ BATTERY BACK-UP
	CARBON MONOXIDE DETECTOR
	EXHAUST FAN/ LIGHT FIXTURE WITH HUMIDITY CONTROL

INTERIOR DOOR/ WINDOW SCHEDULE

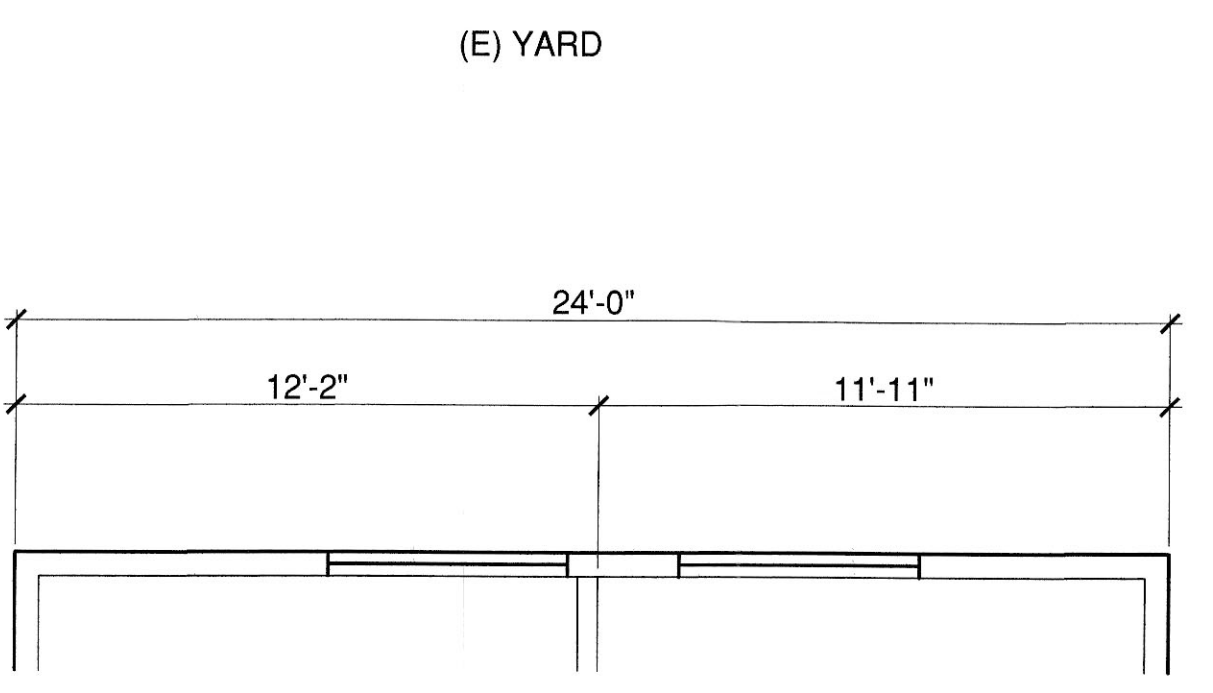
MARK	WIDTH	HEIGHT	COMMENTS
①	2'-0"	6'-8"	
②	2'-6"	6'-8"	
③	2'-8"	6'-8"	
④	2'-8"	6'-8"	20 MIN RATED DOOR SELF CLOSE
A	2'-6"	4'-6"	SINGLE HUNG, VINYL
B	4'-0"	4'-0"	SLIDING, VINYL
C	5'-0"	4'-0"	SLIDING, VINYL

ARCHITECTURAL LEGEND

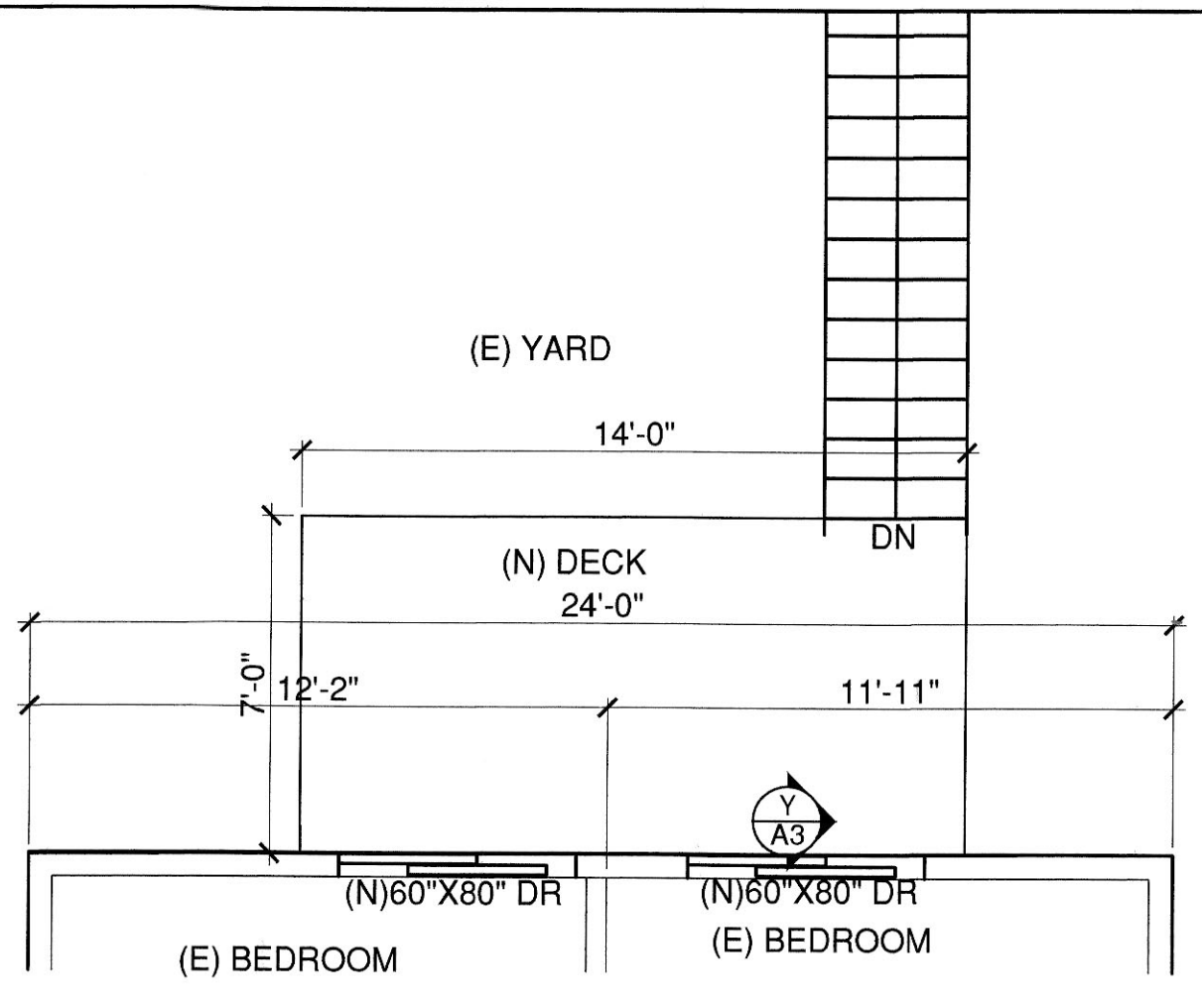
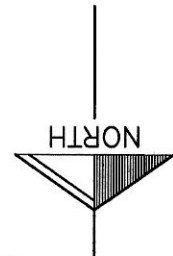
MARK	DESCRIPTION
①	(E) WINDOW TO BE ENCLOSED TYP. NOT FOR EGRESS
②	REARRANGE WH WITH STRAP AND F.A.U RELOCATED OVERHEAD
③	NEW TYPICAL BATHROOM 3 FIXTURE
④	NEW 42" WIDTH INTERNAL STAIRCASE;
⑤	REMOVE AND RELOCATE INTERNAL STAIRCASE
⑥	PROVIDE KITCHEN HOOD ABOVE
⑦	(N) GARAGE & UNIT SEPARATED FROM DWELLING BY 5/8" TYPE X G.B. ON ALL WALLS AND CEILING, INSULATED WALLS w/ MIN. R-19 CEILING INSULATION

APPROVED
Dept. of Building Insp. - San Francisco
NOV 07 2023
Patrick Jordan
DIRECTOR
DEPT. OF BUILDING INSPECTION

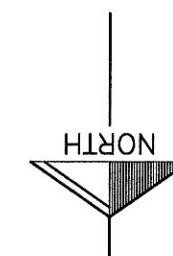
RECEIVED
OCT 20 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR DIGITIZING



(E) SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



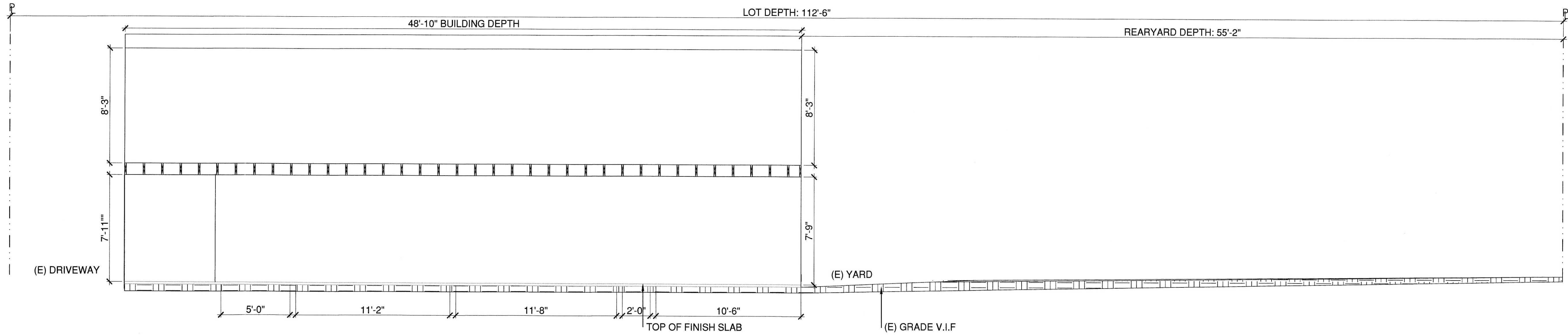
(P) SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



