



ACKNOWLEDGEMENT OF RECEIPT

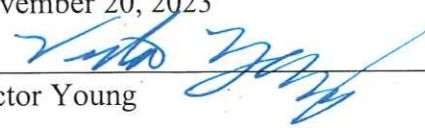
Submission of Measure: General Obligation Bond

Genal Obligation Bond – Affordable Housing – Not to Exceed \$300,000,000
(File Nos. 230971 and 230972)
(Unofficial Title of Measure)

- 1) Board of Supervisors
- 2) Tails
- 3) Legislative Digest

4) ELECTRONIC COPY OF TEXT

EMAIL- publications@sfgov.org

- 5) Contact Person: Victor Young
Address: 1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco, CA 94102
Phone: (415) 554-7723
Date: November 20, 2023
Submitted: 
Victor Young

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2023 NOV 20 PM 2:07
DEPARTMENT OF ELECTIONS

6) COPIES

- John Arntz- Director of Elections, in consultation with the City Attorney, shall forward the measure (within two working days after receipt of the petition) to departments that are affected by the measure.
- Publications
- Public- copy
- Office- original

BOARD of SUPERVISORS



City Hall
1 Dr. Carlton B. Goodlett Place, Room 244
San Francisco 94102-4689
Tel. No. (415) 554-5184
Fax No. (415) 554-5163
TDD/TTY No. (415) 554-5227

November 20, 2023

John Arntz, Director of Elections
Department of Elections
1 Dr. Carlton B. Goodlett Place, Room 48
San Francisco, CA 94102

HAND DELIVERED

Dear Mr. Arntz:

Attached please find four (4) certified copies of the following General Obligation Bond for the March 5, 2024, Election, as follows:

File No. 230971 General Obligation Bond Election - Affordable Housing - Not to Exceed \$300,000,000

Ordinance calling and providing for a special election to be held in the City and County of San Francisco on Tuesday, March 5, 2024, for the purpose of submitting to San Francisco voters a proposition to incur bonded indebtedness of not-to-exceed \$300,000,000, subject to independent citizen oversight and regular audits, to finance the construction, development, acquisition, and/or rehabilitation of rental affordable housing, including workforce housing and senior housing, for households ranging from extremely low-income to moderate-income households; and related costs necessary or convenient for the foregoing purposes; authorizing landlords to pass-through 50% of the resulting property tax increase, if any, to residential tenants under Administrative Code Chapter 37; providing for the levy and collection of taxes to pay both principal and interest on such Bonds; incorporating the provisions of the Administrative Code relating to the Citizens' General Obligation Bond Oversight Committee's review of Affordable Housing Bond expenditures; setting certain procedures and requirements for the election; affirming a determination under the California Environmental Quality Act; and finding that the proposed Bond is consistent with the General Plan, and with the eight priority policies of Planning Code, Section 101.1.

The Board of Supervisors FINALLY PASSED the above listed General Obligation Bond Ordinance on November 14, 2023.

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DEPARTMENT OF ELECTIONS

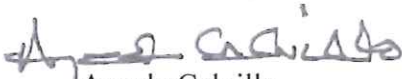
**File No. 230972 General Obligation Bond Election - Affordable Housing - Not
to Exceed \$300,000,000**

Resolution determining and declaring that the public interest and necessity demand the construction, development, acquisition, and/or rehabilitation of rental affordable housing projects, and related costs necessary or convenient for the foregoing purposes; to be financed through bonded indebtedness in an amount not to exceed \$300,000,000, subject to independent citizen oversight and regular audits; authorizing landlords to pass-through 50% of the resulting property tax increase, if any, to residential tenants under Administrative Code, Chapter 37; providing for the levy and collection of taxes to pay both principal and interest on such bonds; affirming a determination under the California Environmental Quality Act; and finding that the proposed Bond is consistent with the General Plan, and with the eight priority policies of Planning Code, Section 101.1.

The Board of Supervisors ADOPTED the above listed General Obligation Bond Resolution on November 7, 2023.

The electronic version of the General Obligation Bond was e-mailed to your office at publications@sfgov.org.

Sincerely,


Angela Calvillo
Clerk of the Board

vy:ams

(Attachments)



City and County of San Francisco
Certified Copy
Ordinance

City Hall
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

230971 [**General Obligation Bond Election - Affordable Housing - Not to Exceed \$300,000,000**]

Sponsors: Mayor; Peskin, Chan, Safai, Mandelman, Ronen, Walton, Preston, Stefani, Melgar and Engardio

Ordinance calling and providing for a special election to be held in the City and County of San Francisco on Tuesday, March 5, 2024, for the purpose of submitting to San Francisco voters a proposition to incur bonded indebtedness of not-to-exceed \$300,000,000, subject to independent citizen oversight and regular audits, to finance the construction, development, acquisition, and/or rehabilitation of rental affordable housing, including workforce housing and senior housing, for households ranging from extremely low-income to moderate-income households; and related costs necessary or convenient for the foregoing purposes; authorizing landlords to pass-through 50% of the resulting property tax increase, if any, to residential tenants under Administrative Code Chapter 37; providing for the levy and collection of taxes to pay both principal and interest on such Bonds; incorporating the provisions of the Administrative Code relating to the Citizens' General Obligation Bond Oversight Committee's review of Affordable Housing Bond expenditures; setting certain procedures and requirements for the election; affirming a determination under the California Environmental Quality Act; and finding that the proposed Bond is consistent with the General Plan, and with the eight priority policies of Planning Code, Section 101.1.

11/7/2023 Board of Supervisors - PASSED ON FIRST READING

Ayes: 9 - Chan, Dorsey, Engardio, Mandelman, Peskin, Preston, Safai, Stefani and Walton

Excused: 2 - Melgar and Ronen

11/14/2023 Board of Supervisors - FINALLY PASSED

Ayes: 11 - Chan, Dorsey, Engardio, Mandelman, Melgar, Peskin, Preston, Ronen, Safai, Stefani and Walton

11/16/2023 Mayor - APPROVED

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DEPARTMENT OF ELECTIONS

STATE OF CALIFORNIA
CITY AND COUNTY OF SAN FRANCISCO

CLERK'S CERTIFICATE

I do hereby certify that the foregoing Ordinance is a full, true, and correct copy of the original thereof on file in this office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City and County of San Francisco.

November 17, 2023

Date



f Angela Calvillo

Clerk of the Board

[General Obligation Bond Election - Affordable Housing - Not to Exceed \$300,000,000]

Ordinance calling and providing for a special election to be held in the City and County of San Francisco on Tuesday, March 5, 2024, for the purpose of submitting to San Francisco voters a proposition to incur bonded indebtedness of not-to-exceed \$300,000,000, subject to independent citizen oversight and regular audits, to finance the construction, development, acquisition, and/or rehabilitation of rental affordable housing, including workforce housing and senior housing, for households ranging from extremely low-income to moderate-income households; and related costs necessary or convenient for the foregoing purposes; authorizing landlords to pass-through 50% of the resulting property tax increase, if any, to residential tenants under Administrative Code Chapter 37; providing for the levy and collection of taxes to pay both principal and interest on such Bonds; incorporating the provisions of the Administrative Code relating to the Citizens' General Obligation Bond Oversight Committee's review of Affordable Housing Bond expenditures; setting certain procedures and requirements for the election; affirming a determination under the California Environmental Quality Act; and finding that the proposed Bond is consistent with the General Plan, and with the eight priority policies of Planning Code, Section 101.1.

