

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
JOHN WONG,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **23-043**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on September 21, 2023, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the issuance on September 7, 2023 of a site permit (horizontal addition to the rear on three levels and a 12 foot pop-out) at 1334 12th Avenue.

APPLICATION NO. 2021/05/06/9906

FOR HEARING ON October 25, 2023

Address of Appellant(s):

Address of Other Parties:

John Wong, Appellant(s) 280 Drake Street San Francisco, CA 94112	Eric Hall and Helene Favre, Permit Holder(s) 1334 12th Avenue San Francisco, CA 94122
--	---



Date Filed: September 21, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-043

I / We, **John Wong**, hereby appeal the following departmental action: **ISSUANCE** of **Site Permit No. 2021/05/06/9906** by the **Department of Building Inspection** which was issued or became effective on: **September 7, 2023**, to: **Eric Hall and Helene Favre**, for the property located at: **1334 12th Avenue**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **October 5, 2023, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org and erichall00@yahoo.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **October 19, 2023, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org and john_m_wong@yahoo.com.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, October 25, 2023, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant or Agent:

Signature: Via Email

Print Name: John Wong, appellant

John Wong's Reasons for Appeal: The plans for 1334 12th Ave. have an incorrect footprint of over 6" of its adjacent neighbors and do not adhere to the Residential design guidelines of maintaining light and air for 1338 12th Ave. The plans display the North side's single dining room and bathroom windows equivalent with the back of 1334 as 19'7" from the back of 1338. The length of that setback is 28' and is mirrored on the South side. That's an error of 8'5" downplaying the severity of the expansion. I brought this up to Planning prior to filing the DR! The deck at 1330 displays larger because it's measured from the base of the stairs and not the end of the deck. The walkway on the North side appears to be 5' wide but is 2'6" at most. If this project is built on the property line, 1338's window would look out at a wall 40' long including the deck and lattice on the 2nd story with a 28' stagnant tunnel 3' wide, and additional 13'+ over 1338 2nd story and 23'+ over the bathroom and 3 other windows on the ground, dramatically blocking off light and restricting air flow. The only 2 kitchen windows on the second story facing North begin at 2'9" before the back of 1334 and extend 2'4" past. The plans mislocated these windows and would create a wall 26'9" past the existing building and 13'+ over 1338. The 4'x10' lightwell on 1334's 3rd story, a story above 1338. Because 1338 faces Northward, it receives abundant light from morning to dawn. The plans will block all that light except only when the sun is directly above the lightwell for an hour or two at noon during summer! The loss of that amount of natural light is massive and will force 1338's retired senior resident to turn on lights during the day to equate the light loss. The owners of 1334 have shown us only lies, deceit, neglect, dismissive, unavailability, uncompromising, uncooperative, withholding info., forged and omitted signatures and concerns, and disregarded during this entire process. Plans were never provided after repeated requests for 1 ½ years or meet until the 311 mailing. Mr. Hall insisted the plans were wrong. Stating the expansion would not go past 11'4" from the existing building. The architect only contacted me after filing the DR and did not email the revision from his laptop at the zoom meeting with David Winslow for a week! The owners at the pre-app meeting were not prepared, no direction, no sign in sheet, no plans, no architect, did not note concerns. The addition and a deck 3' away from our back bedroom there will be noise and smoke! I was only allowed 15 seconds to speak at the Commission hearing.

Permit Details Report

Report Date: 9/21/2023 12:29:33 PM

Application Number: 202105069906
 Form Number: 3
 Address(es): 1766 / 038 / 0 1334 12TH AV
 Description: HORIZONTAL ADDITION TO THE REAR ON 3 LEVELS AND A 12' POP-OUT
 Cost: \$573,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
5/6/2021	TRIAGE	
5/6/2021	FILING	
5/6/2021	FILED	
9/7/2023	APPROVED	
9/7/2023	ISSUED	

Contact Details:

Contractor Details:

License Number: OWNER
 Name: OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description:

SITE.

Step	Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
1	CPB		5/6/21	5/6/21			5/10/21	CHEUNG DEREK		5/10: MISSING SIGNAL APPLICATION & PLAN;
2	CP-ZOC		5/10/21	8/17/21	8/17/21	2/23/23	2/23/23	WOODS MARY		2/23/2023 APPROVAL received on 2/16/2023, 1 Review Action (DRA-797 Commission. 12/30/22 & revised plans. 12/12/22 architect on vacation. 12 architect and owner re: 1 revisions to DBI per DR DRA-797 Action Memo & Secretary. 9/29/22 CPC taken; to approve revised 8/17/21 pending review. owner and architect re: 1 materials & incomplete 1 complete review; pending
3	CP-NP		4/6/22	4/6/22	4/8/22	10/20/22	10/20/22	WOODS MARY		4/6/22: Emailed the 311 4/8/22: Mailed the 311 r expires on 5/19/22. (JL) Review (DR) application 9/29/22: DR hearing; N Commission; pending D David Winslow.
4	BLDG		2/27/23	4/27/23	4/27/23		8/8/23	HU QI (ANNE)		4/27/23: Issued comme
5	DPW-BSM		4/28/23	5/1/23			5/1/23	DENNIS RASSENDYLL		5.1.23 Approved SITE P requirement(s) for sign c Encroachment (existing Conformity (final inspec applications and plans M Download sidewalk appl http://www.sfpublishwor Your application will be necessary PUBLIC WOR completed or plan check sign off to the satellite of
5	SFFD		5/26/23	6/22/23	6/23/23		8/1/23	RHAB BOUGHN		6/23/23: not approved; via email to owner/arch; to ppc Assigned to Boug and ABoo5

6	SFFD		8/1/23	8/1/23			8/4/23	RHAB BOUGHN	Issued Comments	8/4/23: received R2 plan approved; issued outstar via email; plans with ins
7	SFFD	1	8/7/23	8/7/23			8/7/23	RHAB BOUGHN	Approved	8/7/23: recheck; hand-e ABO05 signed by officer; entered; R2 approved; n
8	SFPUC		5/2/23	5/23/23			5/23/23	IMSON GRACE		05/23/2023 - Permit ha Capacity Charge. DBI wi attached to application.
9	PERMIT-CTR		1/19/23	1/19/23			1/19/23	PERMIT CENTER USER		02/16/2023: Project rec Team and transferred to review (CP-ZOC). Applic pic@sfgov.org for furthe - 02/07/2023: Project r Team and transferred to review (CP-ZOC). Applic pic@sfgov.org for furthe 01/19/2023: Project rec Team and transferred to review (CP-ZOC). Applic pic@sfgov.org for furthe
10	DPW-BSM	1	8/8/23	8/9/23			8/9/23	CHOY CLINTON	Approved-Stipulated	ADDENDA requirement Sidewalk Encroachment Inspection Conformity (sidewalk applications an applied online. Downloa at http://www.sfpUBLICWOR Your application will be necessary BSM permits ; checker(s) could recomn satellite office via email. (clinton.choy@sfdpw.or
11	SFPUC		8/10/23	8/11/23			8/11/23	IMSON GRACE	Approved	08/11/2023 - RESTAMF has been assessed a Cap: collect. See Invoice attac Route to PPC.
12	CP-ZOC		8/14/23	8/14/23			8/30/23	WOODS MARY	Approved	Approval by MWoods or residential child care fee with architect on 8/29/2
13	PPC		5/10/21	8/31/23			8/31/23	WAI CHUNG WONG	Administrative	8/31/23: To CPB; kw 8/ restamp; kw 8/10/23: To ZOC) for restamp; kw 8/ (then to SFPUC & CP-ZC 8/7/23: To BLDG for rev on 8/1/23; kw 8/1/23: S Boughn; kw 6/23/23: To BLDG & SFFD approval; kw 5/23/23: To hold bin approval; kw 5/2/23: To To DPW-BSM; kw 3/15/ #6. TW 2/27/23: Route to screen for review time eligibility; HP 05/10/21:
14	CPB		8/31/23	9/7/23			9/7/23	VICTORIO CHRISTOPHER	Administrative	SITE PERMIT ISSUED

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
---------------	-----------	------------------------	-------------------

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
-------------	----------------	--------------	-----------------	-------------	---------

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

Online Permit and Complaint Tracking home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Contact SFGov Accessibility Policies
City and County of San Francisco © 2023

PROVE
 Dept. of Building Insp.
 - San Francisco -
 SEP 07 2023

SITE PERMIT

Water: \$ 1033
 Wastewater: 52710
 City Charges
 5/28/23-7023
 5/28/23-7023

THIS APPLICATION APPROVED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

BUILDING ENLARGEMENT DESCRIPTION VERTICAL HORIZONTAL

APPROVED FOR ISSUANCE
 3/8
 APPLICATION NUMBER
 OSHA APPROVAL REQ'D

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION
 APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

FORM 3 OTHER AGENCIES REVIEW REQUIRED
 FORM 8 OVER-THE-COUNTER ISSUANCE
 2 NUMBER OF PLAN SETS

DATE FILED 3/17/2021	FILING FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 1334 12th Ave	BLOCK & LOT 1766/038
PERMIT NO.	ISSUED SEP 07 2023	(2A) ESTIMATED COST OF JOB 400K	(2B) REVISED COST: \$ 573,000.00 DATE: 4/27/23

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING				
(4A) TYPE OF CONSTRUCTION Fiber Optic	(5A) NO. OF STORIES OF OCCUPANCY: 2	(6A) NO. OF BASEMENTS AND CELLARS: 0	(7A) PRESENT USE: Single Family Home	(8A) OCCUP. CLASS RH-2
(9A) NO. OF DWELLING UNITS: 1	DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION			
(4) TYPE OF CONSTRUCTION Fiber Optic	(5) NO. OF STORIES OF OCCUPANCY: 2	(6) NO. OF BASEMENTS AND CELLARS: 0	(7) PROPOSED USE (LEGAL USE) Single Family Home	(8) OCCUP. CLASS RH-2
(9) NO. OF DWELLING UNITS: 1	(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>
(14) CONTRACTOR	ADDRESS	ZIP	PHONE	CALIF. LIC. NO. EXPIRATION DATE
(15) OWNER - LESSEE (CROSS OUT ONE) Eric Hall	ADDRESS 1334 12th Ave.	ZIP 94122	BTRC#	PHONE (FOR CONTACT BY DEPT.) 4157060181

(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

An addition to the rear on 3 levels, and a 12' pop-out

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? NO <input checked="" type="checkbox"/>
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> Tim Lorenz PO Box 1896 Guerneville, CA 95446		ADDRESS C26395	
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")			

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.
 No portion of building or structure or scaffolding used during construction is to be closer than 6"0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.
 Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.
 Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.
 ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.
 BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.
 APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).
 THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.
 In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX
 OWNER ARCHITECT
 LESSEE AGENT
 CONTRACTOR ENGINEER

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.
 In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.
 I hereby affirm under penalty of perjury one of the following declarations:
 I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.
 II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
 Carrier
 Policy Number
 III. The cost of the work to be done is \$100 or less.
 IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.
 V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws

CONDITIONS AND STIPULATIONS

1334 12th Ave

<p>REFER TO:</p> <input type="checkbox"/>	<p>APPROVED: <u>OH</u> <u>Anne Hu, DBI</u> <u>AUG 08 2023</u> PLAN REVIEW SERVICES, DEPT. OF BLDG. INSP.</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p><input type="checkbox"/></p>	<p>APPROVED: <u>per Discretionary Review Action/DRA-797 and revised plans for a three-story rear addition</u> CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW CLASS <u>one</u> <u>MARY WOODS / MW 2/23/2023</u> DEPARTMENT OF CITY PLANNING</p>	<p>DATE: _____ REASON: _____ <u>MW</u> <u>8/30/2023</u> NOTIFIED MR. _____</p>
<p><input type="checkbox"/></p>	<p>APPROVED: <u>REVIEWED BY FIRE DEPT.</u> <u>FIREFIGHTER INSPECTIONS NOT REQUIRED</u> <u>Ab Boughn, SFFD</u> <u>AUG 07 2023</u> SAN FRANCISCO FIRE DEPARTMENT</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p><input type="checkbox"/></p>	<p>APPROVED: _____ <u>N/A</u> MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p><input type="checkbox"/></p>	<p>APPROVED: _____ CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p><input type="checkbox"/></p>	<p>APPROVED: _____ <u>SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (628) 271-2000 TO SCHEDULE</u> <u>Rassendyl Dennis, PW-BSM</u> DEPT. OF PUBLIC WORKS <u>Clinton Choy, PW-BSM</u> <u>AUG - 9 2023</u></p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p><input type="checkbox"/></p>	<p>APPROVED: _____ PUBLIC UTILITIES COMMISSION <u>MAY 01 2023</u> <u>Grace Imison</u> <u>08/11/2023</u></p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p><input type="checkbox"/></p>	<p>APPROVED: _____ DEPT. OF PUBLIC HEALTH / OCII (CROSS ONE OUT) <u>N/A</u></p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>
<p><input type="checkbox"/></p>	<p>APPROVED: _____ HOUSING INSPECTION DIVISION, DEPT. OF BLDG. INSPECTION</p>	<p>DATE: _____ REASON: _____ NOTIFIED MR. _____</p>

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

SFPUC Capacity Charges
 See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges.