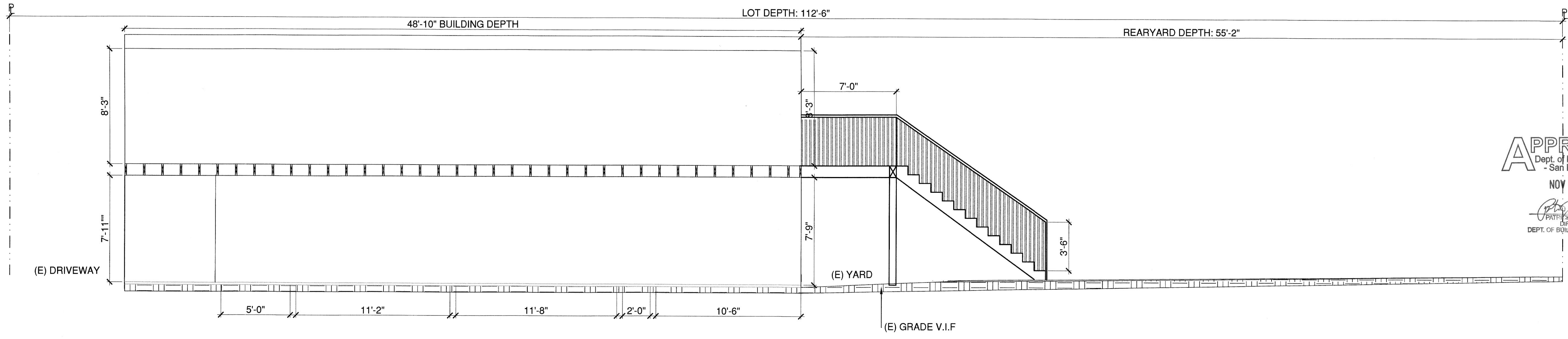
Jia Hong Situ
OCT 26 2023
SF Planning Department

8'-3"
F.F TO F.C.

SCOPE OF WORK:
NEW DECK AT REAR
JOB ADDRESS:
525 HEARST AVE
SAN FRANCISCO CA 94112



(E) SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



APPROVED
 Dept. of Building Insp.
 San Francisco
 NOV 07 2023
 PATRICK O'ROURKE
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

RECEIVED
 OCT 20 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE
 STANDARD FOR QUALITY
 ACCEPTED

SHEET TITLE:
(E)/(P) SIDE ELEVATION

PERMIT NUMBER:

(P) SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

FOUNDATION NOTES

- 1) CONTRACTOR SHALL PROVIDE ANY TEMPORARY SHORING AND UNDERPINNING TO SUPPORT (E) STRUCTURE WHERE OCCURS AND SHALL BE SOLELY RESPONSIBLE FOR THE DESIGN, ADEQUACY, AND SATISFACTORY PERFORMANCE OF THE METHODS AND MEANS EMPLOYED TO BE DESIGNED BY OTHERS
- 2) CONTRACTOR TO BE RESPONSIBLE FOR ALL FINAL INSPECTIONS OF FLOOR AND GROUND LEVELING AND FINALIZED AREAS TO BE REPAIRED. VERIFY IN FIELD. CONTACT AND REPORT TO ENGINEER FOR ANY DISCREPANCIES.
- 3) CONTRACTOR RESPONSIBLE FOR DEWATERING AND DRAINAGE AS REQUIRED

FDN EXCAVATION CALC.

GROUND LEVEL:
 13 INCHES OR 1.08' DEPTH x 24' WIDE x 49' LENGTH
 $\frac{13}{12} = 1.08$ = 47.18 CUBIC YARD DIRT REMOVED
 NO MORE THAN 50 CUBIC YARD EXCAVATION

Jia Hong Situ
 OCT 26 2023
 SF Planning Department

Calvin Horn, DBI
 NOV 02 2023

REVISIONS	BY

DATE PREPARED: 10/19/23
 SCALE: 1/4"=1'-0"
 DRAWN BY: A.C
 BLOCK/LOT: 3122/047
 SHEET NUMBER
A3
 OF 5 SHEETS



TOMMY LEE
CONSULTING
CHANARTEN@GMAIL.COM
650-302-1199

SCOPE OF WORK:
NEW DECK AT REAR

JOB ADDRESS:
525 HEARST AVE
SAN FRANCISCO CA 94112

SHEET TITLE:

PERMIT NUMBER:

RECEIVED

OCT 20 2023

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

APPROVED
Dept. of Building Insp.
San Francisco

NOV 07 2023

Patricia Jordan
PATRICIA JORDAN
SFPD - JDR
DEPT. OF BUILDING INSPECTION

Calvin Hom, DBI

NOV 02 2023

REVISIONS	BY

DATE PREPARED: 10/19/23

SCALE:

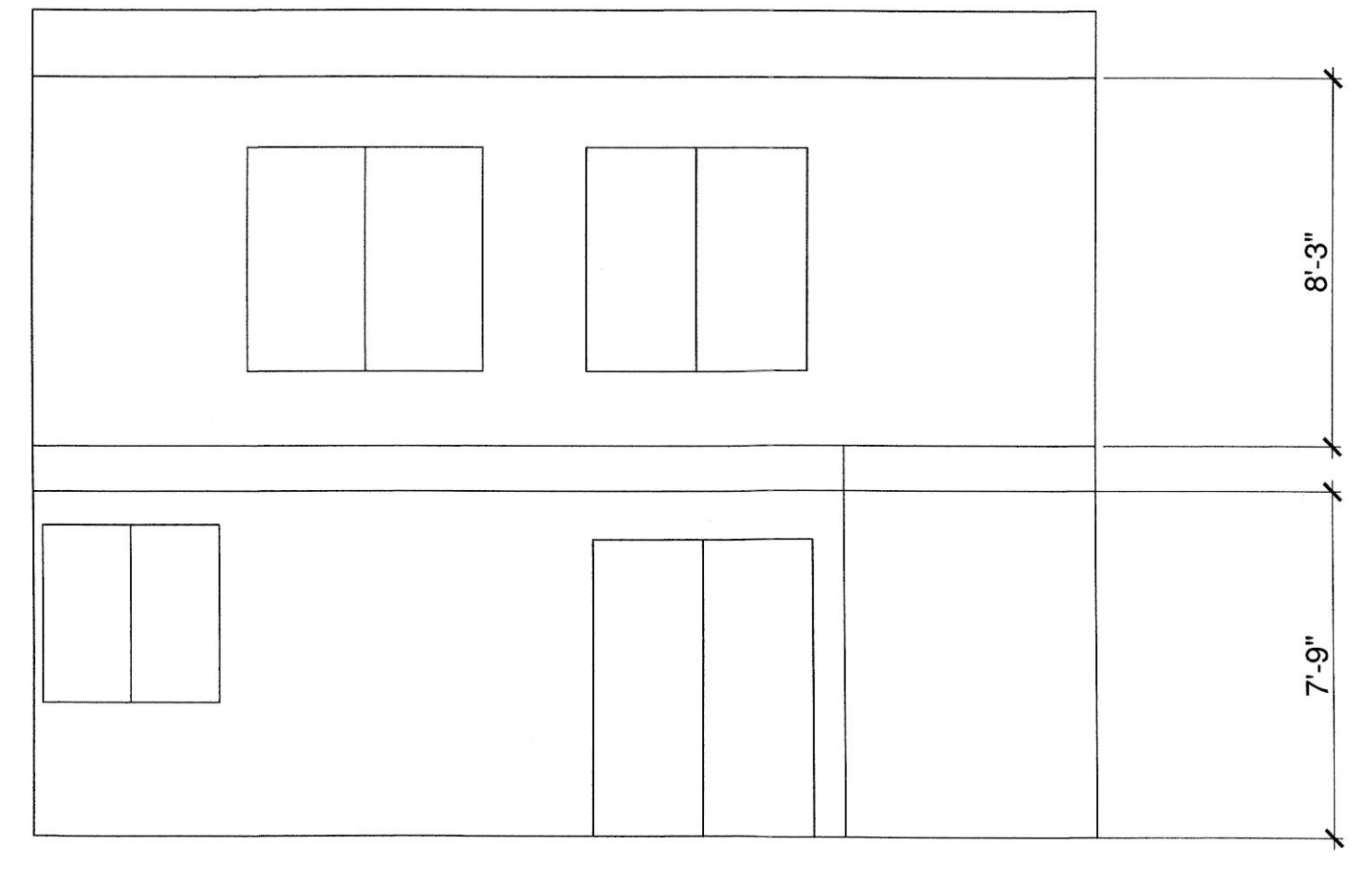
DRAWN BY: A.C

BLOCK/LOT: 3122/047

SHEET NUMBER

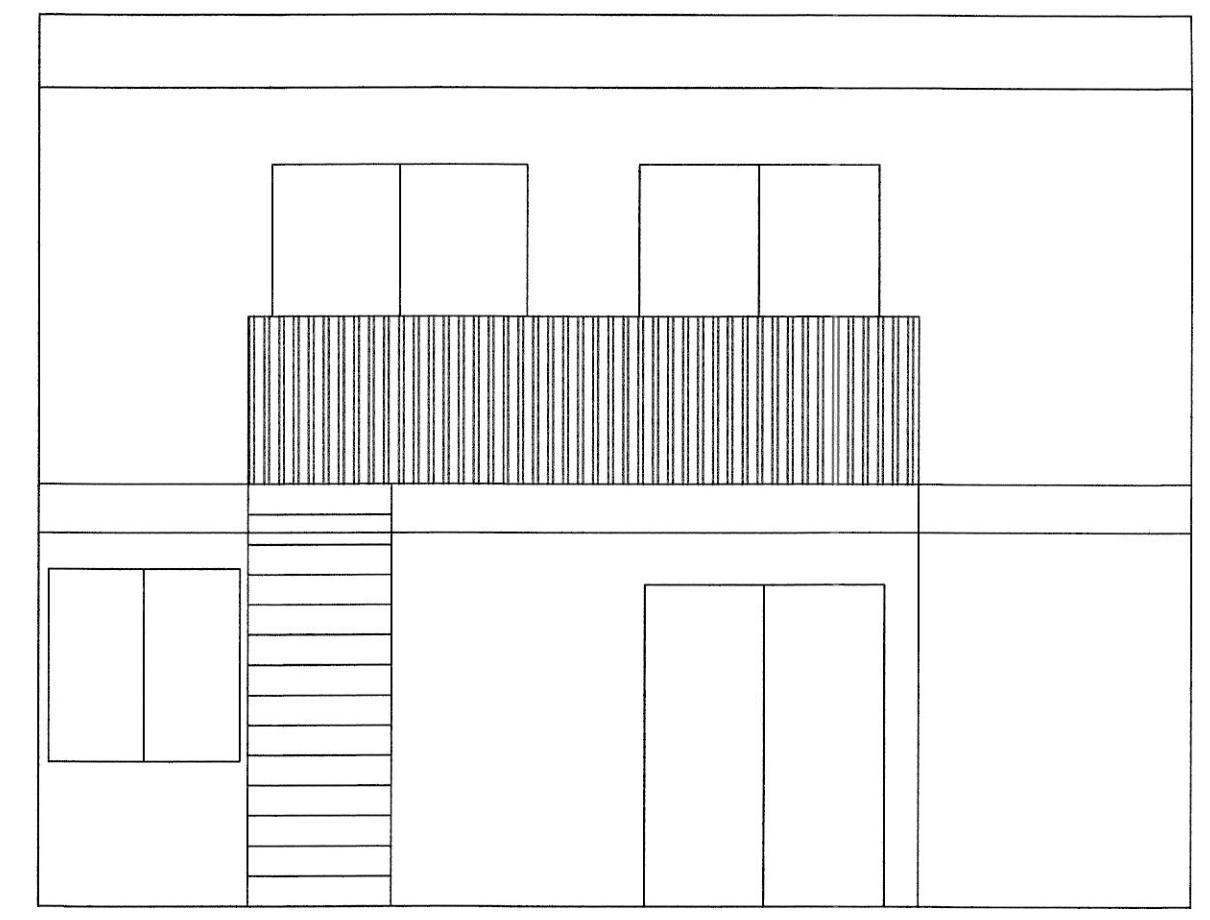
A4

OF 6 SHEETS



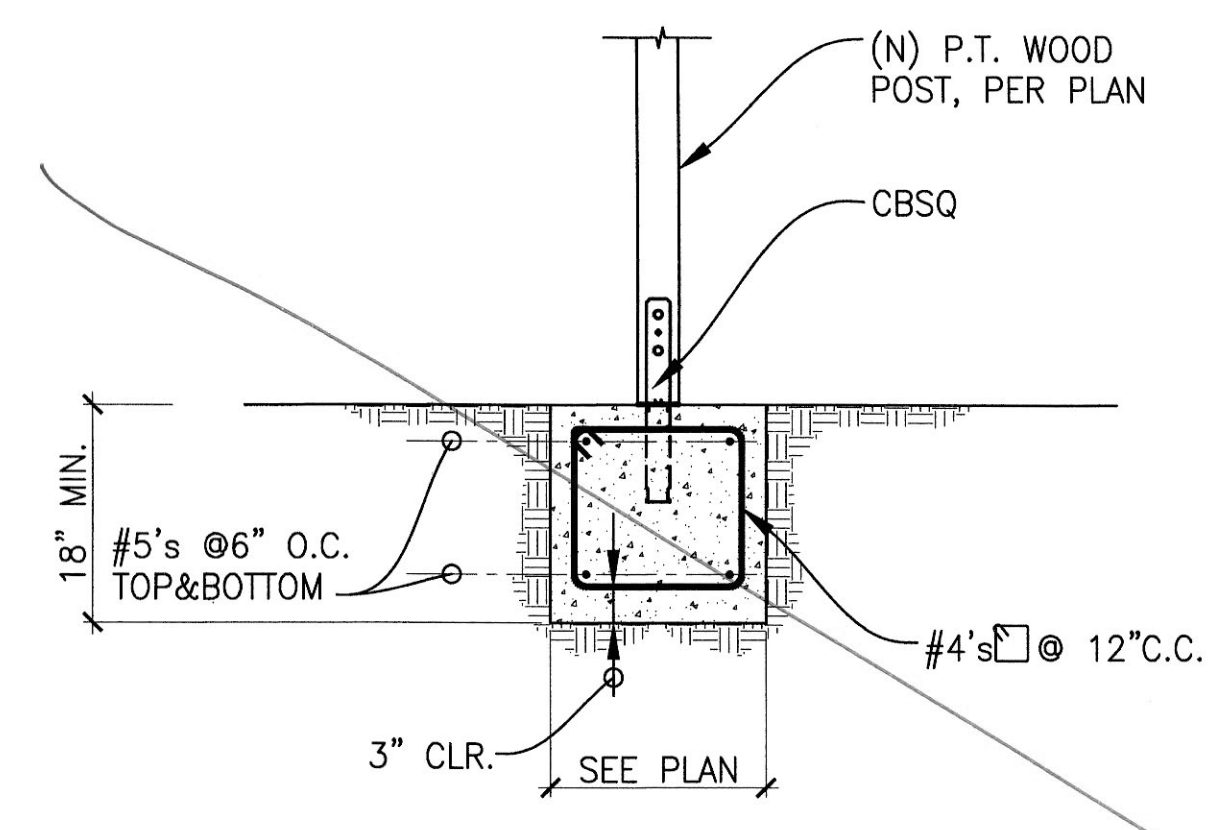
(E) SIDE ELEVATION

SCALE: 1/4" = 1'-0"



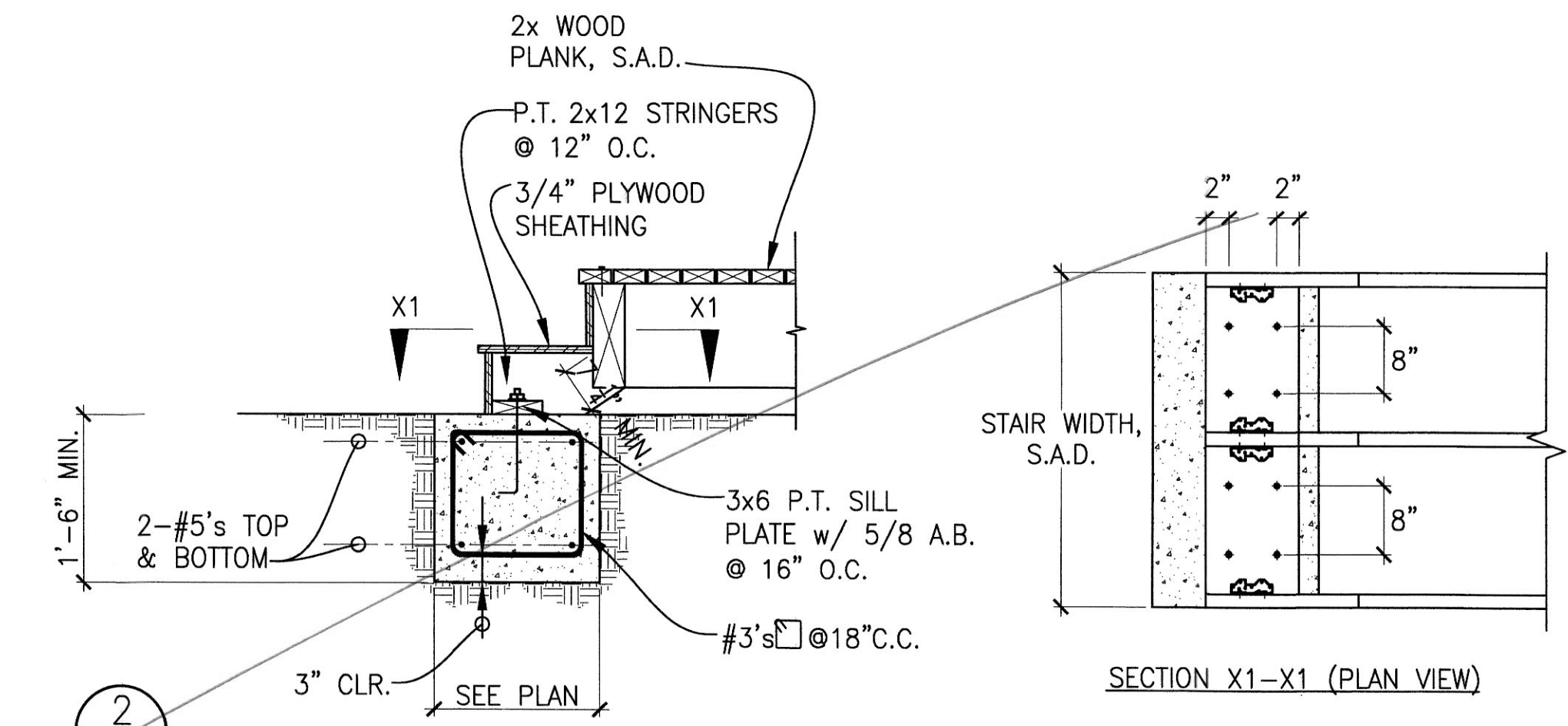
(P) SIDE ELEVATION

SCALE: 1/4" = 1'-0"



