

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
SANFORD GARFINKEL, _____)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION, _____)
PLANNING DEPARTMENT APPROVAL Respondent

Appeal No. **23-041**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on September 1, 2023, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the issuance, on August 17, 2023, to Samuel Hui, of an alteration permit (commencement of Permit Application #201606210534-S; horizontal addition (solarium) at penthouse floor; remove two chimneys; refinish existing penthouse roof deck & replace damaged gutters & downspout) at 110 32nd avenue.

APPLICATION NO. 2022/03/29/1124

FOR HEARING ON October 11, 2023

Address of Appellant(s):

Address of Other Parties:

Sanford Garfinkel, Appellant(s) 855 El Camino Del Mar San Francisco, CA 94121	Samuel Hui, Chine Hui, Permit Holder(s) c/o Samuel Kwong, Agent for Permit Holder(s) Arcus Architecture & Planning 61 Walter U. Lum Place San Francisco, CA 94121
---	---



Date Filed: September 1, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-041

I / We, **Sanford Garfinkel**, hereby appeal the following departmental action: **ISSUANCE** of **Alteration Permit No. 2022/03/29/1124** by the **Department of Building Inspection** which was issued or became effective on: **August 17, 2023**, to: **Samuel Hui and Chine Hui**, for the property located at: **110 32nd Avenue**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **September 21, 2023, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org, samuelhui644@gmail.com, chinehui@yahoo.com and samkwong-arcus@pacbell.net.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **October 5, 2023, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org and sanford1q@gmail.com.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, October 11, 2023, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the Preliminary Statement of Appeal.

Appellant:

Signature: Via Email

Print Name: Sanford Garfinkel, appellant

I want to file an appeal to the building permit application #202203291124

issued August 17, 2023. The plans are not accurate/correct. The north

elevation shows existing windows where there are none. The previous

Application #202108236921 states that all windows will be replaced in kind.

The windows facing my house were fixed with obscure glass. The architect

stated before the Planning Commission that he would abide by the

drawings.

Permit Details Report**Report Date:** 8/29/2023 2:41:34 PM

Application Number: 202203291124
 Form Number: 3
 Address(es): 1312 / 009 / 0 110 32ND AV
 Description: COMMENCEMENT OF PA #201606210534-S. HORIZONTAL ADDITION (SOLARIUM) AT PENTHOUSE FLOOR. REMOVE (2) CHIMNEYS. REFINISH (E) PENTHOUSE ROOF DECK & REPLACE DAMAGED GUTTERS & DOWNSPOUT.
 Cost: \$45,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
3/29/2022	TRIAGE	
3/29/2022	FILING	
3/29/2022	FILED	
8/17/2023	APPROVED	
8/17/2023	ISSUED	

Contact Details:**Contractor Details:**

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:**Description:**

Step	Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
1	CPB		3/29/22	3/29/22			3/30/22	SECONDEZ GRACE		3/30/22: rec'd filing fee. route to P off plans & pmt. gs
2	CP-ZOC		3/30/22	1/3/23			1/3/23	AGNIHOTRI KALYANI		To proceed with intake, please sub digital plans to lorabelle.cook@sfg found here: https://sfplanning.org/sites/default
3	CP-NP		8/4/22	8/4/22			8/9/22	AGNIHOTRI KALYANI		8/4/22: Emailed the 311 cover letter notice on 8/18/22; expires on 9/19
4	CP-DR		9/19/22	12/15/22			1/3/23	AGNIHOTRI KALYANI		9/19/22 - DR received. Assigned to
5	CP-ZOC		1/3/23	1/3/23			1/3/23	AGNIHOTRI KALYANI		Approved - Commencement of pa addition (solarium) at penthouse fl Refinish existing penthouse roof deck downspout. DR Filed, Not taken.
6	BLDG		1/4/23	2/27/23	2/28/23		3/29/23	HOM CALVIN		02/28/23: In Hold, Comments em
7	BLDG		3/29/23	4/10/23			7/20/23	HOM CALVIN		7/20/23: approved R2 set. plans to
8	MECH		2/28/23	3/29/23	3/29/23		7/20/23	NAGATA TIMOTHY		Comments sent 3-29-23
9	MECH		7/20/23	7/20/23			7/20/23	NAGATA TIMOTHY		Recheck approved 7-20-23
10	DPW-BSM		3/29/23	4/4/23			4/4/23	DEVINE THEO		Issued comments 4/4/23: On hold (REF: No alteration or reconstruct permit.) -TD
11	DPW-BSM		7/20/23	7/21/23			7/21/23	GUZMAN MIGUEL		Approved. No alteration or reconstruct this permit.-MG
12	SFPUC		4/6/23	4/26/23			4/26/23	GARCIA JOBEL		Capacity Charge not applicable. Existing same tier as proposed fixture count meter is undersized. Meter upgrade SFPUC, New Installations, 525 Gol Francisco, CA 94102, Telephone: (415) 361-2200 to PPC - 04/26/23.
13	SFPUC		7/24/23	8/4/23			8/4/23	GARCIA JOBEL	Approved	RESTAMP - Capacity Charge not a (gpm) in the same tier as proposed that existing meter is undersized. Please contact SFPUC, New Install floor, San Francisco, CA 94102, Tel: 415-361-2200. info. Route to PPC - 08/04/23.
14	CP-ZOC		8/4/23	8/9/23			8/9/23	AGNIHOTRI KALYANI	Approved	RESTAMP - no change to previous
15	PPC		8/10/23	8/10/23			8/15/23	WAI CHUNG	Administrative	8/15/23: To CPB; kw 8/10/23: Drawing Sheet S5 missing from drawing in

							WONG		SOUTH VAN NESS, 5TH FL for ap waichung.wong@sfgov.org); kw 8/ 7/24/23: To SFPUC (then to CP-ZC DPW-BSM for review the plans rec MECH for review the plans receive bin pending for BLDG, MECH, BSI kw 3/29/23: To DPW-BSM; kw 2/ BLDG (full/addendum) #4. TW 3/
16	PERMIT- CTR		12/29/22	12/29/22			12/29/22		12/29/2022: Project received by Pt to SF Planning Intake for review (C pic@sfgov.org for further project u
17	CPB		8/15/23	8/17/23			8/17/23	MOK CALVIN	Administrative 8/17/2023: Issued; cm 8/17/2023:

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
---------------	-----------	------------------------	-------------------

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
0			1	CONCRETE (PLACEMENT & SAMPLING)	
0			4	REINFORCING STEEL AND PRESTRESSING TENDONS	reinforcing steel
0			5A1	SINGLE PASS FILLET WELDS < 5/16"	
0			19	SHEAR WALLS AND FLOOR SYSTEMS USED AS SHEAR DIAPHRAGMS	
0			24E	WOOD FRAMING	
0			23	OTHERS:AS RECOMMENDED BY PROFESSIONAL OF RECORD	moment frame
0			24B	STEEL FRAMING	
0			24C	CONCRETE CONSTRUCTION	
0			20	HOLDOWNS	

For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

[Station Code Descriptions and Phone Numbers](#)

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

BRIEF(S) SUBMITTED BY APPELLANT(S)

From: [Sanford](#)
To: [BoardofAppeals \(PAB\)](#)
Subject: "In the following brief I will refer to Mr. Samuel Hui as the 'owner..."
Date: Saturday, September 23, 2023 9:01:04 AM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

In the following brief I will refer to Mr. Samuel Hui as the ‘owner builder’ and Mr. Samuel Kwong as ‘architect’. On 09/07/2021 permit #202108236921 was Approved “Replacement of all existing windows with new alum-clad wood windows to match existing design and operation .” The plans stated that the windows would be replaced “in kind” I appeared before the Planning Commission and the architect stated on the record that he would abide by the Permit Application and replace the existing units “in kind” this is defined as replacing the windows on the north elevation facing my house, {twenty feet away} in their existing location and with materials consistent with the existing ones. Those existing windows were fixed with obscure glass. The owner builder has actually removed these windows. The new permit #202203291124 north elevation shows “existing” windows in a different location than the ones that previously existed which is a false statement within the permit application. The remedy I propose is to draw accurate plans and conform to the previous approved plans that state the windows will be replaced in kind as agreed upon at the Planning Commission’s behest in our last hearing. Thank you. Sincerely, Sandy Garfinkel

o

Open my shared note:



In the following brief I will refer to Mr. Samuel Hui as the 'owner...

Notes

Sent from my iPhone

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

Date: September 25th 2023
Address: 110 32nd Ave, San Francisco CA 94121
Permit Application # 2022-0329-1124
Appeal Number 23-041

Brief to Board of Permit Appeal

Appellant's obstruction actions thus far:

Appellant Stanford Garfinkel is a neighbor to the subject property. His claim that the plans are not accurate/correct is completely without basis. On Exhibit A, we have copied the existing and proposed elevations of the existing and proposed north elevations which faces to appellant's house and illustrated the overlap area between the two neighbors. Our analysis clearly shows most of the windows Appellant house faces are onto a blank wall. An existing window on the deck will be obscured glass. The approved plans on Exhibit D show all existing windows and there are no new windows added. Exhibit E is the approved set of plans for façade alterations. On December 15th 2022, at a Discretionary Review(DR) Hearing with the Planning Commission, appellant attempted to stall the project. However, the Planning Commission denied his DR and a copy and reasoning of the Commissions' decision is attached as Exhibit B. The DR analysis by Planning staff is attached as Exhibit C. Now that the current building permit is issued, appellant again wanted to stall the progress of this project by filing an appeal before the Board of Appeals. This wasteful use of time and public resources causes delay and expense for the Owner and for the Appeals Board. Unfortunately, being a good neighbor is not what the appellant wanted to be, so I urge the Board of Appeals to deny the appeal.

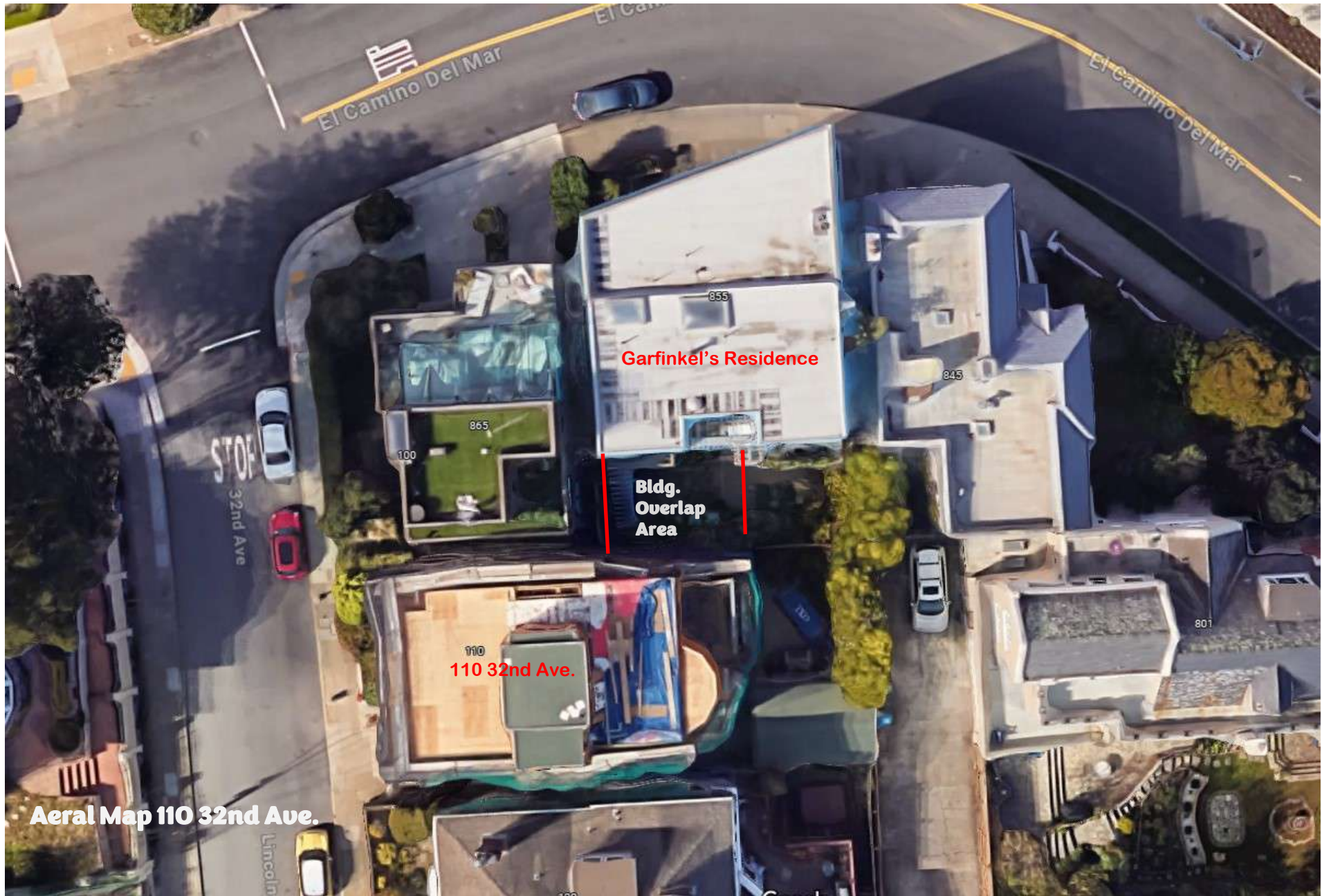
Exhibits:

- A Aerial map and existing and proposed north elevations
- B Discretionary Review Action DRA-805(Planning Commission Action)
- C Discretionary Review Analysis (Planning staff analysis and exhibits)
- D Stamped approved set of plans for permit # 2022-0329-1124(Subject permit application)
- E Stamped approved set of plans for permit # 2022-0211-7868(Façade alterations)

Exhibit A

Aerial Map and existing and proposed North Elevations

September 6th 2023
Address: 110 32nd Ave., San Francisco CA 94121
Permit Application # 2022-0329-1124
Appeal Number 23-041



Aerial Map 110 32nd Ave.

Building Overlap Area

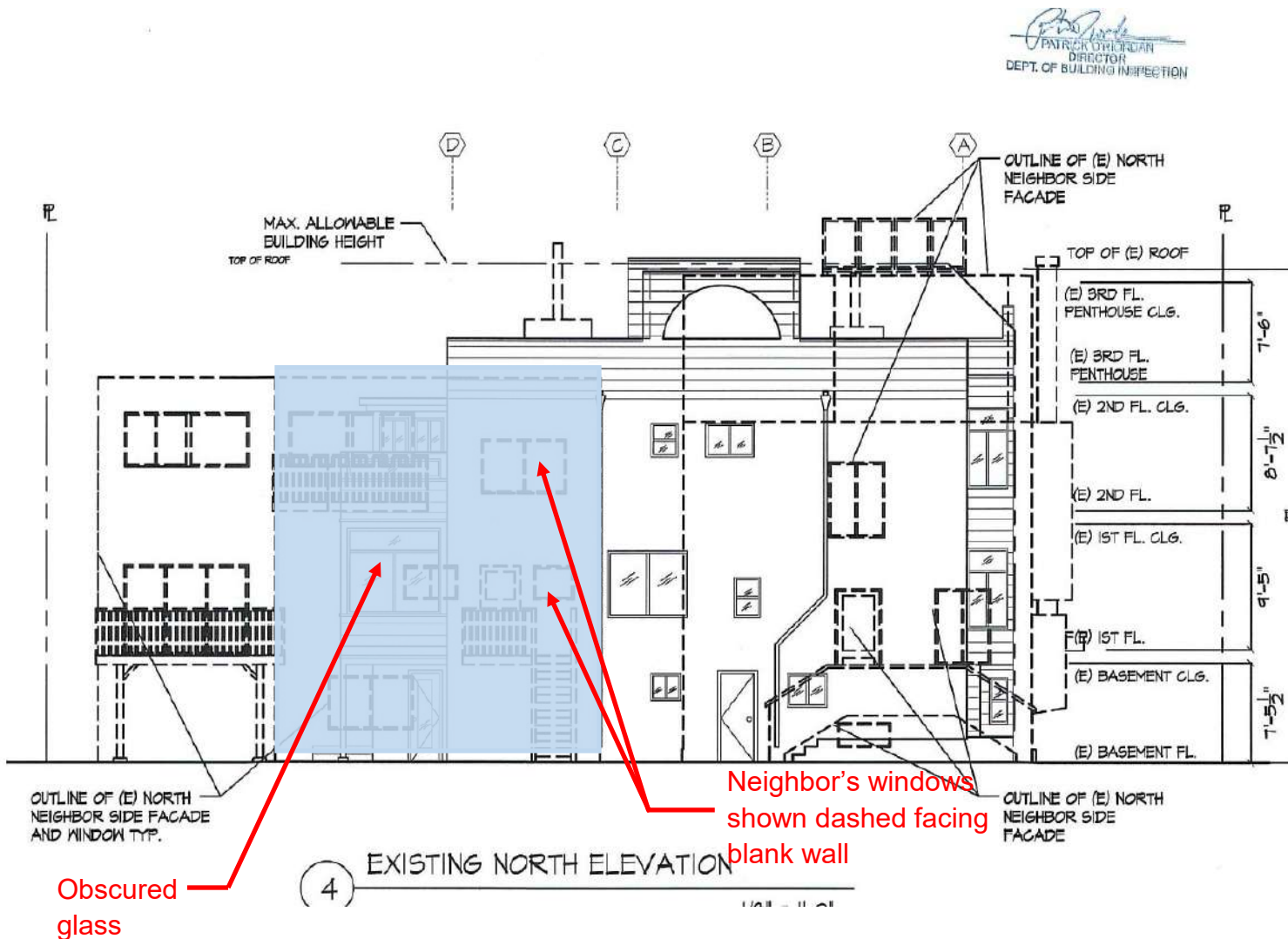


Image Capture from Approved Plans Sheet A-2.2

Consultants:

APPROVED BY KALYANI AGNIHOTRI

AUG 09 2023

PLANNING DEPARTMENT

Calvin Horn, DBI

JUL 20 2023

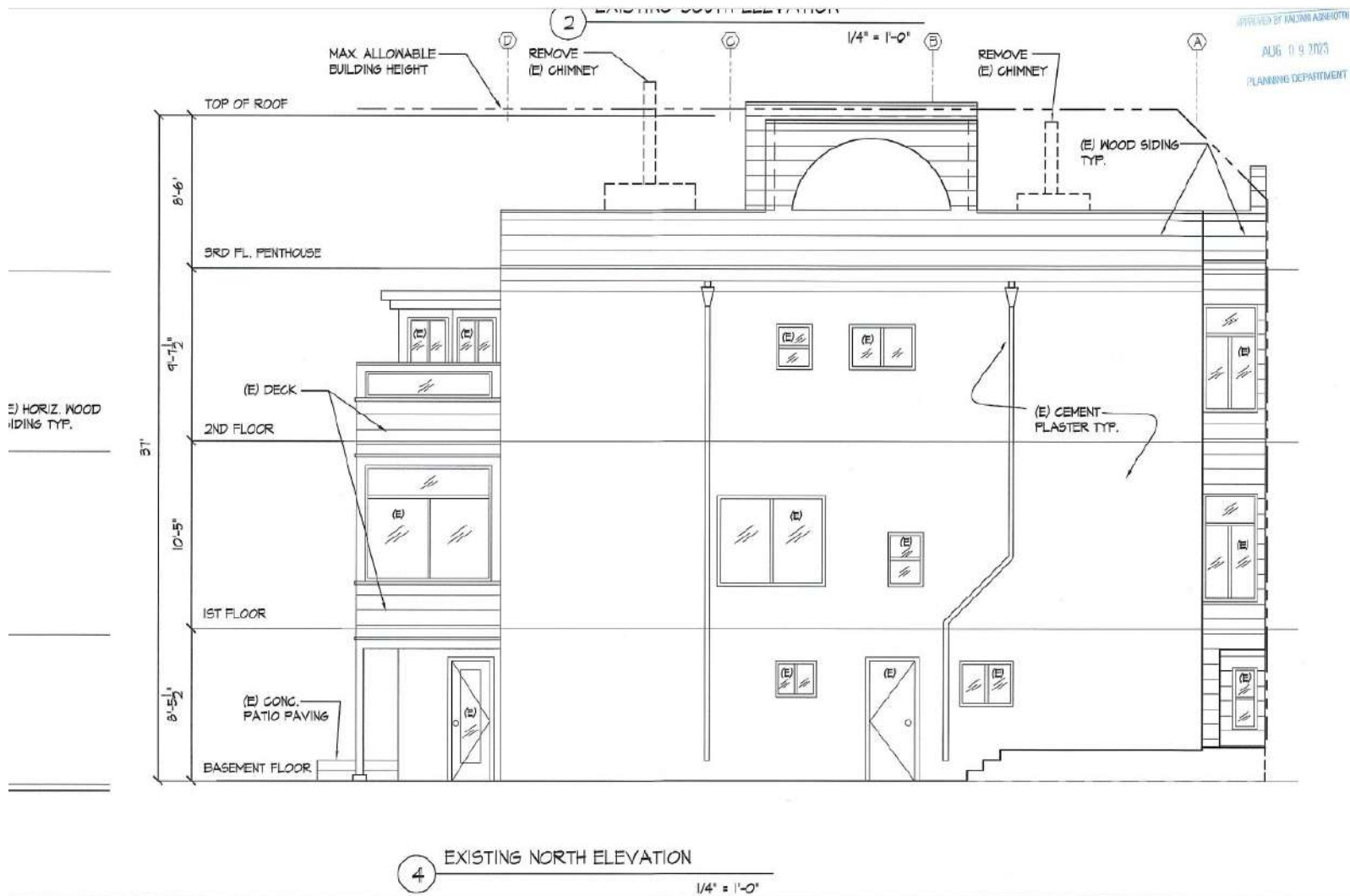


JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	3/1/23	PLAN REVIEW COMMENTS



RECEIVED
 JUL 20 2023
 CITY OF SAN DIEGO
 DEPARTMENT OF PLANNING
 1200 K STREET, SUITE 100
 SAN DIEGO, CA 92101

JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	3/1/23	PLAN REVIEW COMMENTS

Stamp:

Samuel Kwong

Sheet Title
EXISTING ELEVATIONS

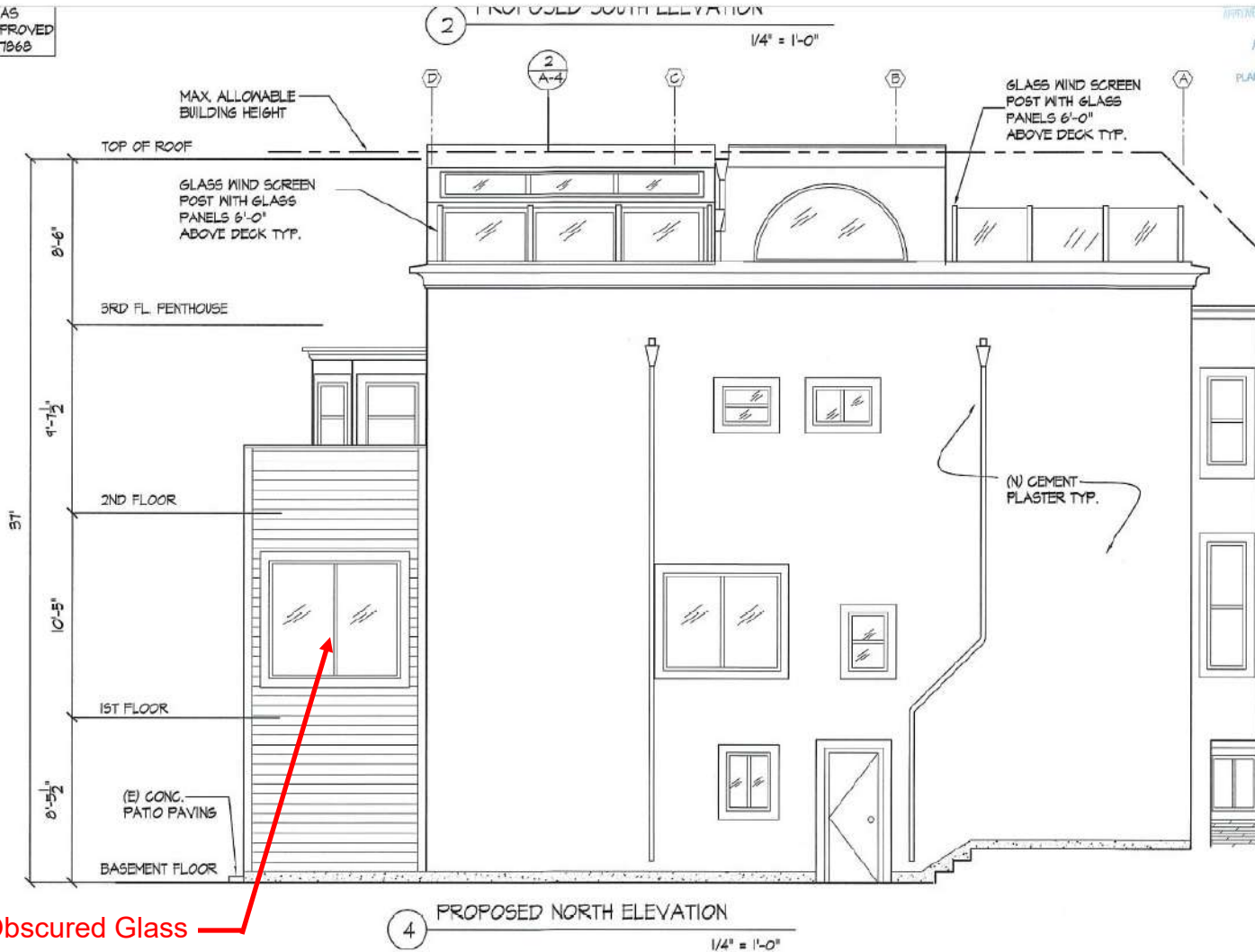
Sheet No.
A-2

Image Capture from Approved Plans Sheet A-2

LEVATIONS SHOWN AS
EXIST. REFER TO APPROVED
ERMIT #2022-0211-7968

SCREEN
GLASS
TYP.

FABRICATED
TYPICAL



Obscured Glass

APPROVED BY ARCHITECT
AUG. 09 2023
PLANNING DEPARTMENT

RECEIVED
JUL 20 2023
CITY OF SAN FRANCISCO
PLANNING DEPARTMENT

JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
A	3/1/23	PLAN REVIEW COMMENTS

Stamp:



Samuel Kwong
Sheet Title

**PROPOSED
ELEVATIONS**

Sheet No.

A-3

Image Capture from Approved Plans Sheet A-3

Exhibit B

Discretionary Review Action
DRA-805
Planning Commission Action

September 6th 2023
Address: 110 32nd Ave, San Francisco CA 94121
Permit Application # 2022-0329-1124
Appeal Number 23-041



DISCRETIONARY REVIEW ACTION DRA-805

HEARING DATE: DECEMBER 15, 2022

Record No.: 2022-003765DRP
Project Address: **110 32nd Avenue**
Building Permit: **2022.0329.1124**
Zoning: RH-1(D) (Residential House- One Family- Detached) Zoning District
40-X Height and Bulk District
Cultural District: N/A
Block/Lot: 1312 / 009
Project Sponsor: Samuel Kwong
Arcus Architecture
61 Walter U Lum Place, 3rd Floor
San Francisco, CA 94108
DR Requestor: Sanford Garfinkel
855 El Camino Del Mar
San Francisco, CA 94121
Staff Contact: David Winslow – (628) 652-7335
David.Winslow@sfgov.org

ADOPTING FINDINGS RELATED TO NOT TAKING DISCRETIONARY REVIEW OF RECORD NO. 2022-003765DRP AND THE APPROVAL OF BUILDING PERMIT APPLICATION NO. 2022.0329.1124 PROPOSING CONSTRUCTION OF A THIRD-STORY HORIZONTAL ADDITION TO A 3-STORY SINGLE-FAMILY DWELLING WITHIN A RH-1(D) (RESIDENTIAL HOUSE, ONE-FAMILY-DETACHED) ZONING DISTRICT AND A 40-X HEIGHT AND BULK DISTRICT.

Preamble

On March 29, 2022, Samuel Kwong filed for Building Permit Application No. 2022.0329.1124 proposing construction of a third-story horizontal addition to a 3-story single-family dwelling within a RH-1(D) (Residential House, One-Family-Detached) District and a 40-X Height and Bulk District.

On September 19, 2022 Sanford Garfinkel (hereinafter “Discretionary Review (DR) Requestor”) filed an application with the Planning Department (hereinafter “Department”) for Discretionary Review (2022-003765DRP) of Building Permit Application No. 2022.0329.1124.

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

On December 15, 2022, the San Francisco Planning Commission (hereinafter “Commission”) conducted a duly noticed public hearing at a regularly scheduled meeting on Discretionary Review Application 2022-003765DRP.

The Commission has heard and considered the testimony presented to it at the public hearing and has further considered written materials and oral testimony presented on behalf of the applicant, Department staff, and other interested parties.

Action

The Commission hereby does not take Discretionary Review requested in Record No. 2022-003765DRP and approves Building Permit Application 2022.0329.1124.

The reasons that the Commission took the action described above include:

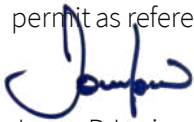
1. There are no extraordinary or exceptional circumstances in the case. The proposal complies with the Planning Code, the General Plan, and conforms with the Residential Design Guidelines.
2. The Commission determined that no modifications to the project were necessary, and they instructed staff to approve the Project per plans, dated July 27, 2022, on file with the Planning Department.

APPEAL AND EFFECTIVE DATE OF ACTION: Any aggrieved person may appeal this Building Permit Application to the Board of Appeals only after the Department of Building Inspection (DBI) takes action (issuing or disapproving) the permit. Such appeal must be made within fifteen (15) days of DBI's action on the permit. For further information, please contact the Board of Appeals at (628) 652-1150, 49 South Van Ness Ave, Suite 1475, San Francisco, CA 94103.

Protest of Fee or Exaction: You may protest any fee or exaction subject to Government Code Section 66000 that is imposed as a condition of approval by following the procedures set forth in Government Code Section 66020. The protest must satisfy the requirements of Government Code Section 66020(a) and must be filed within 90 days of the date of the first approval or conditional approval of the development referencing the challenged fee or exaction. For purposes of Government Code Section 66020, the date of imposition of the fee shall be the date of the earliest discretionary approval by the City of the subject development.

If the City has not previously given Notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Discretionary Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives NOTICE that the 90-day protest period under Government Code Section 66020 has begun. If the City has already given Notice that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

I hereby certify that the Planning Commission did not take Discretionary Review and approved the building permit as referenced in this action memo on December 15, 2022.