NOTE: **Unchanged Code text and uncodified text** are in plain Arial font.
Additions to Codes are in single-underline italics Times New Roman font.
Deletions to Codes are in ~~strikethrough italics Times New Roman font~~.
Board amendment additions are in double-underlined Arial font.
Board amendment deletions are in ~~strikethrough Arial font~~.
Asterisks (* * * *) indicate the omission of unchanged Code subsections or parts of tables.

Be it ordained by the People of the City and County of San Francisco:

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DEPARTMENT OF ELECTIONS

1 Section 1. Findings.

2 A. The General Plan 2022 Housing Element (“2022 Housing Element”) of the City
3 and County of San Francisco (“City”) details the City’s goals, objectives, and corresponding
4 policies and programs to meet the housing needs of all San Francisco residents, with a focus
5 on racial and social equity. This includes the objective to substantially expand the amount of
6 affordable housing for extremely low- to moderate-income households and expand housing
7 opportunities for middle-income households (as defined in Section 3 below) (2022 Housing
8 Element, Objectives 4.A and 4.B), as well as the requirement for San Francisco to plan for
9 and support the production of 46,598 affordable housing units over the next eight years as
10 mandated by the Regional Housing Needs Allocation Plan.

11 B. The U.S. Department of Housing and Urban Development (HUD) considers
12 housing to be “affordable” when a household spends 30 percent or less of their income on
13 housing costs, including rent and utilities. In 2022, the median rent for a 2-bedroom apartment
14 was \$3,800, affordable to a household earning \$137,000; less than 40 percent of San
15 Francisco households earn this income. (2022 Housing Element, Goal 4).

16 C. The need for affordable housing was severely exacerbated during the
17 COVID-19 pandemic, when the City’s unemployment rate rose to 13 percent in April 2020
18 from 2.2 percent in February 2020. As a result, the City invested in policies and programs to
19 support residents at risk of eviction, foreclosure, and displacement due to loss of income
20 related to the pandemic. These investments included (i) establishment of the Emergency
21 Rental Assistance Program, (ii) expansion of the Homeowner Emergency Loan Program, and
22 (iii) issuance of a moratorium on evictions due to nonpayment of rent.

23 D. While these policies and programs provided temporary support, overwhelming
24 demand far exceeded and continues to exceed the City’s available resources. The City’s
25 economy is still recovering from the pandemic, and the impacts of the pandemic will have

1 lasting effects, particularly for families and individuals that were disproportionately impacted
2 by the pandemic (2022 Housing Element, Figure 33).

3 E. The City's ability to produce the affordable rental housing it needs has been
4 significantly impacted by the limited availability of state and federal resources. From 2018 to
5 2022, for every \$1 of local funding invested by the City to create affordable housing, the City's
6 affordable housing projects received \$2 in funding from state and federal sources. As detailed
7 in the 2024 Affordable Housing Bond Report, the economic environment for affordable
8 housing has changed significantly in recent years, with state affordable housing funding
9 programs becoming more competitive and severely oversubscribed, including the state's
10 allocation of volume cap for tax-exempt housing revenue bonds.

11 F. The City contributes significant resources to ensure project delivery. San
12 Francisco voters have approved measures to create local funds dedicated to the construction,
13 preservation, and rehabilitation of affordable housing, including the 2012 Housing Trust Fund
14 and affordable housing general obligation bonds in 2015 and 2019. The City's local funds
15 from the 2015 and 2019 bonds are projected to be exhausted by 2028 (2024 Affordable
16 Housing Bond Report). Additional sources of affordable housing funds from the City's impact
17 fees have been decreasing due to the economic environment, such as the Jobs-Housing
18 Linkage Fee (Planning Code, Sec. 413), the Inclusionary Affordable Housing Program
19 (Planning Code, Sec. 415), various development agreements, and other impact fees. Funding
20 from such sources decreased by 95 percent between Fiscal Year 2019-2020 and Fiscal Year
21 2021-2022. Moreover, the Office of the Controller's FY 2023-2024 and 2024-2025 Revenue
22 Letter projects only modest tax revenue growth over the coming years, severely limiting the
23 amount of resources the City will have to fund the development of affordable housing.

24 G. The City's economic future and ongoing recovery will ultimately depend on its
25 ability to produce and preserve enough affordable housing to ensure the City's economically

1 diverse households can equitably access housing and remain stably housed in San
2 Francisco. Failure to meet this need will result in the displacement of more households to
3 areas with more affordable housing. This displacement could result in (i) greater disparity
4 between above moderate-income and lower-income households in the City with little change
5 to the City's median income levels as determined by the U.S. Census Bureau; and (ii) long
6 commutes, road congestion, and environmental harm as people seek affordable housing at
7 greater distances from where they work.

8 H. The City places high importance on job quality and training opportunities in the
9 local construction industry.

10 I. The City and past recipients of City funding have worked with local stakeholders
11 to successfully implement the City's longstanding policy goal that all construction projects
12 receiving public funds should advance, to the extent financially feasible and legally
13 permissible, job quality and training opportunities.

14 J. It is in the best interest of the City that affordable housing construction projects
15 be subject to strong labor standards and antidiscrimination protections, to the extent feasible,
16 to ensure that such projects are built with the highest degree of skill and as quickly as
17 possible, to meet the City's urgent need for housing.

18 K. It is in the best interest of the City that project developers of affordable housing
19 projects work with local worker representatives and advocates to develop health and safety
20 standards and protections, to the extent feasible, that will allow workers to construct essential
21 affordable housing quickly and safely.

22 L. The Mayor's Office of Housing and Community Development ("MOHCD") and
23 recipients of funding from bond proceeds authorized by this measure are strongly encouraged
24 to work collaboratively with local stakeholders during the project development process, to
25 adopt and implement strong labor standards, antidiscrimination protections, health and safety

1 standards, and protections, on all projects financed with bond proceeds authorized by this
2 measure, to the extent feasible.

3 M. In 2021, the City adopted its San Francisco Climate Action Plan (“CAP”), which
4 identifies that one of the most effective ways to reduce greenhouse gas emissions is to
5 ensure San Francisco has dense and affordable infill housing, with not less than 30% of its
6 projected goals of 5,000 new housing units affordable to low- and lower-income households.

7 N. The CAP states that providing more housing in San Francisco affordable to
8 workers will make it easier for the City’s first-responders, service industry workforce, teachers
9 and medical workers to live close to where they work, instead of commuting long distances by
10 car and generating more greenhouse gas emissions.

11 O. This Board of Supervisors (“Board”) unanimously approved the CLEE Report
12 (Center for Law, Energy and the Environment at UC Berkeley), which outlined potential
13 funding sources for the CAP, and unanimously recommended to the Office of Resilience and
14 Capital Planning that a Climate Bond be incorporated into the City’s 10 year Capital Plan.

15 P. It is in the best interest of the City that all construction projects, including
16 affordable housing construction projects, incorporate strong climate protections, to the extent
17 feasible, to ensure that such projects are built with the strongest possible climate standards.

18 Q. New construction of affordable housing built on City-owned land will be subject
19 to the green building standards under Environment Code Chapter 7.

20 R. It is in the best interest of the City that project developers of affordable housing
21 projects work with local climate advocates to develop appropriate climate standards and
22 protections, to the extent feasible.

23 S. MOHCD and recipients of funding from bond proceeds authorized by this
24 measure are strongly encouraged to work collaboratively with local climate advocates and the
25 Department of the Environment, during the project development process, to adopt and

1 implement strong climate standards and protections on all projects financed with bond
2 proceeds authorized by this measure, to the extent feasible.

3 T. According to the Department of Homelessness and Supportive Housing (“HSH”),
4 cisgender women and women-identified individuals make up 31% of the total number of
5 homeless or marginally-housed individuals documented by the City, yet an exhaustive survey
6 conducted by the Women’s Housing Coalition of HSH and MOHCD shelter and housing
7 inventory found only 92 out of 23,500 units of permanent affordable housing and 101 out of
8 3,084 total shelter beds dedicated for cisgender women and women-identified individuals,
9 making up less than one percent and 3.27% of the need for women-specific safe permanent
10 housing and shelter respectively.