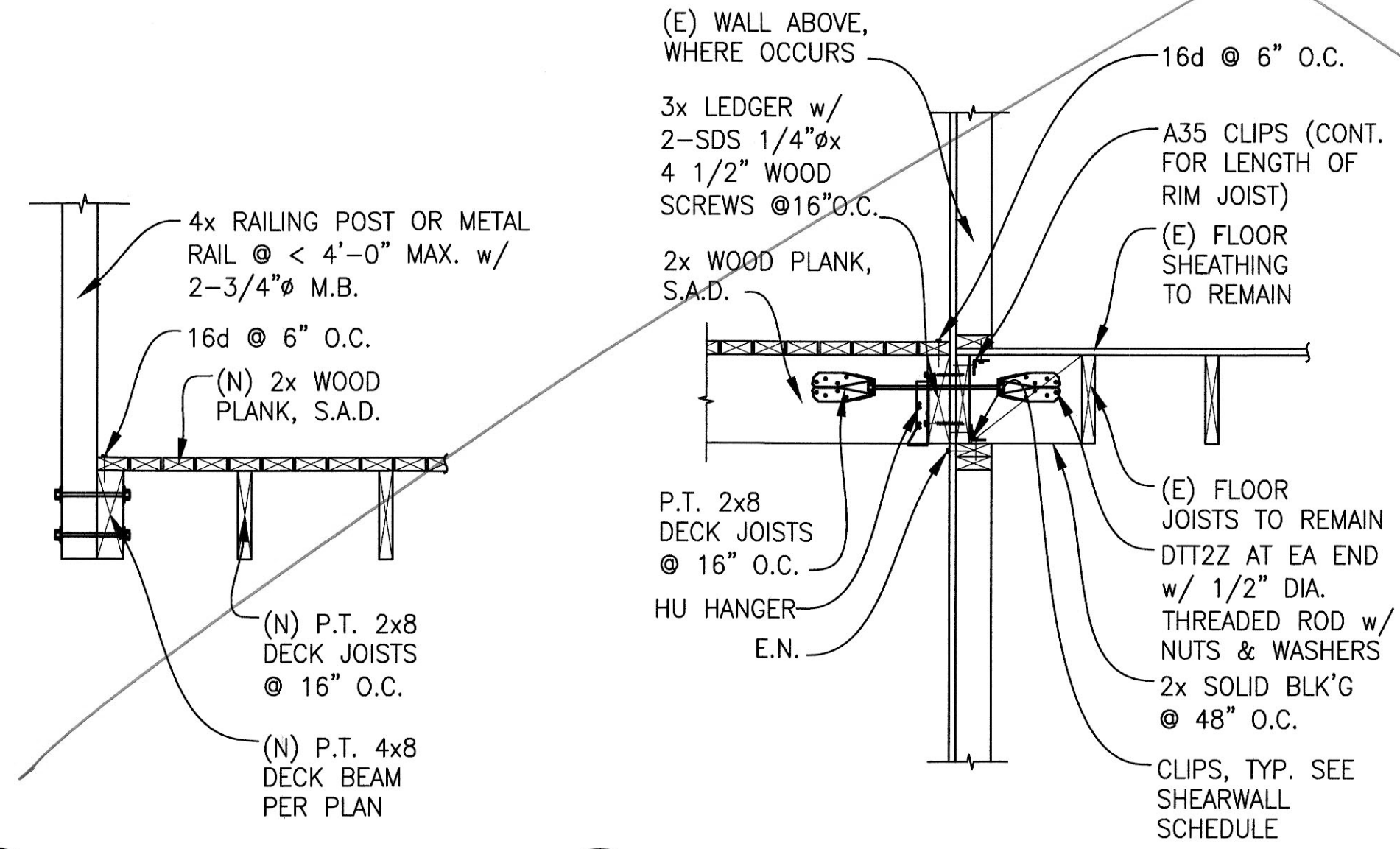
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SCALE: 3/4" = 1'-0"



2

SCALE: 3/4" = 1'-0"

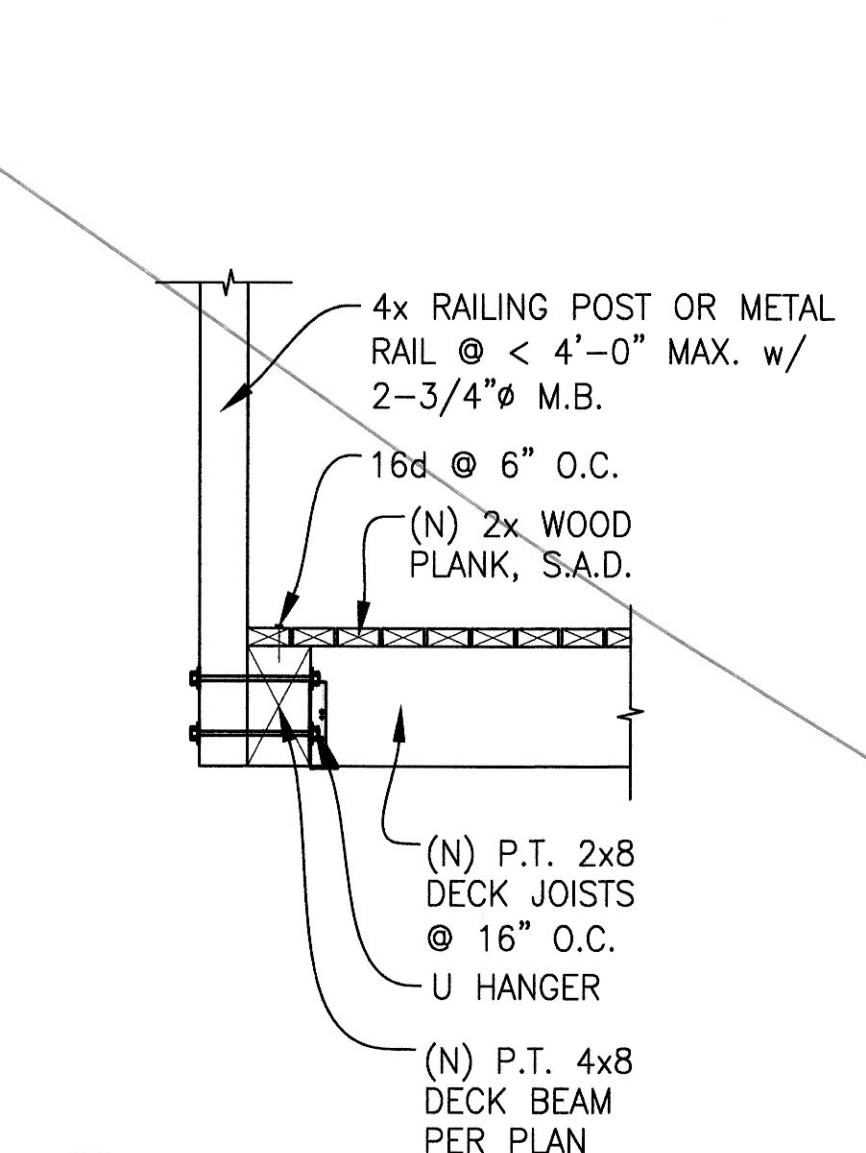


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SCALE: 3/4" = 1'-0"