Jonas P Ionin Digitally signed by Jonas P Ionin
Date: 2022.01.08 16:27:51 -0800

Jonas P. Ionin
Commission Secretary

AYES: Braun, Ruiz, Diamond, Imperial, Koppel, Moore, Tanner

NOES: None

ABSENT: None

ADOPTED: December 15, 2022

CODE INFORMATION

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 GREEN BUILDING CODE
 2019 CALIFORNIA ENERGY CODE
 2019 SAN FRANCISCO BUILDING CODE AMENDMENTS
 2019 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
 2019 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
 2019 SAN FRANCISCO PLUMBING CODE AMENDMENTS
 2019 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS

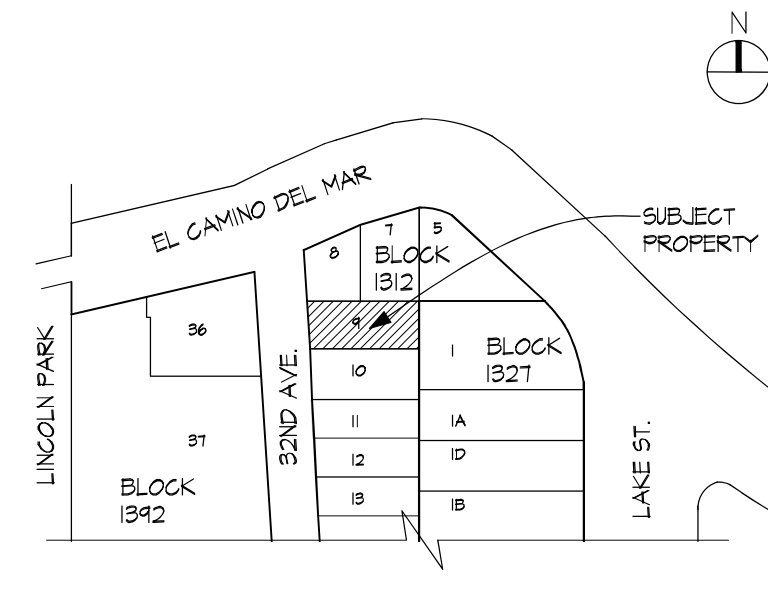
BUILDING INFORMATION

FLOOR AREA	OCCUPANCY	EXISTING AREA	(E) OCCUPANT LOAD	ADDITION AREA	TOTAL AREA	(N) OCCUPANT LOAD
DETACHED GARAGE	U	238 SF.	2	NO WORK	238 SF.	2
BASEMENT FLOOR						
STORAGE	S	548 SF.	3	NO WORK	548 SF.	3
LIVING AREA	R-3	587 SF.	3	NO WORK	587 SF.	3
FIRST FLOOR						
LIVING AREA	R-3	1,160 SF.	3	NO WORK	1,160 SF.	3
SECOND FLOOR						
LIVING AREA	R-3	1,182 SF.	6	NO WORK	1,182 SF.	6
PENTHOUSE FLOOR						
SOLARIUM	R-3	254 SF.	2	202 SF.	456 SF.	3
TOTAL		3,969 SF.	19	174 SF.	4,143 SF.	20

ADDRESS: 110 32ND AVE.
 SAN FRANCISCO CA 94121
 BLOCK: 1312 LOT: 009
 LOT AREA: 3,270 SQ. FT.
 ZONE: RH-1 (D)
 OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: T-B

VICINITY MAP

SC: N.T.S



ARCUS
 ARCHITECTURE
 + PLANNING
 61 Walter U Lum Pl
 3/F San Francisco
 94108-1801 CA
 U S A
 (415) 391-3313
 (Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
 SAN FRANCISCO

Consultants:

JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

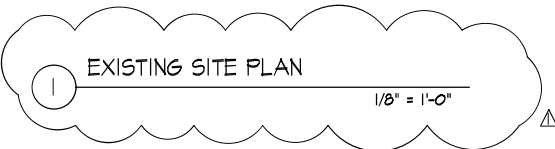
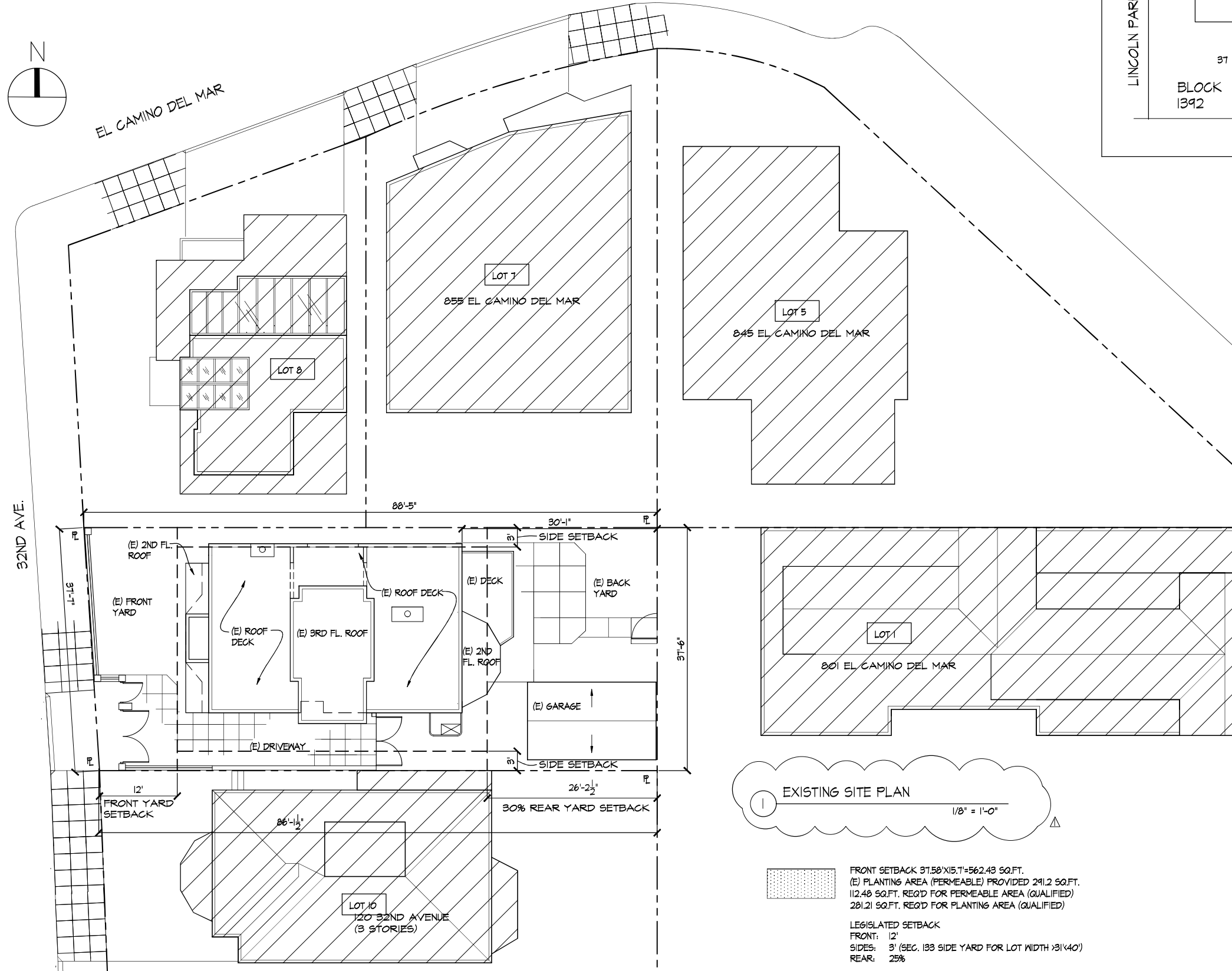
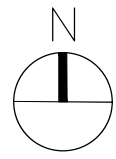
Stamp:



Sheet Title
EXIST. SITE PLAN, VICINITY MAP, SCOPE OF WORK, BUILDING INFO.

Sheet No.

T-1



FRONT SETBACK 37.58' X 15.71' = 562.43 SQ.FT.
 (E) PLANTING AREA (PERMEABLE) PROVIDED 291.2 SQ.FT.
 112.48 SQ.FT. REQ'D FOR PERMEABLE AREA (QUALIFIED)
 281.21 SQ.FT. REQ'D FOR PLANTING AREA (QUALIFIED)

LEGISLATED SETBACK
 FRONT: 12'
 SIDES: 3' (SEC. 133 SIDE YARD FOR LOT WIDTH >31' X 40')
 REAR: 25%

SCHEDULE OF DRAWING

- T-1 VICINITY MAP, EXIST. SITE PLAN PLAN, BUILDING INFO., SCOPE OF WORK, CODE INFO., SCHEDULE OF DRAWINGS
- T-1.1 PROP. SITE PLAN
- A-1 EXISTING & PROPOSED FLOOR PLANS
- A-2.1 EXISTING ELEVATIONS
- A-2.2 EXISTING ELEVATIONS
- A-3 PROPOSED ELEVATIONS
- A-3.1 PROPOSED ELEVATIONS
- A-4 PROPOSED SECTIONS

SCOPE OF WORK

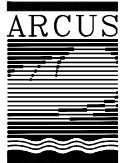
1. COMMENCEMENT OF PA #2016-0621-0534
2. HORIZONTAL ADDITION (SOLARIUM) AT PENTHOUSE FLOOR
3. REMOVE 2 CHIMNEYS
4. REFINISH EXISTING PENTHOUSE ROOF DECK AND REPLACE DAMAGED GUTTERS AND DOWNSPOUT

SYMBOLS & LEGEND

- EXTERIOR ELEVATION NUMBER
- SHEET NUMBER
- SECTION CUT NUMBER
- INTERIOR ELEVATION IDENTIFICATION
- DETAIL NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- EXTENT OF DRAWING REVISION
- REVISION NUMBER

REF PERMITS

THE FOLLOWING ARE ACTIVE PERMITS ON THE PROPERTY
 2021-0823-6421 INTERIOR REMODEL
 2022-0211-1868 FACADE ALTERATIONS
 2020-0828-2848 REPLACE FALLING STUCCO



ARCHITECTURE + PLANNING
61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
SAN FRANCISCO

Consultants:

JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

Stamp:



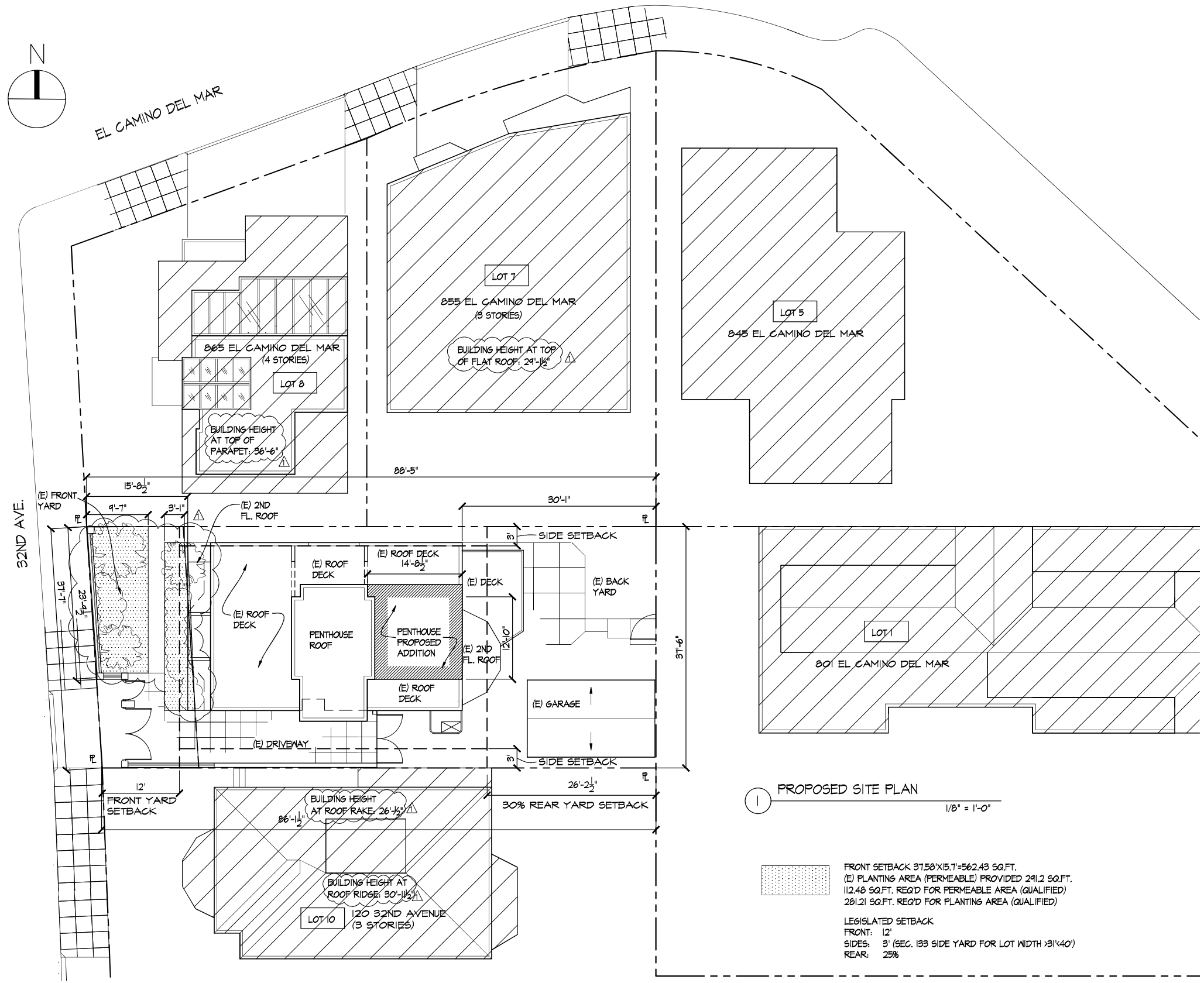
Samuel Kwong

Sheet Title

PROPOSED SITE PLAN

Sheet No.

T-1.1





Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:
SOLARIUM ADDITION
110 32ND AVE
SAN FRANCISCO
Consultants:

JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

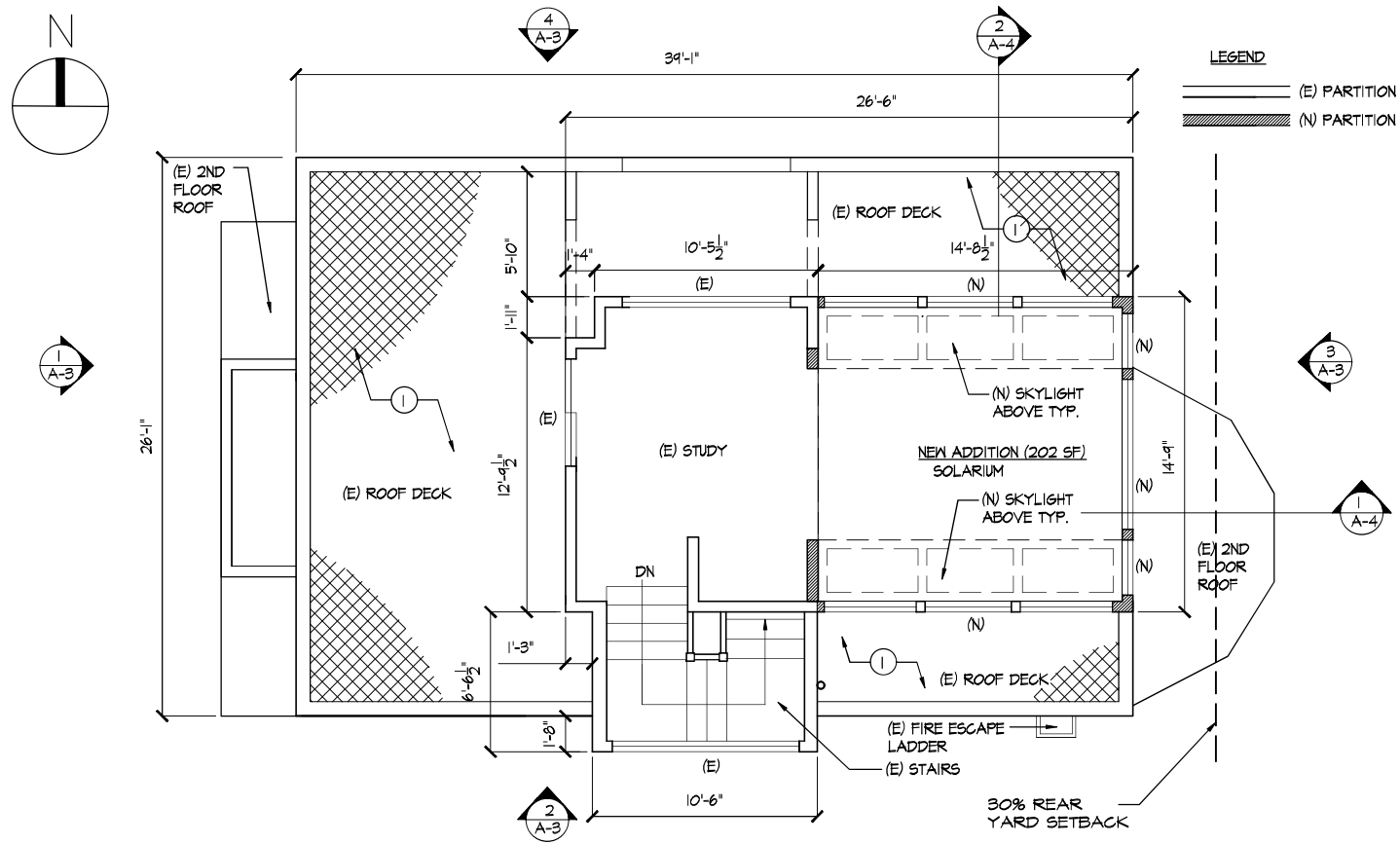
No.	Date	Description
Δ	7/27/22	PLANNING COMMENT



Sheet Title

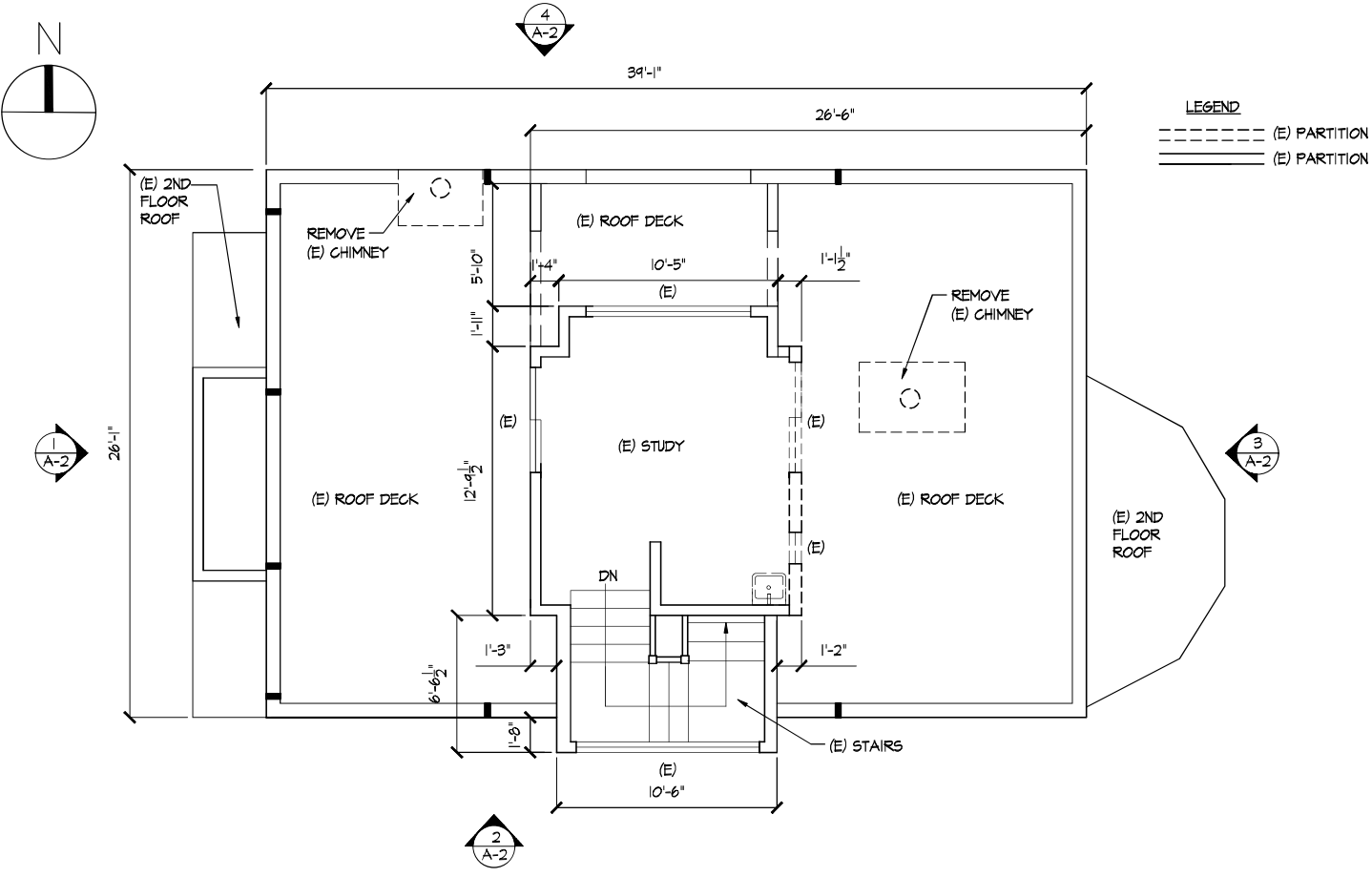
EXISTING AND PROPOSED FLOOR PLANS

Sheet No.
A-1

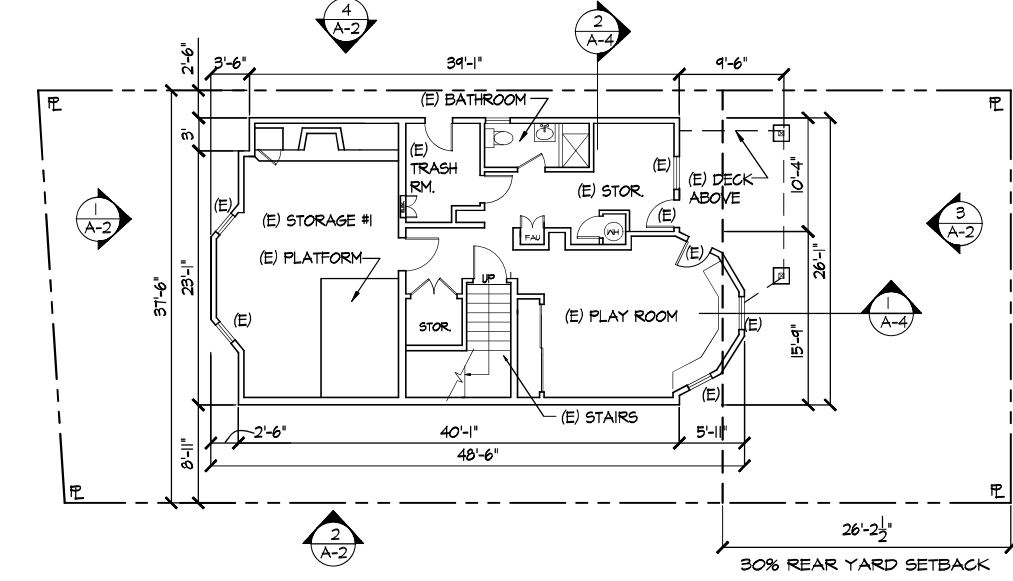
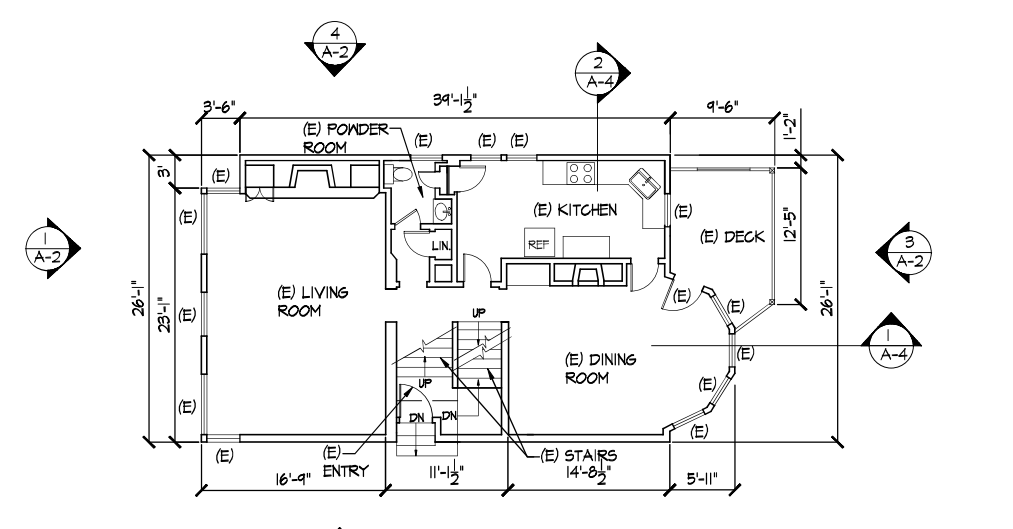
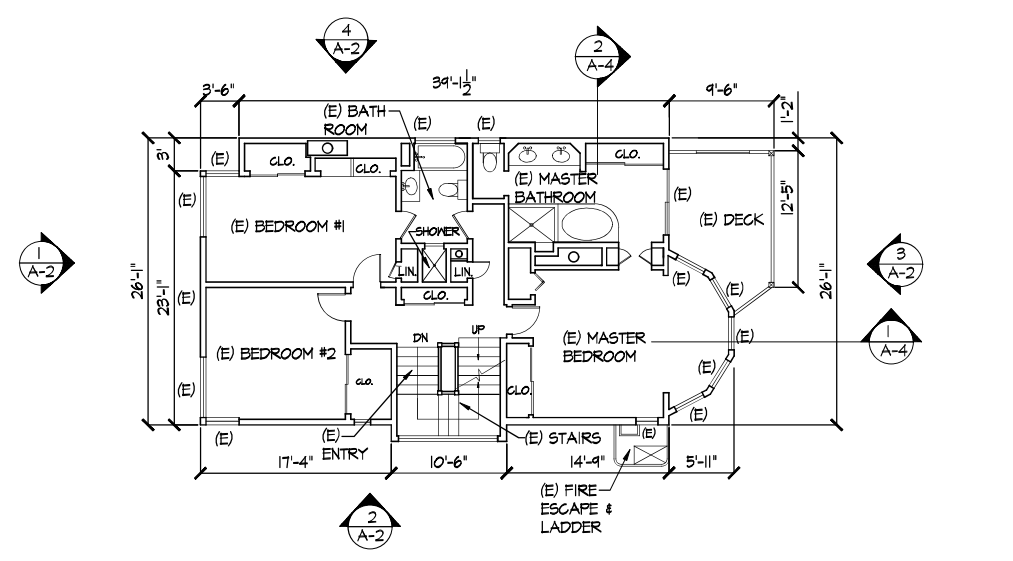


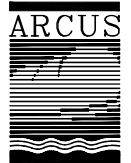
LEGEND
 (E) PARTITION
 (N) PARTITION

CONSTRUCTION NOTES
 1 REPLACE EXISTING ROOF PAVING AND ALL DAMAGED GUTTERS AND DOWNSPOUT WITH COPPER TYPE TYP.



LEGEND
 (E) PARTITION TO BE REMOVED
 (E) PARTITION





61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

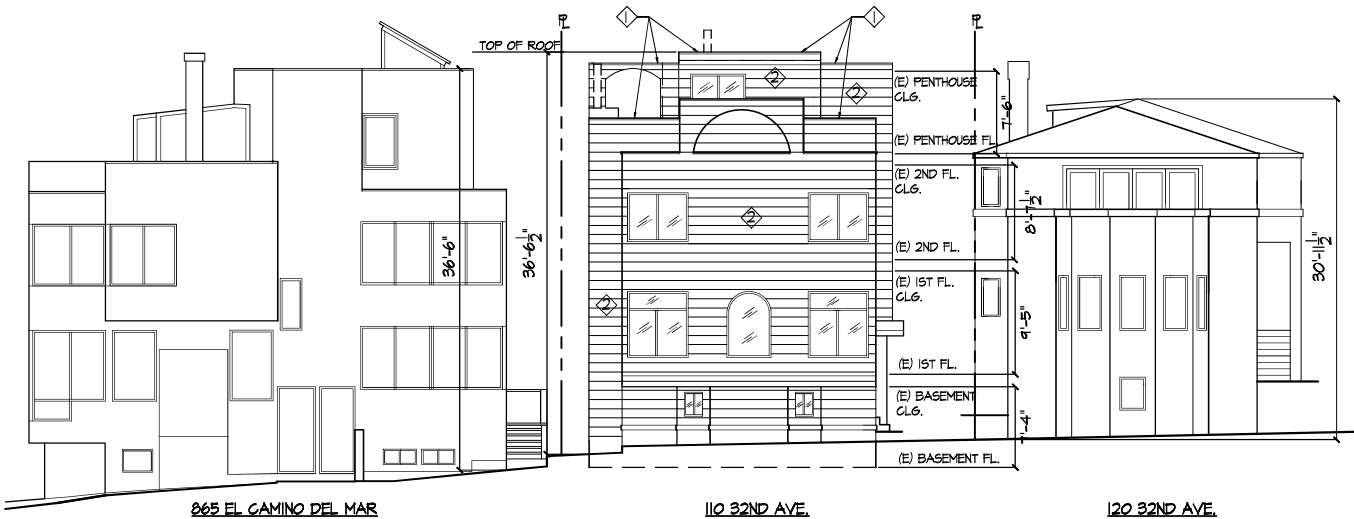
Copyright 2020. These construction documents are the
sole property of Arcus and may not be reproduced,
published or used by any method, in whole or in part,
without the expressed written consent of Arcus.

Project Title:

SOLARIUM
ADDITION

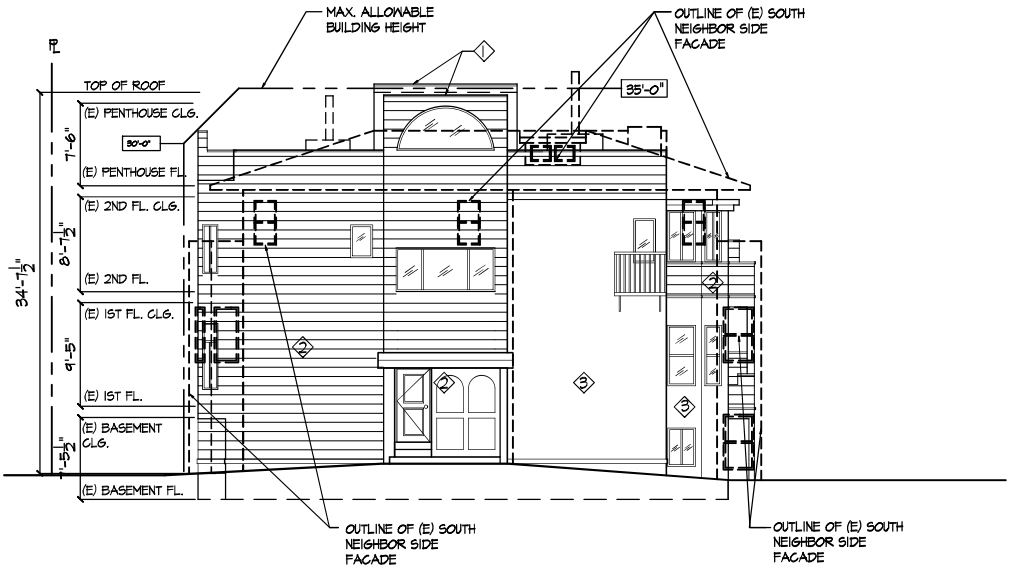
110 32ND AVE
SAN FRANCISCO

Consultants:



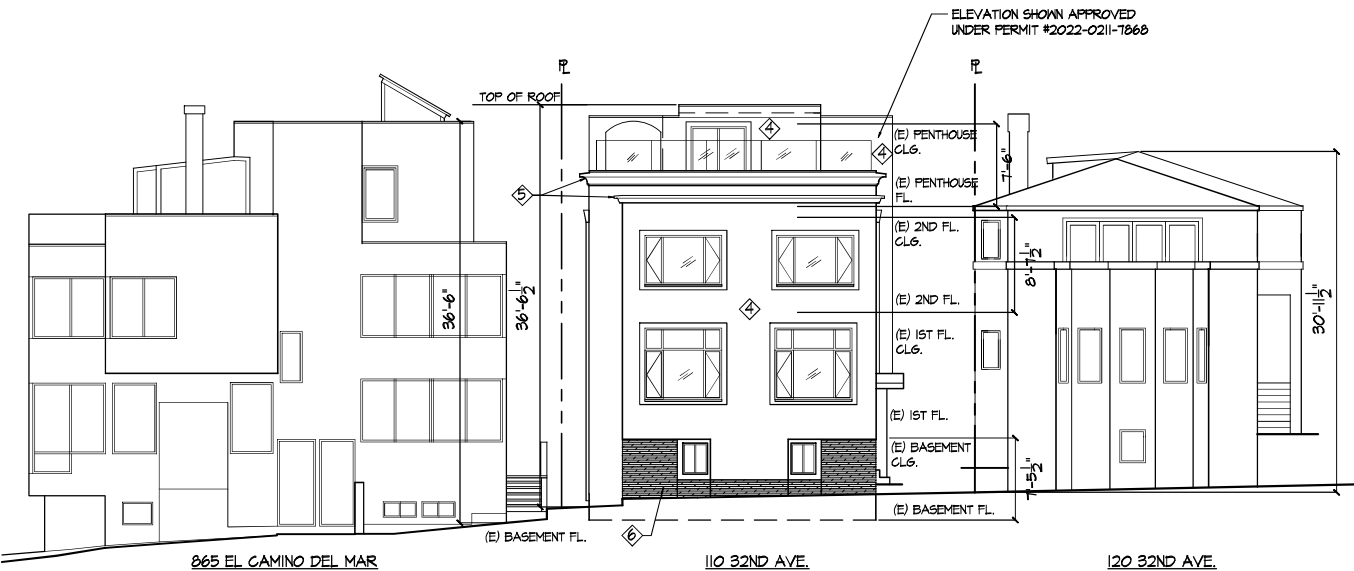
1 EXISTING WEST ELEVATION

1/8" = 1'-0"



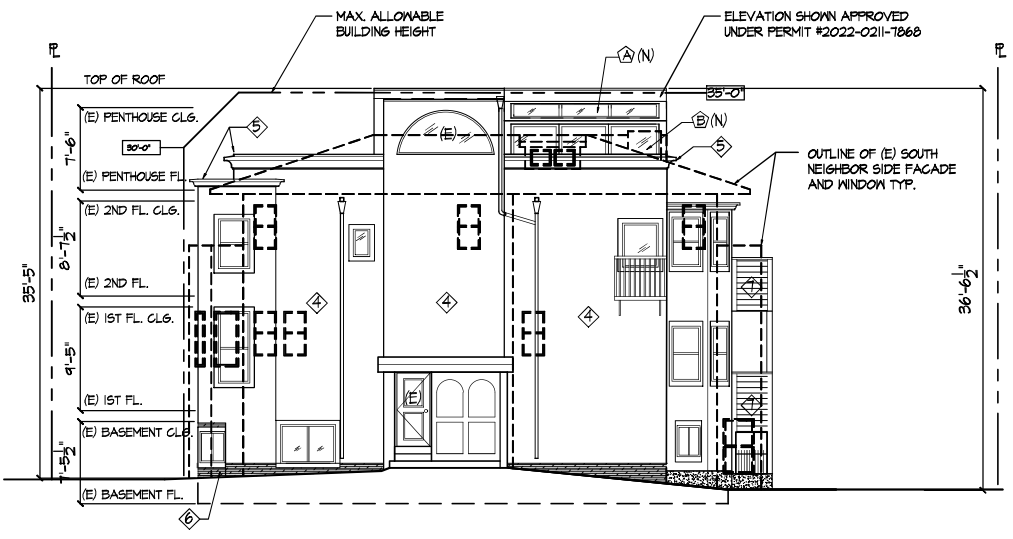
2 EXISTING SOUTH ELEVATION

1/8" = 1'-0"



3 PROPOSED WEST ELEVATION

1/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION

1/8" = 1'-0"

EXIST. BUILDING MATERIAL

- ◇ (E) WALL CAP TYP.
- ◇ (E) HORIZONTAL WOOD SIDING TYP.
- ◇ (E) CEMENT PLASTER

BUILDING MATERIAL APPROVED UNDER PERMIT #2022-0211-1868

- ◇ (E) STUCCO
- ◇ (E) FABRICATED FOAM CORNICE
- ◇ (E) STONE VENEER
- ◇ (E) HARDI PLANK LAP SIDING, CEDAR MILL STYLE

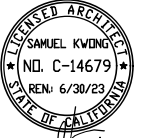
JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
△	7/27/22	PLANNING COMMENT

Stamp:

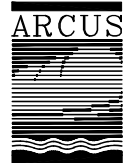


Samuel Kwong

EXIST. AND PROP.
WEST ELEVATIONS
EXIST. AND PROP.
SOUTH ELEVATIONS

Sheet No.