11 U. According to HSH, over 75% of women and women-identified homeless have
12 experienced violence on the streets or in shelters, with over 43% experiencing sexual
13 violence, with a 2019 statewide study by the CA Policy Lab documenting that 80% of
14 unsheltered women reporting sexual or violent abuse as the cause of their homelessness.

15 V. According to HSH, 24% of homeless women have had to voluntarily give up
16 primary caretaking responsibilities due to housing instability or homelessness, and 26% have
17 been pregnant while homeless.

18 W. Between 2019-2020, while 900 women survivors were reported to have received
19 placement in victim-specific shelter and permanent housing programs, over 2,684 women
20 survivors of street violence, sexual exploitation and/or domestic violence were turned away
21 from Victim Service Provider-Emergency and Transitional Housing, demonstrating that for
22 every survivor who received safe housing that year, at least another three did not.

23 X. According to HSH’s 2022/2023 survey of women experiencing homelessness,
24 56% indicated they had been homeless for over one year, including 11% who confirmed they

1 were homeless with their children with them and 21% who confirmed they could be with their
2 children if they had different housing.

3 Y. HSH, the Department on the Status of Women, the Department of Public Health,
4 MOHCD, and the Board convened a half-day retreat with the Women's Housing Coalition and
5 affordable housing providers who made recommendations on addressing the plight of
6 unhoused and marginally housed cisgender and women-identified survivors of violence and
7 abuse, including implementing easier and quicker access to housing, women-only safe and
8 secure shelter and long-term housing.

9 Z. MOHCD will work with HSH and relevant stakeholders to ensure that up to
10 \$30,000,000 of Bond proceeds will be allocated to construct, develop, acquire, and/or
11 rehabilitate housing for extremely-low income households, very low-income households,
12 and/or lower-income households who need safe and stable housing, and are experiencing (i)
13 trauma-informed homelessness, (ii) street violence, (iii) domestic violence and abuse, (iv)
14 sexual abuse and assault, and/or (v) human trafficking, which population is overwhelming
15 cisgender women and women-identified.

16 AA According to the State's Homeless Data Integration System, between 2017 and
17 2021, while California's senior population over the age of 55 years of age grew by 7%, the
18 number of seniors who became homeless as a result of increased housing and healthcare
19 costs, job loss or displacement increased by 84%, a national trend that is particularly
20 exacerbated in the Bay Area, which is one of the most expensive areas to live in the United
21 States.

22 BB. The California Department of Finance released a population forecast in 2023
23 showing that San Francisco's population of seniors 80 years of age or older is expected to
24 triple in the next four decades, going from 48,000 seniors in 2020 to nearly 137,000 seniors by
25 2060, while at the same time, the City's overall population is expected to decline from about

1 870,000 people in 2020 to 845,000 in 2060, highlighting a significant need for affordable
2 housing for seniors.

3 CC. San Francisco's Department of Aging and Adult Services' (DAAS) 2021
4 Overview Report on Affordable Housing for Seniors and People with Disabilities confirms that
5 seniors aging in place in San Francisco are spending 75% or more of their monthly, fixed
6 income on rent each month, and struggling to pay for other necessities like food and bills.

7 DD. It is in the best interest of the City that housing for low-income seniors be
8 prioritized in the City's work to meet the state-mandated Housing Element requirement to
9 build 46,000 new affordable housing units in the next eight years.

10 EEH. The proposed Bond is recommended in the City's 10-year capital plan, approved
11 each odd-numbered year by the Mayor and this Board of Supervisors ("BOARD").

12 FF. The proposed Bond will provide a portion of the critical funding necessary to
13 construct, develop, acquire, and/or rehabilitate rental affordable housing projects in the City
14 (as further defined in Section 3 below).

15
16 Section 2. A special election is called and ordered to be held in the City on Tuesday,
17 March 5, 2024, for the purpose of submitting to the electors of the City a proposition to incur
18 bonded indebtedness of the City for the programs described in the amount and for the
19 purposes stated (herein collectively, the "Project"):

20 "SAN FRANCISCO AFFORDABLE HOUSING BONDS. \$300,000,000 to construct,
21 develop, acquire, and/or rehabilitate housing, including workforce housing and senior housing,
22 that will be affordable to households ranging from extremely low-income to moderate-income
23 households, subject to independent citizen oversight and regular audits; with a duration of up
24 to 30 years from the time of issuance, an estimated average tax rate of \$0.0057/\$100 of
25 assessed property value, and projected average annual revenues of \$25,000,000; and

1 authorizing landlords to pass-through to residential tenants in units subject to Administrative
2 Code Chapter 37, as such Chapter may be amended (the “Residential Rent Stabilization and
3 Arbitration Ordinance”) 50 percent of the resulting increase, if any, in the real property taxes
4 attributable to the cost of the repayment of such Bonds, as set forth in Administrative Code
5 Chapter 37, as it may be amended from time to time.”

6 The special election called and ordered to be held hereby shall be referred to in this
7 ordinance as the “Bond Special Election.”

8
9 Section 3. PROPOSED PROGRAM. The City intends to allocate the Bond proceeds
10 described below to provide to extremely low-, very low-, lower-, and moderate-income
11 households in San Francisco affordable housing rental and homeownership opportunities in
12 accordance with policies and programs set forth by the 2022 Housing Element. “Median
13 Income” is the median income for the City and County of San Francisco determined annually
14 by the Mayor’s Office of Housing and Community Development (“MOHCD”), adjusted solely
15 for household size, and derived in part from the income limits and area median income
16 determined by HUD for the San Francisco Metro Fair Market Rent Area, but not adjusted for a
17 high housing cost area. For this Bond, income levels are defined as follows: households
18 earning up to 30 percent of Median Income are “extremely low-income”; households earning
19 up to 50 percent of Median Income are “very low-income”; households earning up to 80
20 percent of Median Income are “lower-income households”; and households earning up to 120
21 percent of Median Income are “moderate-income households”. Contractors and City
22 departments shall comply with all applicable City laws when awarding contracts or performing
23 work funded with the proceeds of Bonds authorized by this measure.

24 A. CONSTRUCTION: Up to \$240,000,000 of Bond proceeds will be allocated to
25 construct, develop, acquire, and/or rehabilitate new affordable rental housing, including senior

1 housing and workforce housing, serving extremely low-income households, very low-income
2 households, and lower-income households.

3 B. PRESERVATION: Up to \$30,000,000 of Bond proceeds will be allocated to
4 construct, develop, acquire, and/or rehabilitate rental housing, so as to preserve it as
5 affordable for lower-income households and moderate-income households.

6 C. VICTIMS AND SURVIVORS HOUSING: Up to \$30,000,000 of Bond proceeds
7 will be allocated to construct, develop, acquire, and/or rehabilitate housing for extremely-low
8 income households, very low-income households, and/or lower-income households who need
9 safe and stable housing, and are experiencing (i) trauma-informed homelessness, (ii) street
10 violence, (iii) domestic violence and abuse, (iv) sexual abuse and assault, and/or (v) human
11 trafficking.

12 D. CITIZENS' OVERSIGHT COMMITTEE. A portion of the Bond shall be used to
13 perform audits of the Bond, as further described in Section 4 and Section 16 below.

14
15 Section 4. BOND ACCOUNTABILITY MEASURES.