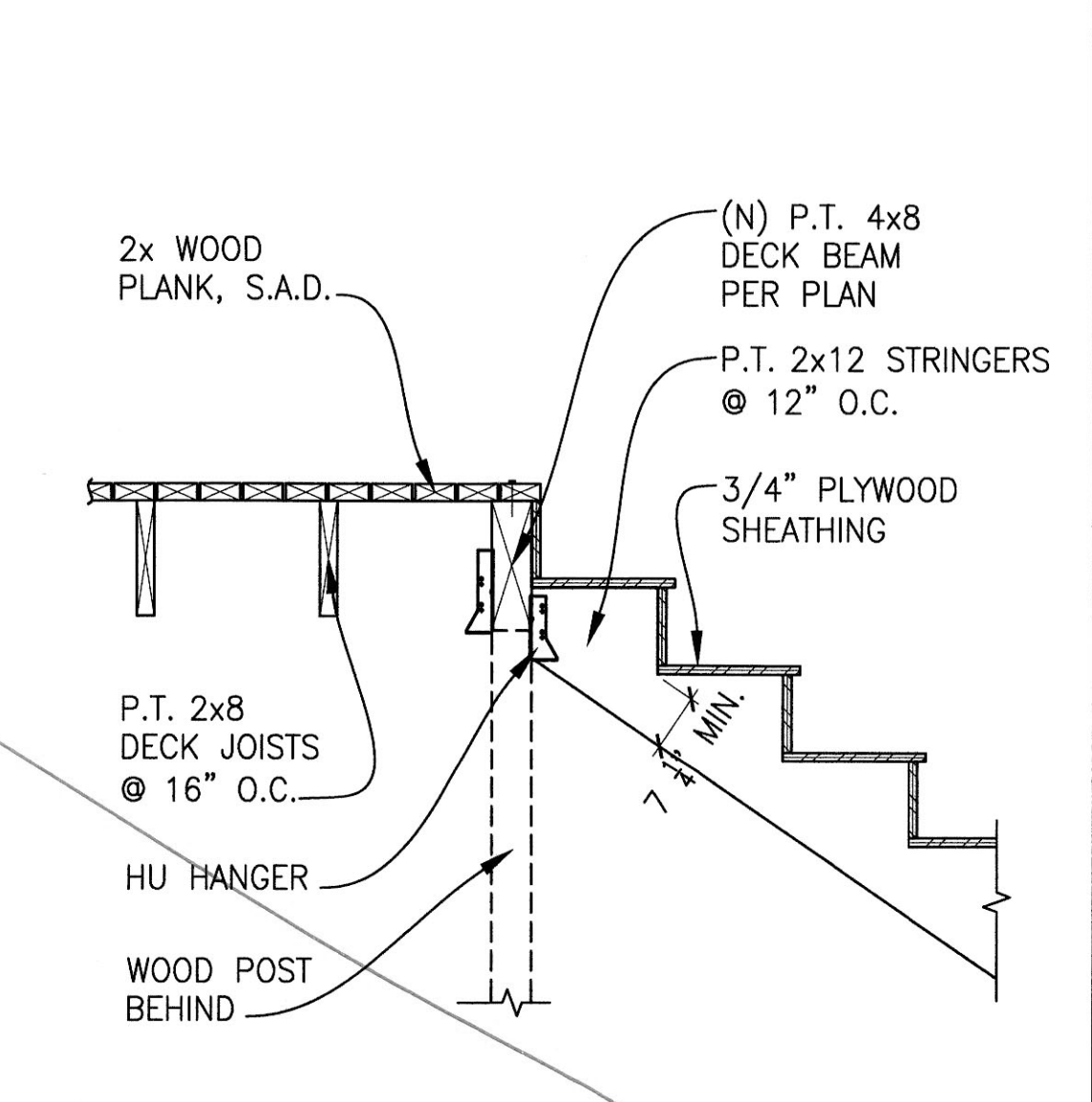
4

SCALE: 3/4" = 1'-0"



5

SCALE: 3/4" = 1'-0"



6

SCALE: 3/4" = 1'-0"

Jia Hong Situ
OCT 26 2023
SF Planning Department



TOMMY LEE CONSULTING
 CHANARTEN@GMAIL.COM
 650-302-1199

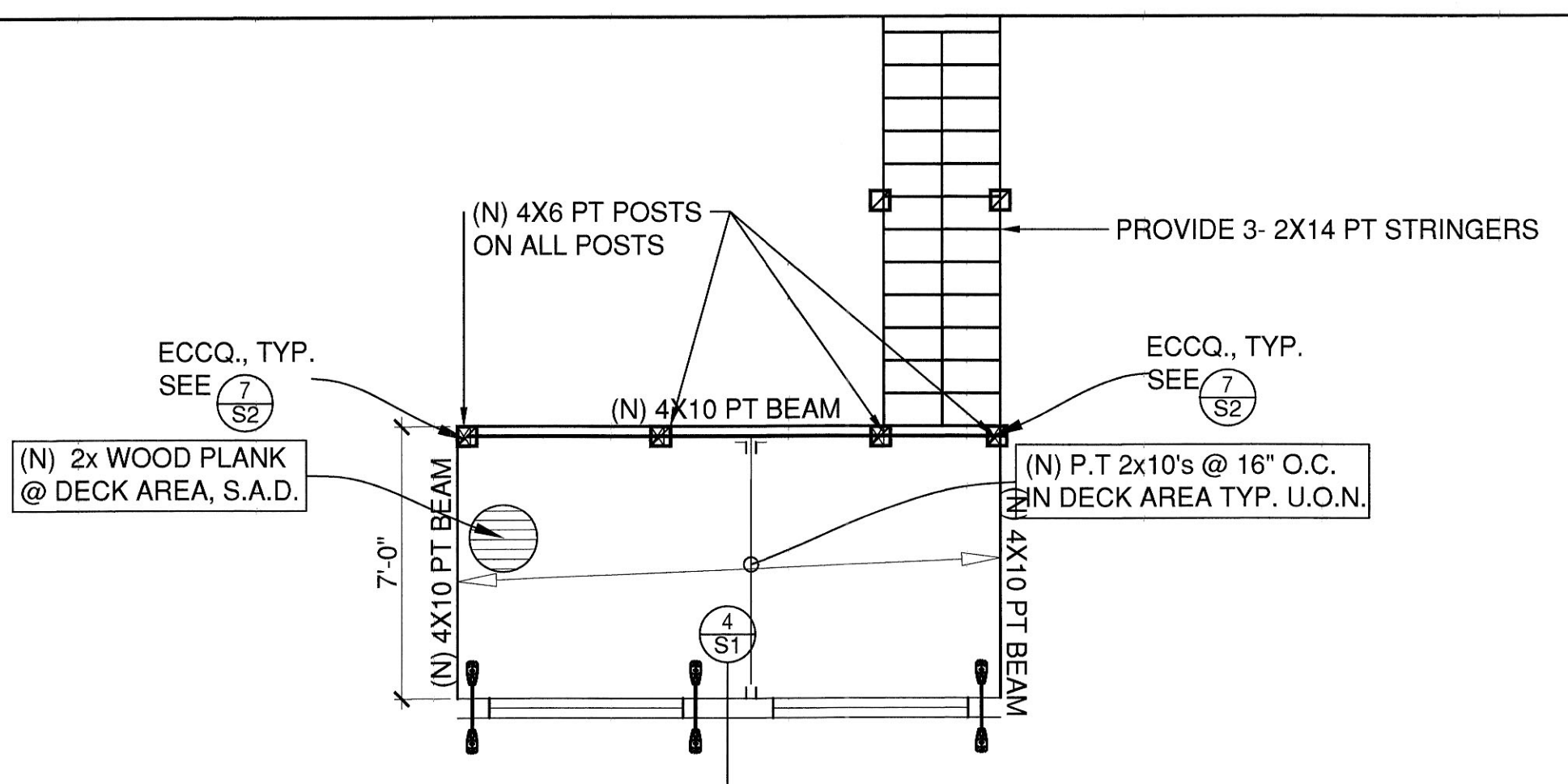
SCOPE OF WORK:
NEW DECK AT REAR
JOB ADDRESS:
525 HEARST AVE
SAN FRANCISCO CA 94112

SHEET TITLE:
DECK FRAMING PLAN
DECK FOUNDATION PLAN
PERMIT NUMBER:



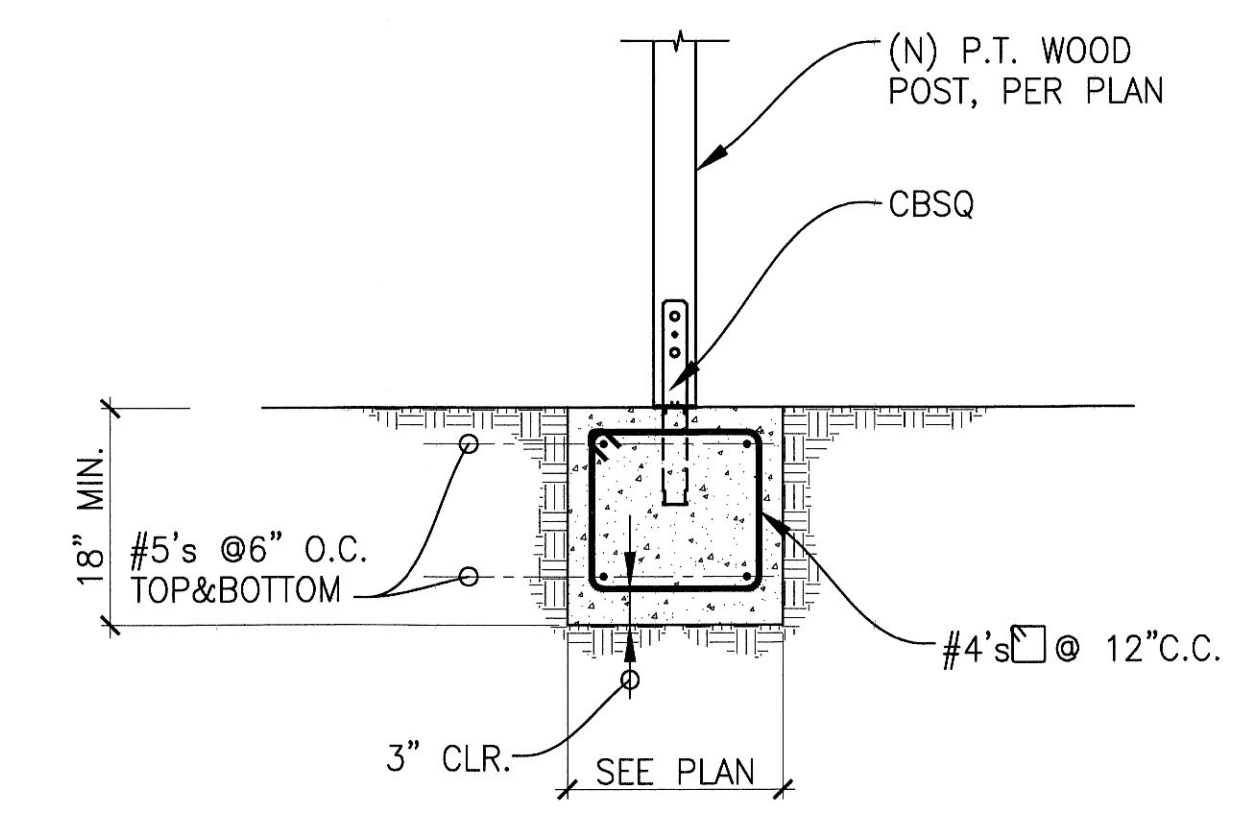
REVISIONS	BY

DATE PREPARED: 10/19/23
 SCALE: AS NOTED
 DRAWN BY: A.C
 BLOCK/LOT: 3122/047
 SHEET NUMBER
51
 OF 6 SHEETS



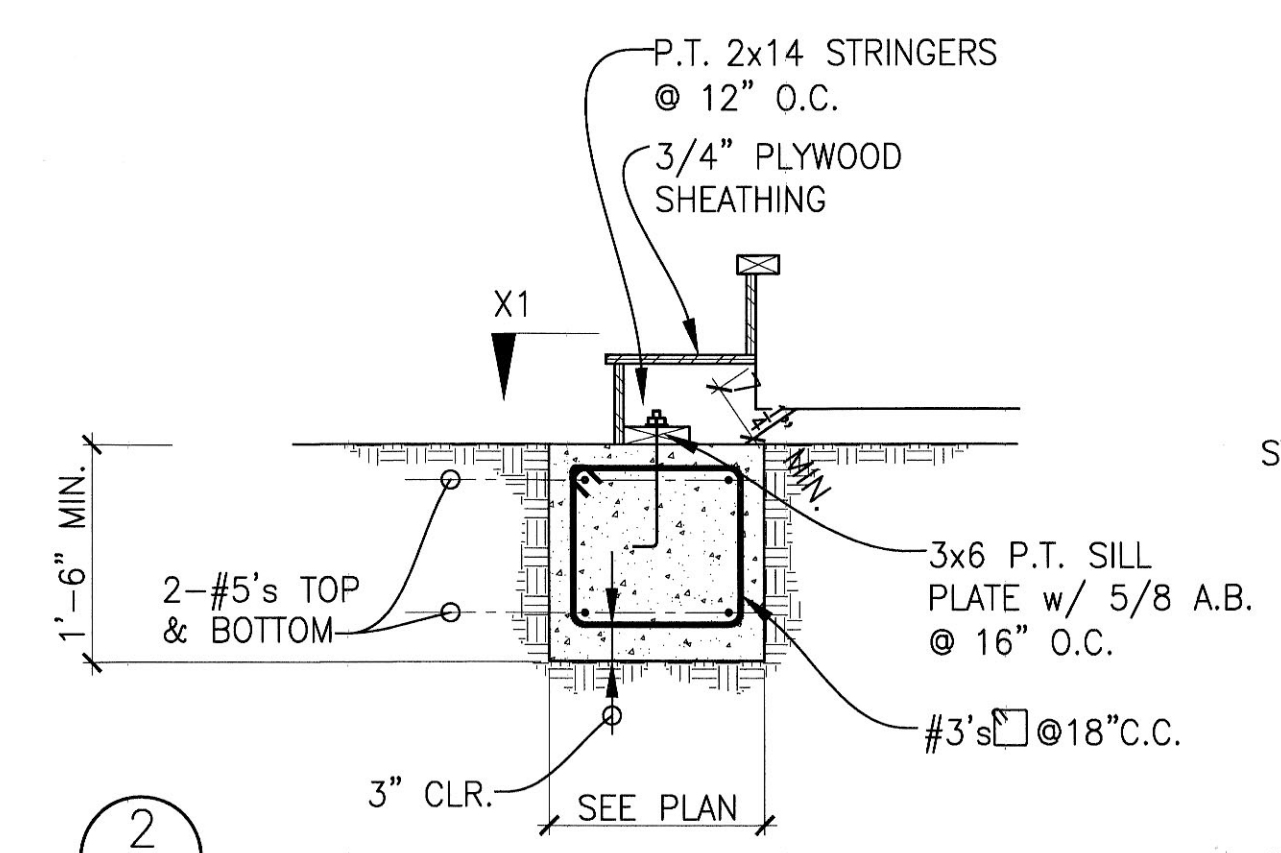
DECK FRAMING PLAN

SCALE: 1/4" = 1'-0"



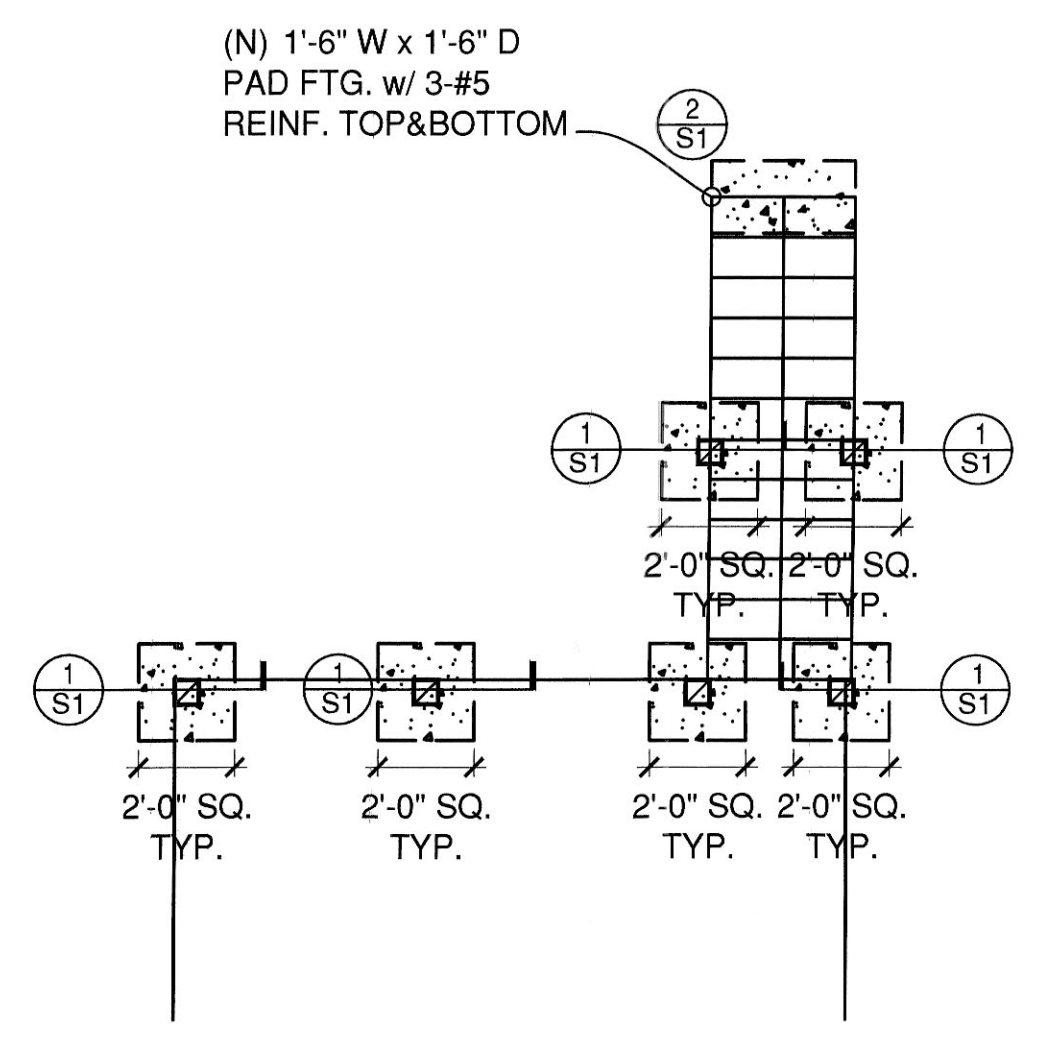
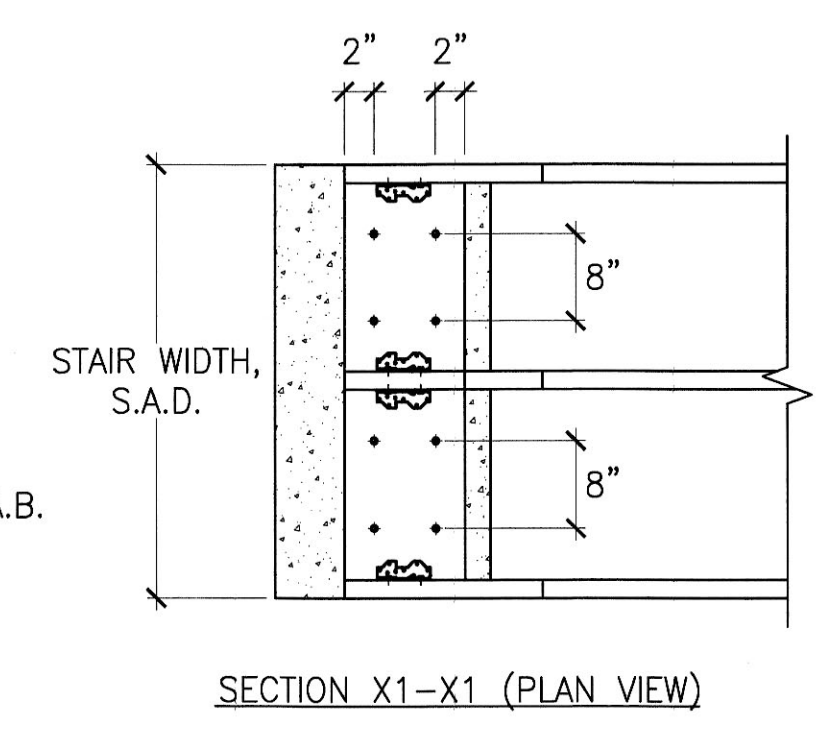
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SCALE: 3/4" = 1'-0"