A-21



ARCUS
ARCHITECTURE
+ PLANNING
61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

**SOLARIUM
ADDITION**

110 32ND AVE
SAN FRANCISCO

Consultants:

JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
Δ	7/27/22	PLANNING COMMENT

Stamp:

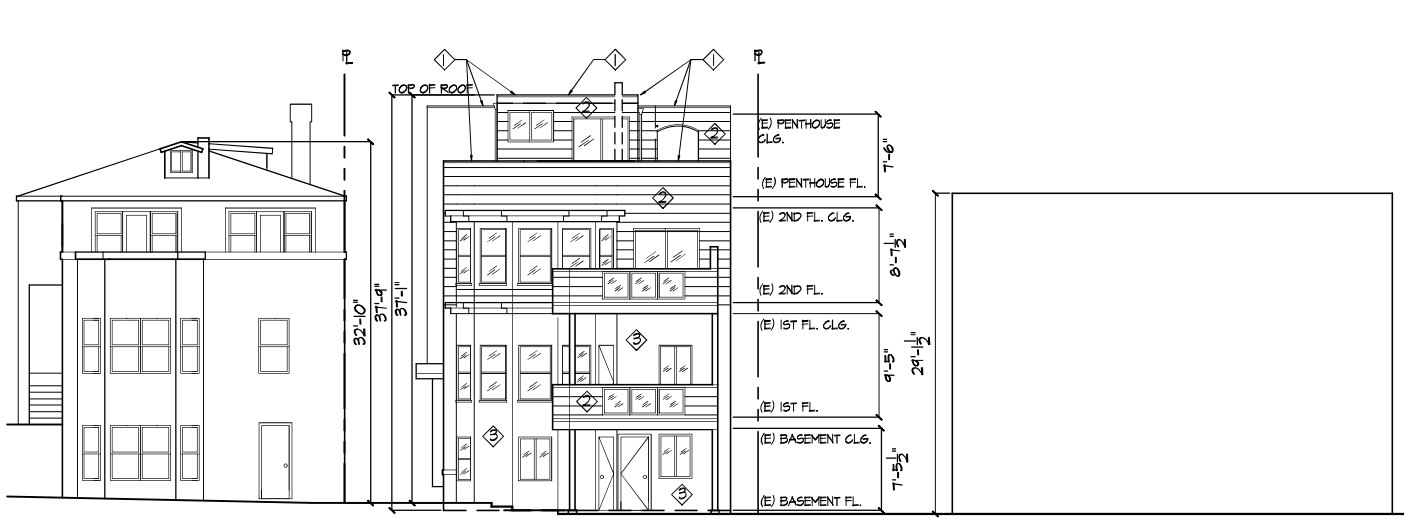


Samuel Kwong
Sheet Title

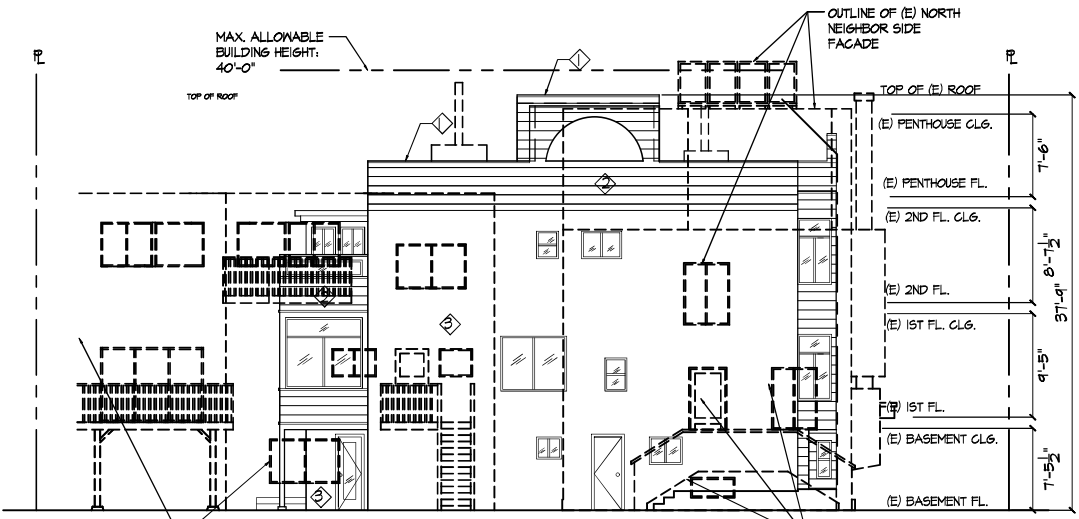
**EXIST. AND PROP.
EAST ELEV. PLANS
EXIST. AND PROP.
NORTH ELEV. PLANS**

Sheet No.

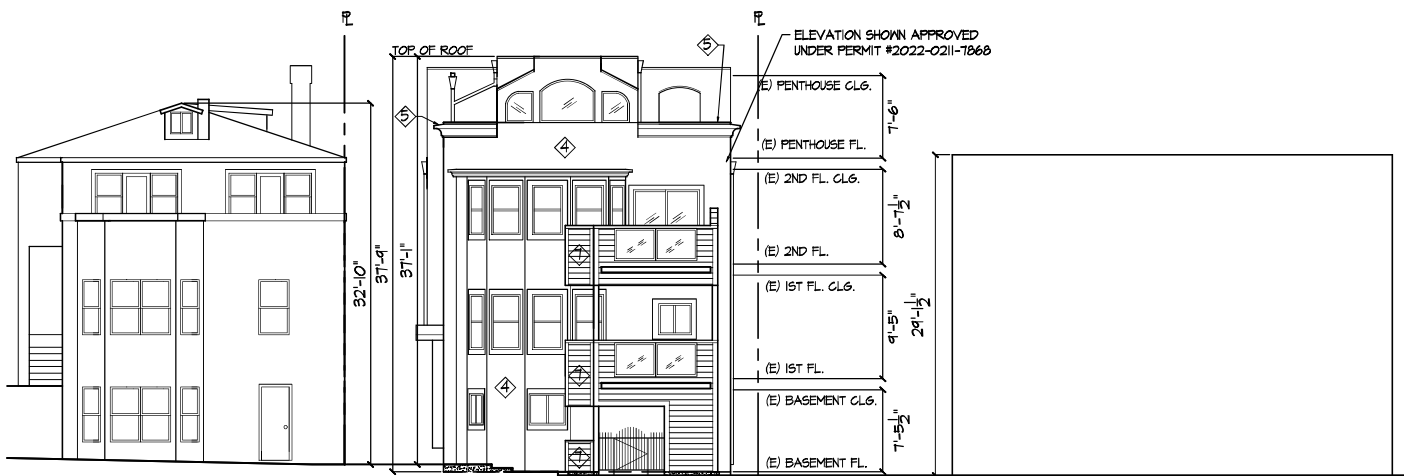
A-2.2



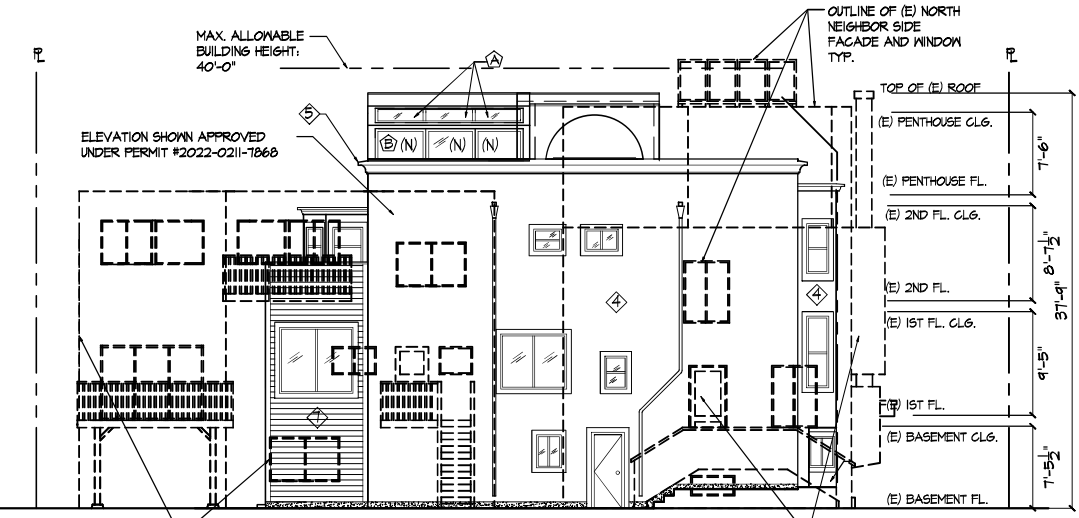
1 EXISTING EAST ELEVATION
1/8" = 1'-0"



2 EXISTING NORTH ELEVATION
1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"



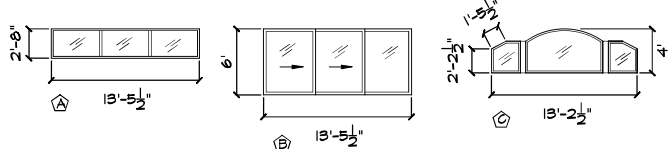
4 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

WINDOW SCHEDULE

TAG	SIZE (WXH)	STYLE	MATERIAL	REMARKS
A	13'-5 1/2" X 2'-8"	FIXED	ALUMINUM FRAME	
B	13'-5 1/2" X 6'-0"	SLIDER	COLOR TO MATCH EXIST.	
C	13'-2 1/2" X 4'-0"	FIXED		TEMP.

ALL EXISTING WINDOWS: ALUMINUM FRAME

WINDOW STYLE



EXIST. BUILDING MATERIAL

- ◊ (E) WALL CAP TYP.
- ◊ (E) HORIZONTAL WOOD SIDING TYP.
- ◊ (E) CEMENT PLASTER

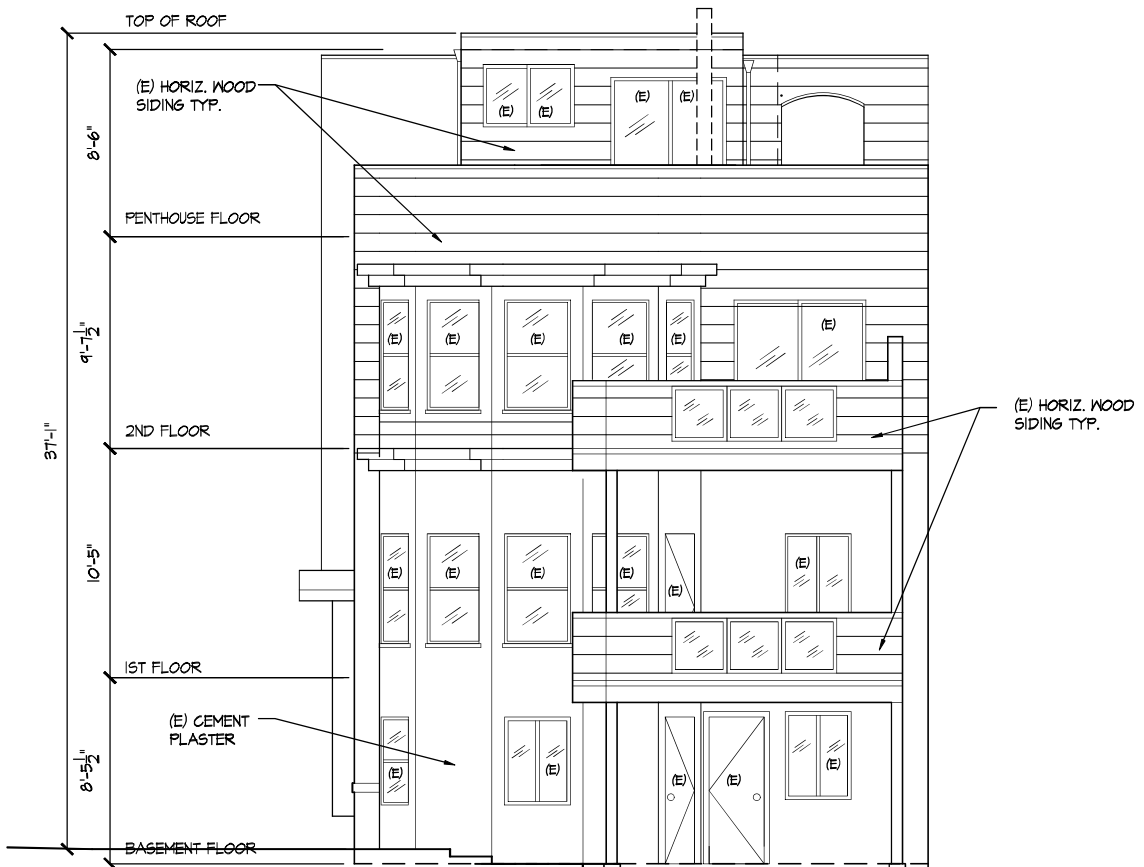
BUILDING MATERIAL APPROVED UNDER PERMIT #2022-0211-10668

- ◊ (E) STUCCO
- ◊ (E) FABRICATED FOAM CORNICE
- ◊ (E) STONE VENEER
- ◊ (E) HARDI PLANK LAP SIDING, CEDAR MILL STYLE

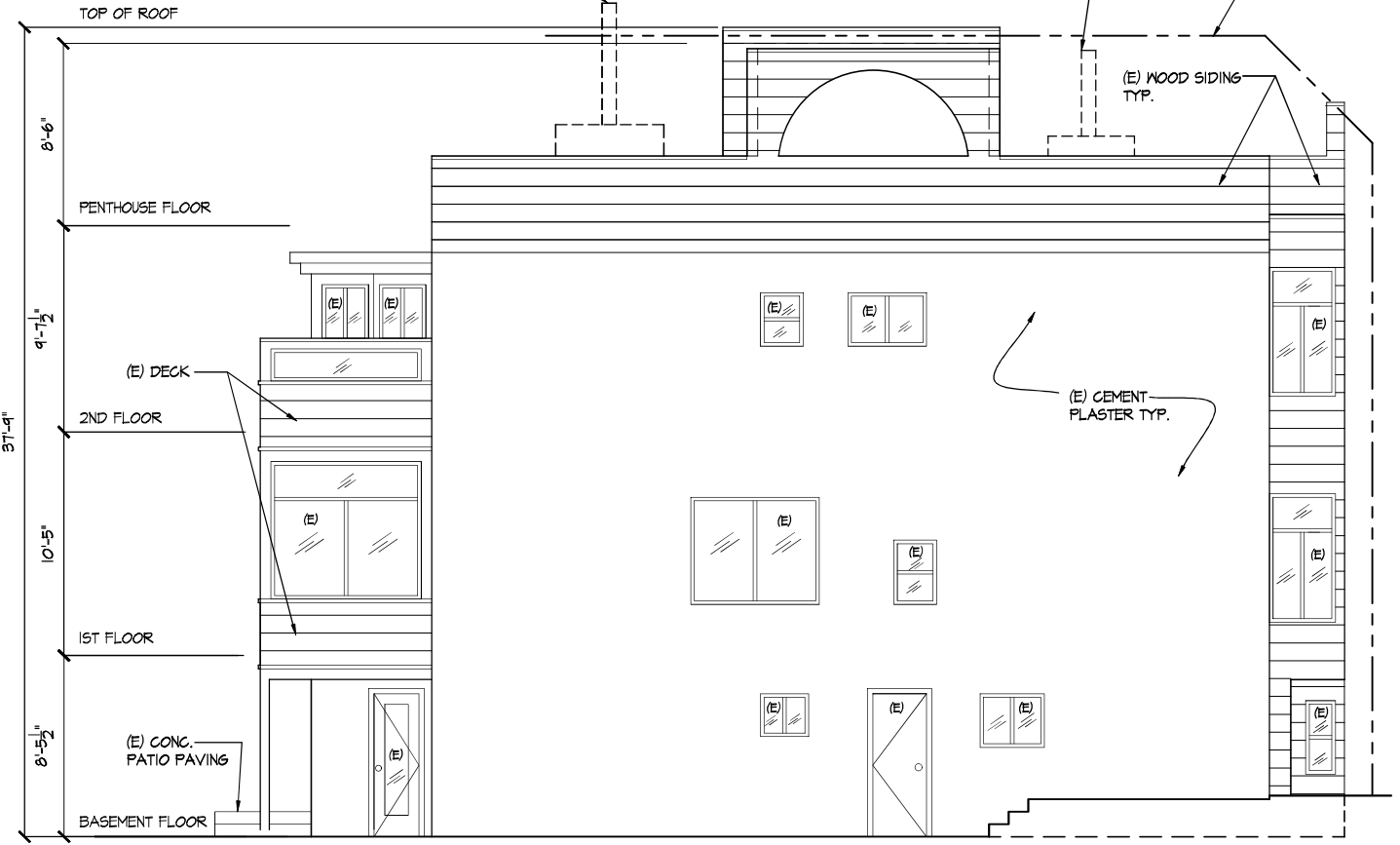
Copyright 2020. These construction documents are the
 sole property of Arcus and may not be reproduced,
 published or used by any method in whole or in part,
 without the expressed written consent of Arcus.

Project Title:
**SOLARIUM
 ADDITION**
 110 32ND AVE
 SAN FRANCISCO

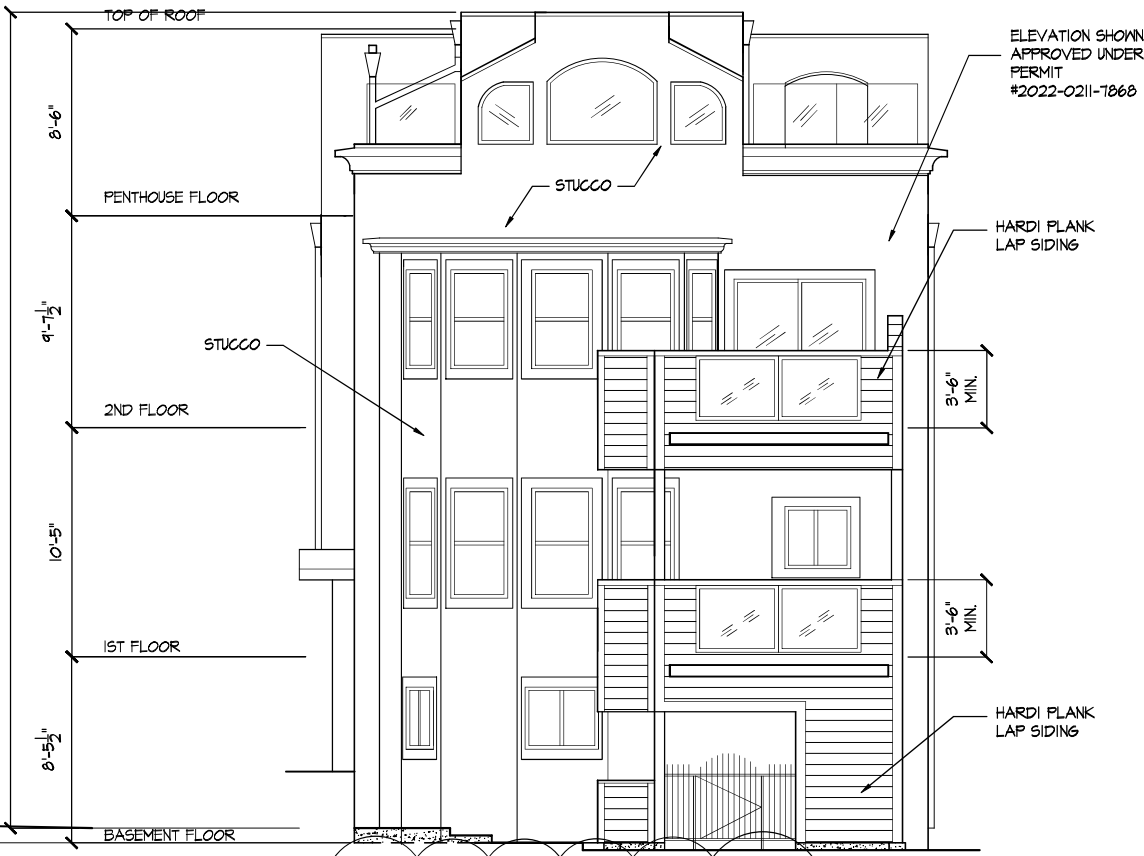
Consultants:



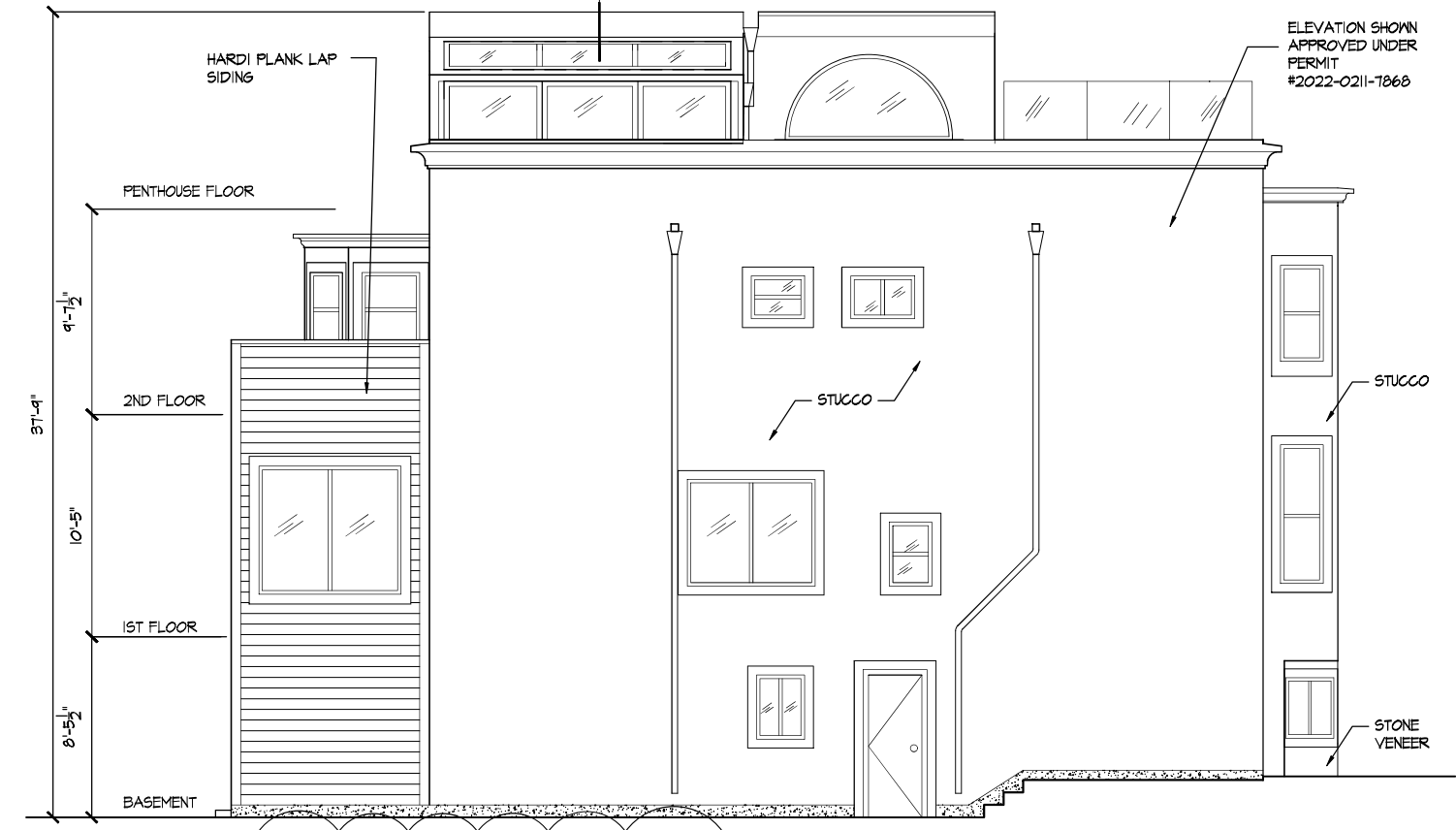
1 EXISTING EAST ELEVATION
 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
 1/4" = 1'-0"



3 PROPOSED EAST ELEVATION
 1/4" = 1'-0"



4 PROPOSED NORTH ELEVATION
 1/4" = 1'-0"

JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

ISSUANCES & REVISIONS:

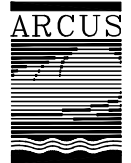
No.	Date	Description
Δ	7/27/22	PLANNING COMMENT

Stamp:

Samuel Kwong

Sheet Title
**EXIST. AND PROP.
 EAST ELEVATIONS
 EXIST. AND PROP.
 NORTH ELEVATIONS**

Sheet No.
A-3



ARCUS ARCHITECTURE + PLANNING
61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

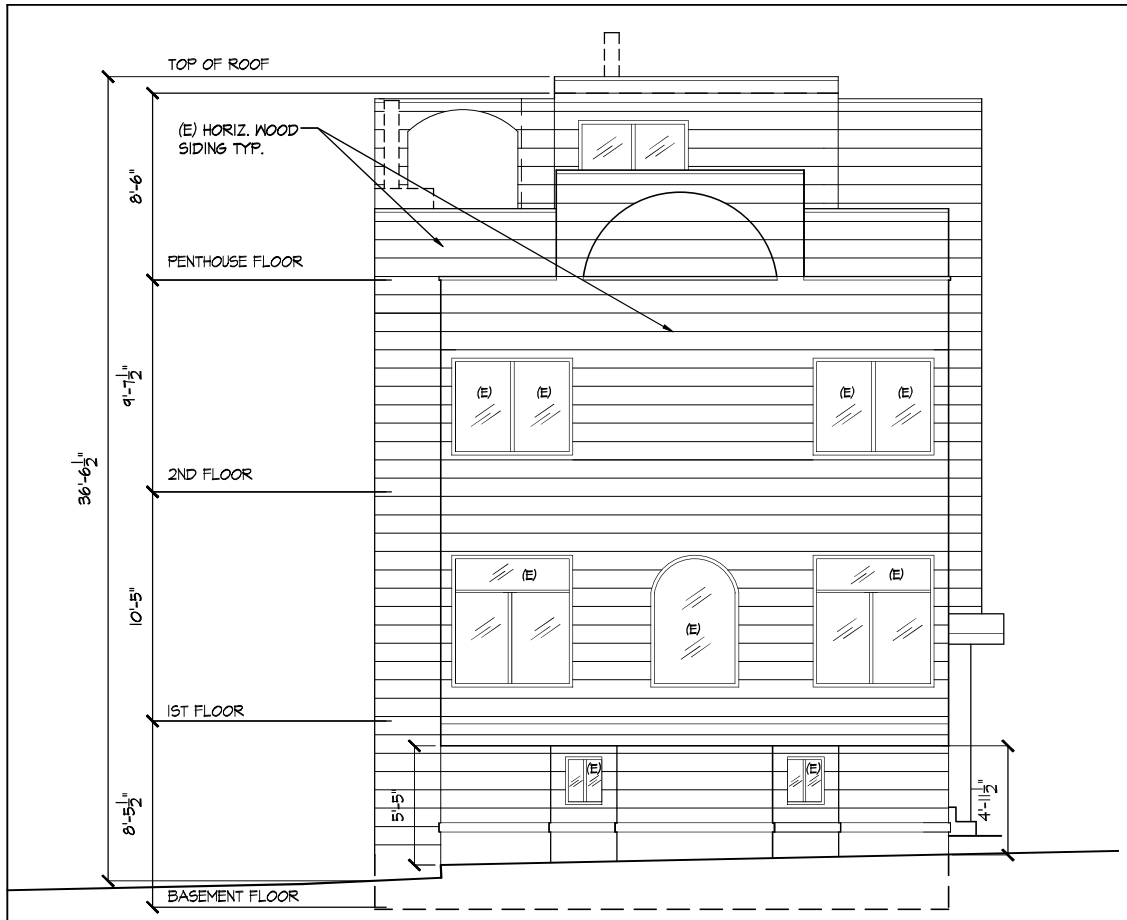
Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