16 The Bonds shall include the following administrative rules and principles:

17 A. OVERSIGHT. The proposed Bond funds shall be subject to approval processes
18 and rules described in the San Francisco Charter and Administrative Code. Pursuant to
19 Administrative Code Section 5.31, the Citizens' General Obligation Bond Oversight
20 Committee shall conduct an annual review of Bond spending, and shall provide an annual
21 report of the Bond program to the Mayor and the Board.

22 B. TRANSPARENCY. The City shall create and maintain a web page outlining and
23 describing the bond program, progress, and activity updates. The City shall also hold an
24 annual public hearing and review on the bond program and its implementation before the
25 Capital Planning Committee and the Citizens' General Obligation Bond Oversight Committee.

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Section 5. The estimated cost of the bond-financed portion of the project described in Section 2 above was fixed by the Board by the following Resolution and in the amount specified below:

Resolution No. 528-23, on file with the Clerk of the Board in File No. 230972 \$300,000,000.

Such resolution was passed by two-thirds or more of the Board and approved by the Mayor. In such resolution it was recited and found by the Board that the sum of money specified is too great to be paid out of the ordinary annual income and revenue of the City in addition to the other annual expenses or other funds derived from taxes levied for those purposes and will require expenditures greater than the amount allowed by the annual tax levy.

The method and manner of payment of the estimated costs described in this ordinance are by the issuance of Bonds by the City not exceeding the principal amount specified.

Such estimate of costs as set forth in such resolution is adopted and determined to be the estimated cost of such bond-financed improvements and financing, respectively.

Section 6. The Bond Special Election shall be held and conducted and the votes received and canvassed, and the returns made and the results ascertained, determined, and declared as provided in this ordinance and in all particulars not recited in this ordinance such election shall be held according to the laws of the State of California ("State") and the Charter of the City ("Charter") and any regulations adopted under State law or the Charter, providing for and governing elections in the City, and the polls for such election shall be and remain open during the time required by such laws and regulations.

1 Section 7. The Bond Special Election is consolidated with the Presidential Primary
2 Election scheduled to be held in the City on Tuesday, March 5, 2024 (“Presidential Primary
3 Election”). The voting precincts, polling places, and officers of election for the Presidential
4 Primary Election are hereby adopted, established, designated, and named, respectively, as
5 the voting precincts, polling places, and officers of election for the Bond Special Election
6 called, and reference is made to the notice of election setting forth the voting precincts, polling
7 places, and officers of election for the Presidential Primary Election by the City’s Director of
8 Elections to be published in the official newspaper of the City on the date required under the
9 laws of the State.

10
11 Section 8. The ballots to be used at the Bond Special Election shall be the ballots to
12 be used at the Presidential Primary Election. The word limit for ballot propositions imposed by
13 Municipal Elections Code Section 510 is waived. On the ballots to be used at the Bond
14 Special Election, in addition to any other matter required by law to be printed thereon, shall
15 appear the following as a separate proposition:

16 “SAN FRANCISCO AFFORDABLE HOUSING BONDS. To construct, develop,
17 acquire, and/or rehabilitate housing, including workforce housing and senior housing, that will
18 be affordable to households ranging from extremely low-income to moderate-income
19 households; shall the City and County of San Francisco issue \$300,000,000 in general
20 obligation bonds, subject to independent citizen oversight and regular audits, with a duration
21 of up to 30 years from the time of issuance, an estimated average tax rate of \$0.0057/\$100 of
22 assessed property value, and projected average annual revenues of \$25,000,000?”

23 The City’s current debt management policy is to maintain the property tax rate for City
24 general obligation bonds below the 2006 rate by issuing new general obligation bonds as
25

1 older ones are retired and the tax base grows, though this property tax rate may vary based
2 on other factors.”

3 Each voter to vote in favor of the foregoing bond proposition shall mark the ballot in the
4 location corresponding to a “YES” vote for the proposition, and to vote against the proposition
5 shall mark the ballot in the location corresponding to a “NO” vote for the proposition.
6

7 Section 9. If at the Bond Special Election it shall appear that two-thirds of all the
8 voters voting on the proposition voted in favor of and authorized the incurring of bonded
9 indebtedness for the purposes set forth in such proposition, then such proposition shall have
10 been accepted by the electors, and the Bonds authorized shall be issued upon the order of
11 the Board. Such Bonds shall bear interest at a rate not exceeding that permitted by law.

12 The votes cast for and against the proposition shall be counted separately and when
13 two-thirds of the qualified electors, voting on the proposition, vote in favor, the proposition
14 shall be deemed adopted.
15

16 Section 10. The actual expenditure of Bond proceeds provided for in this ordinance
17 shall be net of financing costs.
18

19 Section 11. For the purpose of paying the principal and interest on the Bonds, the
20 Board shall, at the time of fixing the general tax levy and in the manner for such general tax
21 levy provided, levy and collect annually each year until such Bonds are paid, or until there is a
22 sum in the Treasury of the City, or other account held on behalf of the Treasurer of the City,
23 set apart for that purpose to meet all sums coming due for the principal and interest on the
24 Bonds, a tax sufficient to pay the annual interest on such Bonds as the same becomes due
25 and also such part of the principal thereof as shall become due before the proceeds of a tax

1 levied at the time for making the next general tax levy can be made available for the payment
2 of such principal.

3
4 Section 12. This ordinance shall be published in accordance with any State law
5 requirements, and such publication shall constitute notice of the Bond Special Election and no
6 other notice of the Bond Special Election hereby called need be given.

7
8 Section 13. The Planning Department has determined that the actions contemplated
9 in this ordinance comply with the California Environmental Quality Act (California Public
10 Resources Code Section 21000 et seq.). Said determination is on file with the Clerk of the
11 Board of Supervisors in File No. 230971 and is incorporated herein by reference. The Board
12 affirms this determination.

13
14 Section 14. On September 22, 2023, the Planning Department issued its General
15 Plan Referral Report finding that the actions contemplated in this ordinance are consistent, on
16 balance, with the City's General Plan and eight priority policies of Planning Code Section
17 101.1. The Board adopts these findings as its own. A copy of said General Plan Referral
18 Report is on file with the Clerk of the Board of Supervisors in File No. 230971, and is
19 incorporated herein by reference.

20
21 Section 15. Under Section 53410 of the California Government Code, the Bonds shall
22 be for the specific purpose authorized in this ordinance and the proceeds of such Bonds will
23 be applied only for such specific purpose. The City will comply with the requirements of
24 Sections 53410(c) and 53410(d) of the California Government Code.

1 Section 16. The Bonds are subject to, and incorporate by reference, the applicable
2 provisions of Administrative Code Sections 5.30-5.36 (the "Citizens' General Obligation Bond
3 Oversight Committee"). Consistent with Administrative Code Section 5.31, to the extent
4 permitted by law, 0.1% of the gross proceeds of the Bonds shall be deposited in a fund
5 established by the Controller's Office and appropriated by the Board of Supervisors at the
6 direction of the Citizens' General Obligation Bond Oversight Committee to cover the costs of
7 such committee.

8
9 Section 17. The time requirements specified in Administrative Code Section 2.34 are
10 waived.

11
12 Section 18. The City hereby declares its official intent to reimburse prior expenditures
13 of the City incurred or expected to be incurred prior to the issuance and sale of any series of
14 the Bonds in connection with the Project. The Board hereby declares the City's intent to
15 reimburse the City with the proceeds of the Bonds for expenditures with respect to the Project
16 (the "Expenditures" and each, an "Expenditure") made on and after that date that is no more
17 than 60 days prior to the passage of this ordinance. The City reasonably expects on the date
18 hereof that it will reimburse the Expenditures with the proceeds of the Bonds.