APPELLANT'S BRIEF WAS REJECTED FOR BEING UNTIMELY

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

Brief Eric Hall

My name is Eric Hall. Helene Favre, my wife and I live with our two kids at 1334 12th Ave. We moved into our house in 2019. While there is 3 bedroom and 1 bath upstairs, we realized that the upstairs kids' rooms are shoebox size rooms with pitched ceiling such that it is impossible to have a dresser, desk and bed in each of the rooms. In addition, the bathroom is so small that only one person can be in the bathroom at the same time. After settling in, we came to conclusion that the bedrooms and bathroom were too small to raise a family and live comfortably. It was importantly to me that we have 3 bedrooms, two baths and an office upstairs. This house was built in 1901 and the footprint had not been extended. It might be the smallest house on the block. Tim Lorenz, my architect, provided plans that met my requirements upstairs as well as expansion on the main floor and garage level that follow all San Francisco planning code and architecture design principals. These are modest expansion where I have extended the main floor less than 45% max limit. In comparison, Nancy and John whose home starts on the property line in the front and has an extension to the 45% max limit. They have been able to enjoy full expansion of their house, which cast shadows across my garden and house, yet they continue to slow down my permit process by two years, hoping that I will give up.

While I have an opportunity, I would like to mention a point about Mark Benjamin, a friend of John Wong, who was an active participant at the Planning Commission DR. Mark has been verbally abusive, using profanity and offensive remarks in front my house and in front of my kids. This is unacceptable behavior hence I would like it to be documented. I wasn't the only one to receive derogatory comments, but also David Winslow, SF Planning Department, had a similar incident in the hallway during the first hearing at the Discretionary Review with the Planning Department. Please follow up with David Winslow for additional comment.

I worked with Mary Woods from the planning department to ensure that I was following all architecture and planning requirements of San Francisco. David Wislow was our negotiator, who setup meetings with my neighbors. During these meetings, I compromised and offered to add a very large light well (10ft by 4ft) on the second floor, given that their first floor sits higher than mine. In addition, I reduced my first floor by 2'-6" and the second floor by 1'-0" foot from the 45%

max limit. These are substantial accommodations that I thought my neighbors would appreciate as I made a genuine effort to remedy their concerns. John and Nancy didn't think that this was adequate and refused to agree. David Wislow thoughts are:

“The Planning Department’s review confirms support of this proposal as it conforms to the Residential Design Guidelines and Planning Code. The project sponsor has modified the original design (see plans dated 9.1.22) by incorporating a lightwell immediately adjacent to the windows on the neighbor’s side setback to provide adequate light; reducing the extension of first floor by 2’-6” and the second floor by 1’-0” ; and incorporating a lattice privacy screen at the side of the second-floor deck. Because the second-floor deck is screened, has a 2’ deep storage cabinet / counter, and extends only a few feet beyond the rear wall of the neighbor and is separated by a 3’ setback on the DR requestors’ side, the sight lines from the proposed deck do not impose undue privacy concerns and therefore do not warrant additional setback. Therefore, staff deems there are no exceptional and extraordinary circumstances and recommends not taking Discretionary Review and approving.”

During the discretionary review, the planning commission UNANIMOUSLY agreed to take no action. I also worked with Mary Woods to ensure that my planning documents match exactly my Site plan documents. There are no variances or any changes from my planning documents that was approved at the DR and my Site plan documents. The reality is that John and Nancy have no interest that I make any addition to my house so there's no plan that would satisfy their requirement. Therefore, I recommend rejecting this appeal so that I can move forward on my addition and hopefully enjoy a comfortable home with my family.

Thank you.

Eric Hall & Helene Favre

Shows view from my backyard facing my neighbor's addition on the back.



In front of my house viewing South



EGRESS REQ'D

- EGRESS WINDOW REQUIREMENTS
- 1) THE BOTTOM OF OPENING SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR
 - 2) THE NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20"
 - 3) MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

NOTE:
IN ORDER TO MEET THE MIN. CLEAR OPENING OF 5.7 SQ. FT., EITHER THE WIDTH HEIGHT, OR BOTH NEED TO EXCEED MINIMUM DIMENSIONS.

REQ'D AIR / LIGHT CALC'S

HABITABLE SPACE	SQUARE FOOTAGE	NATURAL LIGHT		MECHANICAL VENTILATION	
		REQ'D	PROV'D	REQ'D	PROV'D
MSTR BDRM	260 SF	20 SF	48 SF	10 SF	28 SF
BDRM #2	230 SF	18 SF	40 SF	10 SF	30 SF
BDRM #3	128 SF	10 SF	24 SF	6 SF	14 SF

SPFUC - Please be advised that plans and future work indicate a larger window opening is required. Please advise the window opening in SPFUC, San Francisco Department of Public Works, 2nd Floor San Francisco, CA 94102. Tel: (415) 355-2300

San Francisco
Department of Public Works
12/18/23
SPFUC

SCOPE OF WORK

- 1) AN EXISTING 8'0" GARAGE LEVEL 1 LEVELS OF LIVING, DRAINAGE, AND ELECTRICAL IN THE 10'0" LIVING DISTRICT, THE FOLLOWING ARE PROPOSED:
- 2) AN ALLOWED 12'0" POP-OUT PER CODE 04 (SEE SF PLANNING 2.1.1.10, NO. 5, SECTION 04).
- 3) A HORIZONTAL EXTENSION OF THE UPPER TWO LIVING FLOORS WITHIN THE ALLOWED BUILDING AREA PER 02.
- 4) THE EXISTING ROOF, AT THE FRONT ELEVATION, IS MAINTAIN FOR A LENGTH OF 6'0". THE PROPOSED ADDITION IS A FLAT ROOF AND NOT SEEN FROM 07TH AVE. THE NEW ROOF IS 7'-2" SHORTER THAN THE EXISTING ROOF.
- 5) THE APPLICATION SUBMITTED ALONG THE FRONT OF THE HOUSE IN TWO LOCATIONS:
 - A) REPLACE THE TWO EXISTING METAL SLIDER WINDOWS WITH TWO NEW WOOD WINDOWS TO MATCH THE EXISTING ROOF AT 07TH AVE.
 - B) REMOVE THE EXISTING PLANTER AND ADD A SERVICE DOOR BELOW THE EXISTING FRONT STAIRS NOT VISIBLE FROM 07TH AVE. PREVIOUS PATIERS ARE USED PER CITY REQUIREMENTS.

DRAWING INDEX

- COVER SHEET, PROJECT INFO & SITE PLAN
 REVISION: 2005
- | NO. | DESCRIPTION | DATE |
|-----|---|------|
| A1 | ADD: 01 BANDWAGON ROOF PLANS IN BANDWAGON ROOF PLANS | |
| A2 | ADD: 02 FRONT ELEVATIONS AND SIDE ELEVATIONS | |
| A3 | ADD: 03 FRONT ELEVATIONS AND SIDE ELEVATIONS | |
| A4 | ADD: 04 WINDOW / DOOR SCHEDULE - 1 HOUR DETAILS ARCHITECTURAL DETAILS | |
| A5 | ADD: 05 STRUCTURAL PLAN | |
| A6 | ADD: 06 STRUCTURAL DETAILS | |
| A7 | ADD: 07 STRUCTURAL DETAILS | |
| A8 | ADD: 08 STRUCTURAL DETAILS | |
| A9 | ADD: 09 STRONG FLOOR DETAILS | |
| A10 | ADD: 10 STRONG FLOOR DETAILS | |
| A11 | ADD: 11 STRONG FLOOR DETAILS | |
| A12 | ADD: 12 STRONG FLOOR DETAILS | |

TIM LORENZ ARCHITECT

PO BOX 874
GROVEVILLE, CA 95944
45594501 CA LIC # 23316
ARCHITECT.TLLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC I HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1164/038
BLDG PERMIT NO: 202305047484
PLANNING RESCPO NO: 2023-09033PRJ

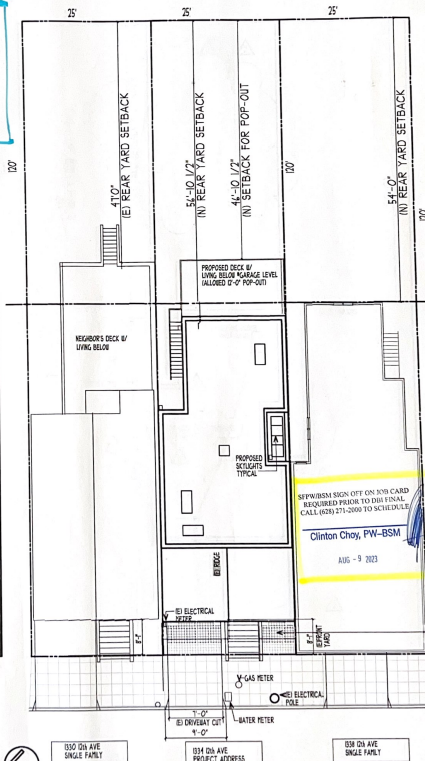
PROPERTY INFORMATION

ZONING: R2 - RESIDENTIAL HOUSE TWO FAMILY
DISTRICT: H - INNER SANBET
MAX HEIGHT: 40'-X
TYPE: W-8 CONSTRUCTION
PARCEL AREA: 2400 SQ. FT.
UNITS: 1
STORIES: 1
ONE EXTERIOR DOOR STORIES OVER GARAGE

12

PROPOSED IN 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025

NO.	DESCRIPTION	DATE
A1	ADD: 01 WINDOW / DOOR SCHEDULE - 1 HOUR DETAILS ARCHITECTURAL DETAILS	
A2	ADD: 02 FRONT ELEVATIONS AND SIDE ELEVATIONS	
A3	ADD: 03 FRONT ELEVATIONS AND SIDE ELEVATIONS	
A4	ADD: 04 WINDOW / DOOR SCHEDULE - 1 HOUR DETAILS ARCHITECTURAL DETAILS	
A5	ADD: 05 STRUCTURAL PLAN	
A6	ADD: 06 STRUCTURAL DETAILS	
A7	ADD: 07 STRUCTURAL DETAILS	
A8	ADD: 08 STRUCTURAL DETAILS	
A9	ADD: 09 STRONG FLOOR DETAILS	
A10	ADD: 10 STRONG FLOOR DETAILS	
A11	ADD: 11 STRONG FLOOR DETAILS	
A12	ADD: 12 STRONG FLOOR DETAILS	



GOOGLE EARTH SITE

PROPOSED SITE PLAN

APPROVED
MANUFACTURING
PLANNING DEPARTMENT
8/15/23

APPROVED
SEALS
8/15/23

SCALE: 1" = 10'-0"