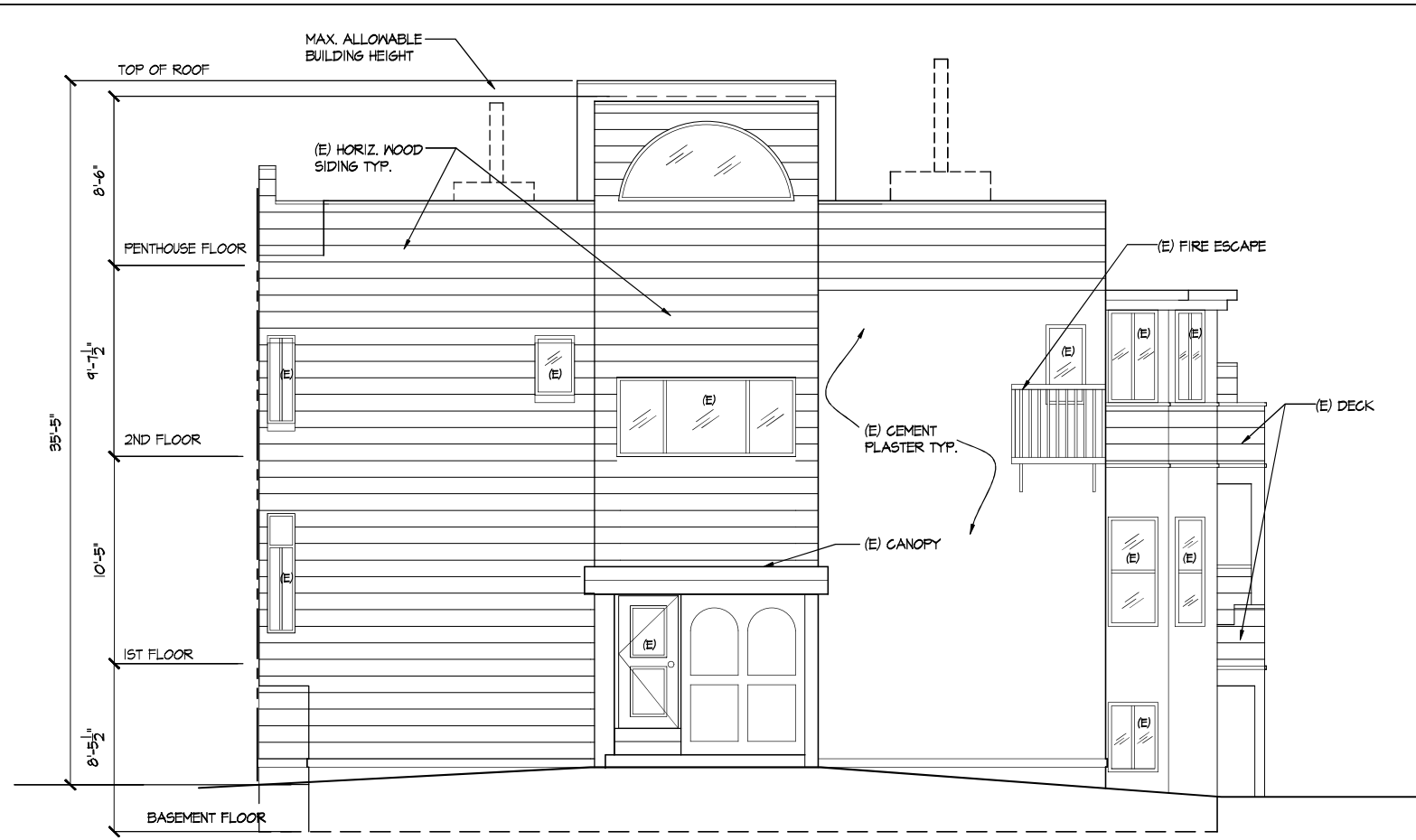
110 32ND AVE
SAN FRANCISCO

Consultants:



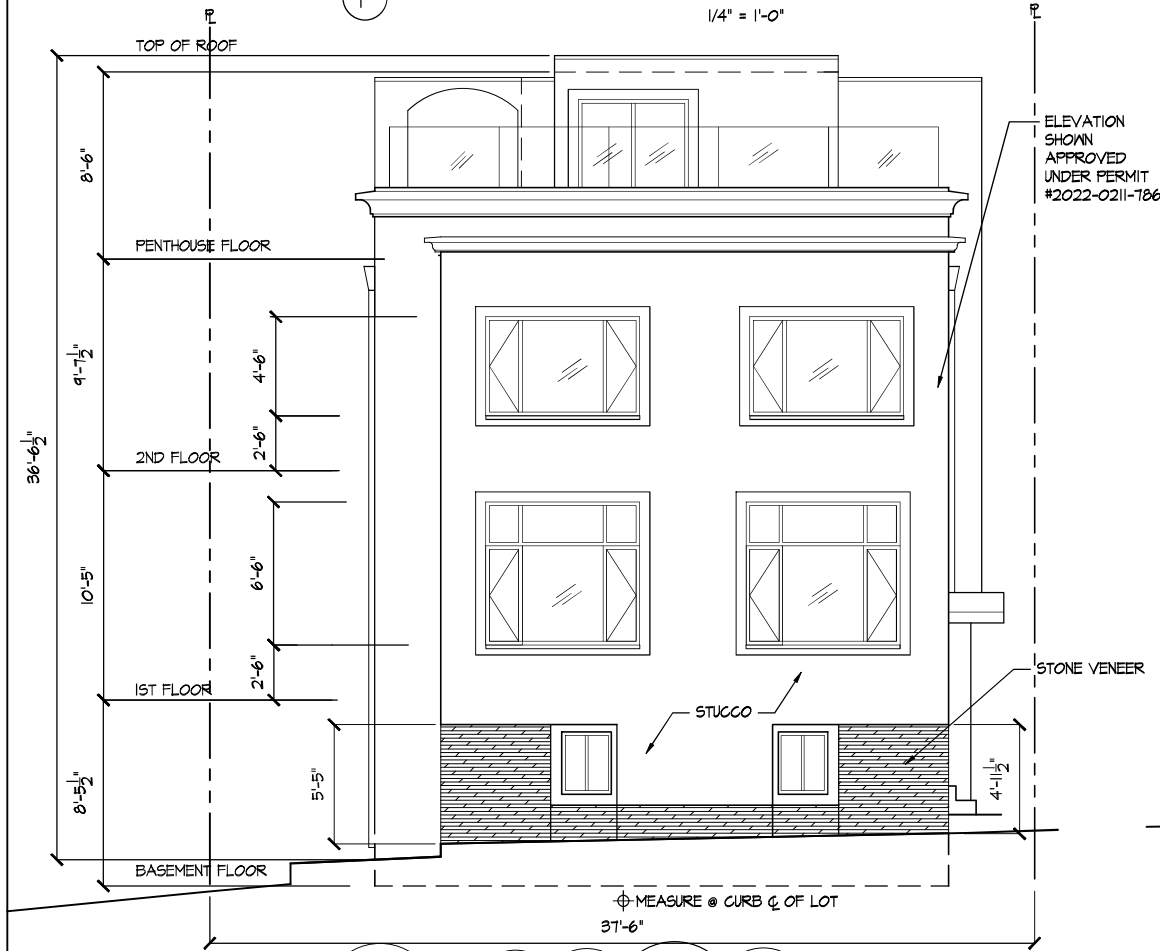
1 EXISTING WEST ELEVATION

1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION

1/4" = 1'-0"



1 PROPOSED WEST ELEVATION

1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION

1/4" = 1'-0"

JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

Stamp:



Sheet Title

EXIST. AND PROP. WEST ELEVATIONS EXIST. AND PROP. SOUTH ELEVATIONS

Sheet No.

A-31



ARCUS ARCHITECTURE + PLANNING
61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
SAN FRANCISCO

Consultants:

JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

Stamp:



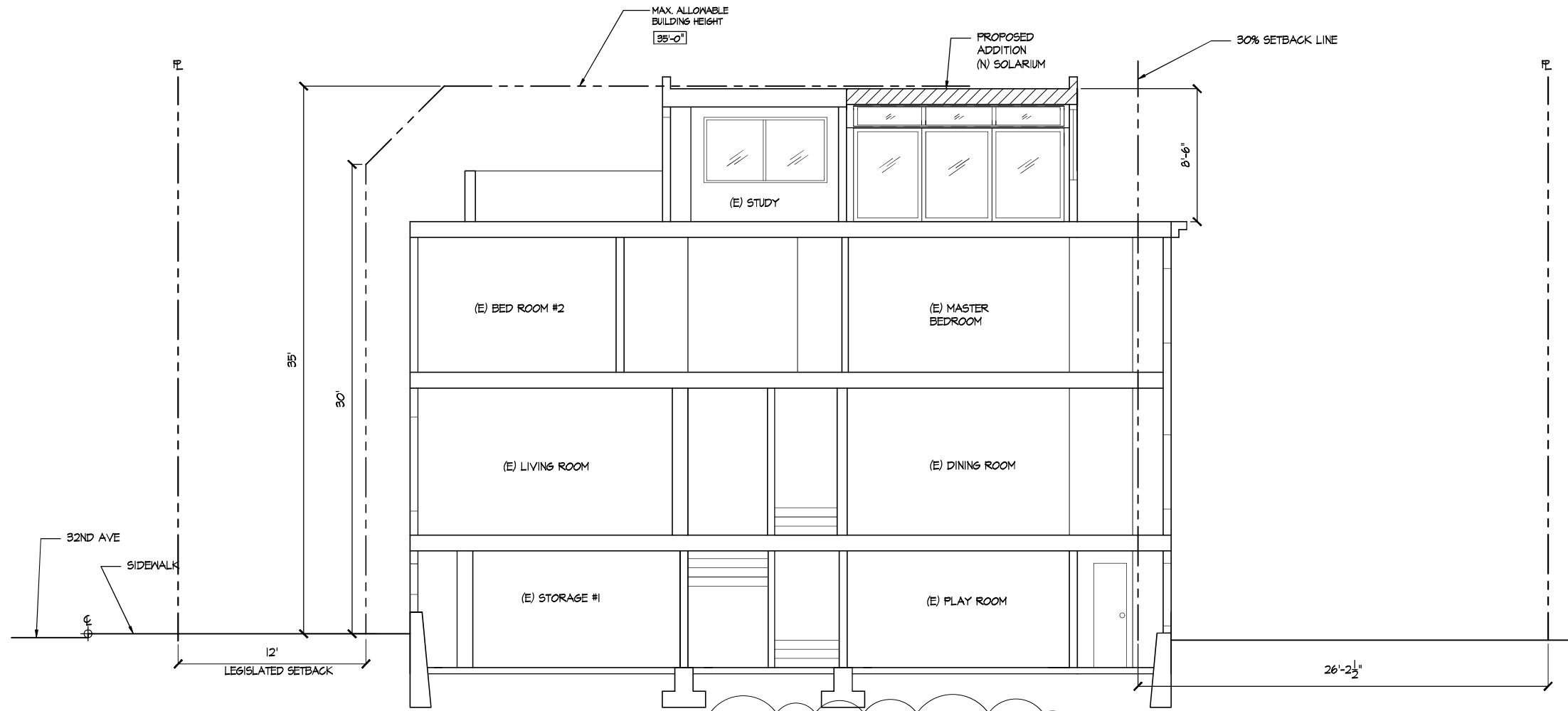
Samuel Kwong

Sheet Title

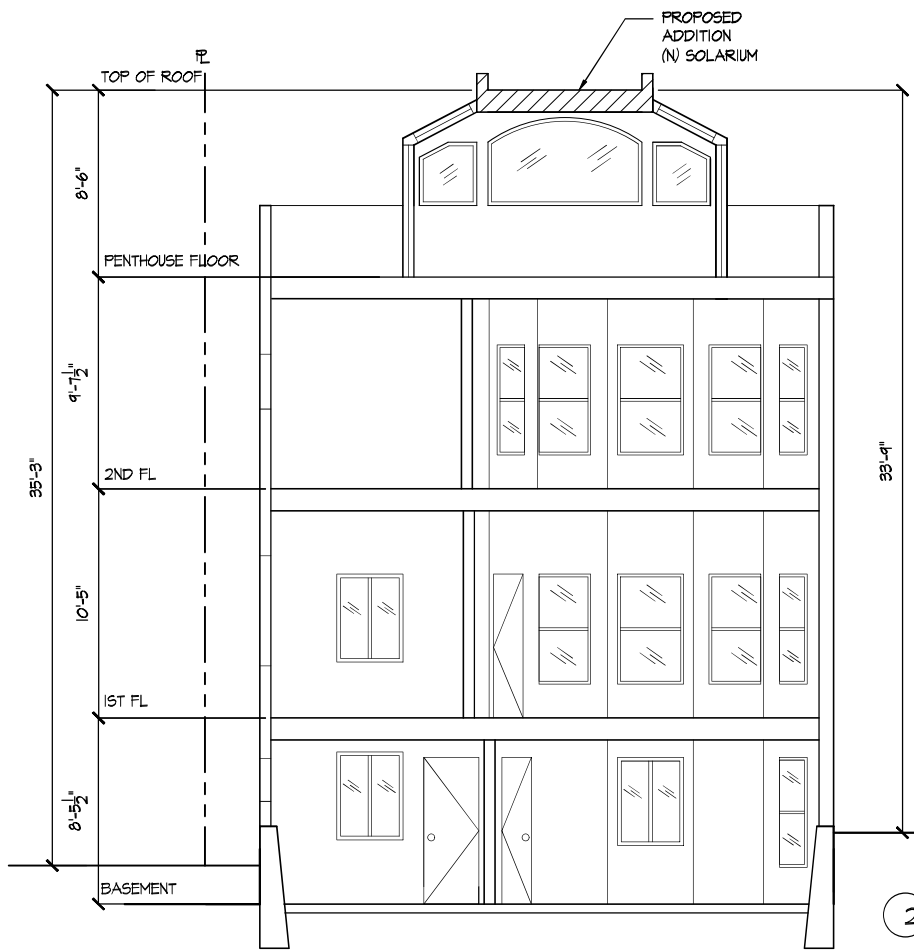
PROPOSED SECTIONS

Sheet No.

A-4



1 PROPOSED SECTION
1/4" = 1'-0"



2 PROPOSED SECTION
1/4" = 1'-0"

Exhibit C

Discretionary Review Analysis
Planning staff analysis and exhibits

September 6th 2023
Address: 110 32nd Ave, San Francisco CA 94121
Permit Application # 2022-0329-1124
Appeal Number 23-041



DISCRETIONARY REVIEW ANALYSIS

HEARING DATE: December 15, 2022

Record No.: 2022-003765DRP
Project Address: 110 32nd Avenue
Permit Application 2022. 0329.1124
Zoning: RH-1(D) [Residential House, One Family-Detached]
40-X Height and Bulk District
Cultural District: N/A
Block/Lot: 1312 / 009
Project Sponsor: Samuel Kwong
Arcus Architecture
61 Walter U Lum Place, 3rd Floor
San Francisco, CA 94108
Staff Contact: David Winslow – (628) 652-7335
david.winslow@sfgov.org
**Environmental
Review:** Categorical Exemption

Recommendation: Do Not Take DR and Approve

Project Description

The project proposes to construct a third-story horizontal addition to a 3-story single-family dwelling.

Site Description and Present Use

The site is an approximately 37'-6" wide x 88'-0" deep lateral sloping lot. The existing building is a category B – Age eligible Historic Resource built in 1910.

Surrounding Properties and Neighborhood

The buildings on this block of 32nd Avenue consist of predominantly of 3-story detached residential buildings with front setbacks. The adjacent buildings align at the rear to retain a small but consistent mid-block open space that includes a rear alley. The rear wall of the DR requestor's property to the north, faces the side of the subject property.

Building Permit Notification

Type	Required Period	Notification Dates	DR File Date	DR Hearing Date	Filing to Hearing Date
311 Notice	30 days	August 20, 2022– September 19, 2022	September 19, 2022	December 15, 2022	88 days

Hearing Notification

Type	Required Period	Required Notice Date	Actual Notice Date	Actual Period
Posted Notice	20 days	November 26, 2022	November 26, 2022	20 days
Mailed Notice	20 days	November 26, 2022	November 26, 2022	20 days
Online Notice	20 days	November 26, 2022	November 26, 2022	20 days

Public Comment

	Support	Opposed	No Position
Adjacent neighbor(s)	0	0	0
Other neighbors on the block or directly across the street	0	0	0
Neighborhood groups	0	0	0

Environmental Review

The Department has determined that the proposed project is exempt/excluded from environmental review, pursuant to CEQA Guideline Section 15301 (Class One - Minor Alteration of Existing Facility, (e) Additions to existing structures provided that the addition will not result in an increase of more than 10,000 square feet).

DR Requestor

DR requestor: Sanford Garfinkel of 855 El Camino Del Mar the adjacent neighbor to the north.

DR Requestor’s Concerns and Proposed Alternatives

DR requestor is concerned that the proposed significantly impacts light and privacy.

Proposed alternatives:

1. Separate the west facing roof deck space from the northeast facing area with a short wall or parapet (attached Exhibit 3)
2. Condition this northeast portion of the roof as unoccupiable except for maintenance.
3. Eliminate doors from solarium to this portion of roof.
4. Use obscure glass on lower floor new windows.

See attached *Discretionary Review Application*, dated September 19, 2022.

Project Sponsor’s Response to DR Application

The DR requestor has not demonstrated exceptional and extraordinary circumstances exist with the project that significantly affect the character of the neighborhood or the rights of property owners. The project sponsor will install obscured glass in original window openings that is adjacent to the DR requestor's property, and we also eliminated a glazed opening on the top floor of the rear porch. The shadow study we provided clearly shows that the new solarium poses minimal impact to the enjoyment of natural lighting of the DR requestor. Photographs of the neighbor's rear elevation does not match their claim of loss of natural light.

See attached Response to *Discretionary Review*, dated October 10, 2022

Department Review

Staff confirms support for this project as it conforms to the Planning Code and to the Residential Design Guideline “Articulate the building to minimize impacts to light and air.”

The project proposes a 200 sq. ft rear extension to the third story that is set back 8’-4” from the adjoining property line over an existing roof deck. The remaining portion of the northeast roof deck at the third floor is rendered minimal by the proposed addition. A new guardrail is proposed to be glass with the distance between the edge of the deck and the rear wall of the DR requestor is approximately 20’ - adequate to ensure access to light. The deck size location and distance do not seem to pose an undue burden to privacy.

Therefore, staff deems there are no exceptional and extraordinary circumstances and recommends not taking Discretionary Review and approving with the following modifications.

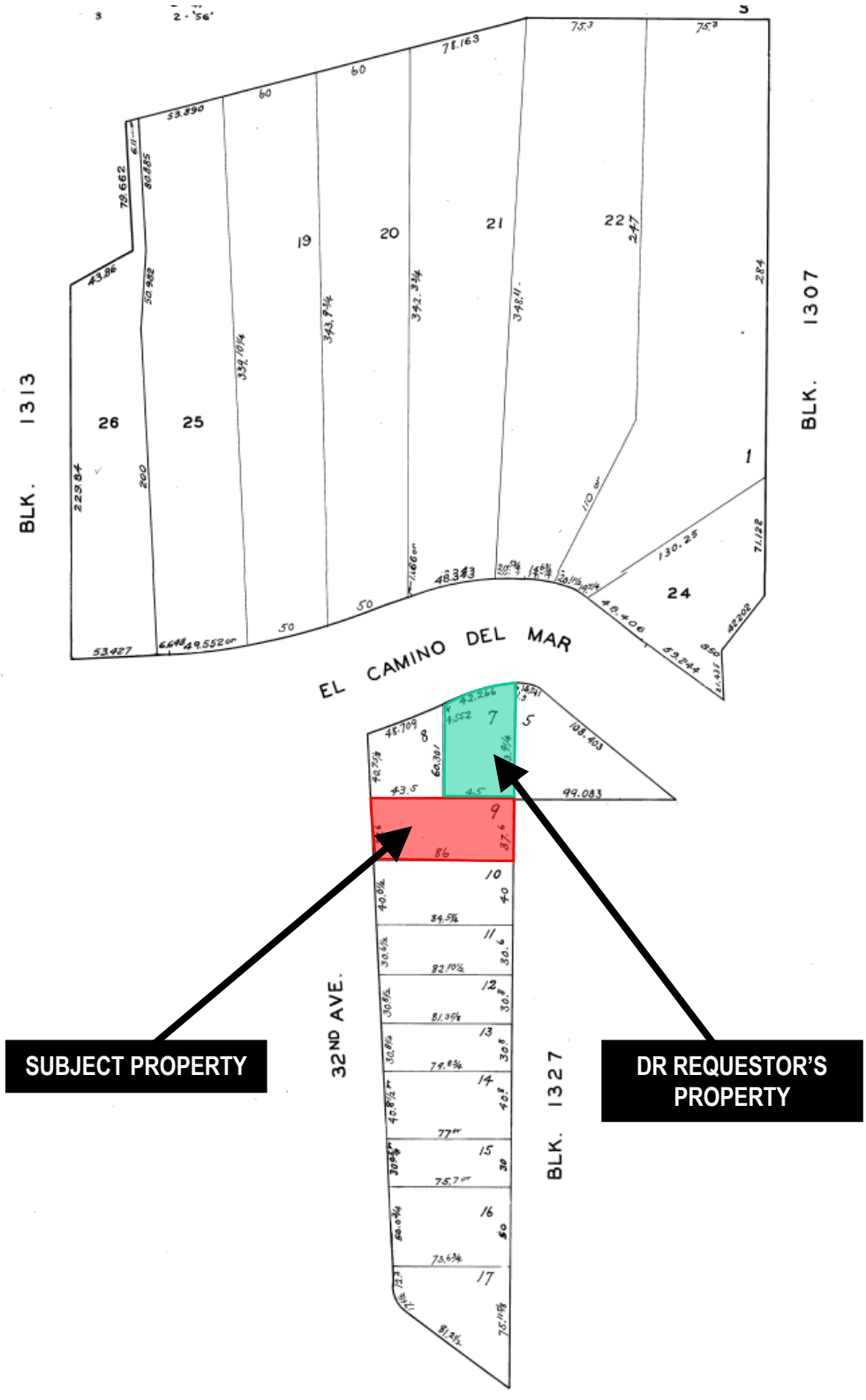
Recommendation: Do Not Take DR and Approve

Attachments:

Block Book Map
Sanborn Map
Zoning Map
Aerial Photographs
Context Photographs
Section 311 Notice
CEQA Determination
DR Application
Response to DR dated October 10, 2022
311 plans

Exhibits

Parcel Map



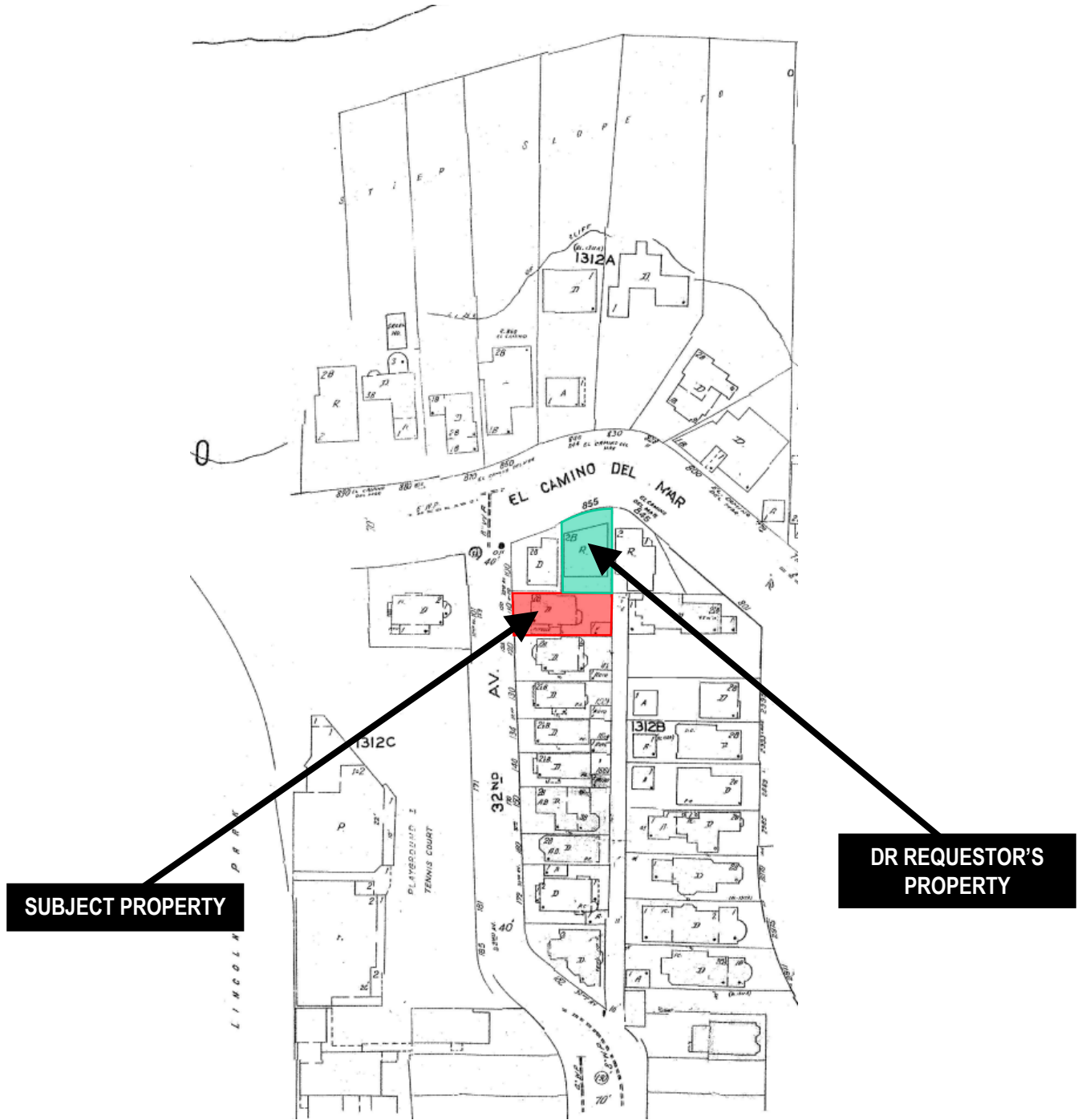
SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
 Case Number 2022-003765DRP
 110 32nd Avenue

Sanborn Map*



SUBJECT PROPERTY

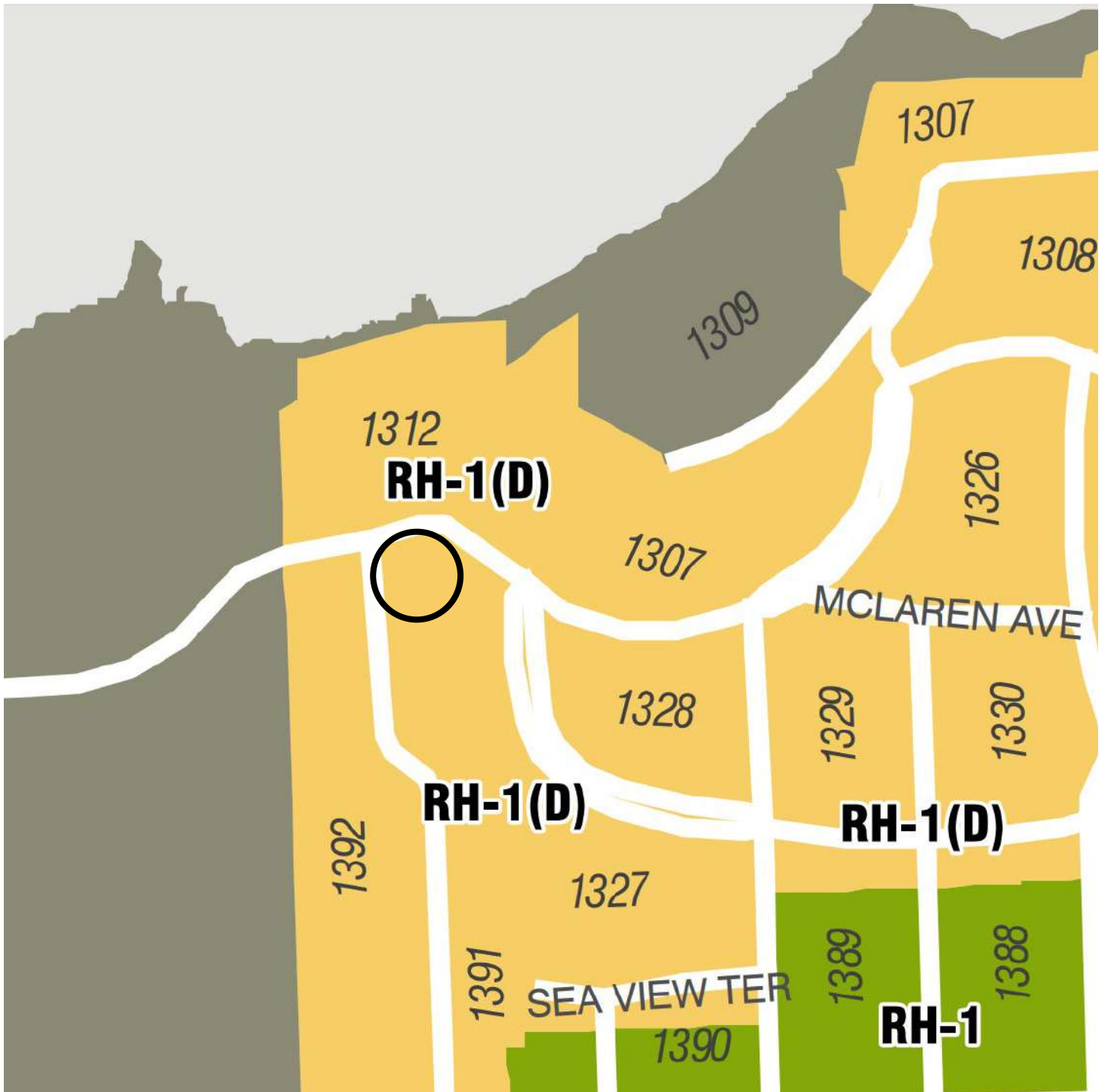
DR REQUESTOR'S PROPERTY

**The Sanborn Maps in San Francisco have not been updated since 1998, and this map may not accurately reflect existing conditions.*



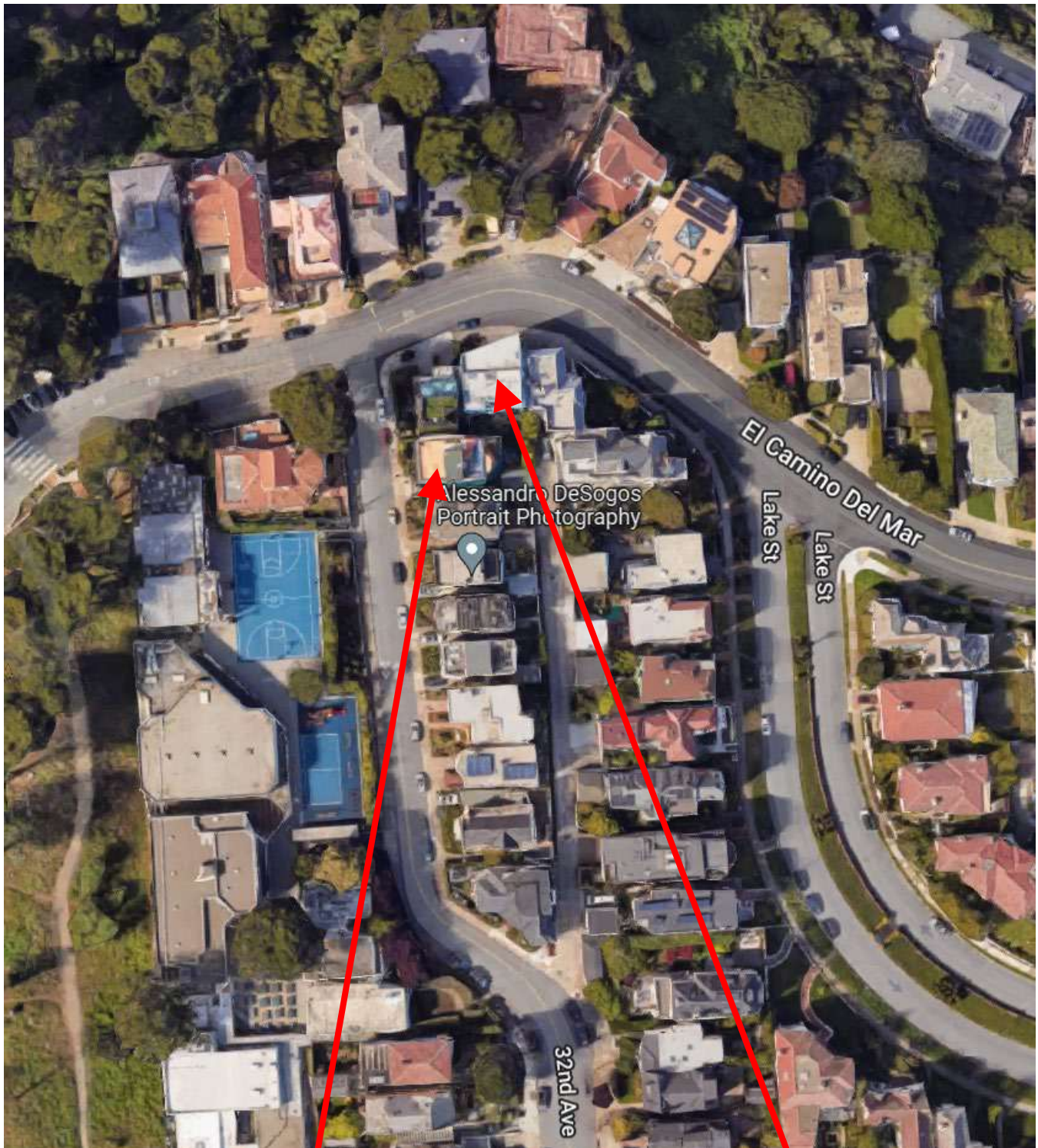
Discretionary Review Hearing
Case Number 2022-003765DRP
110 32nd Avenue