19 Each Expenditure was and will be either (a) of a type properly chargeable to a capital
20 account under general federal income tax principles (determined in each case as of the date
21 of the Expenditure), (b) a cost of issuance with respect to the Bonds, or (c) a nonrecurring
22 item that is not customarily payable from current revenues. The maximum aggregate principal
23 amount of the Bonds expected to be issued for the Project is \$300,000,000. The City shall
24 make a reimbursement allocation, which is a written allocation by the City that evidences the
25 City's use of proceeds of the applicable series of Bonds to reimburse an Expenditure, no later

1 than 18 months after the later of the date on which the Expenditure is paid or the related
2 portion of the Project is placed in service or abandoned, but in no event more than three years
3 after the date on which the Expenditure is paid. The City recognizes that exceptions are
4 available for certain "preliminary expenditures," costs of issuance, certain de minimis
5 amounts, expenditures by "small issuers" (based on the year of issuance and not the year of
6 expenditure) and Expenditures for construction projects of at least five years.

7
8 Section 19. Landlords may pass through to residential tenants ~~under the Residential~~
9 ~~Stabilization and Arbitration Ordinance (Administrative Code Chapter 37), as such Chapter~~
10 ~~may be amended,~~ 50 percent of any property tax increase that may result from the issuance
11 of Bonds authorized by this ordinance, as set forth in Administrative Code Chapter 37, as it
12 may be amended from time to time. ~~The City may enact ordinances authorizing tenants to~~
13 ~~seek waivers from the pass through based on financial hardship.~~

14
15 Section 20. The appropriate officers, employees, representatives, and agents of the
16 City are hereby authorized and directed to do everything necessary or desirable to accomplish
17 the calling and holding of the Bond Special Election, and to otherwise carry out the provisions
18 of this ordinance.

19 ///
20 ///
21 ///
22 ///
23 ///
24 ///
25 ///

1 Section 21. Documents referenced in this ordinance are on file with the Clerk of the
2 Board of Supervisors in File No. 230971, which is hereby declared to be a part of this
3 ordinance as if set forth fully herein.
4

5 APPROVED AS TO FORM:
6 DAVID CHIU, City Attorney

7
8 By: /s/ KENNETH D. ROUX
9 KENNETH D. ROUX
Deputy City Attorney
n:\financ\as2023\2300394\01713291.docx



City and County of San Francisco
Tails
Ordinance

City Hall
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

File Number: 230971

Date Passed: November 14, 2023

Ordinance calling and providing for a special election to be held in the City and County of San Francisco on Tuesday, March 5, 2024, for the purpose of submitting to San Francisco voters a proposition to incur bonded indebtedness of not-to-exceed \$300,000,000, subject to independent citizen oversight and regular audits, to finance the construction, development, acquisition, and/or rehabilitation of rental affordable housing, including workforce housing and senior housing, for households ranging from extremely low-income to moderate-income households; and related costs necessary or convenient for the foregoing purposes; authorizing landlords to pass-through 50% of the resulting property tax increase, if any, to residential tenants under Administrative Code Chapter 37; providing for the levy and collection of taxes to pay both principal and interest on such Bonds; incorporating the provisions of the Administrative Code relating to the Citizens' General Obligation Bond Oversight Committee's review of Affordable Housing Bond expenditures; setting certain procedures and requirements for the election; affirming a determination under the California Environmental Quality Act; and finding that the proposed Bond is consistent with the General Plan, and with the eight priority policies of Planning Code, Section 101.1.

October 25, 2023 Budget and Finance Committee - AMENDED, AN AMENDMENT OF THE WHOLE BEARING NEW TITLE

October 25, 2023 Budget and Finance Committee - CONTINUED AS AMENDED

November 01, 2023 Budget and Finance Committee - RECOMMENDED

November 07, 2023 Board of Supervisors - PASSED ON FIRST READING

Ayes: 9 - Chan, Dorsey, Engardio, Mandelman, Peskin, Preston, Safai, Stefani and Walton

Excused: 2 - Melgar and Ronen

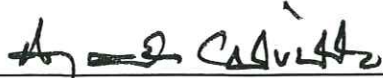
November 14, 2023 Board of Supervisors - FINALLY PASSED

Ayes: 11 - Chan, Dorsey, Engardio, Mandelman, Melgar, Peskin, Preston, Ronen, Safai, Stefani and Walton

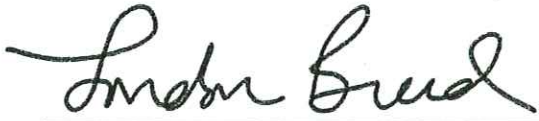
SAN FRANCISCO
FILED
2023 NOV 20 PM 2:29
DEPARTMENT OF ELECTIONS

File No. 230971

I hereby certify that the foregoing Ordinance was FINALLY PASSED on 11/14/2023 by the Board of Supervisors of the City and County of San Francisco.



Angela Calvillo
Clerk of the Board



London N. Breed
Mayor

11/16/23

Date Approved

REVISED LEGISLATIVE DIGEST
(Amended in Committee, 10/25/2023)

[General Obligation Bond Election - Affordable Housing - Not to Exceed \$300,000,000]

Ordinance calling and providing for a special election to be held in the City and County of San Francisco on Tuesday, March 5, 2024, for the purpose of submitting to San Francisco voters a proposition to incur bonded indebtedness of not-to-exceed \$300,000,000, subject to independent citizen oversight and regular audits, to finance the construction, development, acquisition, and/or rehabilitation of rental affordable housing, including workforce housing and senior housing, for households ranging from extremely low-income to moderate-income households; and related costs necessary or convenient for the foregoing purposes; authorizing landlords to pass-through 50% of the resulting property tax increase, if any, to residential tenants under Administrative Code Chapter 37; providing for the levy and collection of taxes to pay both principal and interest on such Bonds; incorporating the provisions of the Administrative Code relating to the Citizens' General Obligation Bond Oversight Committee's review of Affordable Housing Bond expenditures; setting certain procedures and requirements for the election; affirming a determination under the California Environmental Quality Act; and finding that the proposed Bond is consistent with the General Plan, and with the eight priority policies of Planning Code, Section 101.1.

Existing Law

General Obligation Bonds of the City and County of San Francisco may be issued only with the assent of two-thirds of the voters voting on the proposition.

Ballot Proposition

This ordinance authorizes the following ballot proposition to be placed on the March 5, 2024 ballot:

“SAN FRANCISCO AFFORDABLE HOUSING BONDS. To construct, develop, acquire, and/or rehabilitate housing, including workforce housing and senior housing, that will be affordable to households ranging from extremely low-income to moderate-income households; shall the City and County of San Francisco issue \$300,000,000 in general obligation bonds, subject to independent citizen oversight and regular audits, with a duration of up to 30 years from the time of issuance, an estimated average tax rate of \$0.0057/\$100 of assessed property value, and projected average annual revenues of \$25,000,000?”

The ordinance fixes the maximum rate of interest on the Bonds, and provides for a levy and collection of taxes to repay both the principal and interest on the Bonds. The ordinance also describes the manner in which the Bond Special Election will be held, and the ordinance provides for compliance with applicable state and local laws. The proposed ordinance includes accountability and transparency measures.

The ordinance allows landlords to pass through to residential tenants 50% of any property tax increase to tenants under the under the Residential Rent Stabilization and Arbitration Ordinance, and authorizes the Board of Supervisors' to adopt future ordinances authorizing tenants to seek waivers from the pass-through based on financial hardship.