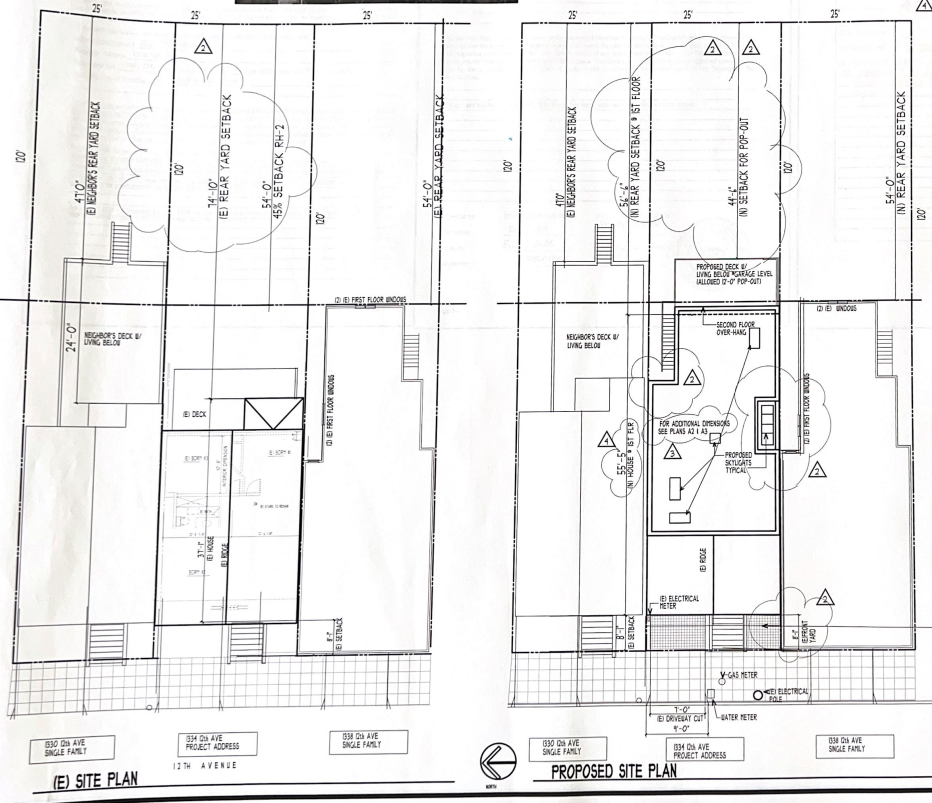
RECEIVED
AUG 8 2023

NO.	DESCRIPTION	DATE
A1	ADD: 01 WINDOW / DOOR SCHEDULE - 1 HOUR DETAILS ARCHITECTURAL DETAILS	
A2	ADD: 02 FRONT ELEVATIONS AND SIDE ELEVATIONS	
A3	ADD: 03 FRONT ELEVATIONS AND SIDE ELEVATIONS	
A4	ADD: 04 WINDOW / DOOR SCHEDULE - 1 HOUR DETAILS ARCHITECTURAL DETAILS	
A5	ADD: 05 STRUCTURAL PLAN	
A6	ADD: 06 STRUCTURAL DETAILS	
A7	ADD: 07 STRUCTURAL DETAILS	
A8	ADD: 08 STRUCTURAL DETAILS	
A9	ADD: 09 STRONG FLOOR DETAILS	
A10	ADD: 10 STRONG FLOOR DETAILS	
A11	ADD: 11 STRONG FLOOR DETAILS	
A12	ADD: 12 STRONG FLOOR DETAILS	

JOB NO. 1103 SHEET
DRAIN 1103
CHECK 1103
DATE 8/15/23 OF



SITE



SCOPE OF WORK

TO AN EXISTING 1 STORY 1 GARAGE LEVEL 1 LEVELS OF LIVING SCALE CEILING JOINT IN THE 10'-0" ZONING DISTRICT THE FOLLOWING ARE PROPOSED:

- AN ALLOWED 12'-0" POP-OUT PER CODE 04 ON THE GARAGE / GROUND FLOOR. SEE PLANNING 12.4.8 IN S.E. SECTION 04.
- A HORIZONTAL EXTENSION OF THE UPPER TWO LIVING FLOORS WITHIN THE ALLOWED BUILDING AREA PER 04-2.
- THE EXISTING ROOF AT THE FRONT ELEVATION IS PARTIAL FOR A LENGTH OF 8'-0". THE PROPOSED ADDITION IS A FLAT ROOF AND NOT SEEN FROM CITY AVE. THE ROOF IS 2'-0" SHORTER THAN THE EXISTING ROOF.
- THE APPLICATION SUBMITTED ALTERS THE FRONT OF THE HOUSE IN TWO LOCATIONS:
 - REPLACE THE TWO STORY RETAL SLUICE BRICK WITH TWO NEW WOOD BRICKS TO MATCH THE EXISTING HOUSE AT 1201 CITY AVE.
 - REMOVE THE EXISTING PLASTER AND ADD A SERVICE DOOR BELOW THE EXISTING FRONT STAIRS NOT VISIBLE FROM ST. AVE! PERVIOUS PAVERS ARE USED PER CITY'S REQUIREMENTS.

DRAWING INDEX

01	COVER SHEET, PROJECT INFO & SITE PLAN
02	GENERAL NOTES
03	PERMITS
04	PERMITS
05	PERMITS
06	PERMITS
07	PERMITS
08	PERMITS
09	PERMITS
10	PERMITS
11	PERMITS
12	PERMITS
13	PERMITS
14	PERMITS
15	PERMITS
16	PERMITS
17	PERMITS
18	PERMITS
19	PERMITS
20	PERMITS
21	PERMITS
22	PERMITS
23	PERMITS
24	PERMITS
25	PERMITS
26	PERMITS
27	PERMITS
28	PERMITS
29	PERMITS
30	PERMITS
31	PERMITS
32	PERMITS
33	PERMITS
34	PERMITS
35	PERMITS
36	PERMITS
37	PERMITS
38	PERMITS
39	PERMITS
40	PERMITS
41	PERMITS
42	PERMITS
43	PERMITS
44	PERMITS
45	PERMITS
46	PERMITS
47	PERMITS
48	PERMITS
49	PERMITS
50	PERMITS
51	PERMITS
52	PERMITS
53	PERMITS
54	PERMITS
55	PERMITS
56	PERMITS
57	PERMITS
58	PERMITS
59	PERMITS
60	PERMITS
61	PERMITS
62	PERMITS
63	PERMITS
64	PERMITS
65	PERMITS
66	PERMITS
67	PERMITS
68	PERMITS
69	PERMITS
70	PERMITS
71	PERMITS
72	PERMITS
73	PERMITS
74	PERMITS
75	PERMITS
76	PERMITS
77	PERMITS
78	PERMITS
79	PERMITS
80	PERMITS
81	PERMITS
82	PERMITS
83	PERMITS
84	PERMITS
85	PERMITS
86	PERMITS
87	PERMITS
88	PERMITS
89	PERMITS
90	PERMITS
91	PERMITS
92	PERMITS
93	PERMITS
94	PERMITS
95	PERMITS
96	PERMITS
97	PERMITS
98	PERMITS
99	PERMITS
100	PERMITS

TIM LORENZ ARCHITECT
 PO BOX 1874
 GUERNEVILLE, CA 95944
 415.944.0701 CA LIC # 20196
 ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK/LOT : 1744/038
 BLDG PERMIT NO: 202205040045
 PLANNING RECORD NO: 2022-0000009J

PROPERTY INFORMATION

ZONING: R80 - RESIDENTIAL HOUSE TWO FAMILY
 DISTRICT: H - NEIGHBORHOOD
 MAX HEIGHT: 40'-0"
 TYPE: 1-B CONSTRUCTION
 FLOOR AREA: 1-2000 SQ. FT.
 UNITS: 1-1
 STORES: 0
 RESIDENCE OR STORES OVER GARAGE: 0
 NOT FIRE SPRINKLERED

1 OF DWELLING UNITS	EXISTING	PROPOSED	PERMITTED
	ONE	ONE	TWO
CROSS SECTION	0	0	0
BASEMENT	0	0	0
1ST FLOOR	0	0	0
2ND FLOOR	0	0	0
3RD FLOOR	0	0	0
4TH FLOOR	0	0	0
5TH FLOOR	0	0	0
6TH FLOOR	0	0	0
7TH FLOOR	0	0	0
8TH FLOOR	0	0	0
9TH FLOOR	0	0	0
10TH FLOOR	0	0	0
11TH FLOOR	0	0	0
12TH FLOOR	0	0	0
13TH FLOOR	0	0	0
14TH FLOOR	0	0	0
15TH FLOOR	0	0	0
16TH FLOOR	0	0	0
17TH FLOOR	0	0	0
18TH FLOOR	0	0	0
19TH FLOOR	0	0	0
20TH FLOOR	0	0	0
21TH FLOOR	0	0	0
22TH FLOOR	0	0	0
23TH FLOOR	0	0	0
24TH FLOOR	0	0	0
25TH FLOOR	0	0	0
26TH FLOOR	0	0	0
27TH FLOOR	0	0	0
28TH FLOOR	0	0	0
29TH FLOOR	0	0	0
30TH FLOOR	0	0	0
31TH FLOOR	0	0	0
32TH FLOOR	0	0	0
33TH FLOOR	0	0	0
34TH FLOOR	0	0	0
35TH FLOOR	0	0	0
36TH FLOOR	0	0	0
37TH FLOOR	0	0	0
38TH FLOOR	0	0	0
39TH FLOOR	0	0	0
40TH FLOOR	0	0	0
41TH FLOOR	0	0	0
42TH FLOOR	0	0	0
43TH FLOOR	0	0	0
44TH FLOOR	0	0	0
45TH FLOOR	0	0	0
46TH FLOOR	0	0	0
47TH FLOOR	0	0	0
48TH FLOOR	0	0	0
49TH FLOOR	0	0	0
50TH FLOOR	0	0	0

CODES

BUILDING: 2001 CA EDITION
 GREEN BUILDING: 2001 CA, ROOFED BY SP
 PLUMBING CODE: 2001 NATIONAL ELECTRICAL CODE
 MECHANICAL CODE: 2001 EDITION
 PLUMBING CODE: 2001 EDITION
 MPA 100

*****FOR REFERENCE ONLY REFER TO PREVIOUS A1 FOR CORRECT SITE INFO.*****

RECEIVED
 AUG 01 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 REQUIREMENTS FOR INSPECTION
 APPROVED

DESCRIPTION	DATE	DRAWN
REVISIONS		
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		
16		
17		
18		
19		
20		
21		
22		
23		
24		
25		
26		
27		
28		
29		
30		
31		
32		
33		
34		
35		
36		
37		
38		
39		
40		
41		
42		
43		
44		
45		
46		
47		
48		
49		
50		

SCALE AS NOTED

JOB NO. 202304 SHEET
 DRAWN: TL
 CHECK: TL
 DATE: 8/1/2023 OF

ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco

49 South Van Ness Ave, 8th Floor, San Francisco, California 94103

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION
OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED: May 28, 2023

[Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SIBC Table 1A-A, Item 3. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0506-9906

Property Address: 1334 12th Avenue Occupancy Group: R3 Type of Construction: MB No. of Stories: 3

Block and Lot: 1700-008 Describe Use of Building: Single Family Residence

Under the authority of the San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the San Francisco Mechanical Code, Sections 302.2; the San Francisco Electrical Code, Section 89.117; and the San Francisco Plumbing Code, Section 301.3, the undersigned requests modifications of the provisions of these codes and approval of alternate materials, modifications or alternate materials, design or methods of construction, as marked.

Regular Code Requirements (specify Code and sections)

Emergency Escape and Rescue Openings (EERCO) into a YARD w/ R3 Occupancies

Emergency Current Adopted San Francisco Building Code, Section 1000 Emergency Escape & Rescue

Reference Current Adopted San Francisco Building Code, Section 1000 Emergency Escape & Rescue

SIBC SECTION 1000 requires escape and rescue openings (EERCO) to open directly into a public way or a courtyard that opens up to a public way

As per SIFDSB information EG-02, EERCOs are allowed to open to the project's rear yard since it has a minimum depth of 25'-0". Rear yard provided w/ 25'-0"

Proposed Modification or Alternate: In section EG-02, Item 3, add a new EERCO, w/ no access to public way, but access to rear yard. It shall be approved if it meets the requirements of the current code.

Case No. 1334 12th Avenue 2021-0506-9906

Case-by-Case Basis of Request: Describe the practical difficulties presented or reasons for specific provisions of the code and how the proposed modification or alternate meets the intent of the code. Attach Code Book references for each request for modification or alternate. Attach copies of any calculations, reports, test reports, or other supporting documents, reports, expert opinions, etc., which support this request. If a written or electronic report of the Department is filed by the applicant to perform tests or analysis and is written or electronic report of the Department for consideration.

The current backyard is closed off to the public way, with no clear access to the street.

Requested by: Eric J. Hill
Print Name: Eric J. Hill
Signature: Eric J. Hill
Telephone: 415-706-0181

PROJECT SPONSOR: Eric J. Hill
ARCHITECT/ENGINEER: Timothy W. Lorenz
Signature: Timothy W. Lorenz
415-994-6017

PLAN REVIEW COMMENTS

Table with columns: Description, Date, Status, Comments. Includes handwritten notes: 'Approved for review', 'Approved for construction', 'Approved for occupancy'.