Zoning Map



Discretionary Review Hearing
Case Number 2022-003765DRP
110 32nd Avenue

Aerial Photo



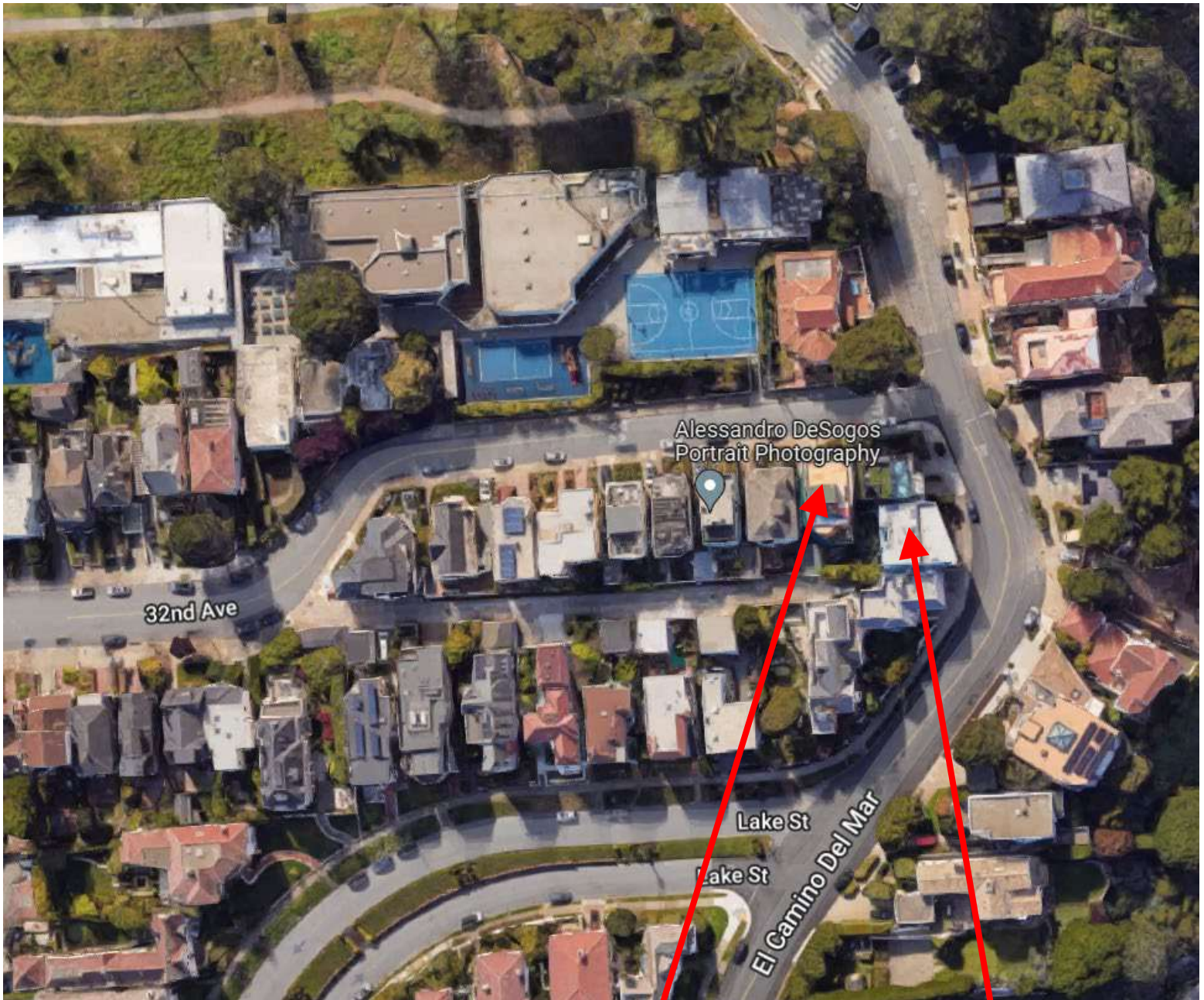
SUBJECT PROPERTY

DR REQUESTOR'S PROPERTY



Discretionary Review Hearing
Case Number 2022-003765DRP
110 32nd Avenue

Aerial Photo



Alessandro DeSogos
Portrait Photography

32nd Ave

Lake St

Lake St

El Camino Del Mar

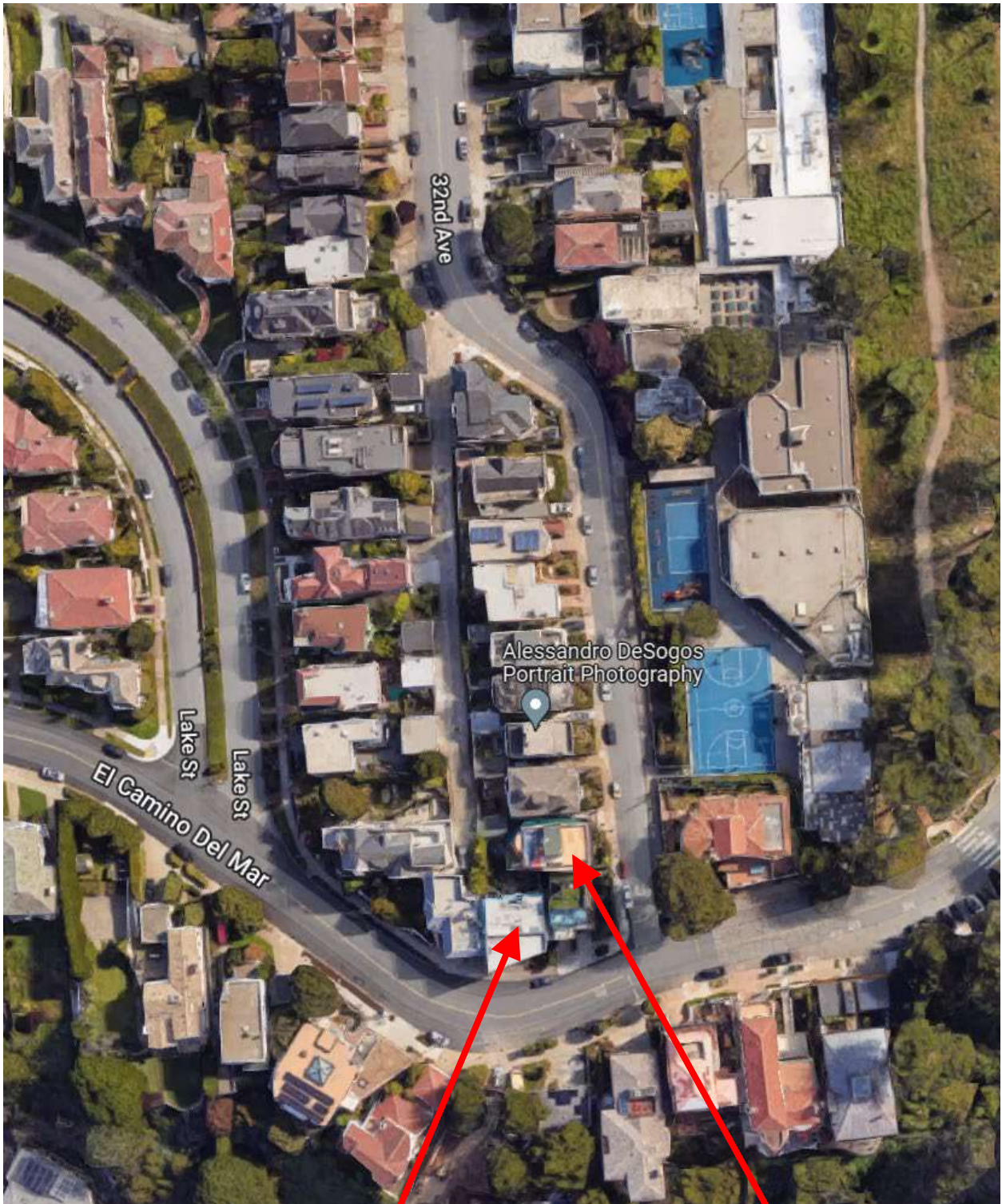
SUBJECT PROPERTY

**DR REQUESTOR'S
PROPERTY**



Discretionary Review Hearing
Case Number 2022-003765DRP
110 32nd Avenue

Aerial Photo



**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2022-003765DRP
110 32nd Avenue

Aerial Photo



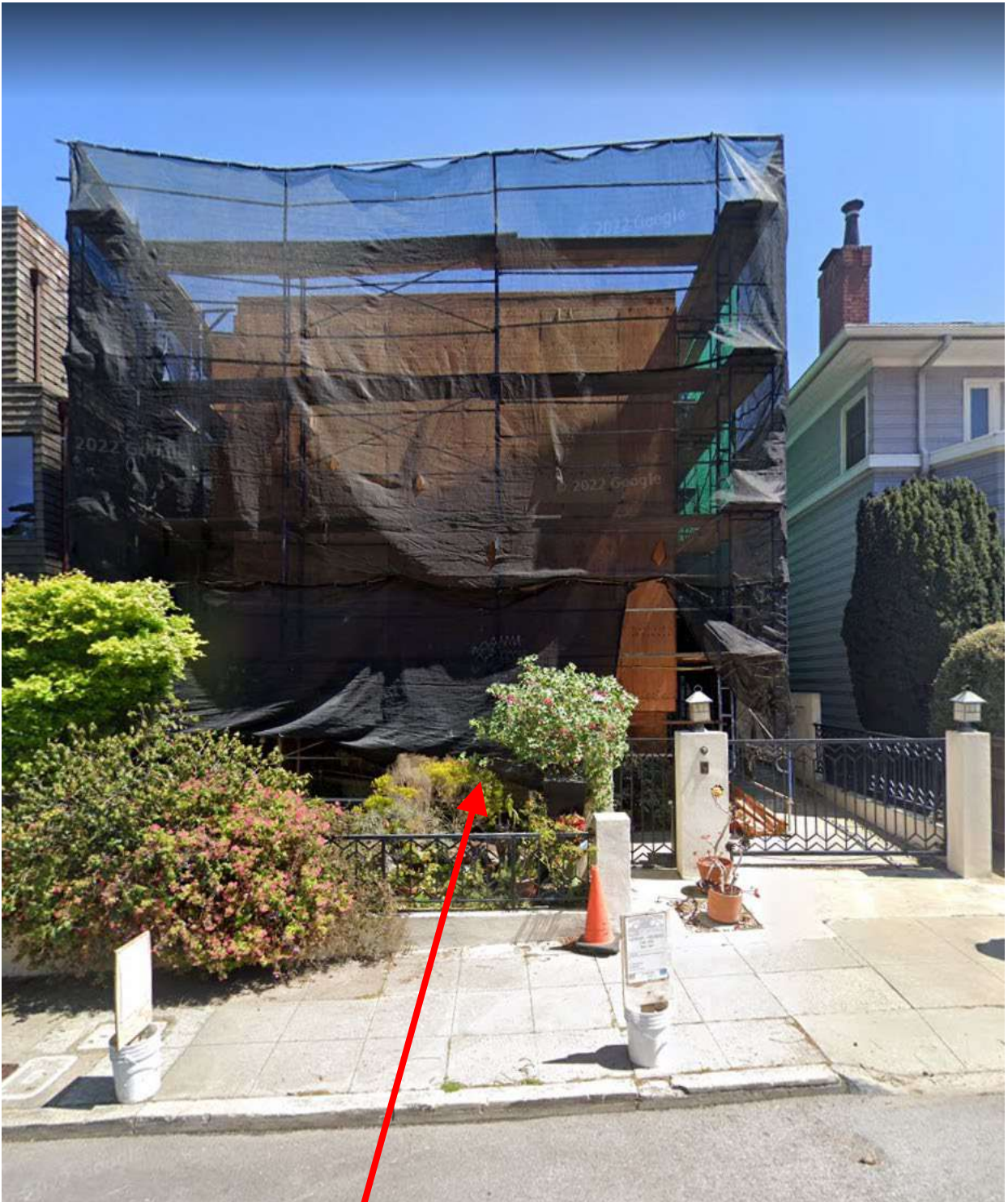
**DR REQUESTOR'S
PROPERTY**

SUBJECT PROPERTY



Discretionary Review Hearing
Case Number 2022-003765DRP
110 32nd Avenue

Site Photo



SUBJECT PROPERTY

Discretionary Review Hearing
Case Number 2022-003765DRP
110 32nd Avenue

Notice of an application for Horizontal Addition

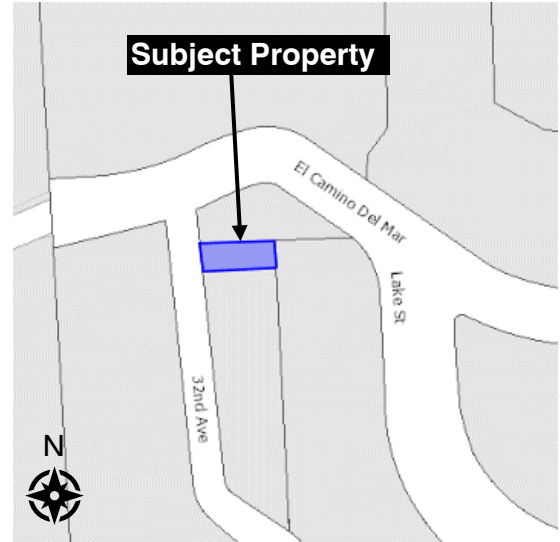
Project Location & Details:
110 32nd Avenue

Building Permit Application No. 202203291124
Block/Lot No. 1312 / 009
Zoning District: RH-1(D) - RESIDENTIAL-HOUSE, ONE FAMILY- DETACHED

The Project at 110 32nd Avenue proposes to modify the existing building with a Horizontal Addition. The horizontal addition consists of a penthouse/solarium on the existing fourth floor. The Project also proposes to refinish the existing roof deck and remove two chimneys.

Applicant: Samuel Kwong
samkwong-arcus@pacbell.net

City Planner: Kalyani Agnihotri
628-652-7454 | Kalyani.Agnihotri@sfgov.org



Project Features	Existing	Proposed
Building Use	Residential	No Change
Building Height	37 feet 9 inches	No Change
Dwelling Units	1	No Change

You are not required to take any action.

If you believe there are exceptional circumstances, you may request a **public hearing for Discretionary Review** by the response deadline.

For information on how to request a public hearing please contact the City Planner or visit sfplanning.org/resource/drp-application.

中文:

該專案位於110 32nd Avenue提議修改現有的建築，進行橫向添加。有關此通知的中文信息，請於以下截止日期前致電 628.657.7550，並提供項目地址及項目編號。

Español:

El proyecto en 110 32nd Avenue propone modificar el edificio existente con un agregado horizontal. Para información sobre esta notificación en español, favor de llamar al 628.657.7550 antes de la fecha límite listada abajo, y mencione la dirección y número de proyecto.

Filipino:

Iminumungkahi ng proyektong nasa 110 32nd Avenue na baguhin ang nariyan nang gusali sa pamamagitan ng Dagdag na Pahalang (Horizontal Addition). Para sa impormasyon tungkol dito sa abiso sa Filipino, pakitawagan ang 628.657.7550 sa petsa ng deadline na nakalista sa ibaba, at banggitin ang address ng proyekto at ang numero ng record.

Response Deadline: **9/19/22**

Record No. **2022-003765PRJ**



**San Francisco
Planning**

了解更多信息 Para más información Para sa karagdagang impormasyon

sfplanning.org/notices



For more information

General Information About Procedures **During COVID-19 Shelter-In-Place Order**

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice. If you have general questions about the Planning Department's review process, contact the Planning counter at the Permit Center via email at pic@sfgov.org.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Contact the project Applicant to get more information and to discuss the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects that conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review ("DR"). If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a DR Application prior to the Expiration Date shown on the front of this notice.**

To file a DR Application, you must:

1. Complete the Discretionary Review PDF application (<https://sfplanning.org/resource/drp-application>) and email the completed PDF application to CPC.Intake@sfgov.org by the expiration date listed on the front of this notice. You will receive follow-up instructions via email on

how - and by when - to post payment for the DR Application.

To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you. Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. The Board of Appeals is accepting appeals via e-mail. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (628) 652-1150.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination will be prepared and can be obtained through the Exemption Map at www.sfplanning.org prior to the approval action. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Board of Supervisors at bos.legislation@sfgov.org, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.





CEQA Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address 110 32nd Avenue		Block/Lot(s) 1312009
Case No. 2022-003765PRJ		Permit No. 202203291124
<input checked="" type="checkbox"/> Addition/Alteration	<input type="checkbox"/> Demolition (requires HRE for Category B Building)	<input type="checkbox"/> New Construction
<p>Project description for Planning Department approval. Commencement of pa #201606210534-s. Horizontal addition (solarium) at penthouse floor. Remove two chimneys. Refinish existing penthouse roof deck and replace damaged gutters & downspout.</p>		

STEP 1: EXEMPTION TYPE

The project has been determined to be exempt under the California Environmental Quality Act (CEQA).	
<input checked="" type="checkbox"/>	Class 1 - Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 - New Construction. Up to three new single-family residences or six dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	<p>Class 32 - In-Fill Development. New Construction of seven or more units or additions greater than 10,000 sq. ft. and meets the conditions described below:</p> <p>(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.</p> <p>(b) The proposed development occurs within city limits on a project site of no more than 5 acres substantially surrounded by urban uses.</p> <p>(c) The project site has no value as habitat for endangered rare or threatened species.</p> <p>(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.</p> <p>(e) The site can be adequately served by all required utilities and public services.</p> <p>FOR ENVIRONMENTAL PLANNING USE ONLY</p>
<input type="checkbox"/>	Other _____
<input type="checkbox"/>	Common Sense Exemption (CEQA Guidelines section 15061(b)(3)). It can be seen with certainty that there is no possibility of a significant effect on the environment. FOR ENVIRONMENTAL PLANNING USE ONLY

STEP 2: ENVIRONMENTAL SCREENING ASSESSMENT

TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	<p>Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g. use of diesel construction equipment, backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p>
<input type="checkbox"/>	<p>Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential?</p> <p>Note that a categorical exemption shall not be issued for a project located on the Cortese List if box is checked, note below whether the applicant has enrolled in or received a waiver from the San Francisco Department of Public Health (DPH) Maher program, or if Environmental Planning staff has determined that hazardous material effects would be less than significant. (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>)</p>
<input type="checkbox"/>	<p>Transportation: Does the project involve a child care facility or school with 30 or more students, or a location 1,500 sq. ft. or greater? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?</p>
<input type="checkbox"/>	<p>Archeological Resources: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? If yes, archeology review is required.</p>
<input type="checkbox"/>	<p>Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? (refer to <i>The Environmental Information tab on the San Francisco Property Information Map</i>) If box is checked, Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Average Slope of Parcel = or > 25%, or site is in Edgehill Slope Protection Area or Northwest Mt. Sutro Slope Protection Area: Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, or (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area? (refer to <i>The Environmental Planning tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is likely required and Environmental Planning must issue the exemption.</p>
<input type="checkbox"/>	<p>Seismic Hazard: <input type="checkbox"/> Landslide or <input type="checkbox"/> Liquefaction Hazard Zone:</p> <p>Does the project involve any of the following: (1) New building construction, except one-story storage or utility occupancy, (2) horizontal additions, if the footprint area increases more than 50%, (3) horizontal and vertical additions increase more than 500 square feet of new projected roof area, or (4) grading performed at a site in the landslide hazard zone? (refer to <i>The Environmental tab on the San Francisco Property Information Map</i>) If box is checked, a geotechnical report is required and Environmental Planning must issue the exemption.</p>
<p>Comments and Planner Signature (optional):</p>	

**STEP 3: PROPERTY STATUS - HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: (refer to Property Information Map)	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input checked="" type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input checked="" type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Reclassification of property status. (Attach HRER Part I) <input type="checkbox"/> Reclassify to Category A a. Per HRER b. Other (specify): <input type="checkbox"/> Reclassify to Category C (No further historic review)
<input type="checkbox"/>	2. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	3. Interior alterations to publicly accessible spaces that do not remove, alter, or obscure character defining features.
<input type="checkbox"/>	4. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	5. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.

<input type="checkbox"/>	6. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	7. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	8. Work consistent with the <i>Secretary of the Interior Standards for the Treatment of Historic Properties</i> (Analysis required):
<input type="checkbox"/>	9. Work compatible with a historic district (Analysis required):
<input type="checkbox"/>	10. Work that would not materially impair a historic resource (Attach HRER Part II).
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST sign below.	
<input type="checkbox"/>	Project can proceed with exemption review. The project has been reviewed by the Preservation Planner and can proceed with exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature:	

STEP 6: EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input checked="" type="checkbox"/>	No further environmental review is required. The project is exempt under CEQA. There are no unusual circumstances that would result in a reasonable possibility of a significant effect.	
	Project Approval Action: Building Permit	Signature: Kalyani Agnihotri
	If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the	11/03/2022
	Once signed or stamped and dated, this document constitutes an exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination to the Board of Supervisors can only be filed within 30 days of the project receiving the approval action.	

STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT

TO BE COMPLETED BY PROJECT PLANNER

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

MODIFIED PROJECT DESCRIPTION

Modified Project Description:

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:

- | | |
|--------------------------|--|
| <input type="checkbox"/> | Result in expansion of the building envelope, as defined in the Planning Code; |
| <input type="checkbox"/> | Result in the change of use that would require public notice under Planning Code Sections 311 or 312; |
| <input type="checkbox"/> | Result in demolition as defined under Planning Code Section 317 or 19005(f)? |
| <input type="checkbox"/> | Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption? |

If at least one of the above boxes is checked, further environmental review is required

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

- | | |
|--------------------------|---|
| <input type="checkbox"/> | The proposed modification would not result in any of the above changes. |
|--------------------------|---|

If this box is checked, the proposed modifications are exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice. In accordance with Chapter 31, Sec 31.08j of the San Francisco Administrative Code, an appeal of this determination can be filed to the Environmental Review Officer within 10 days of posting of this determination.

Planner Name:

Date:



DISCRETIONARY REVIEW PUBLIC (DRP)

APPLICATION PACKET

Pursuant to Planning Code Section 311, the Planning Commission may exercise its power of Discretionary Review over a building permit application.

For questions, you can call the Planning counter at 628.652.7300 or email pic@sfgov.org where planners are able to assist you.

Please read the [Discretionary Review Informational Packet](#) carefully before the application form is completed.

WHAT TO SUBMIT:

- Two (2) complete applications signed.
1 electronic submission signed electronically
- A Letter of Authorization from the DR requestor giving you permission to communicate with the Planning Department on their behalf, if applicable.
- Photographs or plans that illustrate your concerns.
- Related covenants or deed restrictions (if any).
- A digital copy (CD or USB drive) of the above materials (optional).
- Payment via check, money order or debit/credit for the total fee amount for this application. (See [Fee Schedule](#)).

Instructed to wait for instructions for online payment by Planner

HOW TO SUBMIT:

To file your Discretionary Review Public application, please email the completed application to cpc.intake@sfgov.org.

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電628.652.7550。請注意，規劃部門需要至少一個工作日來回應。

Filipino: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.



DISCRETIONARY REVIEW PUBLIC (DRP)

APPLICATION

Discretionary Review Requestor's Information

Name: _____

Email Address: _____

Address: _____

Telephone: _____

Please Select Billing Contact: _____

Applicant

Other (see below for details)

Name: _____ Email: _____ Phone: _____

Information on the Owner of the Property Being Developed

Name: _____

Company/Organization: _____

Email Address: _____

Address: _____

Telephone: _____

Property Information and Related Applications

Project Address: _____

Block/Lot(s): _____

Building Permit Application No(s): _____

ACTIONS PRIOR TO A DISCRETIONARY REVIEW REQUEST

PRIOR ACTION	YES	NO
Have you discussed this project with the permit applicant?		
Did you discuss the project with the Planning Department permit review planner?		
Did you participate in outside mediation on this case? (including Community Boards)		

Changes Made to the Project as a Result of Mediation.

If you have discussed the project with the applicant, planning staff or gone through mediation, please summarize the result, including any changes that were made to the proposed project.

DISCRETIONARY REVIEW REQUEST

In the space below and on separate paper, if necessary, please present facts sufficient to answer each question.

1. What are the reasons for requesting Discretionary Review? The project meets the standards of the Planning Code and the Residential Design Guidelines. What are the exceptional and extraordinary circumstances that justify Discretionary Review of the project? How does the project conflict with the City's General Plan or the Planning Code's Priority Policies or Residential Design Guidelines? Please be specific and site specific sections of the Residential Design Guidelines.

-
2. The Residential Design Guidelines assume some impacts to be reasonable and expected as part of construction. Please explain how this project would cause unreasonable impacts. If you believe your property, the property of others or the neighborhood would be unreasonably affected, please state who would be affected, and how.

-
3. What alternatives or changes to the proposed project, beyond the changes (if any) already made would respond to the exceptional and extraordinary circumstances and reduce the adverse effects noted above in question #1?

DISCRETIONARY REVIEW REQUESTOR'S AFFIDAVIT

Under penalty of perjury the following declarations are made:

a) The undersigned is the DR requestor or their authorized representation.

Signature

Name (Printed)

Relationship to Requestor
(i.e. Attorney, Architect, etc.)

Phone

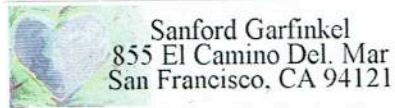
Email

For Department Use Only

Application received by Planning Department:

By: _____

Date: _____



Kalyani Agnihotri
Planner
San Francisco Planning
49 South Van Ness Avenue, Suite 1400
San Francisco, CA 94103

Kalyani.Agnihotri@sfgov.org

August 24, 2022

RE: **Permit Application 202203291124**
110 32nd Avenue
Block / Lot: 1312 / 009

Ms. Agnihotri,

Please be advised that I have provided authorization to **Erin Carson** to communicate with the Planning Department on the above mentioned matter. Ms. Carson will engage with the Applicant for this permit and may also submit a DRP application on our behalf.

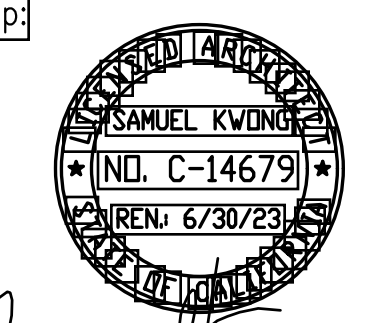
Ms. Carson's full contact information is:

Erin Carson
erin@ecarsonconsulting.com
415-602-2745

Thank you for your assistance with this matter. Please do not hesitate to contact me if you have any questions or need anything further from me.

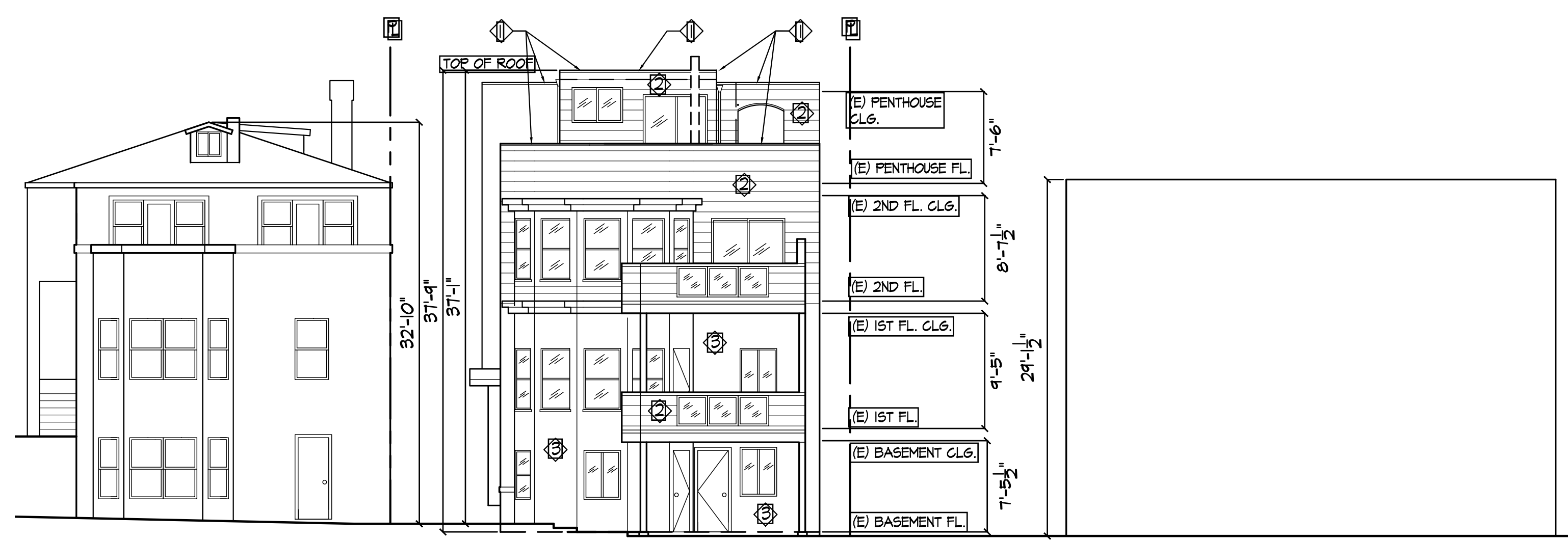
A handwritten signature in black ink, appearing to read "Sanford Garfinkel".