Background Information

The City and County of San Francisco ("City")'s General Plan 2022 Housing Element ("2022 Housing Element") details the City's goals, objectives, and corresponding policies and programs to meet the housing needs of all San Francisco residents, with a focus on racial and social equity. This includes the objective to substantially expand the amount of affordable housing for extremely low- to moderate-income households (2022 Housing Element, Objectives 4.A and 4.B), as well as the requirement for San Francisco to plan for and support the production of 46,598 affordable housing units over the next eight years as mandated by the Regional Housing Needs Allocation Plan.

While City policies and programs provided temporary support, overwhelming demand far exceeded and continues to exceed the City's available resources. The City's economy is still recovering from the pandemic, and the impacts of the pandemic will have lasting effects, particularly for families and individuals that were disproportionately impacted by the pandemic (2022 Housing Element, Figure 33).

The proposed Bond will provide a portion of the critical funding necessary to construct, develop, acquire, and/or rehabilitate rental affordable housing projects in the City, including senior housing and workforce housing.

The Board of Supervisors found that the amount of money specified for this project is and will be too great to be paid out of the ordinary annual income and revenue of the City, and will require expenditures greater than the amount allowed therefor by the annual tax levy.



City and County of San Francisco

City Hall
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

Certified Copy

Resolution

230972 [General Obligation Bond Election - Affordable Housing - Not to Exceed \$300,000,000]

Sponsors: Mayor; Peskin, Chan, Safai, Mandelman, Ronen, Walton, Preston, Stefani, Melgar and Engardio

Resolution determining and declaring that the public interest and necessity demand the construction, development, acquisition, and/or rehabilitation of rental affordable housing projects, and related costs necessary or convenient for the foregoing purposes; to be financed through bonded indebtedness in an amount not to exceed \$300,000,000, subject to independent citizen oversight and regular audits; authorizing landlords to pass-through 50% of the resulting property tax increase, if any, to residential tenants under Administrative Code, Chapter 37; providing for the levy and collection of taxes to pay both principal and interest on such bonds; affirming a determination under the California Environmental Quality Act; and finding that the proposed Bond is consistent with the General Plan, and with the eight priority policies of Planning Code, Section 101.1.

11/7/2023 Board of Supervisors - ADOPTED

Ayes: 9 - Chan, Dorsey, Engardio, Mandelman, Peskin, Preston, Safai, Stefani and Walton

Excused: 2 - Melgar and Ronen

11/16/2023 Mayor - APPROVED

STATE OF CALIFORNIA
CITY AND COUNTY OF SAN FRANCISCO

CLERK'S CERTIFICATE

I do hereby certify that the foregoing Resolution is a full, true, and correct copy of the original thereof on file in this office.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City and County of San Francisco.

SAN FRANCISCO FILED

2023 NOV 20 PM 2:30

DEPARTMENT OF ELECTIONS

November 17, 2023

Date

[Handwritten signature]

f Angela Calvillo

Clerk of the Board

1 [General Obligation Bond Election - Affordable Housing - Not to Exceed \$300,000,000]

2

3 **Resolution determining and declaring that the public interest and necessity demand**

4 **the construction, development, acquisition, and/or rehabilitation of rental affordable**

5 **housing projects, and related costs necessary or convenient for the foregoing**

6 **purposes; to be financed through bonded indebtedness in an amount not to exceed**

7 **\$300,000,000, subject to independent citizen oversight and regular audits; authorizing**

8 **landlords to pass-through 50% of the resulting property tax increase, if any, to**

9 **residential tenants under Administrative Code, Chapter 37; providing for the levy and**

10 **collection of taxes to pay both principal and interest on such bonds; affirming a**

11 **determination under the California Environmental Quality Act; and finding that the**

12 **proposed Bond is consistent with the General Plan, and with the eight priority policies**

13 **of Planning Code, Section 101.1**

14

15 WHEREAS, The General Plan 2022 Housing Element ("2022 Housing Element") of the

16 City and County of San Francisco ("City") details the City's goals, objectives, and

17 corresponding policies and programs to meet the housing needs of all San Francisco

18 residents, with a focus on racial and social equity; and

19 WHEREAS, This includes the objective to substantially expand the amount of

20 affordable housing for extremely low- to moderate-income households and expand housing

21 opportunities for middle-income households (as defined in Section 3 below) (2022 Housing

22 Element, Objectives 4.A and 4.B), as well as the requirement for San Francisco to plan for

23 and support the production of 46,598 affordable housing units over the next eight years as

24 mandated by the Regional Housing Needs Allocation Plan; and.

25

1 WHEREAS, The U.S Department of Housing and Urban Development (HUD) considers
2 housing to be “affordable” when a household spends 30 percent or less of its income on
3 housing costs, including rent and utilities; and

4 WHEREAS, In 2022, the median rent for a 2-bedroom was \$3,800, affordable to a
5 household earning \$137,000; and

6 WHEREAS, Less than 40 percent of San Francisco households earn this income (2022
7 Housing Element, Goal 4); and

8 WHEREAS, The need for affordable housing was severely exacerbated during the
9 COVID-19 pandemic, when the City’s unemployment rate rose to 13 percent in April 2020
10 from 2.2 percent in February 2020; and

11 WHEREAS, As a result, the City invested in policies and programs to support residents
12 at risk of eviction, foreclosure, and displacement due to loss of income related to the
13 pandemic; and

14 WHEREAS, These investments included (i) establishment of the Emergency Rental
15 Assistance Program, (ii) expansion of the Homeowner Emergency Loan Program, and (iii)
16 issuance of a moratorium on evictions due to nonpayment of rent; and

17 WHEREAS, While these policies and programs provided temporary support,
18 overwhelming demand far exceeded and continues to exceed the City’s available resources;
19 and

20 WHEREAS, The City’s economy is still recovering from the pandemic, and the impacts
21 of the pandemic will have lasting effects, particularly for families and individuals that were
22 disproportionately impacted by the pandemic (2022 Housing Element, Figure 33); and

23 WHEREAS, The City’s ability to produce the affordable rental housing it needs has
24 been significantly impacted by the limited availability of state and federal resources; and
25

1 WHEREAS, From 2018 to 2022, for every \$1 of local funding invested by the City to
2 create affordable housing, the City's affordable housing projects received \$2 in funding from
3 state and federal sources; and

4 WHEREAS, As detailed in the 2024 Affordable Housing Bond Report, the economic
5 environment for affordable housing has changed significantly in recent years, with state
6 affordable housing funding programs becoming more competitive and severely
7 oversubscribed, including the state's allocation of volume cap for tax-exempt housing revenue
8 bonds; and

9 WHEREAS, The City contributes significant resources to ensure project delivery; and

10 WHEREAS, San Francisco voters have approved measures to create local funds
11 dedicated to the construction, preservation, and rehabilitation of affordable housing, including
12 the 2012 Housing Trust Fund and affordable housing general obligation bonds in 2015 and
13 2019; and

14 WHEREAS, The City's local funds from the 2015 and 2019 bonds are projected to be
15 exhausted by 2028 (2024 Affordable Housing Bond Report); and

16 WHEREAS, Additional sources of affordable housing funds from the City's impact fees
17 have been decreasing due to the economic environment, such as the Jobs-Housing Linkage
18 Fee (Planning Code, Sec. 413), the Inclusionary Affordable Housing Program (Planning Code,
19 Sec. 415), various development agreements, and other impact fees; and

20 WHEREAS, Funding from such sources decreased by 95 percent between Fiscal Year
21 2019-2020 and Fiscal Year 2021-2022; and

22 WHEREAS, Moreover, the Office of the Controller's FY 2023-2024 and 2024-2025
23 Revenue Letter projects only modest tax revenue growth over the coming years, severely
24 limiting the amount of resources the City will have to fund the development of affordable
25 housing; and