TIM LORENZ
ARCHITECT
4000 CALIFORNIA ST
SAN FRANCISCO, CA 94118
PH: 415-994-6017
WWW.TIMLORENZ.COM

AN ADDITION TO THE
EXISTING WALL RESIDENCE
1334 12TH AVENUE
SAN FRANCISCO, CA 94103
BLDG. TYPE: RESIDENCE
PLANS REVIEWED BY: [Signature]

APPROVED
RECEIVED
DATE: 5/29/23
TIME: 10:15 AM
BY: [Signature]



TIM LORENZ ARCHITECT
 PO BOX 1814
 GUERNEVILLE, CA 95444
 415.944.0071 CA LIC # 30398
 ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC I HELENE HALL RESIDENCE
 1334 12TH AVE
 SAN FRANCISCO, CA 94122
 BLK/LOT : 1744/038
 BLDG PERMIT NO : 2020SC016045
 PLANNING RECORD NO : 2020-005038PJ

- KEYNOTES**
- 1 ALL BALLS, WINDOWS, STAIR, DECKS AND ROOF AREA DASHED ARE TO BE DEMO'D
 - 2 FRONT PLANTER CUBES & WALL TO BE DEMO'D FOR A NEW ENTRANCE TO HOUSE. KEEP IEI WINDOW AND USE IN NEW BALL
 - 3 DEMO ALL CONCRETE SLABS CAP ALL AND JOIST AREA SEPARATE WATER LINES ECT
 - 4 IEI ELECTRICAL PANEL TO BE DEMO'D NEW 400 AMP PANEL PROVIDE 20 NEW CAR CHARGING STATIONS PER OWNER
 - 5 SEE STRUCTURAL DRAWINGS FOR PLANS & DETAILS
 - 6 PATCH & REPAIR IEI 1-HOUR BALLS AT PROPERTY LINE

APPROVED
 City of Building Dept.
 SEP 07 2023

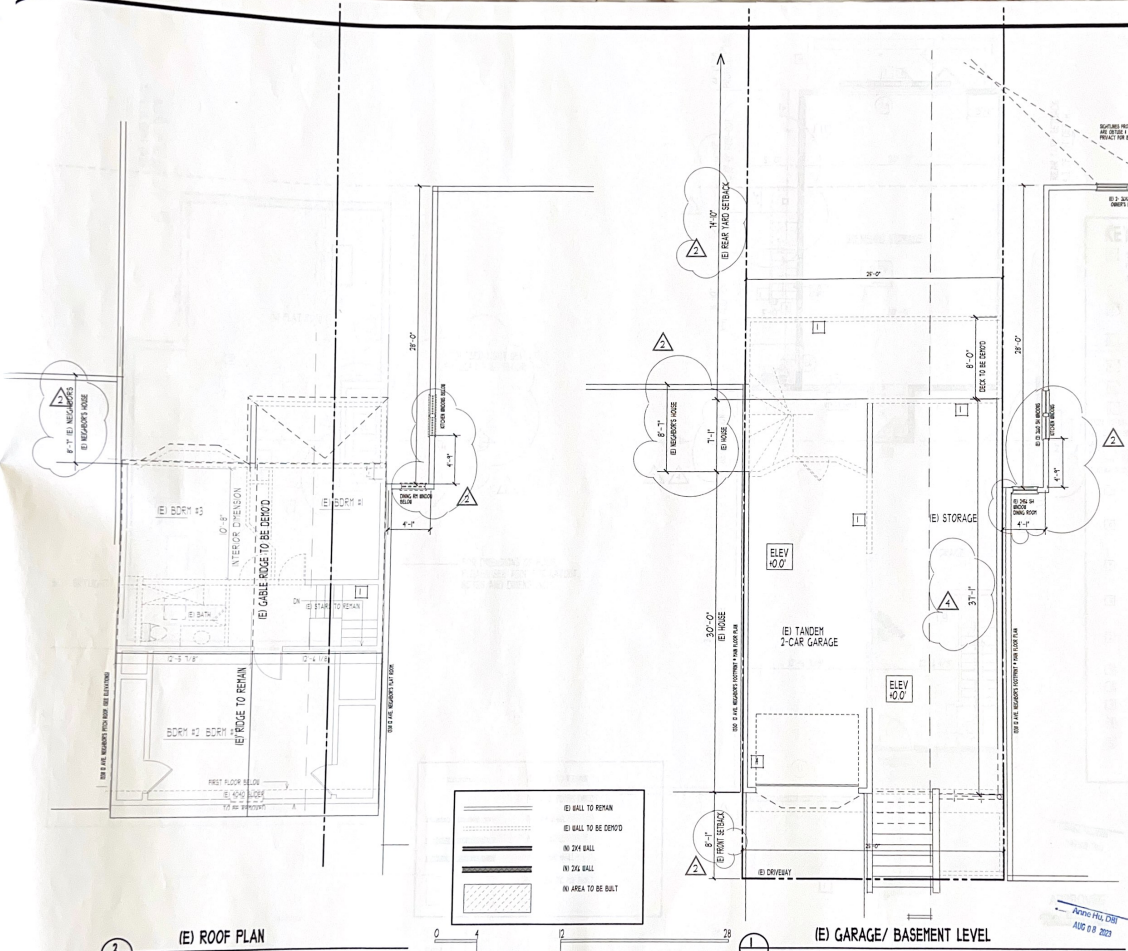
Finals Bought/SFFD
 AUG 07 2023

RECEIVED
 AUG 01 2023
 CITY OF CALIFORNIA INSPECTION
 DIVISION HAS REVIEWED THE QUALITY
 OF THESE DRAWINGS FOR REPRODUCTION
 PURPOSES ONLY.

DESCRIPTION	DATE	DRAWN
REVISIONS		
△ SUBMITTED FOR PLANNING 8/2/2022		
△ SUBMITTED FOR PLANNING 8/9/2022		
△ REVISIONS 4/5/2022		
△ REVISIONS 4/5/2022 RESPONSE TO CDR		
△ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 2-14/2023		

SCALE: AS NOTED

JOB NO.	2023	SHEET	A2(E)
DRAWN	ML	CHECK	ML
DATE	6/29/2020	OF	



(E) ROOF PLAN

(E) GARAGE/ BASEMENT LEVEL



NORTH

APPROVED
 AUG 08 2023

SCALE



TIM LORENZ
ARCHITECT
PO BOX 1874
GUERNEVILLE, CA 95444
415 944 0071 CA LIC # 21316
ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
1324 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1744/038
BLDG PERMIT NO. 202005014048
PLANNING RECORD NO. 2021-005005014048

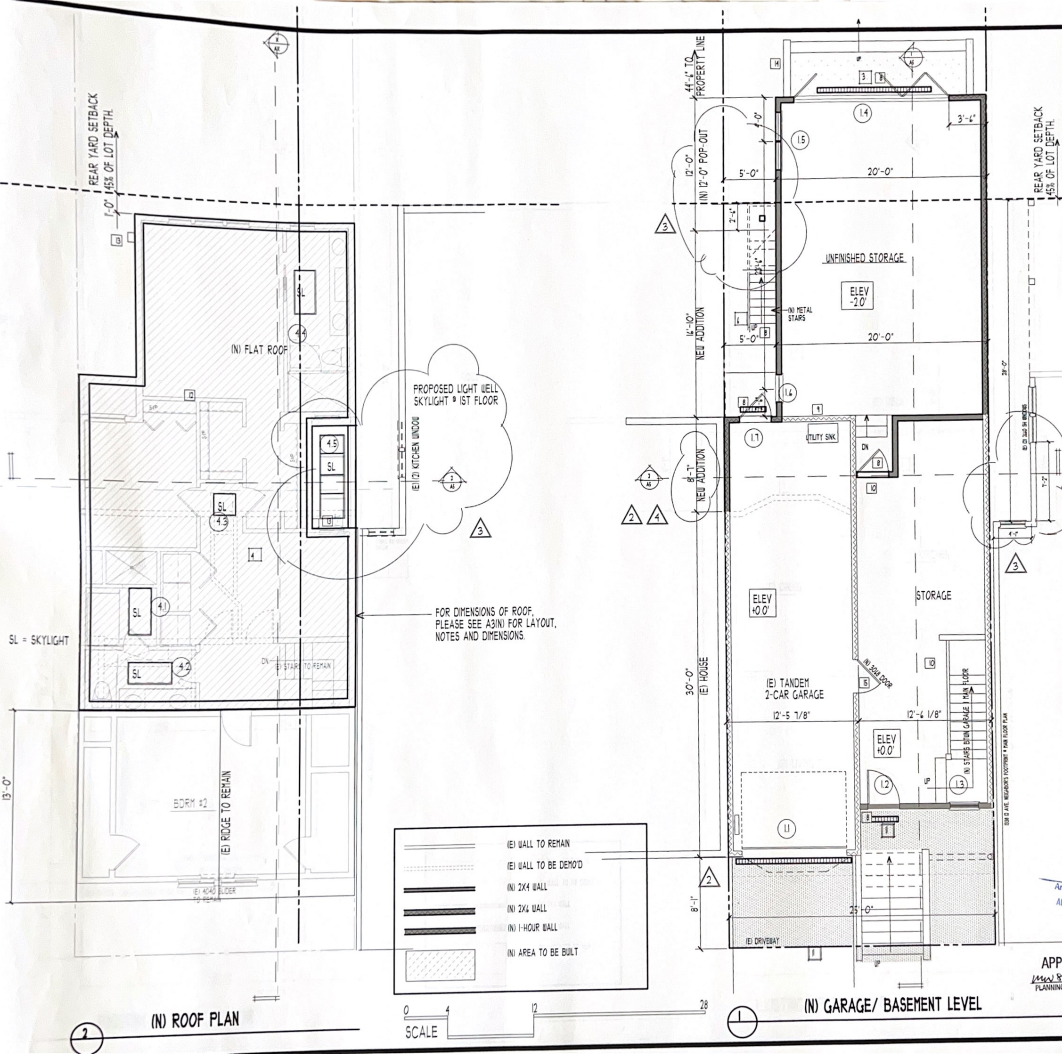
KEYNOTES

- 1 REMOVE EX. PLASTER. PROVIDE NEW FINISHWORK TO BASEMENT. USE PREVIOUS SURFACE IN FRONT. AS NOTED PER OTTS DIMENSIONS
- 2 ELEVATE FINISH FLOOR TO REMAIN VERIFY HOUR REQUIREMENT
- 3 NEW 0'-0" POP-OUT WITH SINKEN STAIR AND AREA DRAIN WOOD STAIRS @ 2" NATURAL GRADE
- 4 NEW FLAT SLOPE OF ROOFING WITH FIRE-RATED BALLS AT PROPERTY
- 5 NEW SKYLIGHTS ON FLAT ROOF
- 6 NEW 6" METAL STAIR W/ NEW 2x4 P joists CONTRACTOR TO SUBMIT DRAINAGE DRAWINGS FOR REVIEW/PERMIT
- 7 STAIRS TO BE A MAXIMUM OF 3 RISERS WITHOUT NEEDING HANDRAILS RISERS TO BE 4" MIN TO 12" MAX. TREADS TO BE 10" MIN. NO RISER OR TREAD SHALL EXCEED MORE THAN 1/4" FROM THE SMALLEST THE LARGEST LANDINGS SHALL BE A MIN. 3'-0" WIDE X 3'-0" LONG. THE STEP FROM THE RESIDENCE TO THE OUTSIDE SHALL HAVE A STEP BETWEEN 1/4" MIN. TO 1/2" MAX OR 1/2" MIN. TO 1 1/2" MAX. HANDRAILS TO BE 1 1/2" DIA. 30" TO 36" ABOVE THE NOSE OF STAIRS. RETURN HANDRAIL TO POST OR BALL CONTRACTOR TO PROVIDE HOUR CONSTRUCTION BELOW ALL REQUIRED STAIRS PER CODE
- 8 PROVIDE AN AREA DRAIN ALONG (E) IN FOUNDATION NEW TRENCH DRAIN AS SHOWN COLLECT AND CONVEY WITH ROOF DRAIN TO APPROPRIATE APPROVED EXISTING PIPE SYSTEM. 4" MIN.
- 9 PROVIDE NO MORE THAN 1/2" DROP FROM INTERIOR TO EXTERIOR @ EXTERIOR CORNER. PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS WIDE OF DOOR AT EXTERIOR LANDING.
- 10 PROVIDE WORK-UP FOR FUTURE BATH. I.E.C. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF GASTS LINES TO ARCHITECT'S JUDGE.
- 11 PROVIDE THE RECO INSULATION UNDER ENTRY & STORAGE AREAS FOR POSSIBLE FUTURE CONDITIONING SPACE. CONTRACTOR TO PROVIDE VAPOUR BARRIER & FILL IN ALL AREAS OF CONCRETE.
- 12 VERIFY WITH OWNER FLOORING THROUGHOUT HOUSE. TYPICALLY FINISHED CONCRETE IN GARAGE & STORAGE AREA. NEW WOOD TO MATCH EXISTING IN FIRST & SECOND FLOOR. TILE, TAN SET IN BATHROOMS.
- 13 PRE-WIRE FLAT ROOF FOR SOLAR PANELS. OWNER & CONTRACTOR COORDINATE.
- 14 RAIN WATER COMPONENT NEW ROOF TO SLOPE TO DRAIN
- 15 NEW P.T. WOOD RETAINING WALLS. VERIFY W/ OWNER LANDSCAPER FOR ADDITIONAL DETAILS. PROVIDE PROPER DOOR WITH HOUR RATED GARAGE & WALK-IN. 1 3/4" SOLID CORE DOOR SELF-CLOSING DEVICE & PROPER SEALS & INSTALLATION
- 16 INI 400 AMP ELECTRICAL PANEL TO REPLACE (E)