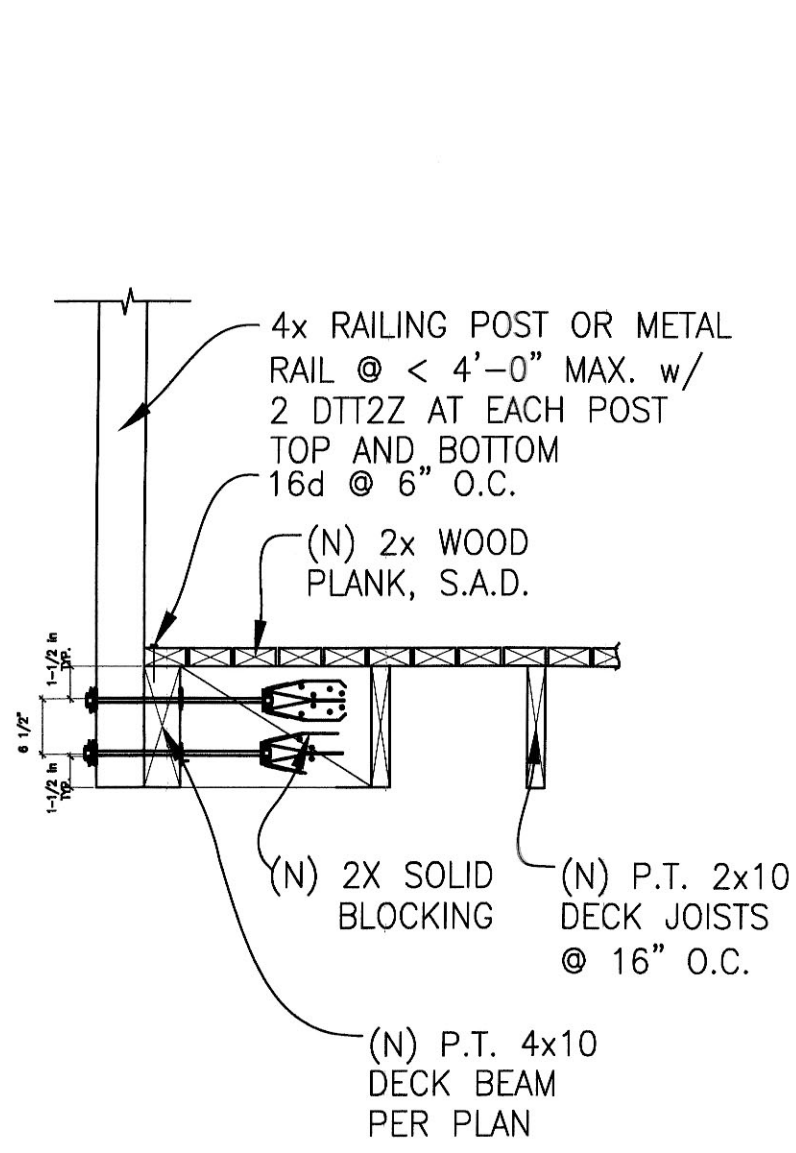
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SCALE: 3/4" = 1'-0"



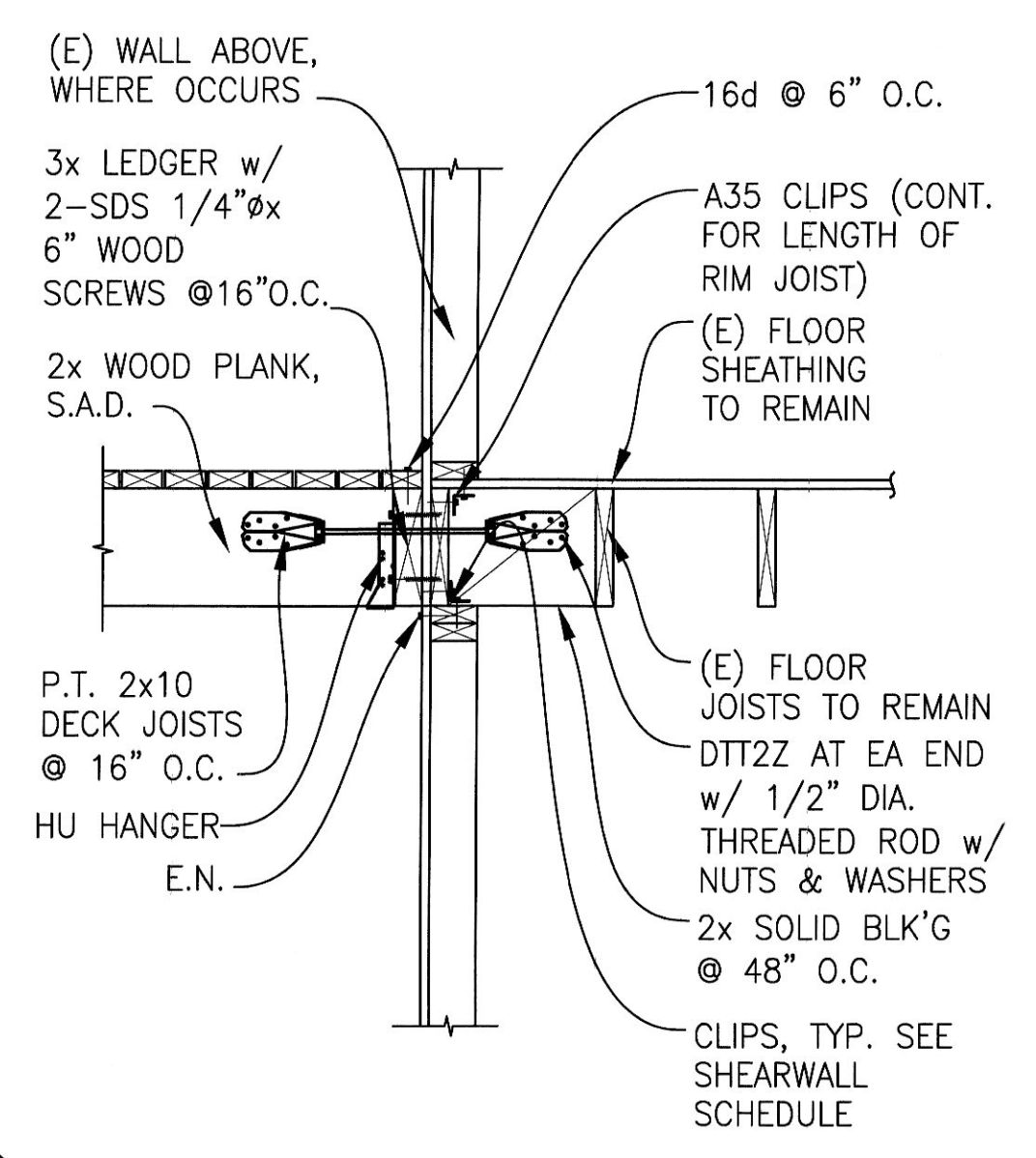
DECK FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



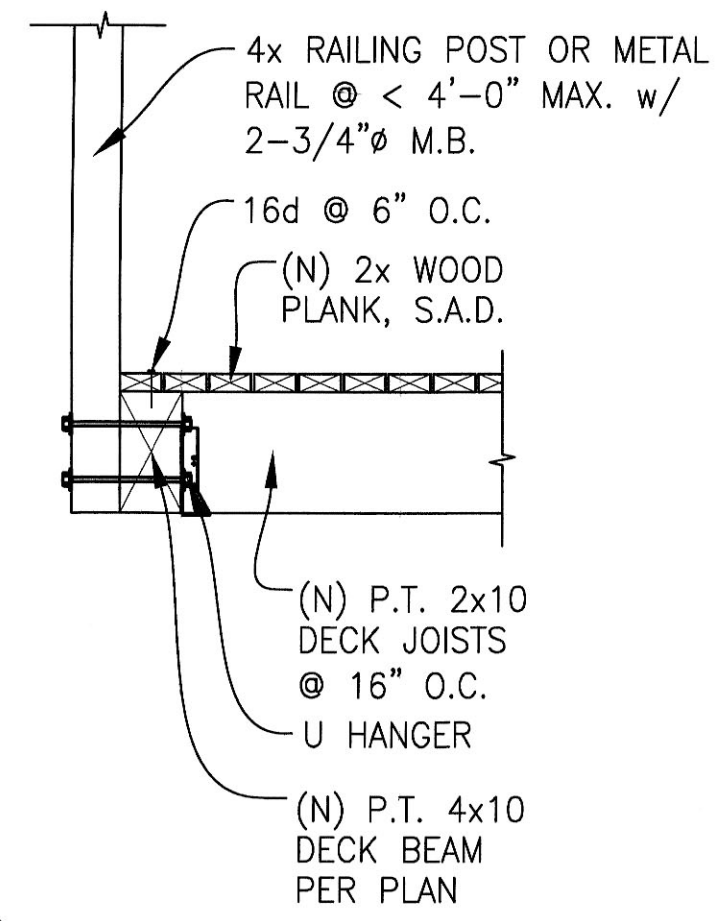
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SCALE: 3/4" = 1'-0"