1 WHEREAS, The City's economic future and ongoing recovery will ultimately depend on
2 its ability to produce and preserve enough affordable housing to ensure the City's
3 economically diverse households can equitably access housing and remain stably housed in
4 San Francisco; and

5 WHEREAS, Failure to meet this need will result in the displacement of more
6 households to areas with more affordable housing; and

7 WHEREAS, This displacement could result in (i) greater disparity between above
8 moderate-income and lower-income households in the City with little change to the City's
9 median income levels as determined by the U.S. Census Bureau; and (ii) long commutes,
10 road congestion, and environmental harm as people seek affordable housing at greater
11 distances from where they work; and

12 WHEREAS, The City places high importance on job quality and training opportunities in
13 the local construction industry; and

14 WHEREAS, The City and past recipients of City funding have worked with local
15 stakeholders to successfully implement the City's longstanding policy goal that all construction
16 projects receiving public funds should advance, to the extent financially feasible and legally
17 permissible, job quality and training opportunities; and

18 WHEREAS, It is in the best interest of the City that affordable housing construction
19 projects be subject to strong labor standards and antidiscrimination protections, to the extent
20 feasible, to ensure that such projects are built with the highest degree of skill and as quickly
21 as possible, to meet the City's urgent need for housing; and

22 WHEREAS, It is in the best interest of the City that project developers of affordable
23 housing projects work with local worker representatives and advocates to develop health and
24 safety standards and protections, to the extent feasible, that will allow workers to construct
25 essential affordable housing quickly and safely; and

1 WHEREAS, In 2021, the City adopted its San Francisco Climate Action Plan (“CAP”),
2 which identifies that one of the most effective ways to reduce greenhouse gas emissions is to
3 ensure San Francisco has dense and affordable infill housing, with not less than 30% of its
4 projected goals of 5,000 new housing units affordable to low- and lower-income households;
5 and

6 WHEREAS, The CAP states that providing more housing in San Francisco affordable
7 to workers will make it easier for the City’s first-responders, service industry workforce,
8 teachers and medical workers to live close to where they work, instead of commuting long
9 distances by car and generating more greenhouse gas emissions; and

10 WHEREAS, This Board of Supervisors (“Board”) unanimously approved the CLEE
11 Report (Center for Law, Energy and the Environment at UC Berkeley), which outlined
12 potential funding sources for the CAP, and unanimously recommended to the Office of
13 Resilience and Capital Planning that a Climate Bond be incorporated into the City’s 10 year
14 Capital Plan; and

15 WHEREAS, It is in the best interest of the City that all construction projects, including
16 affordable housing construction projects, incorporate strong climate protections, to the extent
17 feasible, to ensure that such projects are built with the strongest possible climate standards;
18 and

19 WHEREAS, New construction of affordable housing built on City-owned land will be
20 subject to the green building standards under Environment Code Chapter 7; and

21 WHEREAS, It is in the best interest of the City that project developers of affordable
22 housing projects work with local climate advocates to develop appropriate climate standards
23 and protections, to the extent feasible; and

24 WHEREAS, According to the Department of Homelessness and Supportive Housing
25 (“HSH”), cisgender women and women-identified individuals make up 31% of the total number

1 of homeless or marginally-housed individuals documented by the City, yet an exhaustive
2 survey conducted by the Women’s Housing Coalition of HSH and the Mayor’s Office of
3 Housing and Community Development (“MOHCD”) shelter and housing inventory found only
4 92 out of 23,500 units of permanent affordable housing and 101 out of 3,084 total shelter beds
5 dedicated for cisgender women and women-identified individuals, making up less than one
6 percent and 3.27% of the need for women-specific safe permanent housing and shelter
7 respectively; and

8 WHEREAS, According to HSH, over 75% of women and women-identified homeless
9 have experienced violence on the streets or in shelters, with over 43% experiencing sexual
10 violence, with a 2019 statewide study by the CA Policy Lab documenting that 80% of
11 unsheltered women reporting sexual or violent abuse as the cause of their homelessness; and

12 WHEREAS, According to HSH, 24% of homeless women have had to voluntarily give
13 up primary caretaking responsibilities due to housing instability or homelessness, and 26%
14 have been pregnant while homeless; and

15 WHEREAS, Between 2019-2020, while 900 women survivors were reported to have
16 received placement in victim-specific shelter and permanent housing programs, over 2,684
17 women survivors of street violence, sexual exploitation and/or domestic violence were turned
18 away from Victim Service Provider-Emergency and Transitional Housing, demonstrating that
19 for every survivor who received safe housing that year, at least another three did not; and

20 WHEREAS, According to HSH’s 2022/2023 survey of women experiencing
21 homelessness, 56% indicated they had been homeless for over one year, including 11% who
22 confirmed they were homeless with their children with them and 21% who confirmed they
23 could be with their children if they had different housing; and

24 WHEREAS, HSH, the Department on the Status of Women, the Department of Public
25 Health, MOHCD, and the Board convened a half-day retreat with the Women’s Housing

1 Coalition and affordable housing providers who made recommendations on addressing the
2 plight of unhoused and marginally housed cisgender and women-identified survivors of
3 violence and abuse, including implementing easier and quicker access to housing, women-
4 only safe and secure shelter and long-term housing; and

5 WHEREAS, According to the State's Homeless Data Integration System, between
6 2017 and 2021, while California's senior population over the age of 55 years of age grew by
7 7%, the number of seniors who became homeless as a result of increased housing and
8 healthcare costs, job loss or displacement increased by 84%, a national trend that is
9 particularly exacerbated in the Bay Area, which is one of the most expensive areas to live in
10 the United States; and

11 WHEREAS, The California Department of Finance released a population forecast in
12 2023 showing that San Francisco's population of seniors 80 years of age or older is expected
13 to triple in the next four decades, going from 48,000 seniors in 2020 to nearly 137,000 seniors
14 by 2060, while at the same time, the City's overall population is expected to decline from
15 about 870,000 people in 2020 to 845,000 in 2060, highlighting a significant need for
16 affordable housing for seniors; and

17 WHEREAS, San Francisco's Department of Aging and Adult Services' (DAAS) 2021
18 Overview Report on Affordable Housing for Seniors and People with Disabilities confirm that
19 seniors aging in place in San Francisco are spending 75% or more of their monthly, fixed
20 income on rent each month, and struggling to pay for other necessities like food and bills; and

21 WHEREAS, The proposed Bond will provide a portion of the critical funding necessary
22 to construct, reconstruct, develop, acquire, improve, rehabilitate, repair, and preserve rental
23 affordable housing projects in the City, and to expand homeownership opportunities for San
24 Franciscans; now, therefore, be it

1 RESOLVED, The Board determines and declares that the public interest and necessity
2 demand the construction, development, acquisition, and/or rehabilitation of rental affordable
3 housing projects in the City for households ranging from extremely low-income to moderate-
4 income households, and the payment of related costs necessary or convenient for the
5 foregoing purposes; and, be it

6 FURTHER RESOLVED, Proceeds of the Bonds will be used to fund the costs of capital
7 projects that will (i) construct, develop, acquire, and/or rehabilitate new affordable rental
8 housing serving extremely low-income households, very low-income households, and lower-
9 income households; (ii) acquire, construct, develop, and/or rehabilitate rental housing, so as
10 to preserve it as affordable for lower-income households and moderate-income households;
11 and (iii) acquire, construct, develop, and/or rehabilitate housing for extremely-low income
12 households, very low-income households, and/or lower-income households who need safe
13 and stable housing and are experiencing (a) trauma-informed homelessness, (b) street
14 violence, (c) domestic violence and abuse, (d) sexual abuse and assault, and/or (e) human
15 trafficking; and, be it