No.	Date	Description
1	7/27/22	PLANNING COMMENT

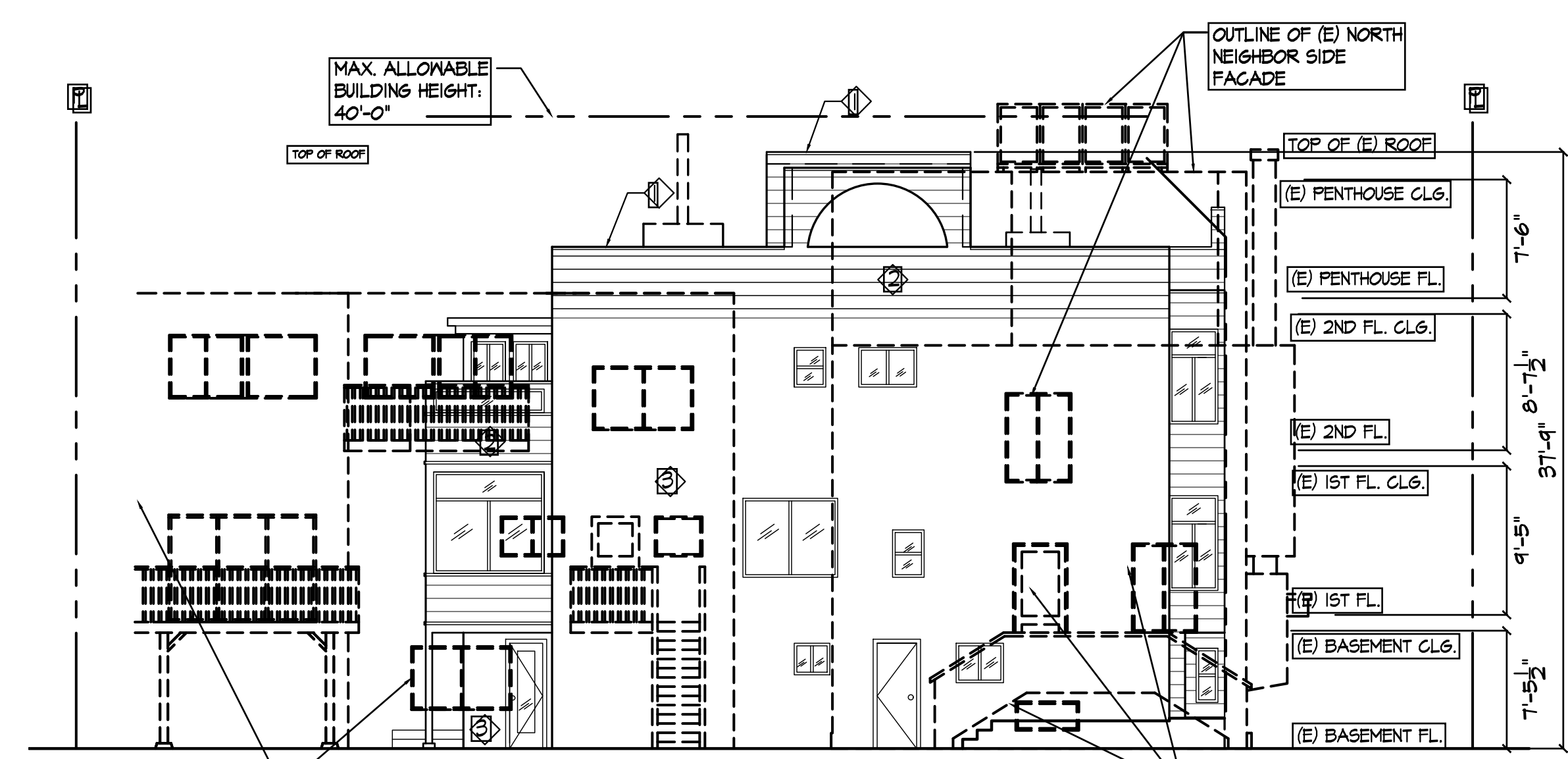


Samuel Kwong

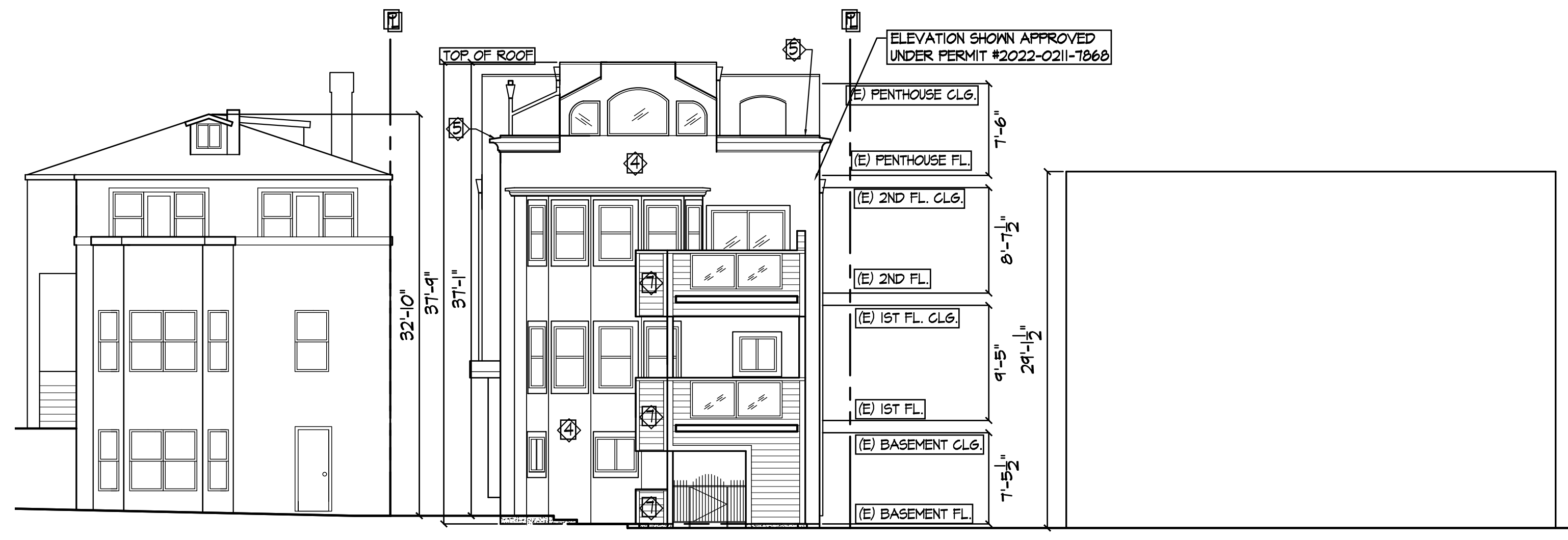
Sheet Title:
**EXIST. AND PROP.
 EAST ELEV. PLANS
 EXIST. AND PROP.
 NORTH ELEV. PLANS**



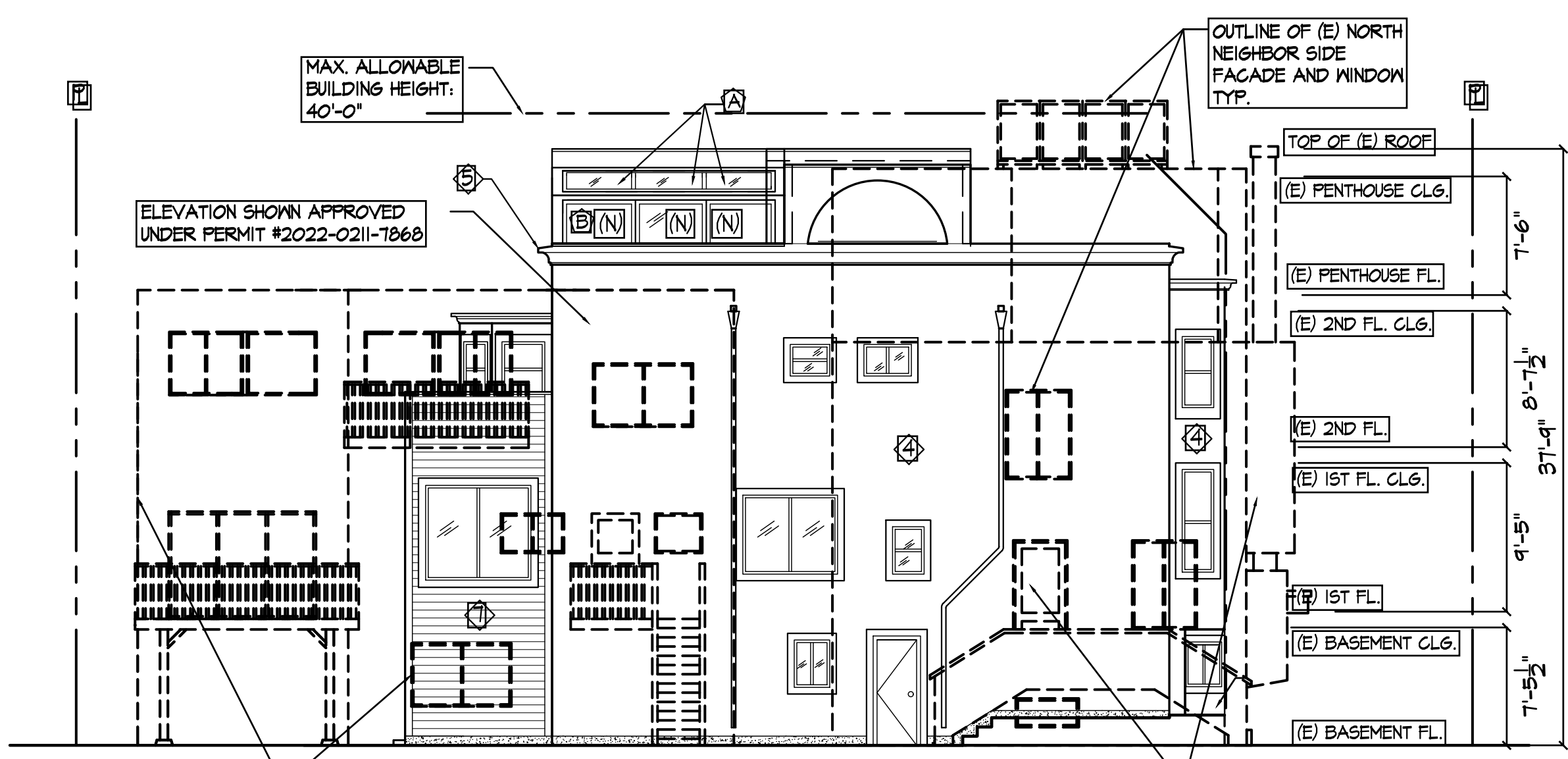
EXISTING EAST ELEVATION
 1/8" = 1'-0"



EXISTING NORTH ELEVATION
 1/8" = 1'-0"



PROPOSED SOUTH ELEVATION
 1/8" = 1'-0"



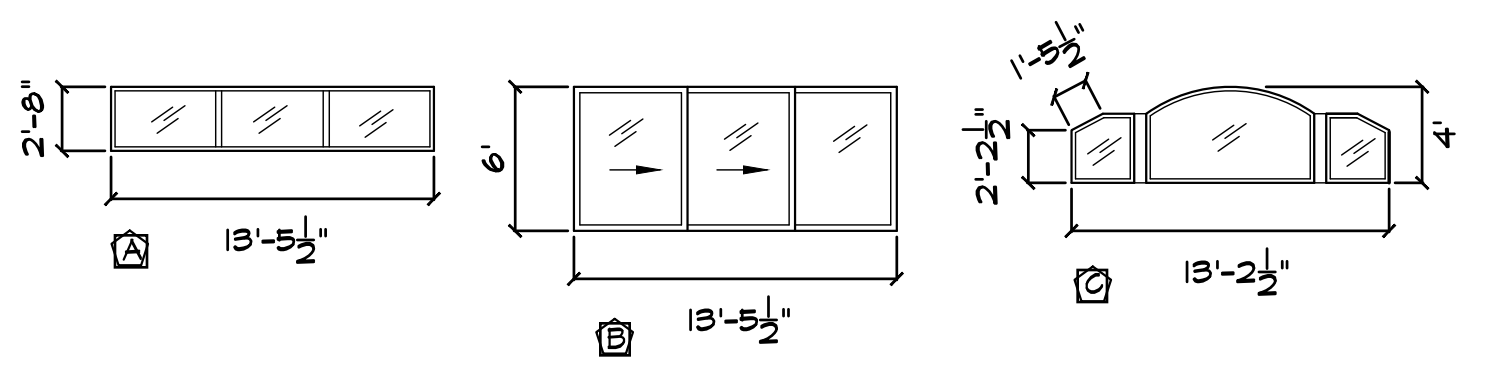
PROPOSED NORTH ELEVATION
 1/8" = 1'-0"

WINDOW SCHEDULE

TAG	SIZE (WXH)	STYLE	MATERIAL	REMARKS
A	13'-5 1/2" X 2'-8"	FIXED	ALUMINUM FRAME	
B	13'-5 1/2" X 6'-0"	SLIDER	COLOR TO MATCH EXIST.	
C	13'-2 1/2" X 4'-0"	FIXED		TEMP.

ALL EXISTING WINDOWS: ALUMINUM FRAME

WINDOW STYLE

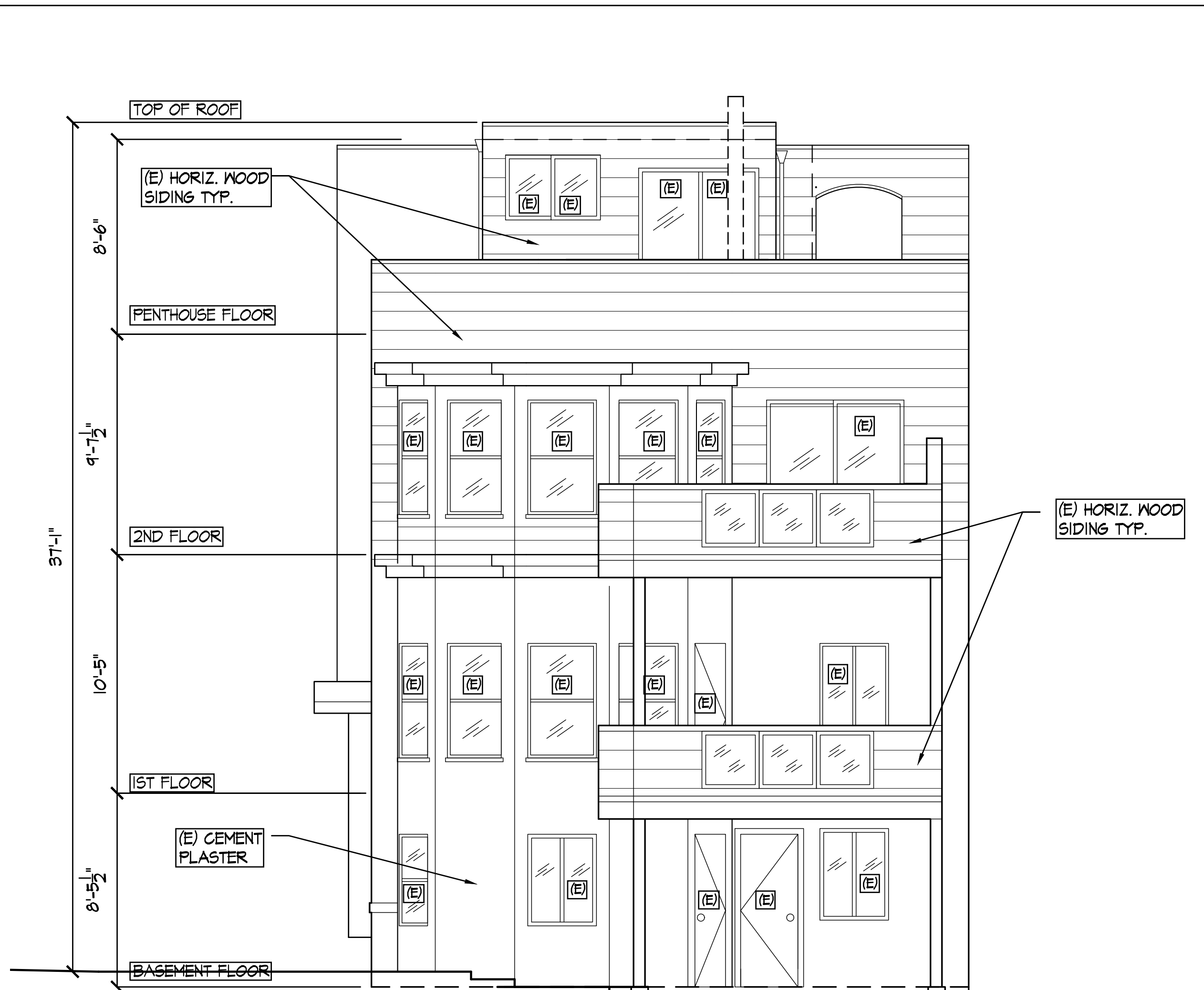


EXIST. BUILDING MATERIAL

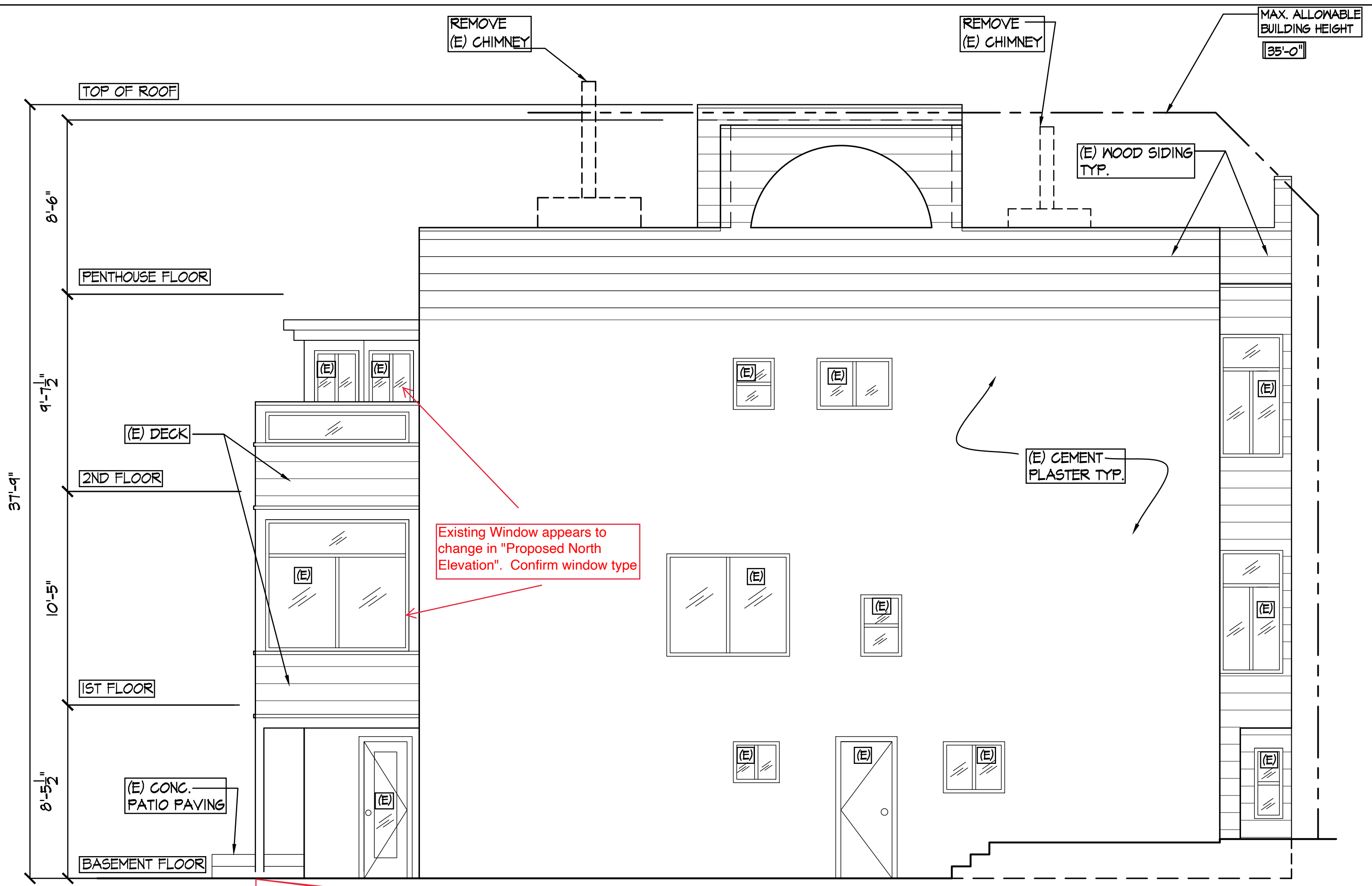
- (E) WALL CAP TYP.
- (E) HORIZONTAL WOOD SIDING TYP.
- (E) CEMENT PLASTER

BUILDING MATERIAL APPROVED UNDER PERMIT #2022-0211-1868

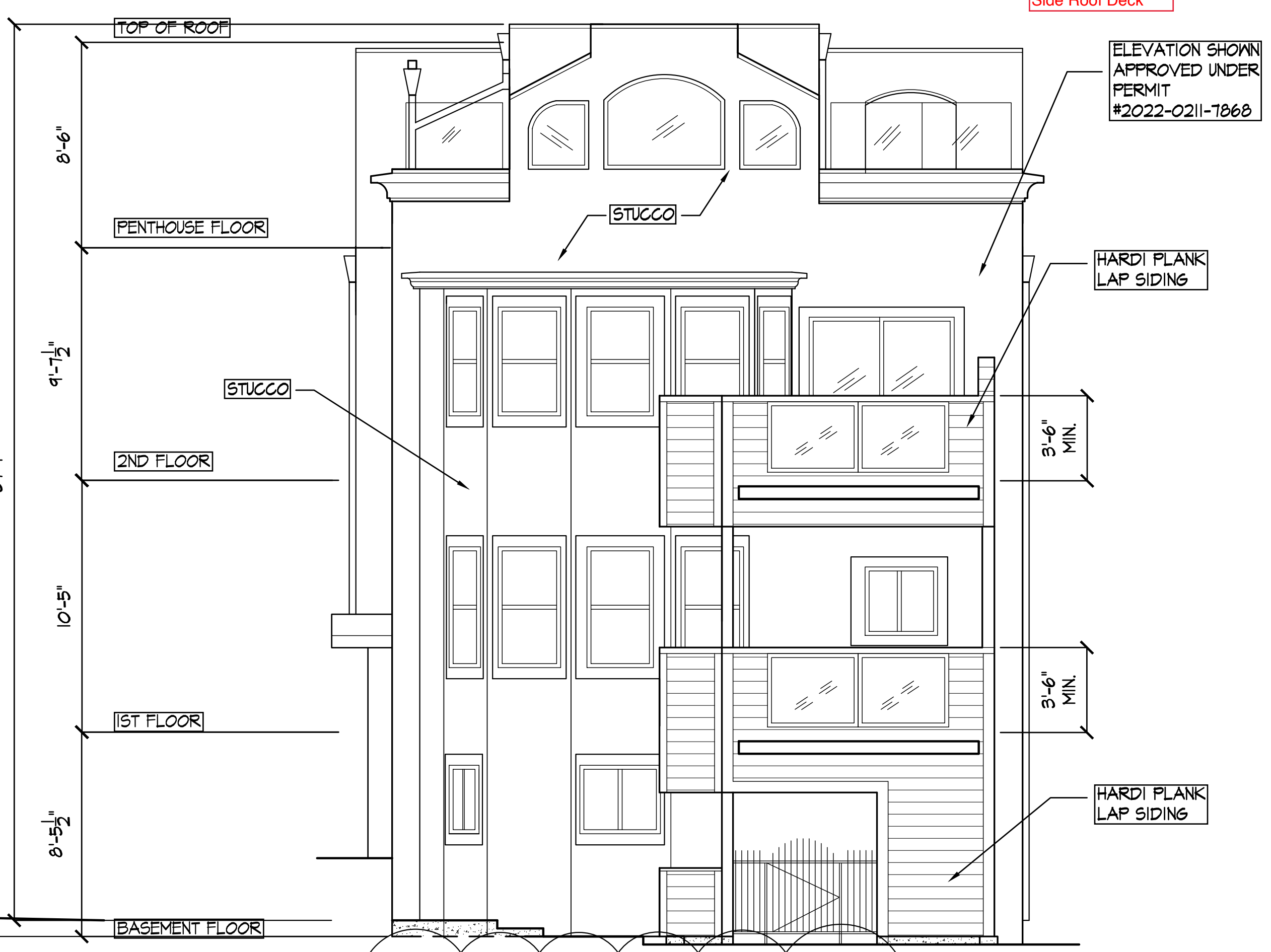
- (E) STUCCO
- (E) FABRICATED FOAM CORNICE
- (E) STONE VENEER
- (E) HARDI PLANK LAP SIDING, CEDAR MILL STYLE



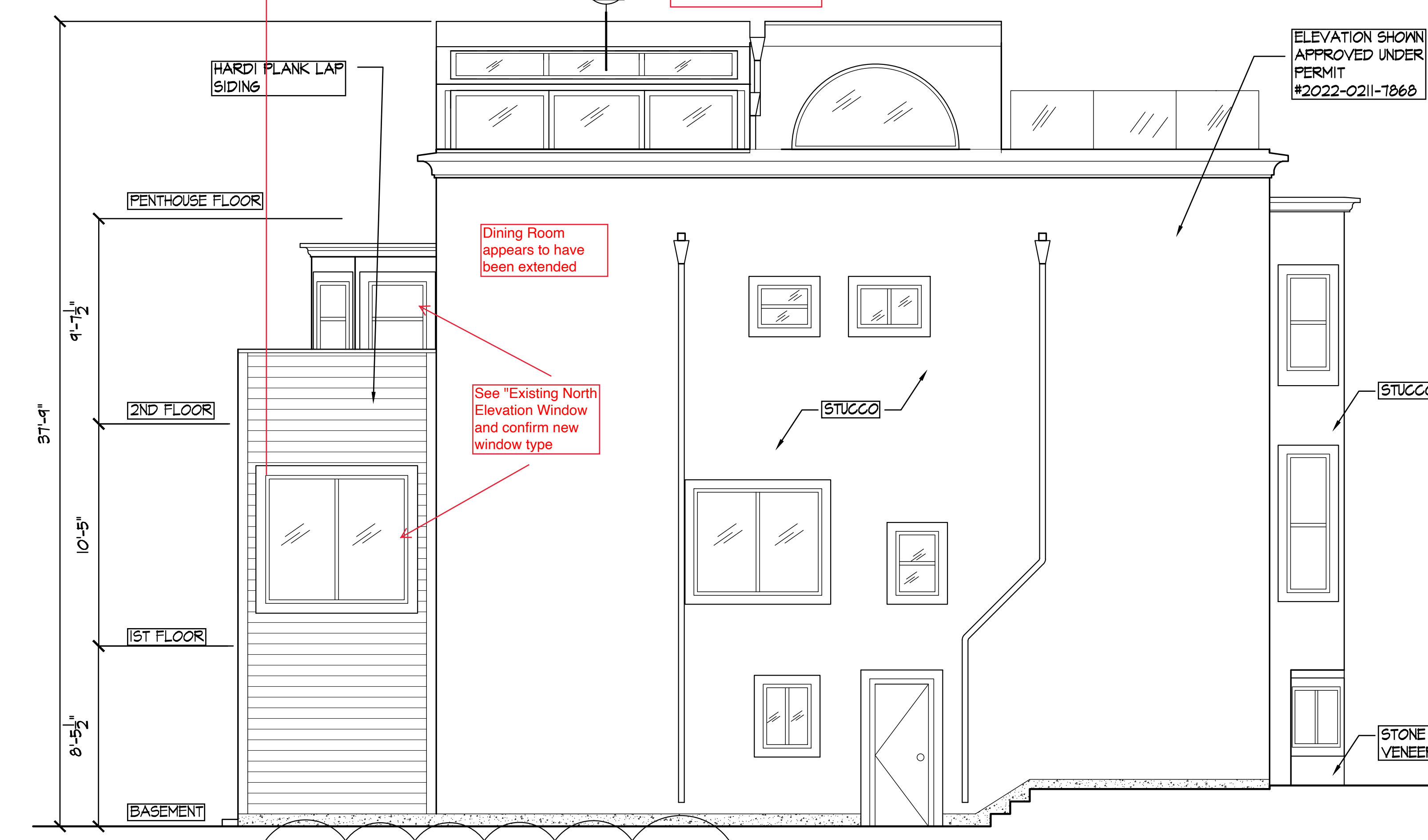
1 EXISTING EAST ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"



3 PROPOSED EAST ELEVATION
1/4" = 1'-0"



4 PROPOSED NORTH ELEVATION
1/4" = 1'-0"

ARCHITECTURE & PLANNING
611 Water U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Project Title:
SOLARIUM ADDITION
110 32ND AVE
SAN FRANCISCO

Consultants:

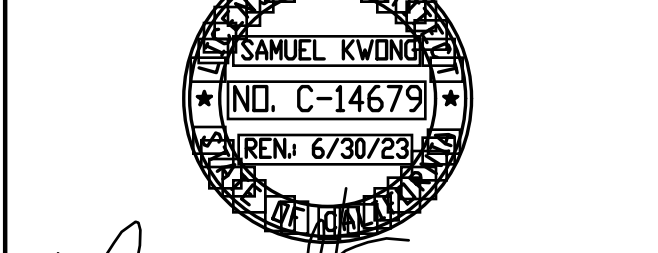
JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

Stamp:

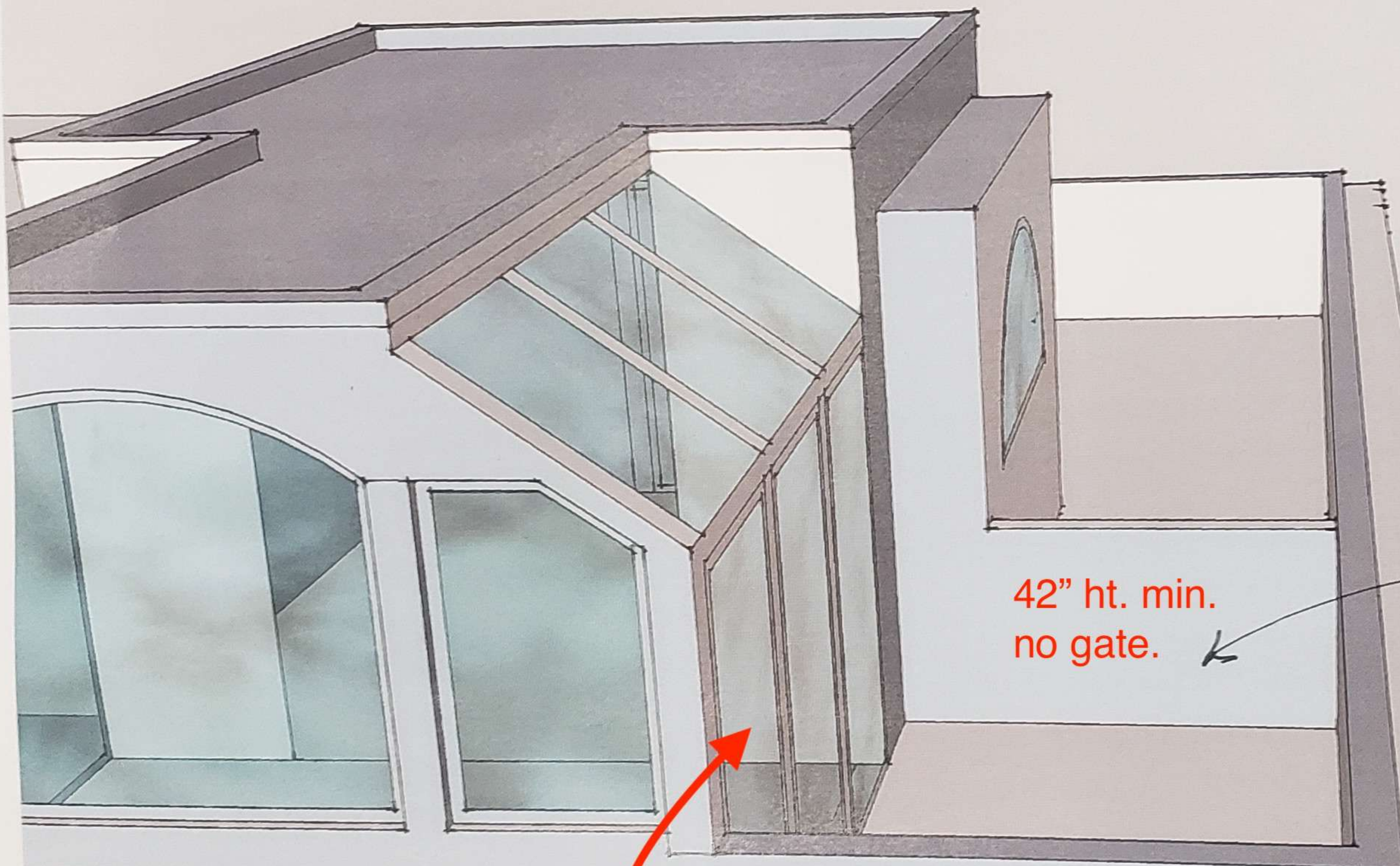


Sheet Title:

EXIST. AND PROP. EAST ELEVATIONS
EXIST. AND PROP. NORTH ELEVATIONS

Sheet No. **A-3**

SEPT 02, 2022
110 32ND AVE.



42" ht. min.
no gate. ←

ADD A SECTION
OF PARAPET
ROOF SEPARATING
MAIN ROOF
DECK FACING
WEST FROM
SMALL DECK
ON EAST SIDE

these appear to be doors!
please clarify.

NEW CORNICE







RESPONSE TO DISCRETIONARY REVIEW

Project Information

Property Address: _____ Zip Code: _____

Building Permit Application(s): _____

Record Number: _____ Discretionary Review Coordinator: _____

Project Sponsor

Name: _____ Phone: _____

Email: _____

Required Questions

1. Given the concerns of the DR requester and other concerned parties, why do you feel your proposed project should be approved? (If you are not aware of the issues of concern to the DR requester, please meet the DR requester in addition to reviewing the attached DR application.)

2. What alternatives or changes to the proposed project are you willing to make in order to address the concerns of the DR requester and other concerned parties? If you have already changed the project to meet neighborhood concerns, please explain those changes and indicate whether they were made before or after filing your application with the City.

3. If you are not willing to change the proposed project or pursue other alternatives, please state why you feel that your project would not have any adverse effect on the surrounding properties. Include an explanation of your needs for space or other personal requirements that prevent you from making the changes requested by the DR requester.

Project Features

Please provide the following information about the project for both the existing and proposed features. **Please attach an additional sheet with project features that are not included in this table.**

	EXISTING	PROPOSED
Dwelling Units (only one kitchen per unit - additional kitchens count as additional units)		
Occupied Stories (all levels with habitable rooms)		
Basement Levels (may include garage or windowless storage rooms)		
Parking Spaces (Off-Street)		
Bedrooms		
Height		
Building Depth		
Rental Value (monthly)		
Property Value		

I attest that the above information is true to the best of my knowledge.

Signature:	Date:
Printed Name:	<input type="checkbox"/> Property Owner <input type="checkbox"/> Authorized Agent

If you have any additional information that is not covered by this application, please feel free to attach additional sheets to this form.