APPROVED
SEP 07 2023
City of San Francisco
DEPT OF BUILDING INSPECTION

RECEIVED
AUG 08 2023
CITY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTION

DESCRIPTION	DATE	DRAWN
REVISIONS		
△ SUBMITTED FOR PLANNING 8/21/2020		
△ SUBMITTED FOR PLANNING 1/31/2022		
△ REVISIONS 4/1/2022 (RESPONSE TO DRI)		
△ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 2/4/2023		
SCALE: AS NOTED		
JOB NO. 20218	SHEET	
DRAWN TH	A2(N)	
CHECK TH		
DATE 8/27/2020	OF	



- (E) WALL TO REMAIN
- (E) WALL TO BE DEMO'D
- (NI) 2X4 WALL
- (NI) 2X4 WALL
- (NI) 1 HOUR WALL
- (NI) AREA TO BE BUILT

SCALE 0 4 12 28

Acting PRJ. DIR
AUG 08 2023

APPROVED
SACRAMENTO COUNTY
PLANNING DEPARTMENT



TIM LORENZ ARCHITECT
 PO BOX 1874
 GUERNEVILLE, CA 95444
 45.944201 CA LIC # 20795
 ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK/LOT : 1744/038
 BLDG PERMIT NO. 2020047045
 PLANNING RECORD NO. 202-006039PL

KEYNOTES

- 1 ALL BATHS, KITCHEN AND BATH FIXTURES, DECK SHOWN DASHED TO BE DEMO'D
- 2 (E) FRONT ENTRY, PORCH AND STAIRS TO REMAIN
- 3 2ND FLOOR BEDROOM & WINDOW TO REMAIN UNTOUCHED BY RENOV.

APPROVED
 SEP 07 2023
 DEPT. OF BUILDING INSPECTION

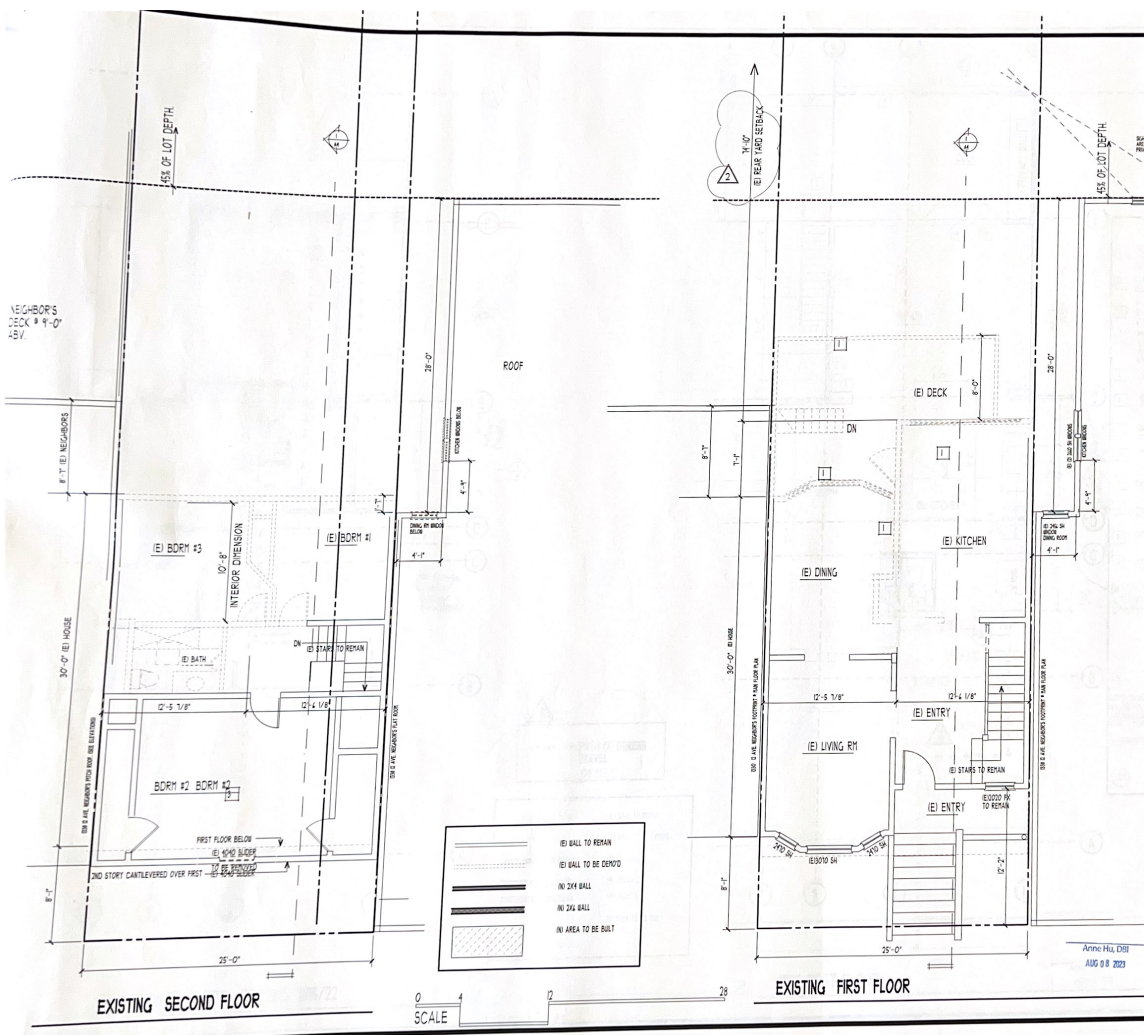
Rhabs Boughton, SFPD
 AUG 07 2023

RECEIVED
 AUG 01 2023
 DEPT. OF BUILDING INSPECTION

DESCRIPTION	DATE	DRAWN
REVISIONS		
△ SUBMITTED FOR PLANNING 8/2/2023		
△ RESUBMITTED FOR PLANNING 10/2/2022		
△ REVISIONS 4/5/2022		
△ REVISIONS 10/2/2022 RESPONSE TO DMI		
△ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 2/4/2023		

SCALE: AS NOTED

JOB NO.	2023A	SHEET
DRAWN	TM	OF
CHECK	TM	A3(E)
DATE	8/7/2023	OF



(E) BALL TO REMAIN
(E) BALL TO BE DEMO'D
(N) 2X4 BALL
(N) 2X6 BALL
(N) AREA TO BE BUILT

SCALE 0 4 8 16



Archie Hix, DSI
 AUG 0 8 2023

TIM LORENZ
ARCHITECT
PO BOX 184
GUERNEVILLE, CA 9544
45.914.011 CA LIC # 26316
ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT - 114/038
BLDG PERMIT NO. 2020061015
PLANNING RECORD NO. 2021-006238R

KEYNOTES

- 1 PROPOSED PRIVACY WALL SOLID BALL UP TO 4'-0" ABOVE DECK LATTICE OR 10'-0" ABOVE DECK CENTER FOR 4'-0" WITH STORAGE CABINETS BELOW
- 2 GLASS & METAL GARAPORAL 4" HP 4" BY DECK METAL STAIRS TO GROUND TO MATCH
- 3 4'-0" X 8'-0" LIGHT BELL & SECOND FLOOR 4" PARAPET AND AREA DRAIN
- 4 PROVIDE NO MORE THAN 1/2" DROP FROM INTERIOR TO EXTERIOR AT EXTERIOR DOORS PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS WIDE OF DOOR AT EXTERIOR LANDING
- 5 SEE STRUCTURAL FOR STEEL FRAME LOCATION ETC.
- 6 BASKET & DRYER W/ CABINETS PROVIDE PAN UNDER BASKET W/ DRAIN TO BASTE SYSTEM PROVIDE 4" SMOOTH DUCT TO ROOF
- 7 SEE KITCHEN DESIGNER FOR CABINET & APPLIANCE LAYOUT CONTRACTOR TO VERIFY & OWNER
- 8 PROVIDE 1-HOUR CONSTRUCTION FOR STAIR WALLS & CEILING
- 9 REQUIRED 34" X 30" CLEARANCE IN FRONT OF TOILET AREA. SHOWN DASHED
- 10 CONTRACTOR/OWNER TO VERIFY IF ANY BATHROOM FLOOR TO BE THICK SET 2" BELOW FINISH FLOOR
- 11 CORRO SHOWER/STEAM ENCLOSED W/ TEMPERED GLASS BALL & DOOR. SHOWER TO HAVE LINEAR DRAIN
- 12 CONTRACTOR TO VERIFY WITH OWNER LOCATION OF BATHROOM FLOOR RADIANT PATTS. THERMOSTAT OR EQUAL. BALL THERMOSTAT COOP. 800-349-8057
- 13 (R) 24" x 24" x 1/2" LANDING W/ DINING ROOM
- 14 SEE WINDOW & DOOR SCHEDULE ON SHEET XX

APPROVED
City of San Francisco
DEPT. OF BUILDING INSPECTION
SEP 07 2023
PRINCE BOURGON, SFFDO
AUG 07 2023

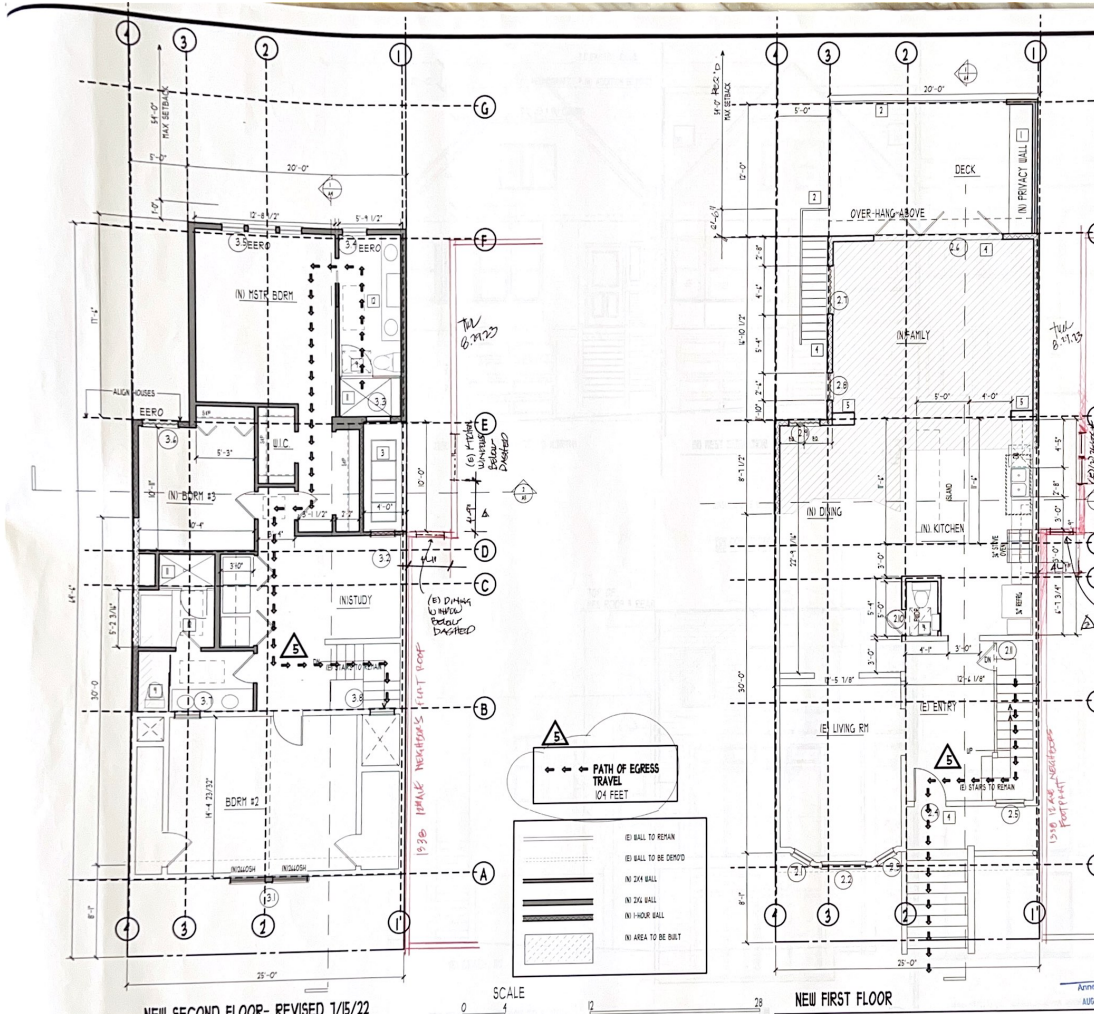
STAIRS TO BE A MINIMUM OF 3 RISES WITHOUT NEEDING HANDRAILES. RISERS TO BE 4" MIN TO 12" MAX. TREADS TO BE 10 1/2". NO RISER OR TREAD SHALL EXCEED MORE THAN 3/4" FROM THE SMALLEST THE LARGEST. LANDINGS SHALL BE A MIN. 3'-0" WIDE X 3'-0" LONG. THE STEP FROM THE RESIDENCE TO THE OUTSIDE SHALL HAVE A RISE BETWEEN 1/4" MIN. TO 1" MAX. OR 4 1/2" MIN. TO 1 1/2" MAX.
HANDRAILS TO BE 1 1/2" DIA. 35" TO 38" ABOVE THE NOSE OF STAIRS. RETURN HANDRAIL TO POST OR WALL.