16 FURTHER RESOLVED, The estimated cost of \$300,000,000 for the San Francisco
17 Affordable Housing Bond is and will be too great to be paid out of the ordinary annual income
18 and revenue of the City, will require an expenditure greater than the amount allowed by the
19 annual tax levy, and will require the incurrence of bonded indebtedness in an amount not to
20 exceed \$300,000,000, subject to independent citizen oversight and regular audits; and, be it

21 FURTHER RESOLVED, That MOHCD and recipients of funding from bond proceeds
22 authorized by this measure are strongly encouraged to work collaboratively with local
23 stakeholders during the project development process, to adopt and implement strong labor
24 standards, antidiscrimination protections, health and safety standards, and protections, on all
25

1 projects financed with bond proceeds authorized by this measure, to the extent feasible; and
2 be it

3 FURTHER RESOLVED, That MOHCD and recipients of funding from bond proceeds
4 authorized by this measure are strongly encouraged to work collaboratively with local climate
5 advocates and the Department of the Environment, during the project development process,
6 to adopt and implement strong climate standards and protections on all projects financed with
7 bond proceeds authorized by this measure, to the extent feasible; and be it

8 FURTHER RESOLVED, That MOHCD will work with HSH and relevant stakeholders to
9 ensure that up to \$30,000,000 of Bond proceeds will be allocated to construct, develop,
10 acquire, and/or rehabilitate housing for extremely-low income households, very low-income
11 households, and/or lower-income households who need safe and stable housing, and are
12 experiencing (i) trauma-informed homelessness, (ii) street violence, (iii) domestic violence and
13 abuse, (iv) sexual abuse and assault, and/or (v) human trafficking, which population is
14 overwhelming cisgender women and women-identified; and be it

15 FURTHER RESOLVED, That it is in the best interest of the City that housing for low-
16 income seniors be prioritized in the City's work to meet the state-mandated Housing Element
17 requirement to build 46,000 new affordable housing units in the next eight years; and be it

18 FURTHER RESOLVED, The Planning Department has determined that the actions
19 contemplated in this resolution comply with the California Environmental Quality Act
20 (California Public Resources Code Section 21000 et seq.); and, be it

21 FURTHER RESOLVED, Said determination is on file with the Clerk of the Board of
22 Supervisors in File No. 230972 and is incorporated herein by reference; and be it

23 FURTHER RESOLVED, The Board affirms this determination; and, be it

24 FURTHER RESOLVED, On September 22, 2023, the Planning Department issued its
25 General Plan Referral Report finding that the actions contemplated in this resolution are

1 consistent, on balance, with the City's General Plan and eight priority policies of Planning
2 Code Section 101.1; and, be it

3 FURTHER RESOLVED, The Board adopts these findings as its own; and, be it

4 FURTHER RESOLVED, A copy of said General Plan Referral Report is on file with the
5 Clerk of the Board of Supervisors in File No. 230972, and is incorporated herein by reference;
6 and, be it

7 FURTHER RESOLVED, The time limit for approval of this resolution specified in
8 Administrative Code, Section 2.34 is waived; and, be it

9 FURTHER RESOLVED, Under Administrative Code, Section 2.40, the ordinance
10 submitting this proposal to the voters shall contain a provision authorizing landlords to pass-
11 through 50% of the resulting property tax increases, if any, to residential tenants in
12 accordance with Administrative Code, Chapter 37, as such chapter may be amended from
13 time to time; and, be it

14 FURTHER RESOLVED, The City hereby declares its official intent to reimburse prior
15 expenditures of the City incurred or expected to be incurred prior to the issuance and sale of
16 any series of the Bonds in connection with the San Francisco Affordable Housing Bond. The
17 Board hereby declares the City's intent to reimburse the City with the proceeds of the Bonds
18 for the expenditures with respect to the San Francisco Affordable Housing Project (the
19 "Expenditures" and each, an "Expenditure") made on and after that date that is no more than
20 60 days prior to the adoption of this Resolution; and, be it

21 FURTHER RESOLVED, The City reasonably expects on the date hereof that it will
22 reimburse the Expenditures with the proceeds of the Bonds; and, be it

23 FURTHER RESOLVED, Each Expenditure was and will be either (i) of a type properly
24 chargeable to a capital account under general federal income tax principles (determined in
25 each case as of the date of the Expenditure), (ii) a cost of issuance with respect to the Bonds,

1 (iii) a nonrecurring item that is not customarily payable from current revenues, or (iv) a grant to
2 a party that is not related to or an agent of the City so long as such grant does not impose any
3 obligation or condition (directly or indirectly) to repay any amount to or for the benefit of the
4 City. The maximum aggregate principal amount of the Bonds expected to be issued for the
5 Project is \$300,000,000. The City shall make a reimbursement allocation, which is a written
6 allocation by the City that evidences the City's use of proceeds of the applicable series of
7 Bonds to reimburse an Expenditure, no later than 18 months after the later of the date on
8 which the Expenditure is paid or the related portion of the Project is placed in service or
9 abandoned, but in no event more than three years after the date on which the Expenditure is
10 paid. The City recognizes that exceptions are available for certain "preliminary expenditures,"
11 costs of issuance, certain de minimis amounts, expenditures by "small issuers" (based on the
12 year of issuance and not the year of expenditure) and Expenditures for construction projects
13 of at least 5 years; and, be it

14 FURTHER RESOLVED, Documents referenced in this resolution are on file with the
15 Clerk of the Board of Supervisors in File No. 230972, which is hereby declared to be a part of
16 this resolution as if set forth fully herein.

17
18 APPROVED AS TO FORM:
19 DAVID CHIU
20 City Attorney

21 By: /s/ KENNETH D. ROUX
22 KENNETH D. ROUX
23 Deputy City Attorney
24 n:\financlas2023\2300394\01704265.docx
25



City and County of San Francisco
Tails
Resolution

City Hall
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

File Number: 230972

Date Passed: November 07, 2023

Resolution determining and declaring that the public interest and necessity demand the construction, development, acquisition, and/or rehabilitation of rental affordable housing projects, and related costs necessary or convenient for the foregoing purposes; to be financed through bonded indebtedness in an amount not to exceed \$300,000,000, subject to independent citizen oversight and regular audits; authorizing landlords to pass-through 50% of the resulting property tax increase, if any, to residential tenants under Administrative Code, Chapter 37; providing for the levy and collection of taxes to pay both principal and interest on such bonds; affirming a determination under the California Environmental Quality Act; and finding that the proposed Bond is consistent with the General Plan, and with the eight priority policies of Planning Code, Section 101.1.

September 27, 2023 Budget and Finance Committee - CONTINUED

October 25, 2023 Budget and Finance Committee - AMENDED, AN AMENDMENT OF THE WHOLE BEARING NEW TITLE

October 25, 2023 Budget and Finance Committee - CONTINUED AS AMENDED

November 01, 2023 Budget and Finance Committee - RECOMMENDED

November 07, 2023 Board of Supervisors - ADOPTED

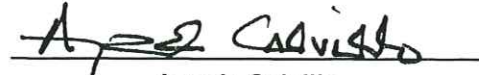
Ayes: 9 - Chan, Dorsey, Engardio, Mandelman, Peskin, Preston, Safai, Stefani and Walton

Excused: 2 - Melgar and Ronen

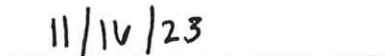
SAN FRANCISCO
FILED
2023 NOV 20 PM 2:31
DEPARTMENT OF ELECTIONS

File No. 230972

I hereby certify that the foregoing
Resolution was ADOPTED on 11/7/2023 by
the Board of Supervisors of the City and
County of San Francisco.


Angela Calvillo
Clerk of the Board


London N. Breed
Mayor


Date Approved