Response to Discretionary Review

Address: 110 32nd Ave, San Francisco CA 94121

Permit Application # 2022-0329-1124

Project Background:

This permit application for a solarium addition is a renewal on an expired permit that was approved back in 2016. Construction began under the initial permit in the early part of 2022, however a neighbor filed a complaint with the Building Department and the Department found that the permit has expired and ordered all work to stop until a renewal of the permit is issued. The Planning Department then required the owner to send out neighborhood notice even though the work is the same as the original one in 2016. When the notification period ended, and we were ready to move forward with the project, a Discretionary Review was filed by a neighbor Stanford Garfinkle, owner of 855 El Camino Real. The project architect met the neighbor's agent at the site to go over their concerns. However, the demands the neighbor wanted were unreasonable.

DR Requestor's concerns:

Light and privacy to house and garden

We have provided an attachment of the shadow studies of the design with new solarium against the neighbor's structure. We studied on both during the longest and shortest days of the year looking at the shadows created. Our findings are as follows:

1. The new solarium does not impact the lighting on the neighbor's yard significantly, because the solarium footprint is smaller than the existing roof edge and the roof line of the solarium is tapered back, which allows more sunlight through to the neighbor's property.
2. When shadows occur on the neighbor's building, the major shadow is from the existing structure, not from the solarium but rather from the original structure.
3. As shown on the photos taken of the rear elevation on a sunny day of the DR requestor's house, it appears their windows are mostly covered by shades and landscaped screening. His reasoning for reducing their natural light seems illogical. Since the photograph was taken, the tree in the rear yard has been removed, so he gained considerably more natural light.

With regards to DR requestor's privacy concerns, the project sponsor is willing to install obscured glass in the existing windows on the back porch as it was before, further we are willing to remove the glass window on the top porch which will protect their privacy.

DR requestor's complaint about potential noise from the roof, we find this reason to be absurd as the roof deck was there before the solarium was designed. All the years they lived next to each other, there has never been any complaint regarding noise or privacy. Finally, the DR requestor's demand to ban the project sponsor's use of the roof deck and not have door openings on the solarium is unreasonable and not enforceable under the code.

Finally with regards to noise from the roof, the new roof deck will include new glass windscreen element around the roof parapet, therefore if there is noise, it will be directed up and not down towards the neighbor.

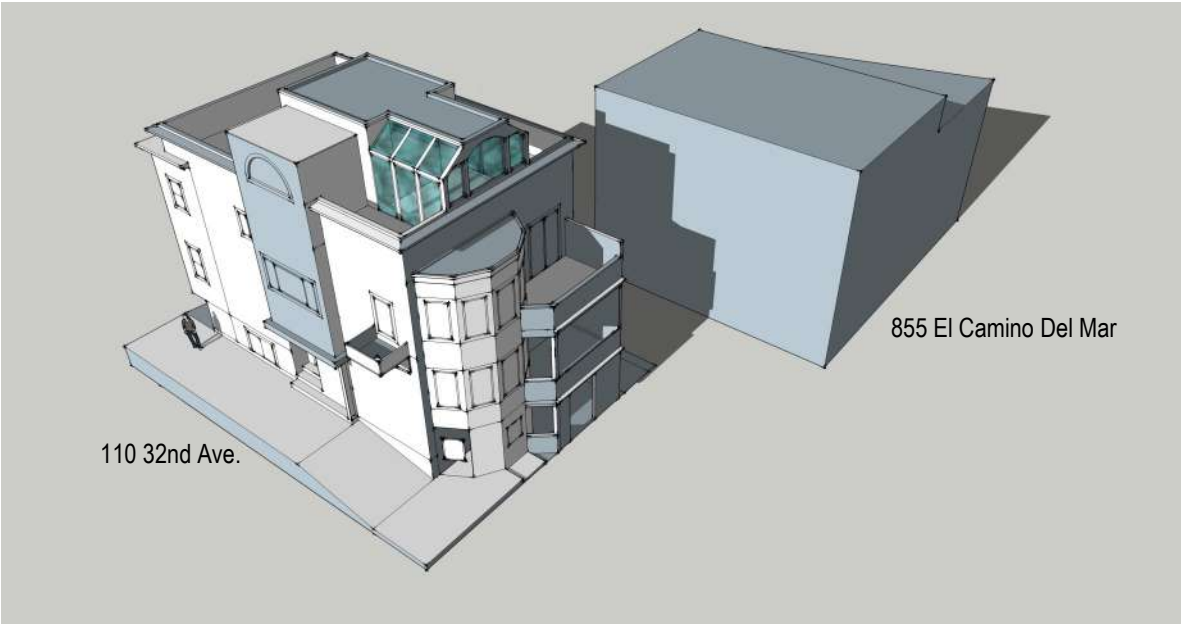
We believe the Commission should deny the applicant's Discretionary Request due to the reasoning stated above.

Shadow Study of 110 32nd Avenue and 855 El Camino Real dwellings

Subject: Discretionary Review by Sanford Garfinkel

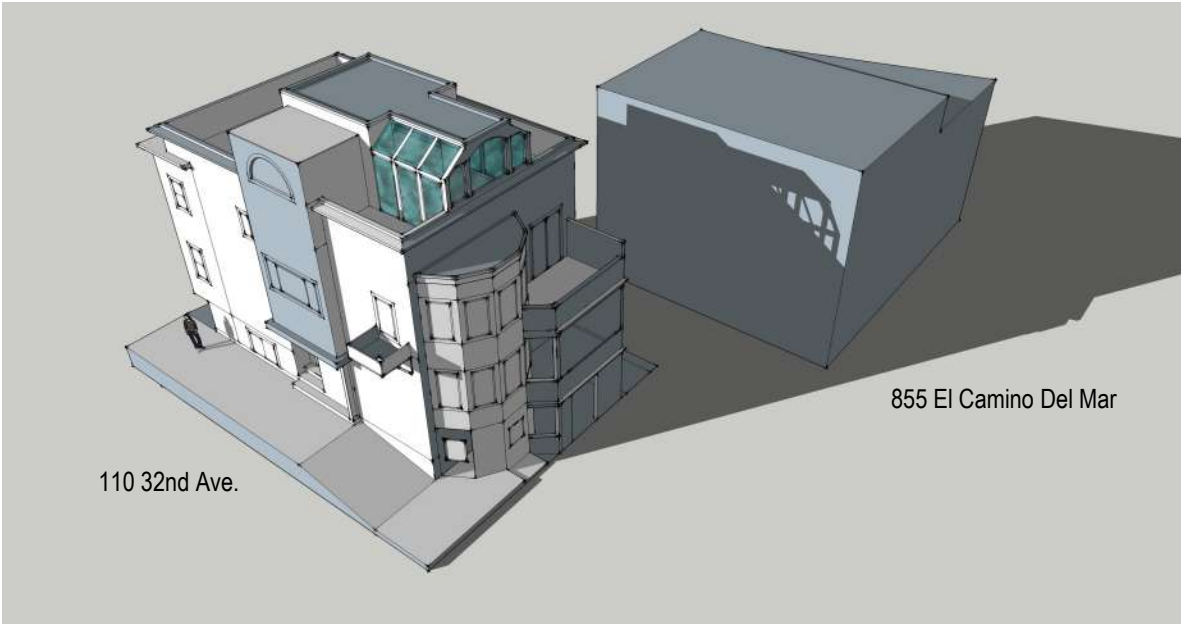
3D model and shadow analysis prepared by ARCUS Architecture and Planning

Date: October 6th 2022



Longest day of the year at noon

No shadow of solarium on neighbor's home

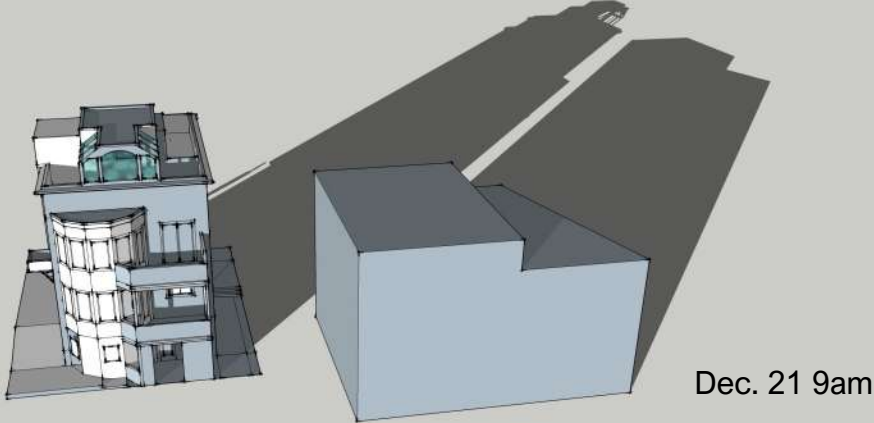


Shortest day of the year at 2pm

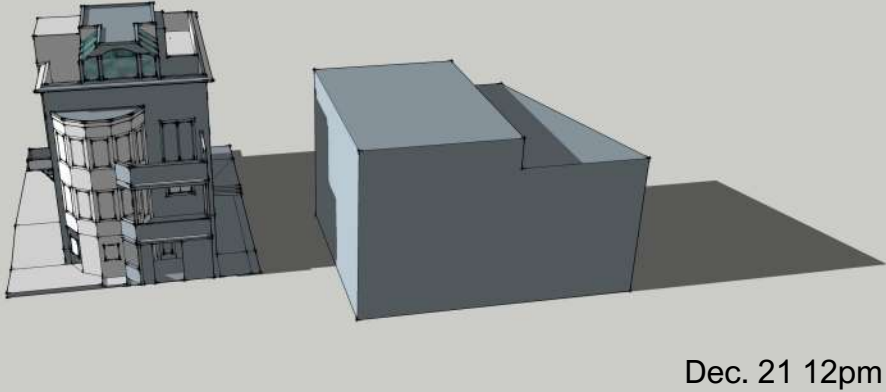
Most shadow on neighbor is from existing structure, not the solarium

Shadow Study

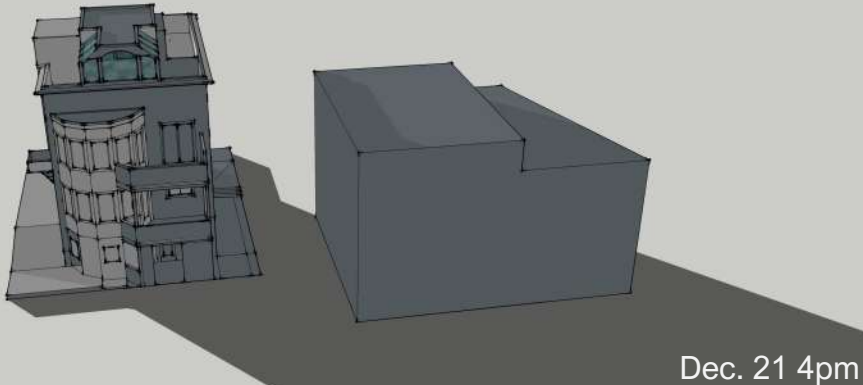
Shortest day of the year



No shadow of solarium on neighbor's home



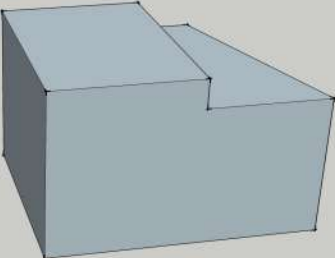
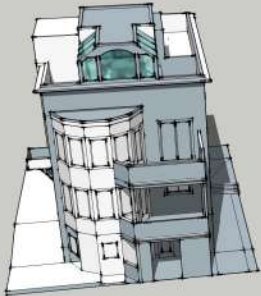
No shadow of solarium on neighbor's home. Shadow is from existing structure



All shadow on neighbor's home is from existing structure

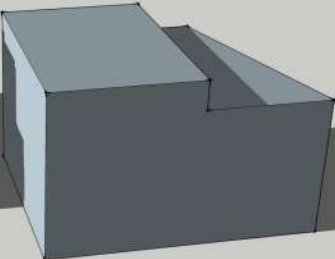
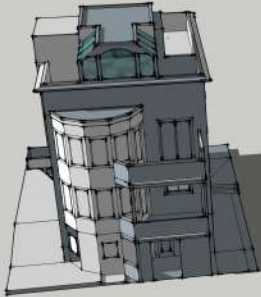
Shadow Study

Longest day of the year



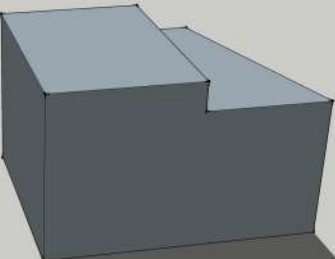
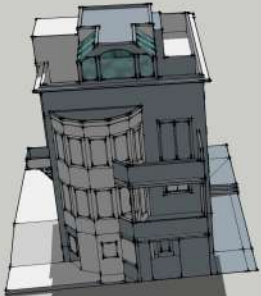
June 21 9am

No shadow of solarium on neighbor's home



June 21 12pm

No shadow of solarium on neighbor's home



June 21 4pm

No shadow of solarium on neighbor's home



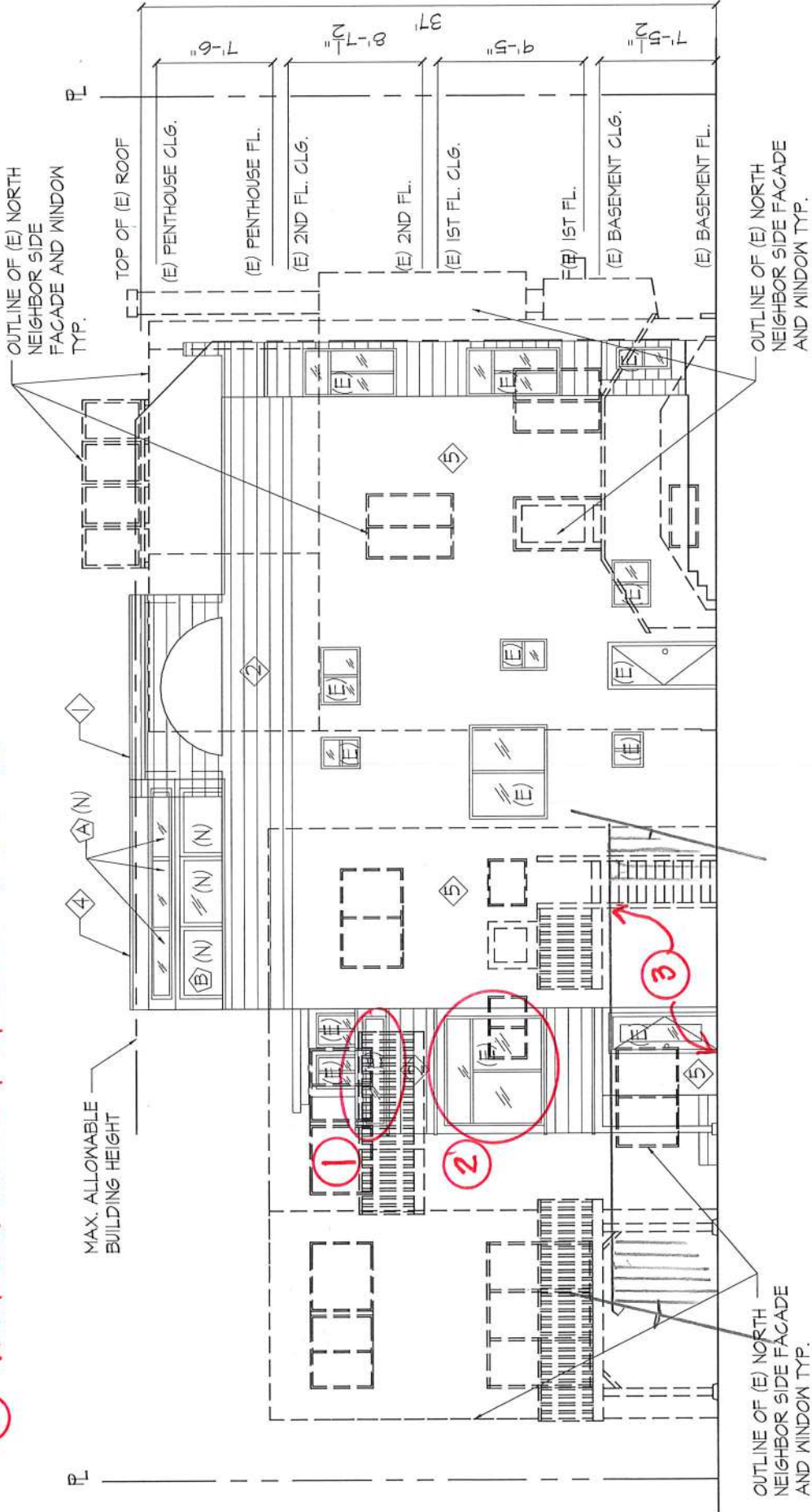
855 El Camino Real– View of rear elevation and yard



Project sponsor is willing to remove this glass window & replace with wall.

855 El Camino Real– View from rear deck of 110 32nd Ave.

- ① ELIMINATE GLASS WINDOW ON BALCONY
- ② WINDOW SHALL BE OBSCURED GLASS
- ③ EXIST. SCREENING FROM PROPERTY FENCE



PROPOSED NORTH ELEVATION (110 32ND AVE)

4

1/8" = 1'-0"

CODE INFORMATION

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 GREEN BUILDING CODE
 2019 CALIFORNIA ENERGY CODE
 2019 SAN FRANCISCO BUILDING CODE AMENDMENTS
 2019 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
 2019 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
 2019 SAN FRANCISCO PLUMBING CODE AMENDMENTS
 2019 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS

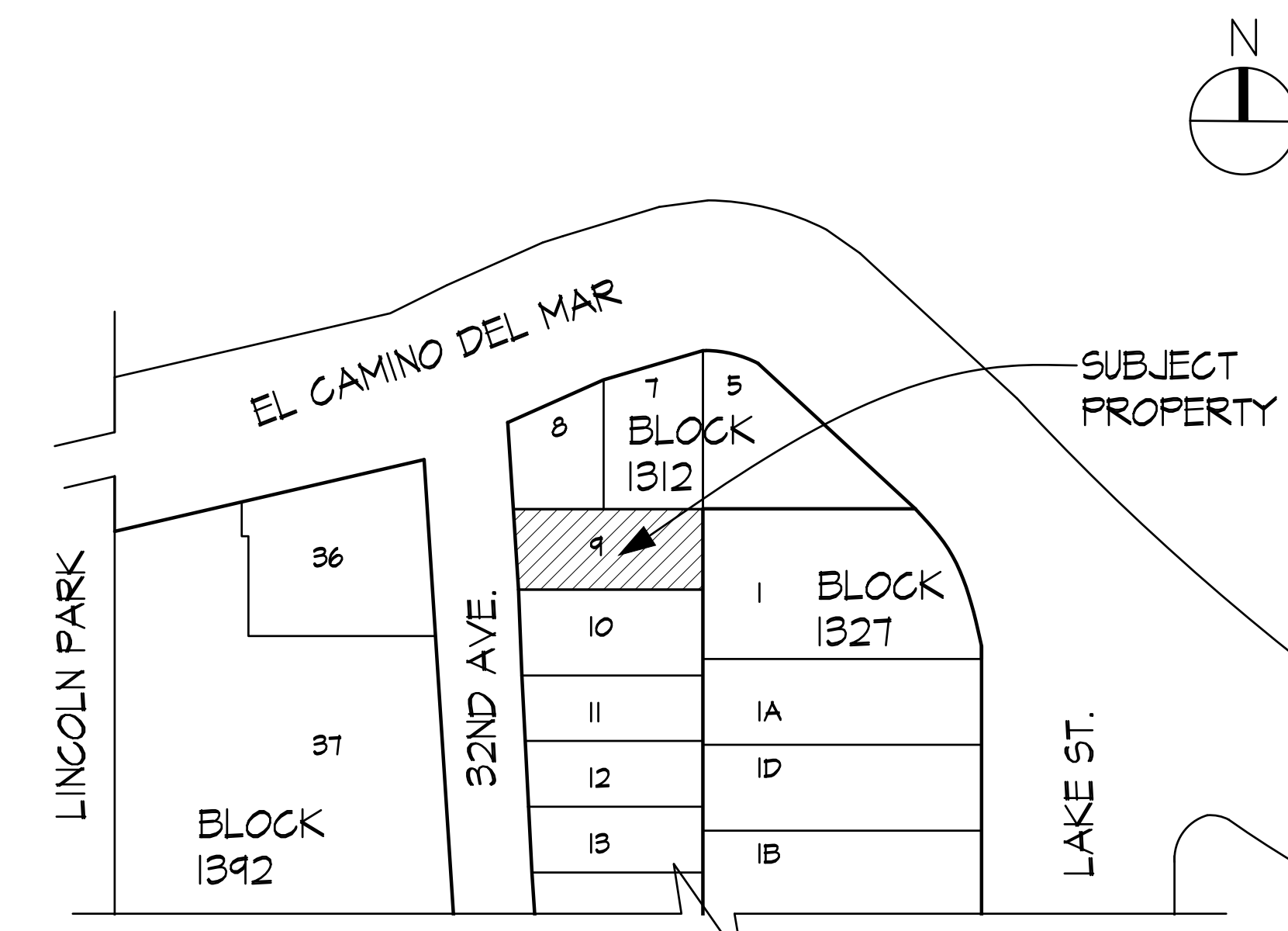
BUILDING INFORMATION

FLOOR AREA	OCCUPANCY	EXISTING AREA	(E) OCCUPANT LOAD	ADDITION AREA	TOTAL AREA	(N) OCCUPANT LOAD
DETACHED GARAGE	U	238 SF.	2	NO WORK	238 SF.	2
BASEMENT FLOOR						
STORAGE	S	548 SF.	3	NO WORK	548 SF.	3
LIVING AREA	R-3	587 SF.	3	NO WORK	587 SF.	3
FIRST FLOOR						
LIVING AREA	R-3	1,160 SF.	3	NO WORK	1,160 SF.	3
SECOND FLOOR						
LIVING AREA	R-3	1,182 SF.	6	NO WORK	1,182 SF.	6
PENTHOUSE FLOOR						
SOLARIUM	R-3	254 SF.	2	202 SF.	456 SF.	3
TOTAL		3,969 SF.	19	174 SF.	4,143 SF.	20

ADDRESS: 110 32ND AVE.
 SAN FRANCISCO CA 94121
 BLOCK: 1312 LOT: 009
 LOT AREA: 3,270 SQ. FT.
 ZONE: RH-1 (D)
 OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: V-B

VICINITY MAP

SC: N.T.S



AGENCY USE ONLY

ARCUS
 ARCHITECTURE + PLANNING
 61 Walter U Lum Pl
 3/F San Francisco
 94108-1801 CA
 U S A
 (415) 391-3313
 (Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
 SAN FRANCISCO

Consultants:

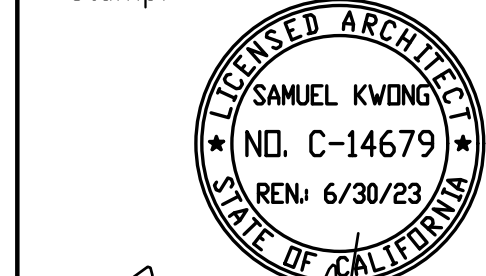
JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

Stamp:

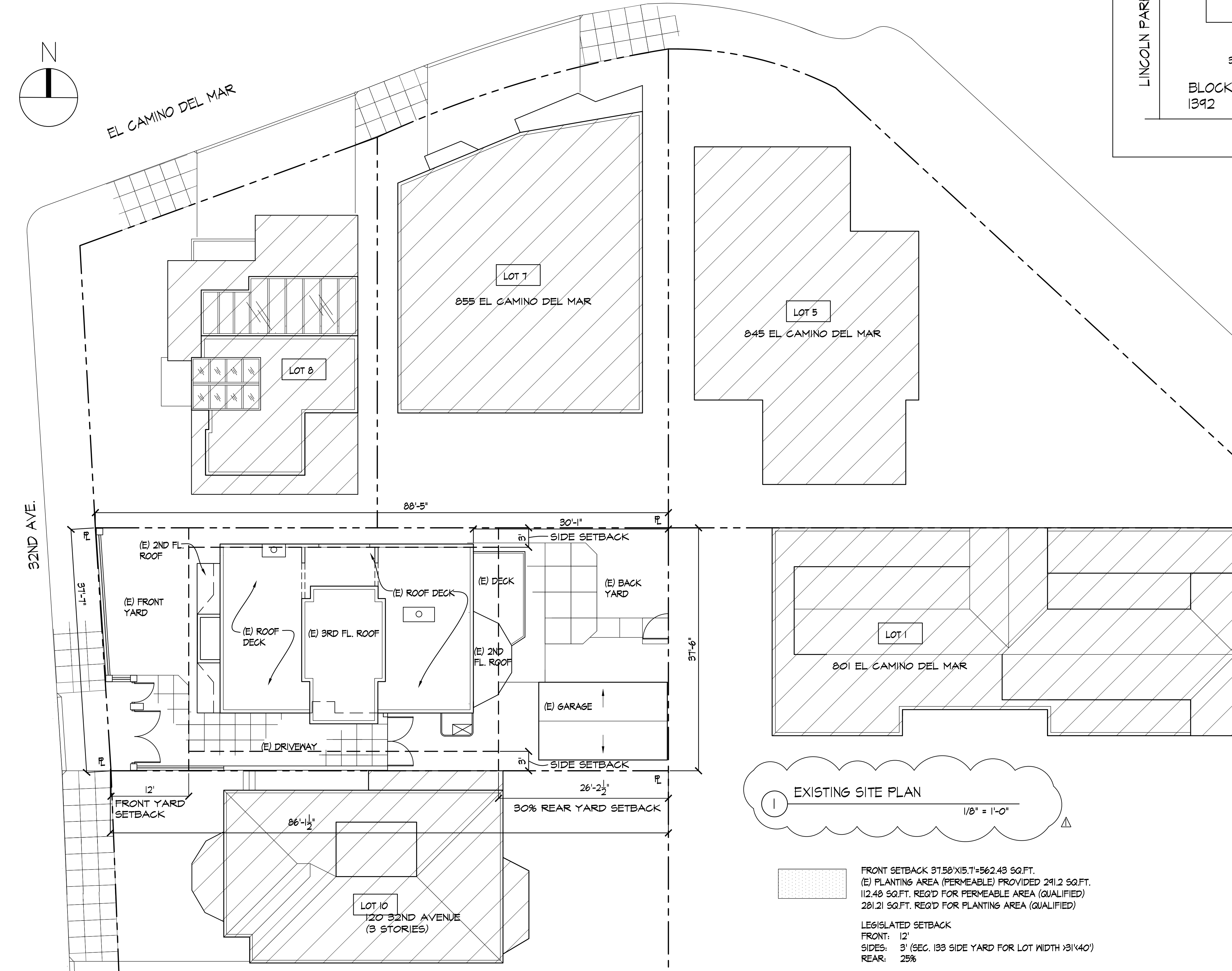
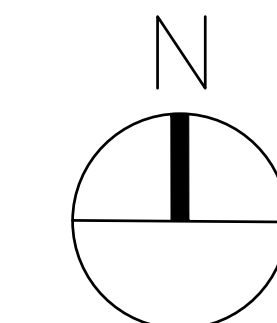


Sheet Title

EXIST. SITE PLAN, VICINITY MAP, SCOPE OF WORK, BUILDING INFO.

Sheet No.

T-1



SCHEDULE OF DRAWING

- T-1 VICINITY MAP, EXIST. SITE PLAN PLAN, BUILDING INFO., SCOPE OF WORK, CODE INFO., SCHEDULE OF DRAWINGS
- T-1.1 PROP. SITE PLAN
- A-1 EXISTING & PROPOSED FLOOR PLANS
- A-2.1 EXISTING ELEVATIONS
- A-2.2 EXISTING ELEVATIONS
- A-3 PROPOSED ELEVATIONS
- A-3.1 PROPOSED ELEVATIONS
- A-4 PROPOSED SECTIONS

SCOPE OF WORK

1. COMMENCEMENT OF PA #2016-0621-0534
2. HORIZONTAL ADDITION (SOLARIUM) AT PENTHOUSE FLOOR
3. REMOVE 2 CHIMNEYS
4. REFINISH EXISTING PENTHOUSE ROOF DECK AND REPLACE DAMAGED GUTTERS AND DOWNSPOUT

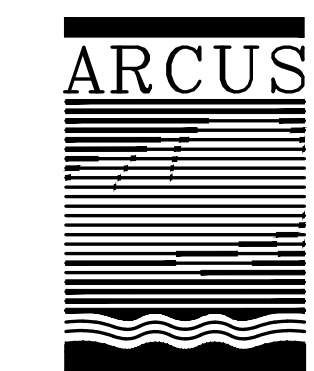
SYMBOLS & LEGEND

- EXTERIOR ELEVATION NUMBER
- SHEET NUMBER
- SECTION CUT NUMBER
- INTERIOR ELEVATION IDENTIFICATION
- DETAIL NUMBER
- SHEET NUMBER
- DETAIL NUMBER
- SHEET NUMBER
- EXTENT OF DRAWING REVISION
- REVISION NUMBER

REF PERMITS

THE FOLLOWING ARE ACTIVE PERMITS ON THE PROPERTY
 2021-0823-6921 INTERIOR REMODEL
 2022-0211-7868 FACADE ALTERATIONS
 2020-0828-2848 REPLACE FALLING STUCCO

FRONT SETBACK 37.58'X15.71'=562.43 SQ.FT.
 (E) PLANTING AREA (PERMEABLE) PROVIDED 291.2 SQ.FT.
 112.48 SQ.FT. REQ'D FOR PERMEABLE AREA (QUALIFIED)
 281.21 SQ.FT. REQ'D FOR PLANTING AREA (QUALIFIED)
 LEGISLATED SETBACK
 FRONT: 12'
 SIDES: 3' (SEC. 133 SIDE YARD FOR LOT WIDTH >31'40')
 REAR: 25%



61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:
SOLARIUM ADDITION
110 32ND AVE
SAN FRANCISCO

Consultants:

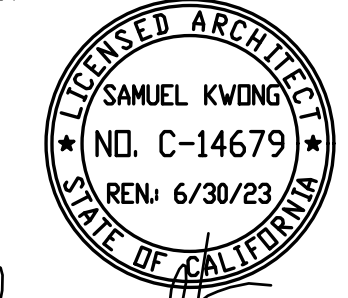
JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

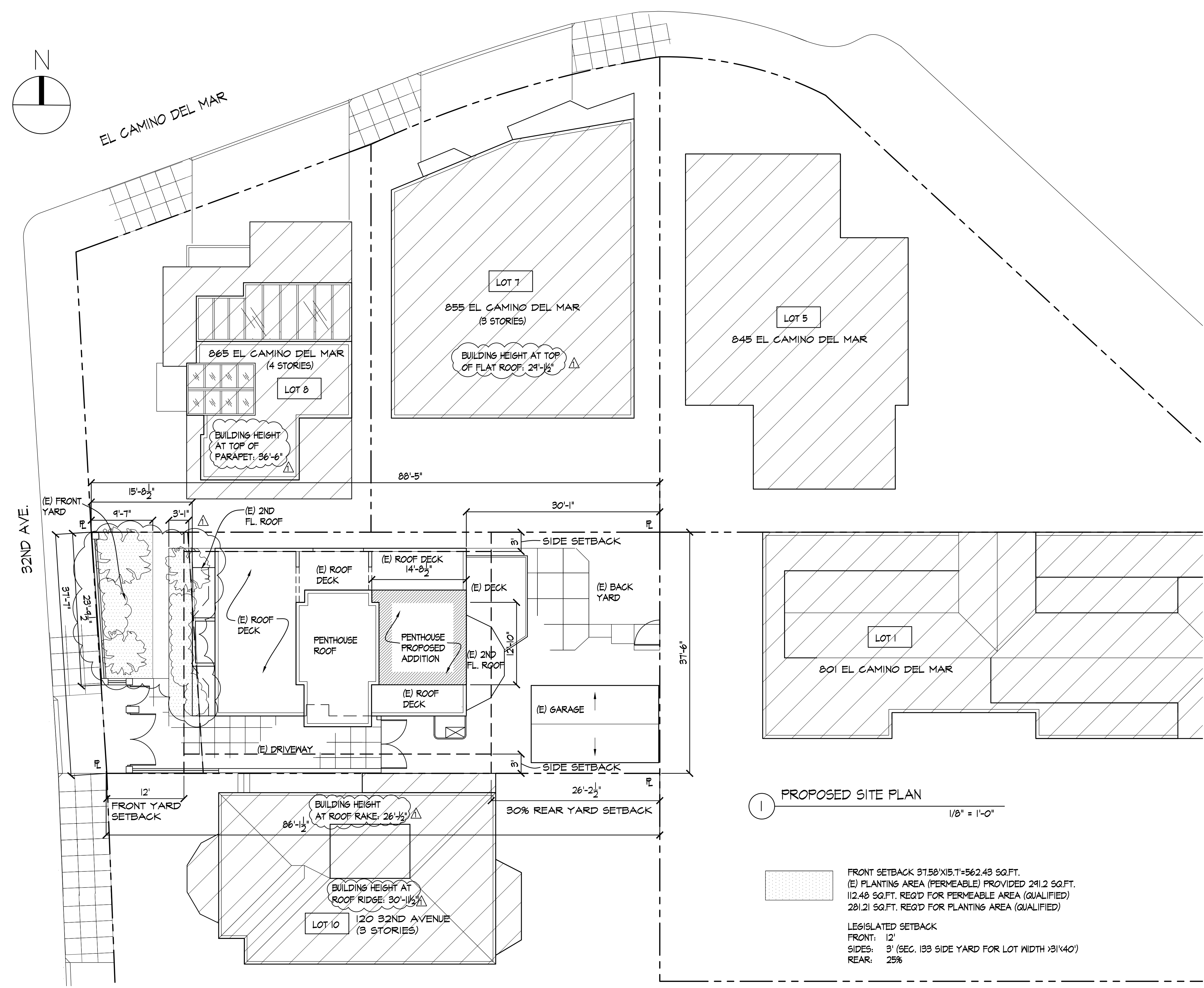
No.	Date	Description
1	7/27/22	PLANNING COMMENT