DESCRIPTION	DATE	DRAWN
APPROVED	8/30/23	PLANNING DEPARTMENT

REVISIONS	DATE	DRAWN
1	8/30/23	PLANNING DEPARTMENT
2	8/30/23	PLANNING DEPARTMENT
3	8/30/23	PLANNING DEPARTMENT
4	8/30/23	PLANNING DEPARTMENT
5	8/30/23	PLANNING DEPARTMENT
6	8/30/23	PLANNING DEPARTMENT
7	8/30/23	PLANNING DEPARTMENT
8	8/30/23	PLANNING DEPARTMENT
9	8/30/23	PLANNING DEPARTMENT
10	8/30/23	PLANNING DEPARTMENT
11	8/30/23	PLANNING DEPARTMENT
12	8/30/23	PLANNING DEPARTMENT
13	8/30/23	PLANNING DEPARTMENT
14	8/30/23	PLANNING DEPARTMENT
15	8/30/23	PLANNING DEPARTMENT
16	8/30/23	PLANNING DEPARTMENT
17	8/30/23	PLANNING DEPARTMENT
18	8/30/23	PLANNING DEPARTMENT
19	8/30/23	PLANNING DEPARTMENT
20	8/30/23	PLANNING DEPARTMENT
21	8/30/23	PLANNING DEPARTMENT
22	8/30/23	PLANNING DEPARTMENT
23	8/30/23	PLANNING DEPARTMENT
24	8/30/23	PLANNING DEPARTMENT
25	8/30/23	PLANNING DEPARTMENT
26	8/30/23	PLANNING DEPARTMENT
27	8/30/23	PLANNING DEPARTMENT
28	8/30/23	PLANNING DEPARTMENT
29	8/30/23	PLANNING DEPARTMENT
30	8/30/23	PLANNING DEPARTMENT
31	8/30/23	PLANNING DEPARTMENT
32	8/30/23	PLANNING DEPARTMENT
33	8/30/23	PLANNING DEPARTMENT
34	8/30/23	PLANNING DEPARTMENT
35	8/30/23	PLANNING DEPARTMENT
36	8/30/23	PLANNING DEPARTMENT
37	8/30/23	PLANNING DEPARTMENT
38	8/30/23	PLANNING DEPARTMENT
39	8/30/23	PLANNING DEPARTMENT
40	8/30/23	PLANNING DEPARTMENT
41	8/30/23	PLANNING DEPARTMENT
42	8/30/23	PLANNING DEPARTMENT
43	8/30/23	PLANNING DEPARTMENT
44	8/30/23	PLANNING DEPARTMENT
45	8/30/23	PLANNING DEPARTMENT
46	8/30/23	PLANNING DEPARTMENT
47	8/30/23	PLANNING DEPARTMENT
48	8/30/23	PLANNING DEPARTMENT
49	8/30/23	PLANNING DEPARTMENT
50	8/30/23	PLANNING DEPARTMENT



JOB NO.	SHEET
114-038	A3(N)



NEW SECOND FLOOR - REVISED 1/15/22

NEW FIRST FLOOR

SCALE

Arno Hill 1981
AUG 18 2023

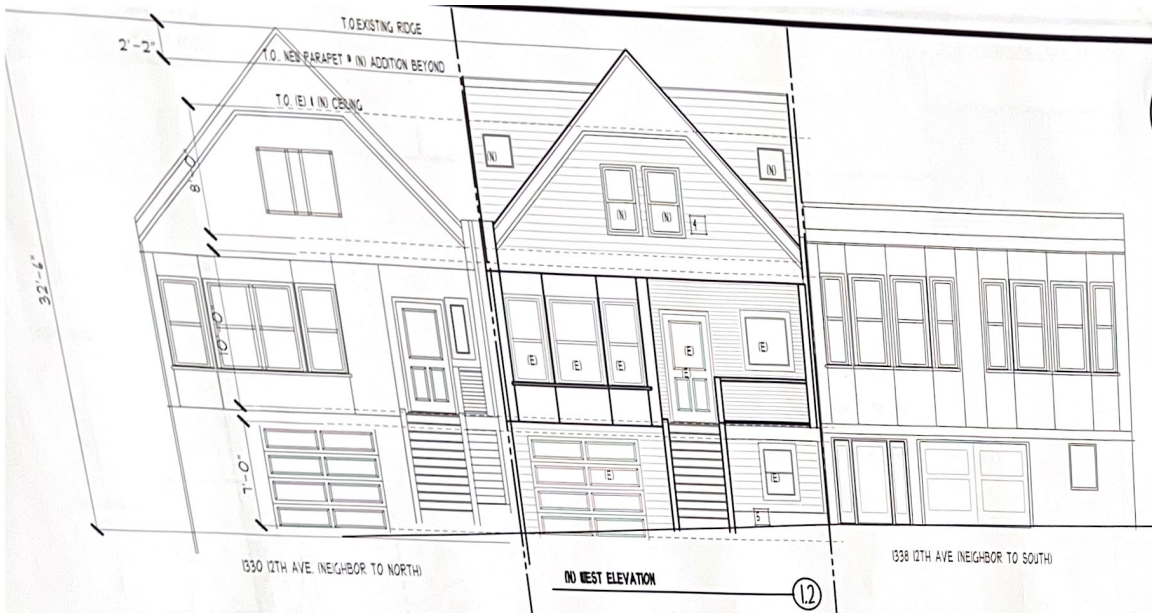


TIM LORENZ
 ARCHITECT
 PO BOX 184
 GUERNEVILLE, CA 95444
 45.944.0011 CA LIC # 24315
 ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
 ERIC I HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK/LOT : 1766/038
 BLDG PERMIT NO : 20205041048
 PLANNING RECORD NO : 2021-008059RJK

KEYNOTES

- 1 IEI STUCCO EXTERIOR 2-STORY NEIGHBOR FLAT ROOF
- 2 IEI 3 STORY WOOD EXTERIOR NEIGHBOR. HOUSE HAS SIMILAR FORM AND SLIGHTLY DIFFERENT DETAILS.
- 3 NEW METAL 1 GLASS RAILING AT NEW DECK 4'4"
- 4 NEW 12" DIA 2400 OH WOOD WINDOWS IN FRONT ELEVATION
- 5 NEW WALKWAY TO DOOR TO GARAGE (NOT SEEN BEHIND GARAGE)
- 6 NEW 5'-0" 1-HOUR BALL AT DECK 4 PROPERTY LINE. SOLID PRIVACY BALL
- 7 IEI LATTICE FENCE BTWN NORTH NEIGHBOR.
- 8 NEW METAL STAIRS FROM DECK TO IEI GRADE (SHOWN DASHED)



00 WEST ELEVATION

12



00 EAST ELEVATION

12

APPROVED
 Dept of Building Reg.
 - San Francisco -
 SEP 07 2023

Phad Bouapha, SFPD
 AUG 11 2023

RECEIVED
 AUG 01 2023
 DEPT. OF BUILDING INSPECTION
 THESE PLANS MEET THE QUALITY
 STANDARDS FOR REPRODUCTION.

APPROVED
 John S. 8/30/2023
 PLANNING DEPARTMENT

REVISIONS	DESCRIPTION	DATE	DRAWN
1	SUBMITTED FOR PLANNING 8/20/2023		
2	RESUBMITTED TO PLANNING 9/3/2023		
3	REVISIONS 8/30/2023		
4	REVISIONS 9/1/2023 RESPONSE TO DBI		
5	SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 9/14/2023		

SCALE: AS NOTED

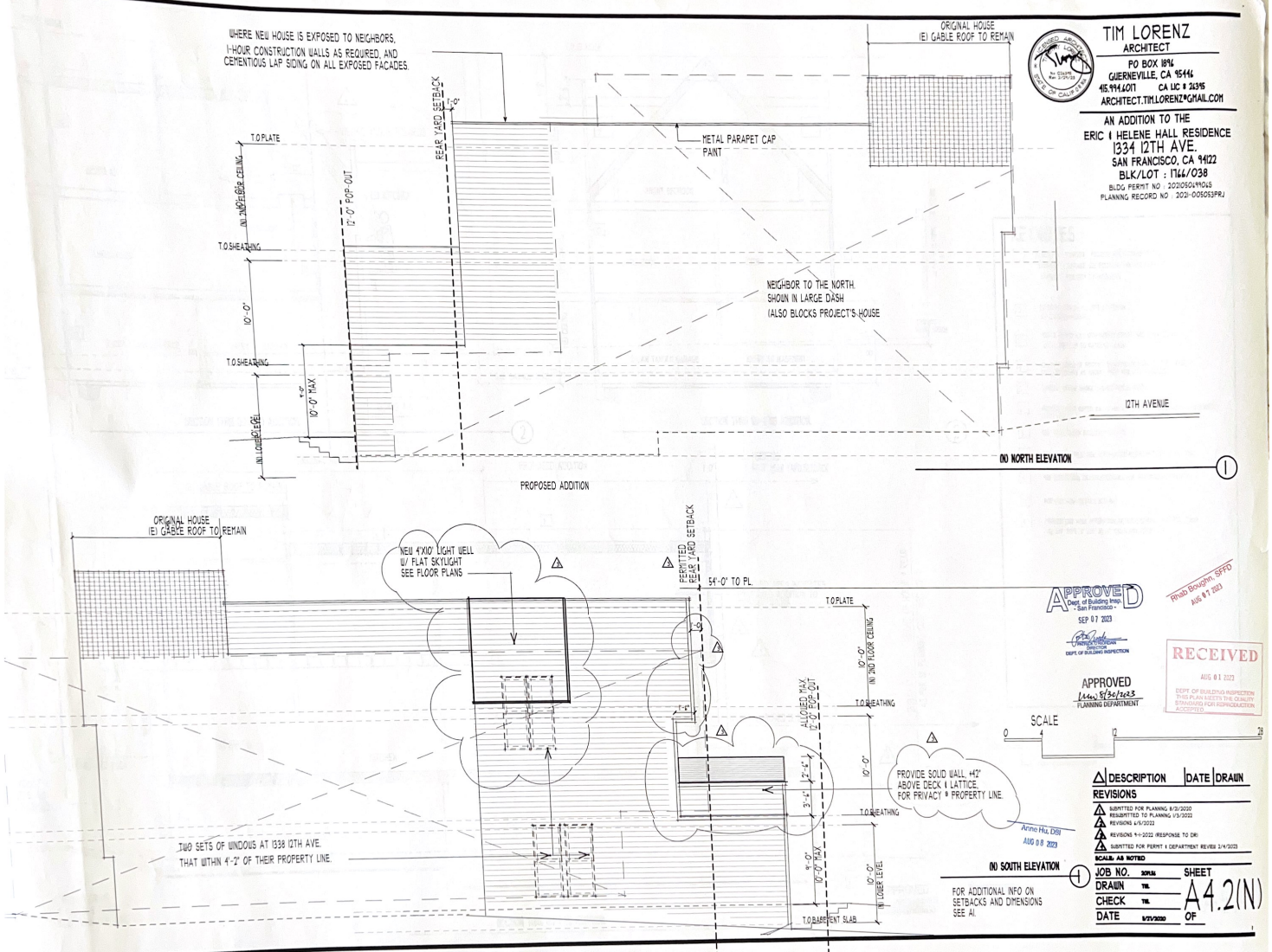
JOB NO.	3006	SHEET	
DRAWN	TL	NO.	A4.1(N)
CHECK	TL	DATE	8/29/2023
DATE	8/29/2023	OF	

WHERE NEW HOUSE IS EXPOSED TO NEIGHBORS,
1-HOUR CONSTRUCTION WALLS AS REQUIRED, AND
CEMENTIOUS LAP SIDING ON ALL EXPOSED FACADES