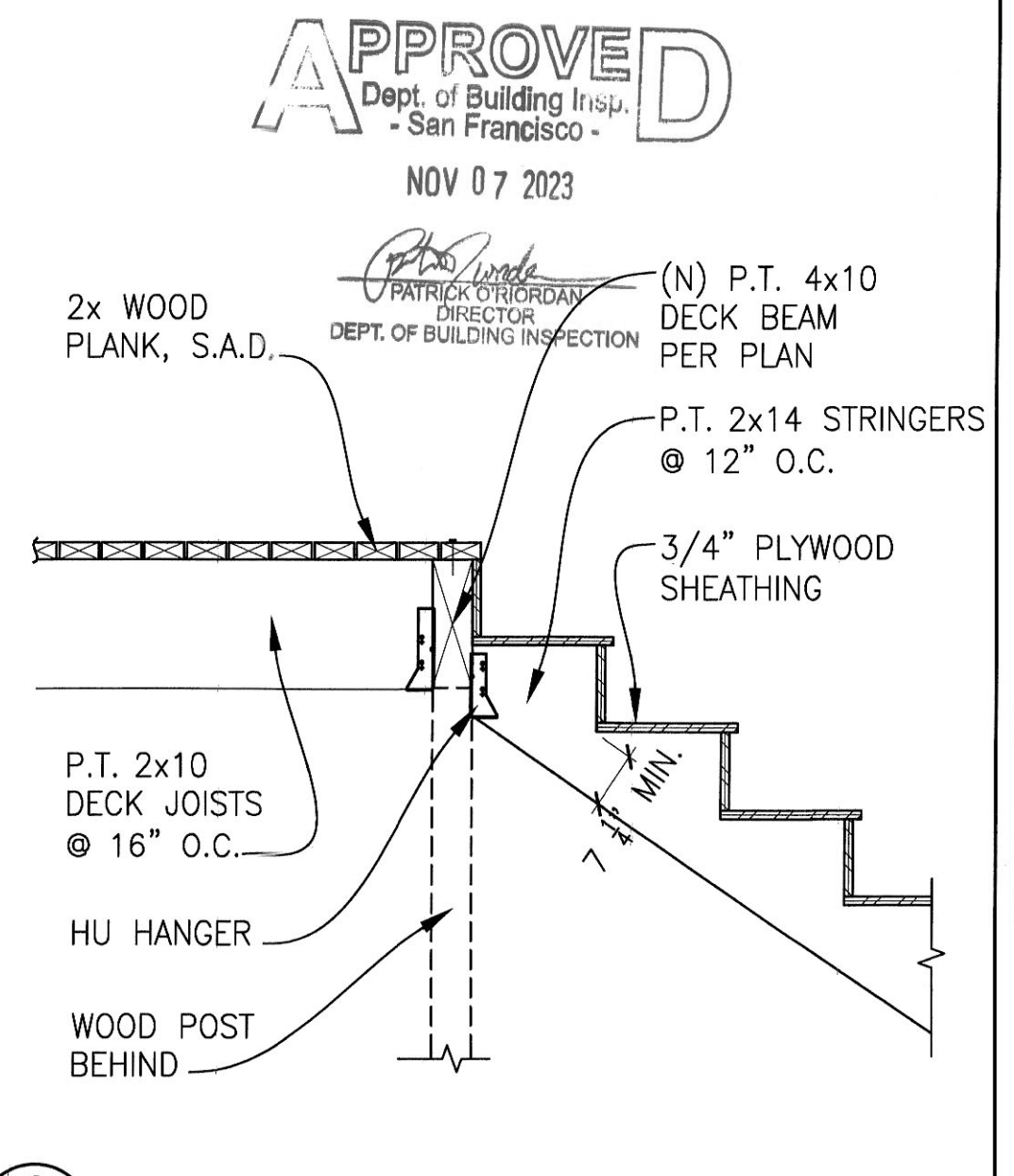
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SCALE: 3/4" = 1'-0"



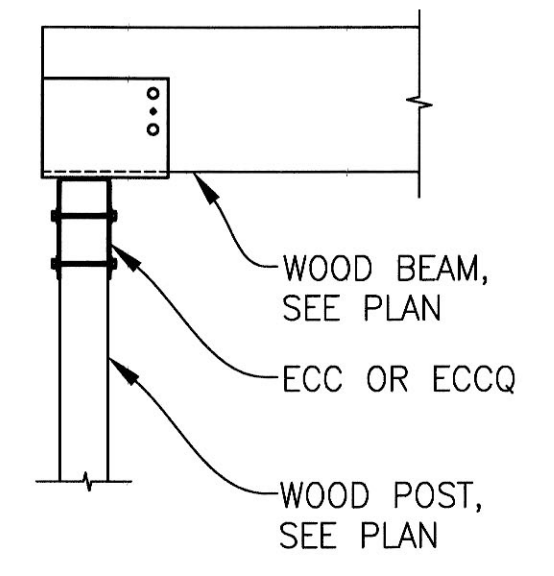
5

SCALE: 3/4" = 1'-0"



6

SCALE: 3/4" = 1'-0"



7 WOOD BEAM TO WOOD POST

SCALE: 3/4" = 1'-0"

NOTE: ALL CONSTRUCTION SHALL CONFORM TO 2022 CBC, MECH, PLUMBING, CEC AND SFBC 2022.

- DESIGN PLACEMENT OF CONCRETE SHALL BE IN ACCORDANCE W/ ACI 308.
- ALL CONDITIONS TO BE VERIFIED IN FIELD BY CONTRACTOR.
- CONCRETE FC=2500PSI;
- REINFORCING STEEL TO BE ASTM 615 GRADE 60 FOR #5 OR GREATER. GRADE 40 FOR #4 OR SMALLER.
- STRUCTURAL STEEL ASTM Fy=50,000 PSI, A36 Fy=36,000PSI;
- ALL LUMBER EXPOSED SHALL BE PRESSURE TREATED.
- ALL CUT PT LUMBER SHALL BE TREATED WITH COPPER GREEN OR EQUIV.
- ALL EXPOSED STEEL SHALL BE HOT DIPPED ZINC COATED GALVANIZED PER AMERICAN GALVANIZED SOCIETY. OR PAINTED TO PREVENT CORROSION.
- ALL HARDWARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT DIPPED ZINC COATED GALVANIZED STAINLESS.



Calvin Hom, DBI
 NOV 02 2023

PUBLIC COMMENT

Mimi Wong
239 Foerster Street
San Francisco, CA 94112

January 24, 2024

City & County of San Francisco
Board of Appeals
49 South Van Ness, Suite 1475
San Francisco, CA 94103

Dear Members of Board of Appeals:

Re: Appeal No. 23-060, 525 Hearst Avenue

As the owner-resident of 239 Foerster Street, I am writing to express my objection to the erection of a 7x14 foot elevated deck at the rear of 525 Hearst. The reason is that the proposed structure, if built, will allow its users to intrude on my and the surrounding neighbors' privacy.

Referring to the attached annotated Google Earth image of the intersection of Hearst Avenue and Foerster Street, with the proposed structure sketched to scale: the elevated deck extending from the back wall of 525 Hearst will allow a person situated next to the deck railing to have a direct line of sight to my backyard and into my bedroom. To preserve privacy, I will have to keep my curtains closed at all time and thus depriving me of the view of my own garden. Needless to say, the privacy intrusion on the immediate neighbors is even more severe. While I understand that outdoor space is desirable, would it not be sufficient to install the already permitted patio on the ground floor, where the privacy of the neighbors, as well as the residents of 525 Hearst, will be respected?

I urge Members of the Board of Appeals to consider the negative impact of the proposed elevated deck on the surrounding neighbors, and retract the permit for the erection of the structure. Your consideration in favor of the welfare of the current and future residents of the neighborhood will be greatly appreciated.

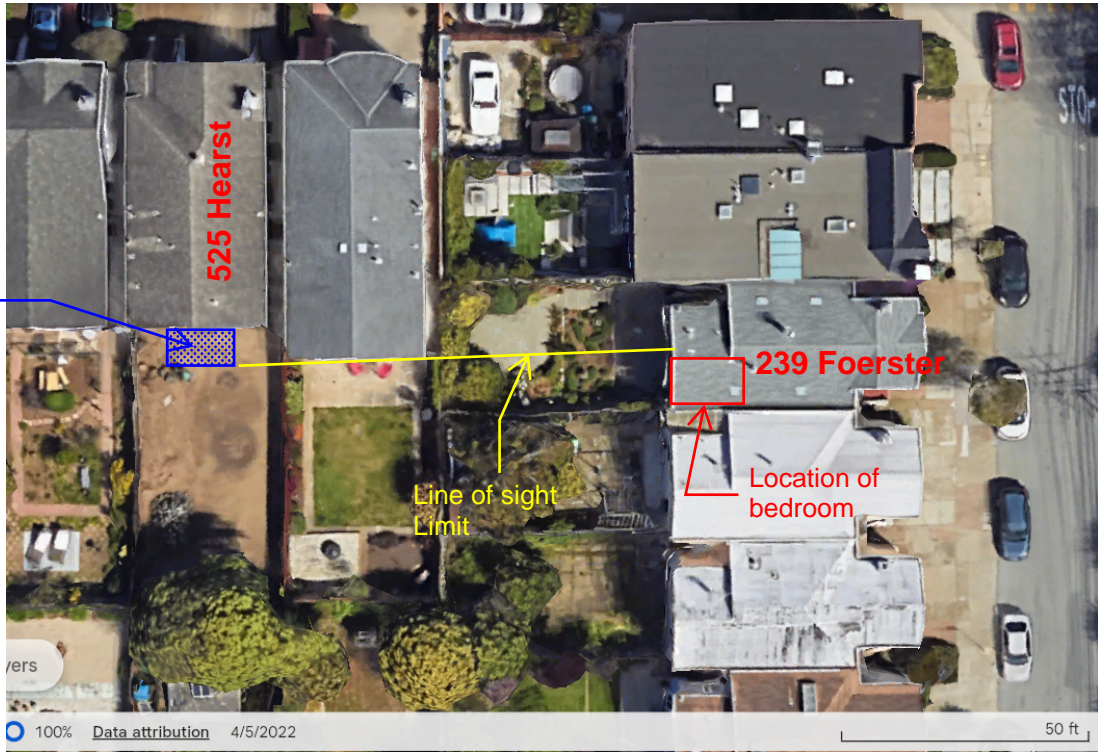
Regards,



Mimi Wong
Concerned Neighbor

Incl. Goole Earth sketch

7x14' deck



525 Hearst

239 Foerster

Location of bedroom

Line of sight Limit

100% Data attribution 4/5/2022

50 ft