TIM LORENZ
ARCHITECT
PO BOX 184
GUERNEVILLE, CA 95444
45 944.001 CA LIC # 24385
ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC I HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1144/038
BLDG PERMIT NO. 202205419045
PLANNING RECORD NO. 2021-00503PRJ



APPROVED
City of Building Dept
San Francisco
SEP 07 2023
DEPT OF BUILDING INSPECTION

Permit Drawn: CEFFO
AUG 07 2023

RECEIVED
AUG 08 2023
DEPT OF BUILDING INSPECTION
THIRD FLOOR 315 CALIFORNIA
STRAUSS FOR REPRODUCTION
ACCEPTED

APPROVED
Lena 8/30/2023
PLANNING DEPARTMENT

SCALE 0 4 8 12 24

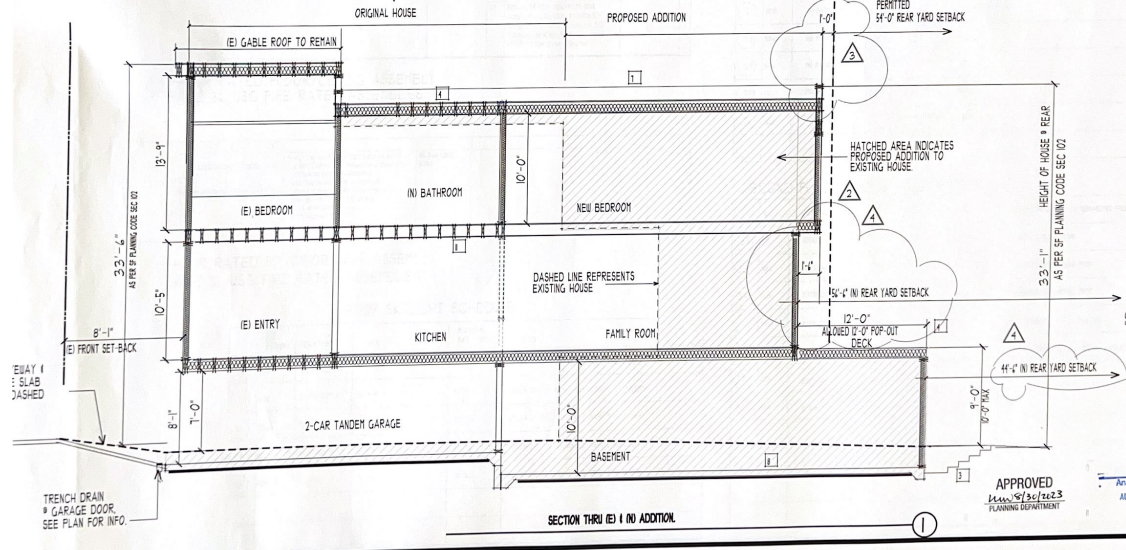
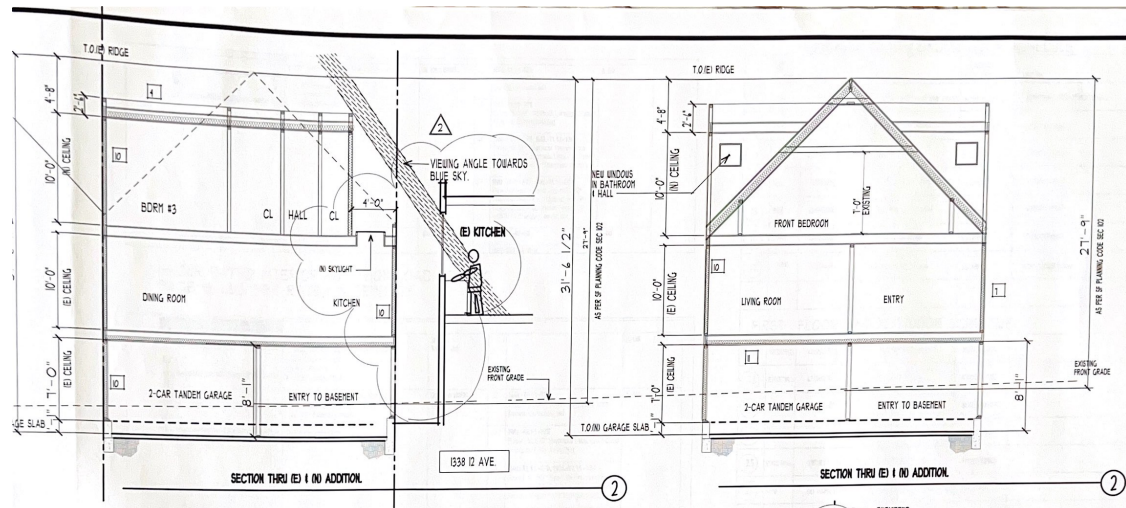
DESCRIPTION	DATE	DRAWN
REVISIONS		
△ SUBMITTED FOR PLANNING 8/20/2022		
△ RESUBMITTED TO PLANNING 9/30/2022		
△ REVISION 9/10/2022		
△ REVISION 9/10/2022 RESPONSE TO DM		
△ SUBMITTED FOR PERMIT 1 DEPARTMENT REVIEW 11/4/2022		
SCALE AS NOTED		
JOB NO. 2023	SHEET	
DRAWN BY	TR	A4.2(N)
CHECK BY	TR	
DATE 8/27/2023	OF	

NO SOUTH ELEVATION
FOR ADDITIONAL INFO ON
SETBACKS AND DIMENSIONS
SEE AI.



TIM LORENZ
 ARCHITECT
 PO BOX 184
 GUERNEVILLE, CA 95444
 415.944.4071 CA LIC # 36376
 ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
 ERIC I HELENE HALL RESIDENCE
 1534 12TH AVE
 SAN FRANCISCO, CA 94122
 BLDG/LOT : 1144/038
 PLANNING RECORD NO : 20200604065
 PLANNING RECORD NO : 2021-000503PRU



KEYNOTES

- 1 REMOVE EI: PLASTER. PROVIDE NEW PLASTER TO BASEMENT & GARAGE. USE PERFOR SURFACE IN FRONT AS REQ'D. PER CITY'S STANDARDS
- 2 EI: ENTRY PORCH & STEPS TO REMAIN. NO CHANGES PLANNED.
- 3 NEW 12'-0" POP-OUT WITH SUNKEN STOOP AND AREA DRAIN. WOOD STEPS UP TO NATURAL GRADE.
- 4 NEW FLAT BUILD-UP ROOFING WITH PARAPET WALLS AT PROPERTY LINES. SKYLIGHTS AS SHOWN. PREP FOR SOLAR PANELS.
- 5 EXISTING GRADE SHOWN DASHED FOR CLARITY.
- 6 PROVIDE 1-HOUR RATED WALLS AND CEILING BETWEEN GARAGE & RESIDENTIAL LIVING AREA.
- 7 SEE TITLE 24 FOR INSULATION VALUES.
- 8 PROVIDE R-19 RIGID INSULATION UNDER NEW SLAB FOR FUTURE LIVING.
- 9 SEE STRUCTURAL DRAWINGS DETAILS FOR NEW SLAB & FOUNDATION.
- 10 FOR ONE HOUR DETAILS SEE A41.
- 11 PROVIDE ONE HOUR SEPARATION BETWEEN GARAGE & THE HOUSE. USE 5/8" TYPE 'X' GIP RD AT WALLS AND CEILING.

APPROVED
 City of Building Dept.
 San Francisco
 SEP 07 2023

FORWARD BOVAPRINT SIGNED
 AUG 17 2023

RECEIVED
 AUG 01 2023
 DEPT. OF BUILDING INSPECTION
 1000 MARKET STREET, 10TH FLOOR
 SAN FRANCISCO, CA 94102

DESCRIPTION	DATE	DRAWN
REVISIONS		
△ SUBMITTED FOR PLANNING 8/2/2023		
△ RESUBMITTED TO PLANNING 10/3/2023		
△ REVISIONS 11-1-2023 RESPONSE TO DM		
△ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 11-10-2023		
NOTES AS NOTED		
JOB NO.	3094	SHEET
DRAWN	TL	DRAIN
CHECK	TL	OF
DATE	8/29/2023	A5.1

APPROVED
 Planning Section 1534.123
 PLANNING DEPARTMENT
 AUG 08 2023

	<ul style="list-style-type: none"> 5/8" Sheetrock Facecore Core panels, or 5/8" Sheetrock UltraLight Panels Facecore X, or 5/8" Facecore panels 2 x 4 wood stud 16" or 24" o.c. optional insulation 	UL One 1005, U314	RAL-TL11-129 Based on 5/8" Sheetrock Facecore core panels, no sound bat	A-50
	<ul style="list-style-type: none"> 5/8" Sheetrock Facecore Core panels, or 5/8" Sheetrock UltraLight Panels Facecore X, or 5/8" Facecore panels 2 x 4 wood stud 16" or 24" o.c. optional insulation 	UL One 1005, U314	RAL-TL11-172 Based on 5/8" Sheetrock UltraLight Panels Facecore X, no sound bat	
			RAL-TL11-173, RAL-TL11-130 Based on 5/8" Sheetrock Facecore core panels or 5/8" Sheetrock UltraLight Panels Facecore X with R-11 fiberglass sound bat	
			RAL-TL11-081, RAL-TL11-084 Based on double layer one side 5/8" Sheetrock Facecore core panels or 5/8" Sheetrock UltraLight Panels Facecore X with R-11 fiberglass sound bat	
	<ul style="list-style-type: none"> 1/2" Sheetrock Facecore C Core gypsum panels 2 x 4 wood stud 16" o.c. 	GA-WP-3341	RAL-TL-60-52	A-60
			930-221-ST-6-H	

1-HOUR RATED INTERIOR PARTITION-LOAD BEARING
PAGE 18, USG FIRE RATED ASSEMBLIES

	<ul style="list-style-type: none"> 1/2" Sheetrock Facecore C Core gypsum panels, veneer finish only (not drywall) 2 x 4 wood stud 16" o.c. panels finished 1/8" veneer finish 	U NYC 10-27-64	RAL-TL11-129 Based on 5/8" Sheetrock Facecore core panels, no sound bat	A-50
	<ul style="list-style-type: none"> 5/8" Sheetrock Facecore Core panels, or 5/8" Sheetrock UltraLight Panels Facecore X, or 5/8" Facecore panels 2 x 4 wood stud 16" or 24" o.c. optional insulation 	UL One 1005, U314	RAL-TL11-172 Based on 5/8" Sheetrock UltraLight Panels Facecore X, no sound bat	
			RAL-TL11-173, RAL-TL11-130 Based on 5/8" Sheetrock Facecore core panels or 5/8" Sheetrock UltraLight Panels Facecore X with R-11 fiberglass sound bat	
			RAL-TL11-081, RAL-TL11-084 Based on double layer one side 5/8" Sheetrock Facecore core panels or 5/8" Sheetrock UltraLight Panels Facecore X with R-11 fiberglass sound bat	

1-HOUR RATED FLOOR/CEILING ASSEMBLY
PAGE 36, USG FIRE RATED ASSEMBLIES

	<ul style="list-style-type: none"> 5/8" Sheetrock Facecore C Core exterior sheathing or 5/8" Facecore A-85 exterior sheathing or Sheetrock glass-mat sheathing 5/8" Sheetrock Facecore Core gypsum panels or Sheetrock Multi-Tone Facecore Core gypsum panels, interior side 2 x 4 wood stud 16" o.c. panels exposed or finished 	UL One 1005, U314	F-15
--	--	--------------------------	-------------

1-HOUR RATED EXTERIOR WALL ASSEMBLY
PAGE 36, USG FIRE RATED ASSEMBLIES

ROOF SKYLIGHT SCHEDULE

NEW OR EXISTING	LOCATION	SIZE	MATERIAL EXT / INT	NOTES
41	BATHROOM #3	2' X 4'	METAL	VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)
42	BATHROOM #2	2' X 4'	METAL	VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)
43	HALLBAY	2' X 2'	METAL	VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)
44	MSTR BATH	2' X 4'	METAL	VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)
45	KITCHEN	2' X 8'	METAL	VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)

GARAGE FLOOR WINDOW/DOOR SCHEDULE

NEW OR EXISTING	LOCATION	SIZE	MATERIAL EXT / INT	NOTES
11	GARAGE	1'-0" X 1'-0" GARAGE DOOR	WOOD/WOOD	EXISTING, NON-CONDITIONAL
12	GARAGE ENTRY	3'-0" X 1'-0" DOOR	WOOD/WOOD	CONDITIONED
13	GARAGE ENTRY	3'-0" X 3'-0" FX	MTL/MTL	CONDITIONED
14	GARDEN	4'-0" X 8'-0" BI-FOLD	MTL/MTL	CONDITIONED
15	GARDEN	10'-0" X 4'-0" SH	MTL/MTL	CONDITIONED
16	GARDEN	3'-0" X 4'-0" SH	MTL/MTL	CONDITIONED
17	GARAGE	3'-0" X 1'-0" DOOR	MTL/MTL	NON-CONDITIONAL

FIRST FLOOR WINDOW & DOOR SCHEDULE

21	EXISTING	LIVING RM	2'-4" X 4'-0" DH	WOOD/WOOD	
22	EXISTING	LIVING RM	3'-4" X 4'-0" DH	WOOD/WOOD	
23	EXISTING	LIVING RM	2'-4" X 4'-0" DH	WOOD/WOOD	
24	EXISTING	ENTRY	3'-0" X 1'-0" DOOR	WOOD/WOOD	
25	EXISTING	ENTRY	2'-4" X 3'-0" FX	WOOD/WOOD	
26	NEW	(N) FAMILY RM	8'-0" X 8'-0" BI-FOLD	MTL / MTL	
27	NEW	(N) FAMILY RM	10'-0" X 4'-0" SH	MTL / MTL	
28	NEW	(N) FAMILY RM	3'-0" X 4'-0" SH	MTL / MTL	
29	NEW	(N) FAMILY RM	3'-0" X 8'-0" WNDU	MTL / MTL	
30	NEW	PORCH	2'-4" X 4'-0" INT. DOOR	WOOD	
31	NEW	STAIRS DN	3'-0" X 4'-0" INT. DOOR	WOOD	

SECOND FLOOR WINDOW & DOOR SCHEDULE

31	NEW	BDRM #2	10'-0" X 5'-4" DH	WOOD	EGRESS REQ'D. MATCH NEIGHBORS FRONT WINDOWS
32	NEW	STUDY	2'-0" X 4'-0" DH	MTL/MTL	1-HOUR RATED WINDOW
33	NEW	MSTR BATH	3'-0" X 2'-0" SLIDER	MTL / MTL	1-HOUR RATED WINDOW TEMP
34	NEW	MSTR BATH	2'-0" X 8'-0"	MTL / MTL	1-HOUR RATED WINDOW TEMP
35	NEW	MSTR BDRM	8'-0" X 8'-0"	MTL / MTL	EGRESS REQ'D. SEE ELEVATION
36	NEW	BDRM #3	2'-4" X 8'-0"	MTL / MTL	EGRESS REQ'D. SEE ELEVATION, 1-H RATED
37	NEW	BATH #2	2'-0" X 2'-0" FX	MTL / MTL	FX
38	NEW	STAIRS	2'-0" X 2'-0" FX	MTL / MTL	FX



TIM LORENZ
ARCHITECT
PO BOX 1874
GUERNEVILLE, CA 95444
45.944.0171 CA LIC # 21315
ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC I HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1144/038
BLDG PERMIT NO : 202005419016
PLANNING RECORD NO : 2021-005053PRJ

APPROVED
Dir. of Building Inspection
San Francisco
SEP 07 2023

PHOTO BOUQUIN, SPFD
AUG 07 2023

Dir. of Building Inspection
San Francisco
SEP 07 2023

RECEIVED
AUG 01 2023
DIR. OF BUILDING INSPECTION
THAT PLAN RECEIVED THIS QUALITY
STANDARD FOR REPRODUCTION
ACCEPTED

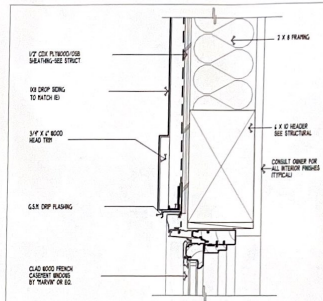
DESCRIPTION	DATE	DRAWN
REVISIONS		
▲ SUBMITTED FOR PLANNING 8/21/2022		
▲ RESUBMITTED TO PLANNING 1/3/2023		
▲ REVISIONS 4/4/2023		
▲ REVISIONS 6/1/2023 RESPONSE TO DR:		
▲ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 2/4/2023		
SCALE: AS NOTED		
JOB NO. 30346	SHEET	
DRAWN BY	TR	A6.1
CHECK BY	TL	
DATE 8/29/2023	OF	

ARCHIT. TIM LORENZ
AUG 08 2023



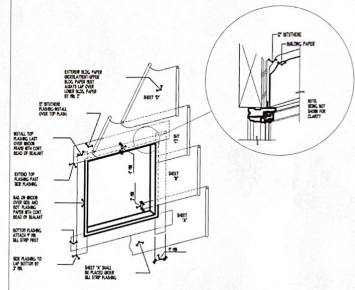
TIM LORENZ
ARCHITECT
PO BOX 184
GUERNEVILLE, CA 95444
415.944.4071 CA LIC # 21315
ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1744/0338
BLDG PERMIT NO : 20205041045
PLANNING RECORD NO : 2021-005035FRJ



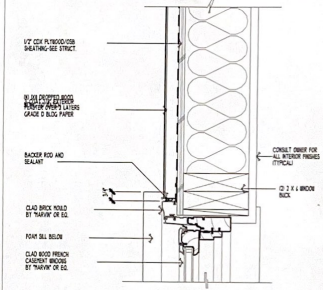
HEAD DETAIL • PLASTER
SCALE: 3/4" = 1'-0"

3



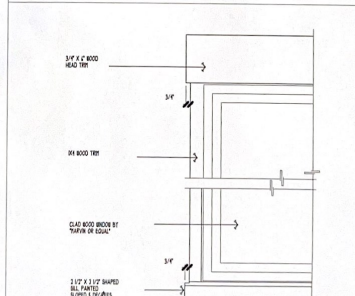
WINDOW FLASHING DET.
NO SCALE

5



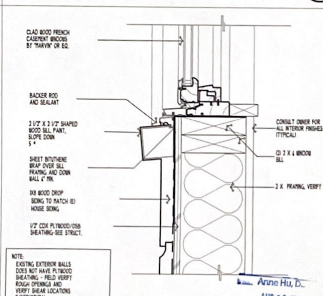
TYP WINDOW JAMB.
SCALE: 3/4" = 1'-0"

2



WINDOW ELEVATION
SCALE: 1/2" = 1'-0"

4



SILL DETAIL • WOOD SIDING
SCALE: 3/4" = 1'-0"

1

APPROVED
Dept. of Building Insp.
- SAN FRANCISCO -
SEP 07 2023

Plan Bought, SFDD
AUG 07 2023

RECEIVED
AUG 01 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR REPRODUCTION
ACCEPTED

DESCRIPTION	DATE	DRAWN
REVISIONS		
▲ SUBMITTED FOR PLANNING 8/2/2020		
▲ SUBMITTED TO PLANNING 10/2022		
▲ REVISIONS 4/5/2022		
▲ REVISIONS 1-1-2022 RESPONSE TO DRI		
▲ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 2-14-2023		

SCALE: AS NOTED

JOB NO.	20216	SHEET
DRAWN	TL	16.2
CHECK	TL	OF
DATE	8/2/2020	

PUBLIC COMMENT

SENT VIA EMAIL. NO HARDCOPY TO FOLLOW

BoardofAppeals@sfgov.org

October 19, 2023

San Francisco Board of Appeals
49 South Van Ness Avenue
Suite 1475 (14th Floor)
San Francisco, CA 94103

REGARDING

Appeal No.:	23-043
Appeal Title:	<u>Wong vs. DBI.PDA</u>
Subject Property:	1334 12th Avenue
Permit Type:	Site Permit
Permit No:	2021/05/06/9906

Dear Members of the Board:

My name is Eric Montgomery, and I am writing in support of the appeal noted above. As a matter of full disclosure, for over 20 years I have known both John Wong, the Appellant, and Nancy Wong, his sister and original requestor of the Discretionary Review that is the subject of this matter. I familiarized myself with many of the facts and related issues, as well as attended the September 29, 2022 Planning Commission hearing regarding the Discretionary Review. There are several areas that this Board should consider, including:

1. Incomplete review and presentation by the Staff Architect;

2. Unclear communication by the meeting secretary regarding the allotted time for each presentation that created confusion;
3. The insensitive and unacceptable response by the Committee and its Secretary Mr. John Wong request for accommodation due to his hearing disability; and,
4. The lack of diligence the Planning Committee demonstrated for the issues presented by the discretionary review requestor.

The staff architect began by noting the concerns of the Discretionary Review requestors that the “proposed project does not conform to the Residential Design Guidelines related to the reduction of light, air and privacy to their home.” He further mentions that the department received a petition with 14 signatures supporting the DR and one letter in support of the project.

He explained that the “Planning Department review confirms support of this proposal as it conforms to the Residential Design Guidelines and Planning Code. The project sponsor has modified the original design...by incorporating a light well immediately adjacent to the windows on the neighbors side set back to provide adequate light, reducing the extension of the first floor by 2 feet 6 inches, and the second floor by one foot total, and incorporating a lattice privacy screen at the side of the second floor deck.” Further, he explains that “because the second floor deck is screened, has a two foot

deep storage cabinet counter, and extends only a few feet beyond the rear wall of the neighbor, and is separated by a three foot set back on the DR requestor's side, the sightlines from the proposed deck do not impose undue privacy concerns and therefore do not warrant additional set back."

First, the staff architect states that the modification of adding a lightwell "immediately adjacent" to Ms. Wong's windows plus the setback of Ms. Wong's house will "provide adequate light." The staff architect, and later Mr. Hall's architect, don't mention that the light well is only on the third floor of the proposed addition. It does not extend all the way to the ground, even though two of Ms. Wong's windows are on the ground floor. Additionally, the description of the windows being "immediately adjacent" is mistaken. In fact, the placement of Ms. Wong's windows is off by nearly 2 feet.

Considering the erroneous window placement plus the fact that the light well doesn't extend all the way to the ground, it is clear that Ms. Wong will lose much more light than Mr. Hall's architect and the staff architect are willing to admit. Worse still is the fact that no one addressed Ms. Wong's ground floor windows which will be a full two stories below where the light well ends.

Secondly, the staff architect, and later the entire commission, spend the most time discussing how the project sponsor's modifications protect Ms. Wong's privacy. Ms. Wong has consistently communicated her preference

for light over any concerns about privacy. So much time was focused on the wrong issue.

Finally, there was no follow up about the petition of 14 neighbors in support of the DR by the staff architect during the hearing nor is it referenced at all in any of the Planning Department's DR analyses or deliverables. That is a considerable portion of the neighborhood who were concerned enough about the proposed project to ask that it go through the Design Review. These people should figure into the decision process in some way, but it does not appear to have happened.

Before Ms. Wong made her presentation Mr. Wong asked the meeting secretary that if there were 3 presenters how much time would each have. This can only be heard as mumbles on the meeting video, but it was clearly heard by me in the meeting. The secretary replied "five minutes," which can be heard on the video. Mr. Wong asked to confirm that the secretary meant 5 minutes each, but the secretary would not reply to him. When Mr. Wong's protested that his speaking time was cut short a Commission member broke in to explain what she heard. Her interpretation of what was said was not at all what I heard, which was emphatically 5 minutes each.

Mr. Wong has a hearing disability. Having been to Planning Commission meetings before, he knew that the video feed into the meeting room included closed captioning. He would be able to use this to follow the meeting. However, about halfway through the meeting the video feed was turned off along with the closed captioning. At time 5:46:10 in the DR meeting video, Mr. Wong is attempting to explain that he cannot follow the meeting without the closed captioning and says "I'm hard of hearing," the meeting chair says "she is speaking as loud as I can. I'm speaking with a normal voice like I have throughout the hearing. I haven't gotten any complaints about how loud I speak. Anyway...."

As it is widely known, this situation is covered by the Americans with Disabilities Act. The best outcome for everyone is when the person with a disability requests accommodation beforehand, but in situations where a prior accommodation request is not feasible, the Act still requires the covered entity to make every effort to accommodate the request. They cannot claim that a request must be made ahead of time.

At this meeting no effort was made to accommodate Mr. Wong. The Board Chair should be more sensitive to the needs of those with a disability. The entire Board must understand that by not accommodating Mr. Wong, he was

left at an unfair disadvantage to Mr. Hall. The Chair should have made some effort to remedy the problem, but none was.

During the DR meeting and in publicly available documents, the DR Requestor brought up a number of areas during the Design Review and Notification processes where Mr. Hall did not follow the required procedures, was unprepared for meetings, or submitted forms that contained inaccurate information. There is no record that any of these allegations were investigated by the Planning Department or that they were even documented. Many City and County Departments follow up to ensure compliance with their rules and regulations, the Planning Department should too.

In light of the issues explained above, I urge the Board to accept this appeal.

Sincerely,

Eric Montgomery
280 Drake Street
San Francisco, CA 94112
Mobile: 415.596.69867