Stamp:



Sheet Title
PROPOSED SITE PLAN

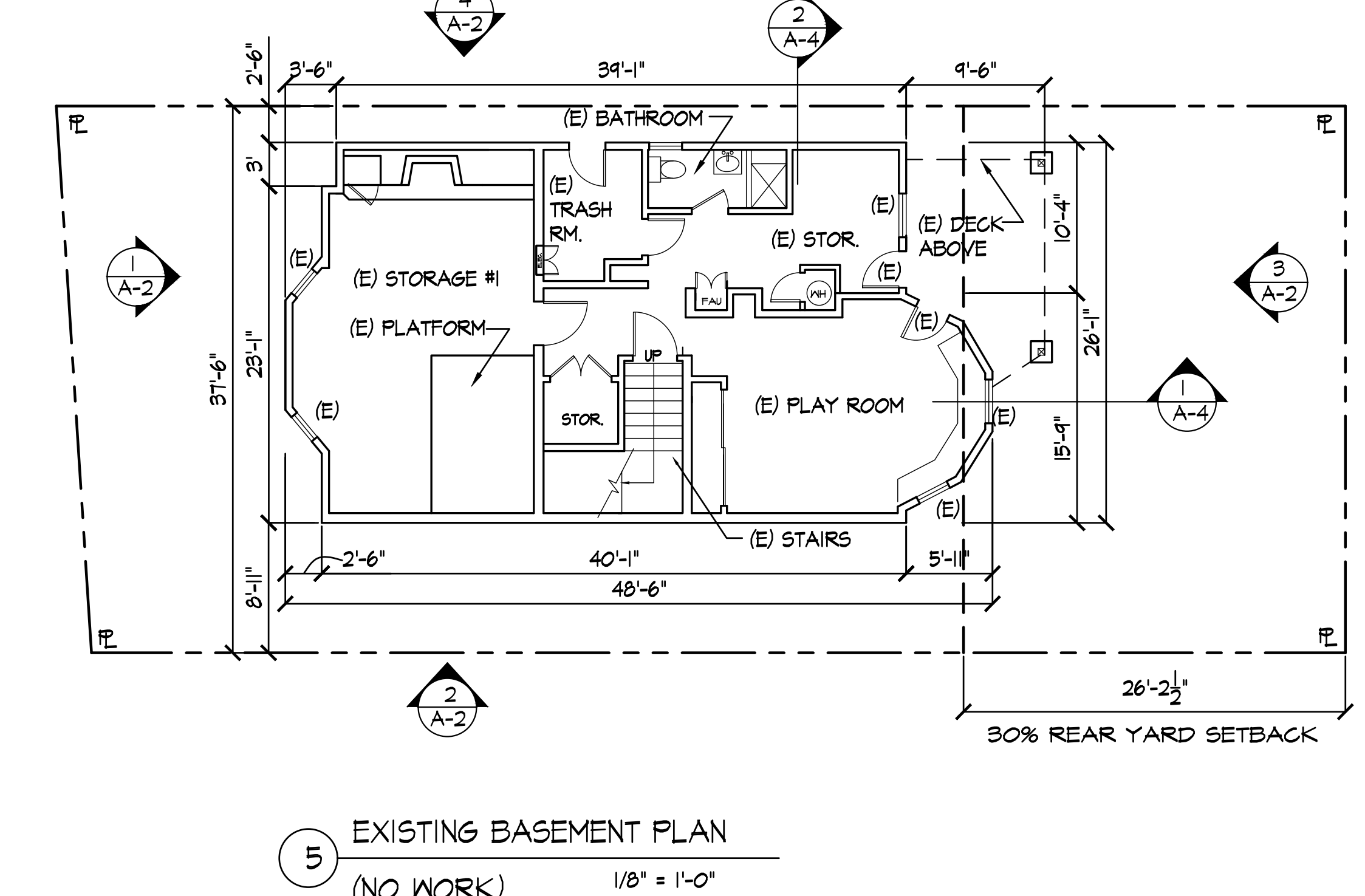
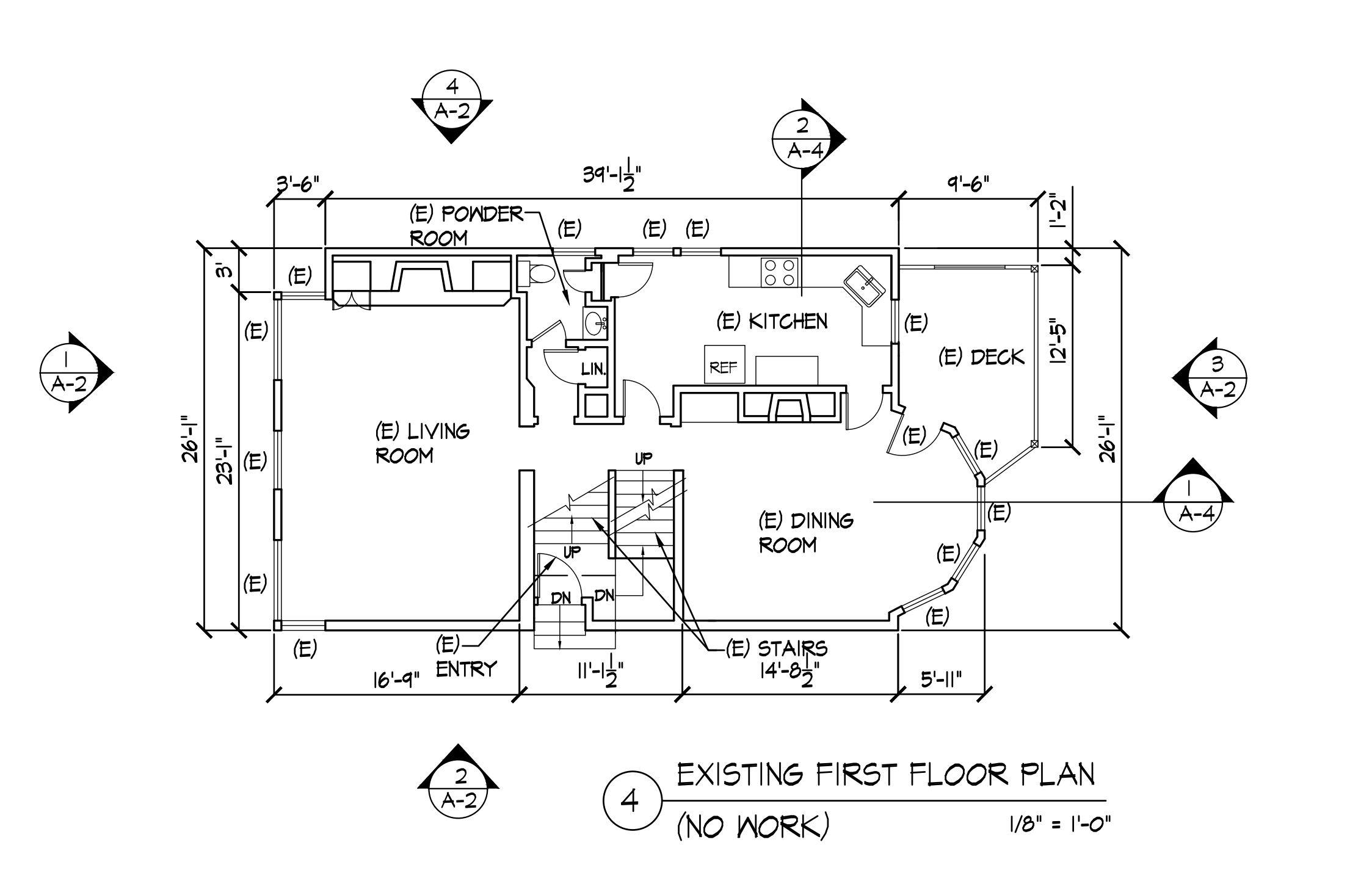
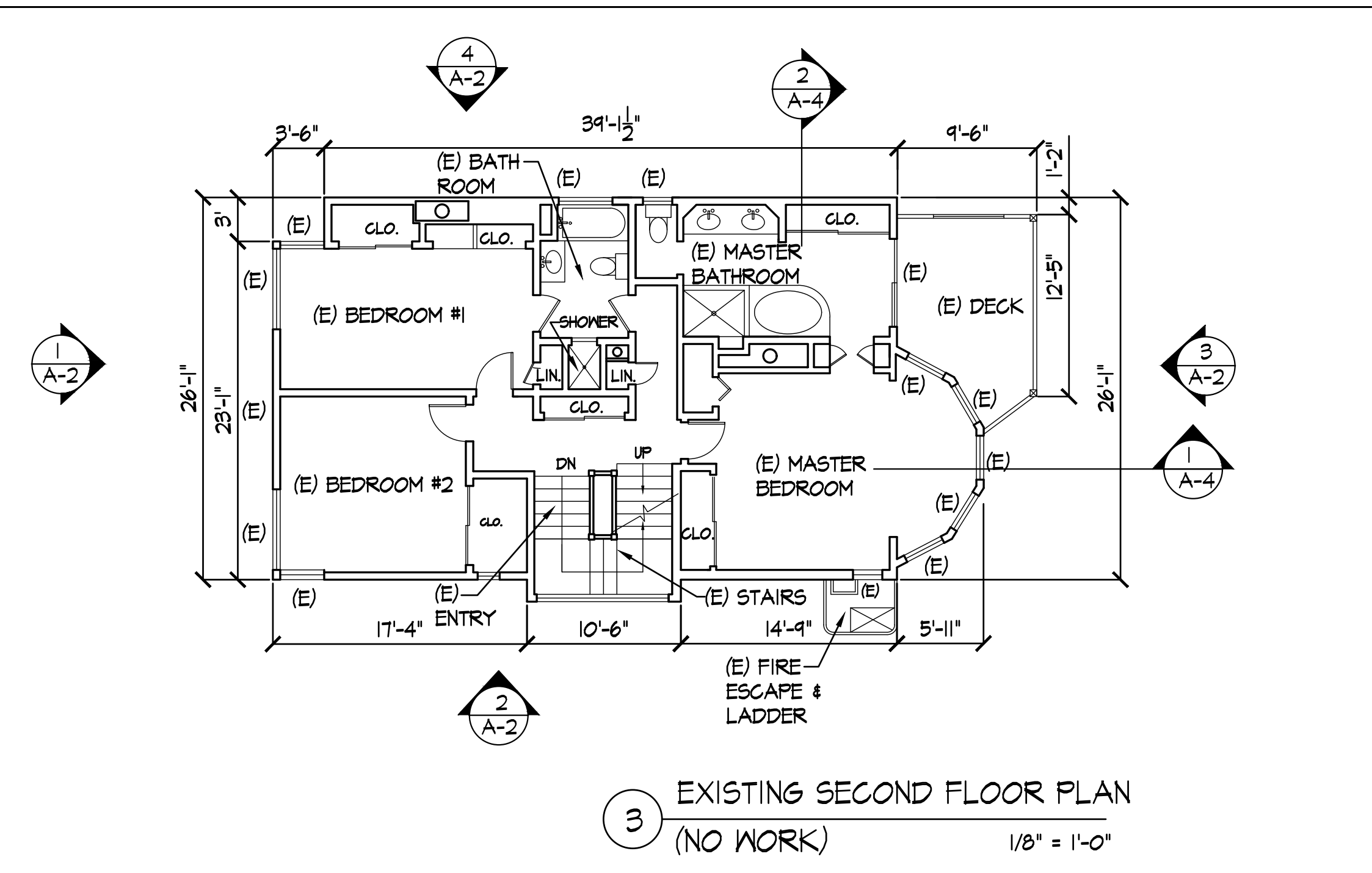
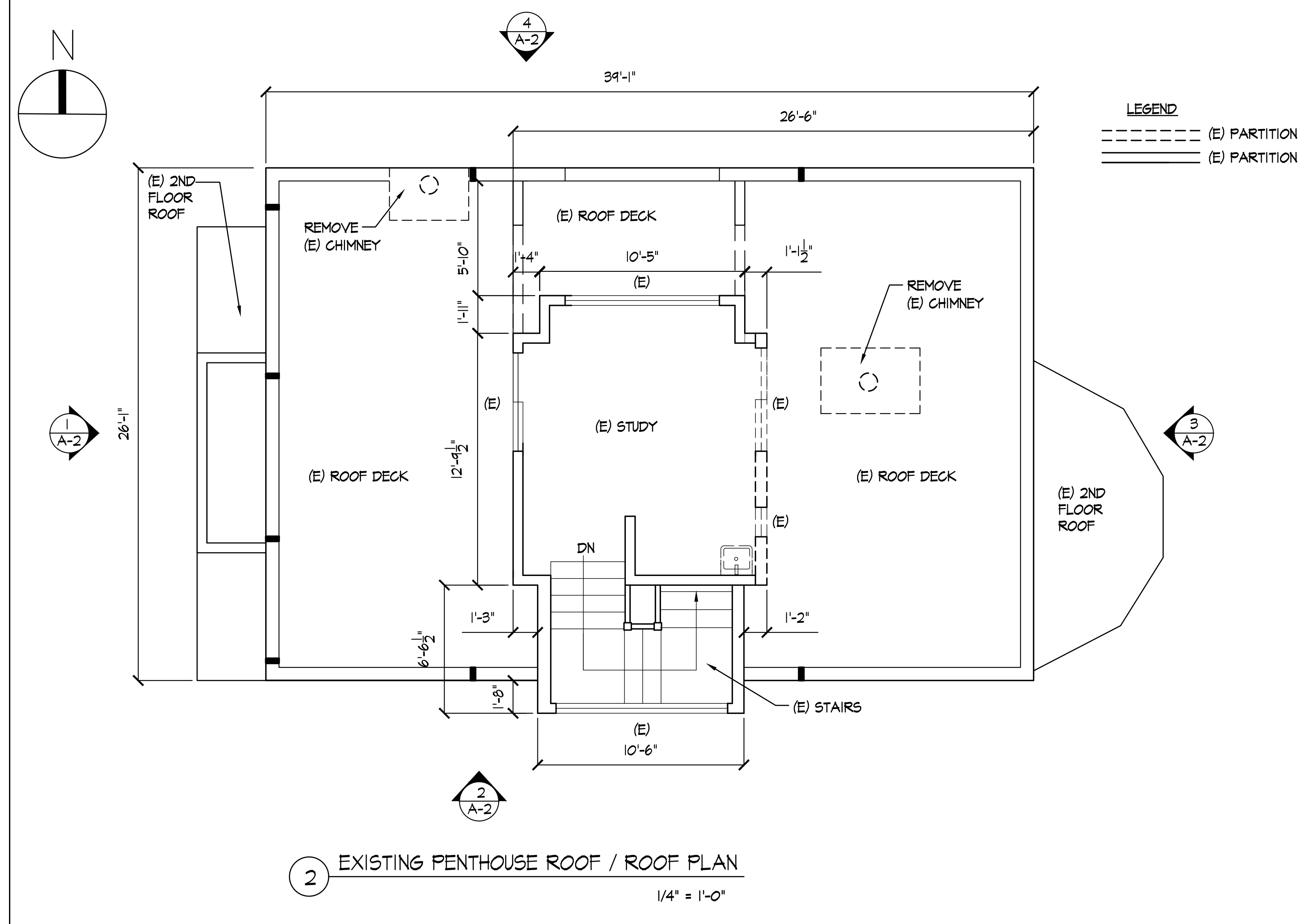
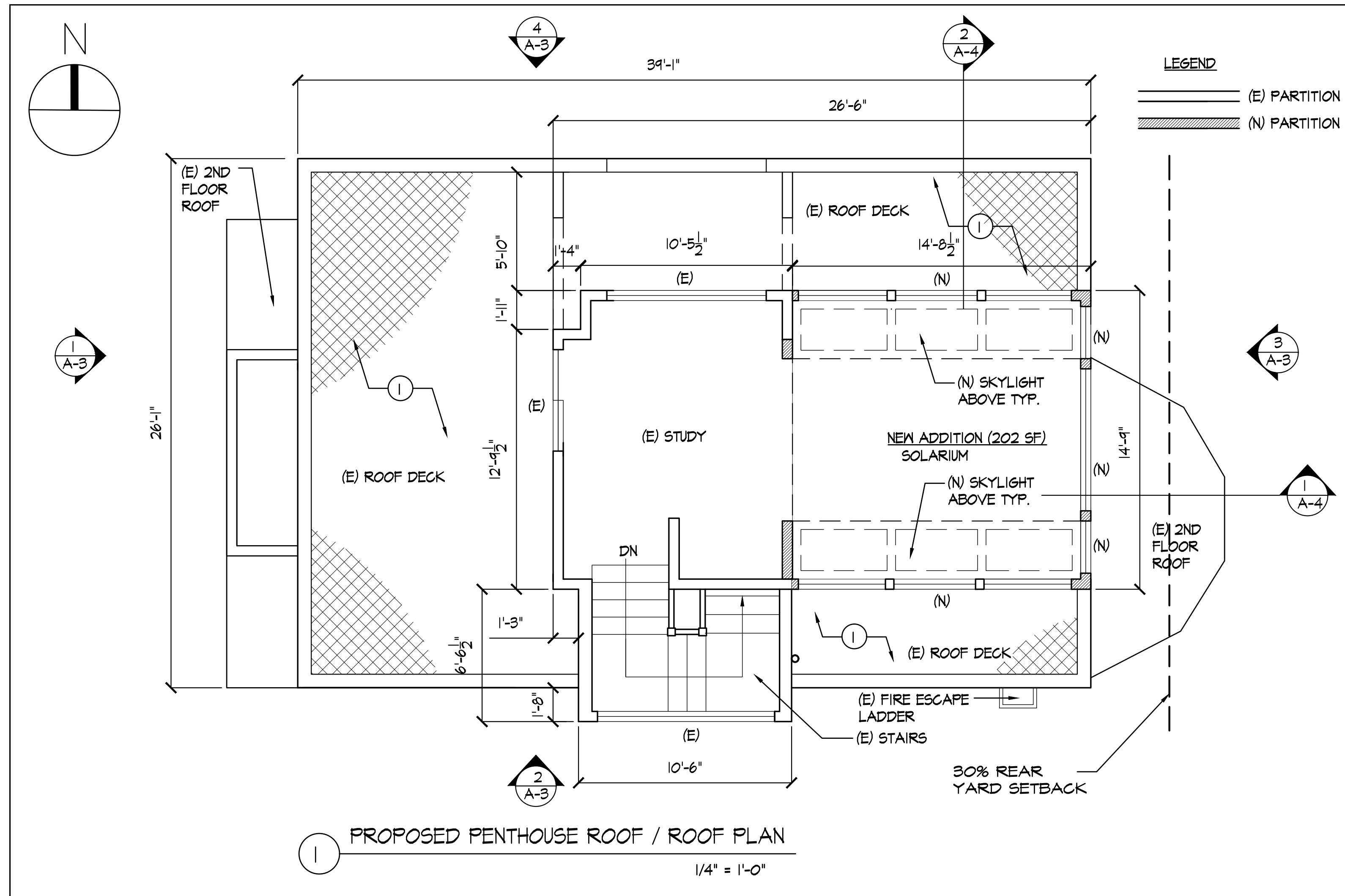
Sheet No.
T-1.1

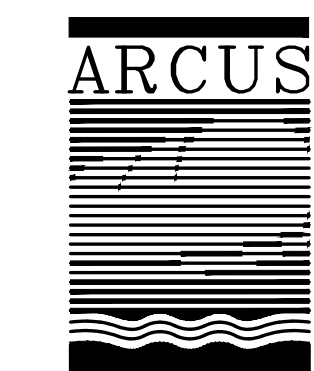


1 PROPOSED SITE PLAN
1/8" = 1'-0"

FRONT SETBACK 31.58' X 15.71' = 562.43 SQ.FT.
 (E) PLANTING AREA (PERMEABLE) PROVIDED 241.2 SQ.FT.
 112.40 SQ.FT. REQ'D FOR PERMEABLE AREA (QUALIFIED)
 281.21 SQ.FT. REQ'D FOR PLANTING AREA (QUALIFIED)

LEGISLATED SETBACK
 FRONT: 12'
 SIDES: 3' (SEC. 133 SIDE YARD FOR LOT WIDTH >31'x40')
 REAR: 25%





61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
SAN FRANCISCO

Consultants:

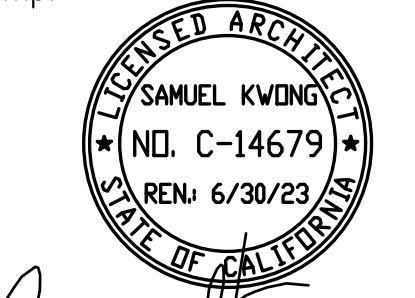
JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

Stamp:



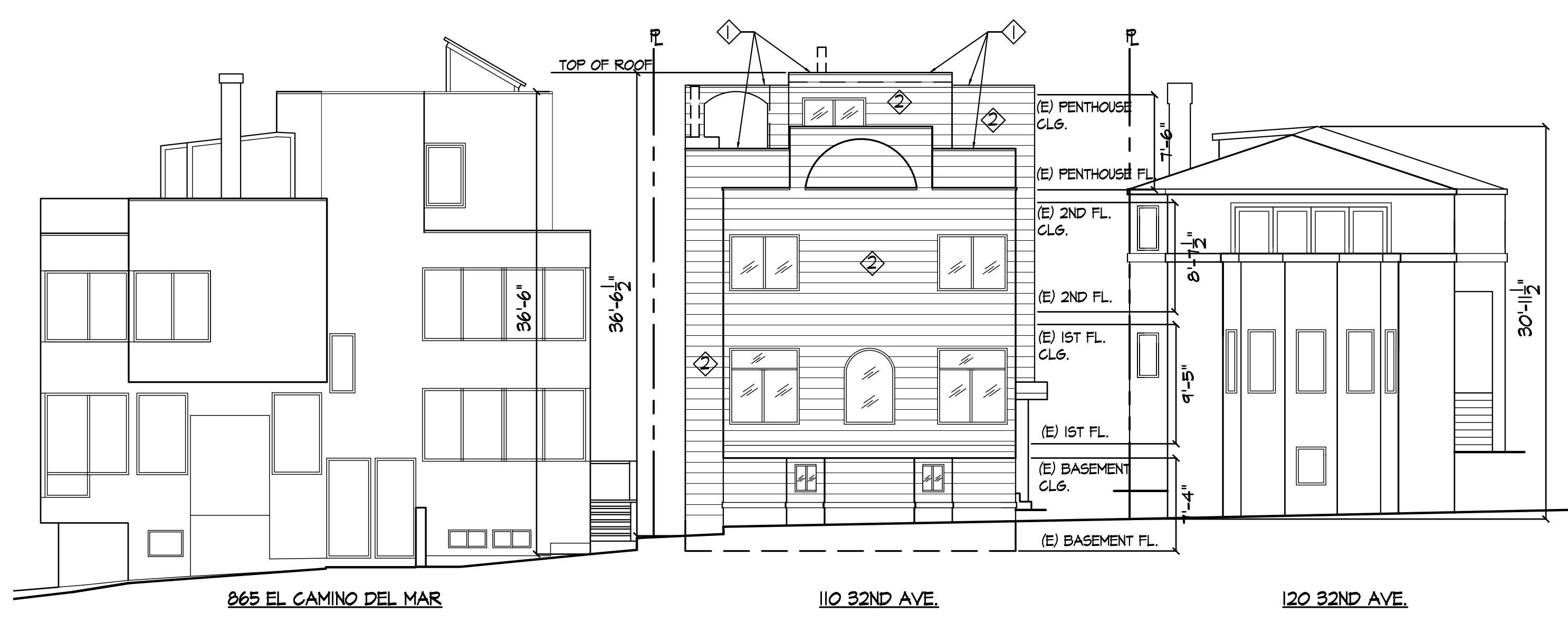
Samuel Kwong

Sheet Title

EXIST. AND PROP.
WEST ELEVATIONS
EXIST. AND PROP.
SOUTH ELEVATIONS

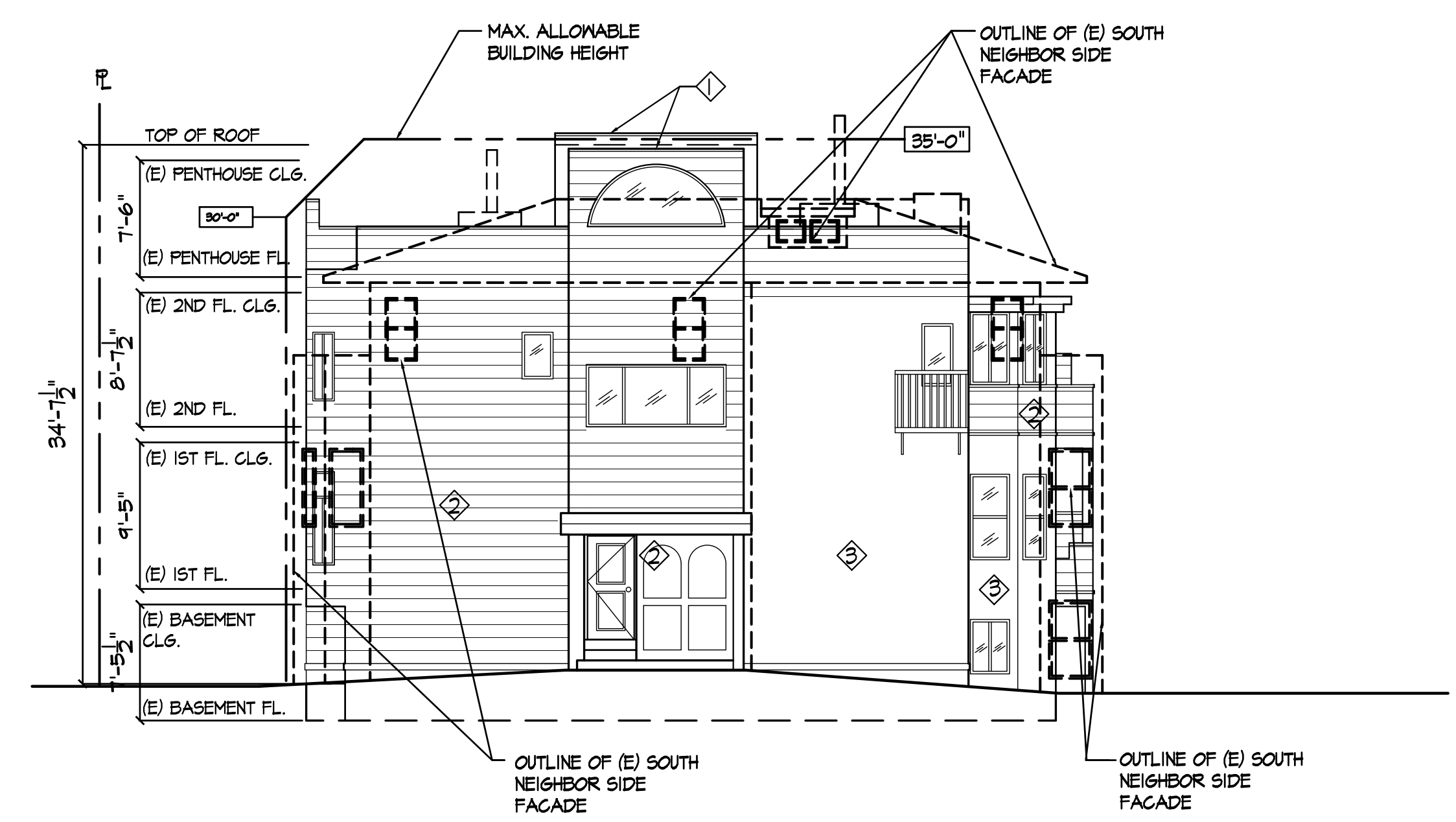
Sheet No.

A-21



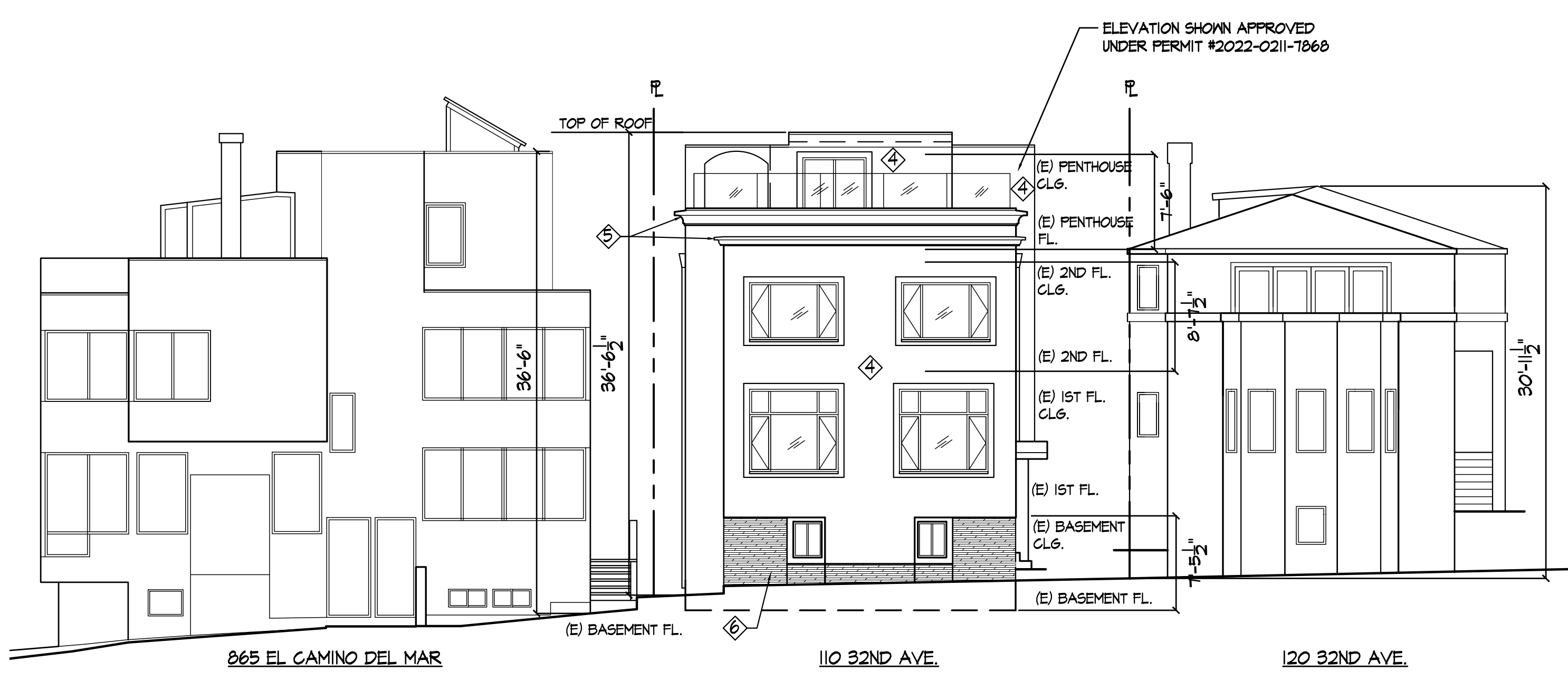
1 EXISTING WEST ELEVATION

1/8" = 1'-0"



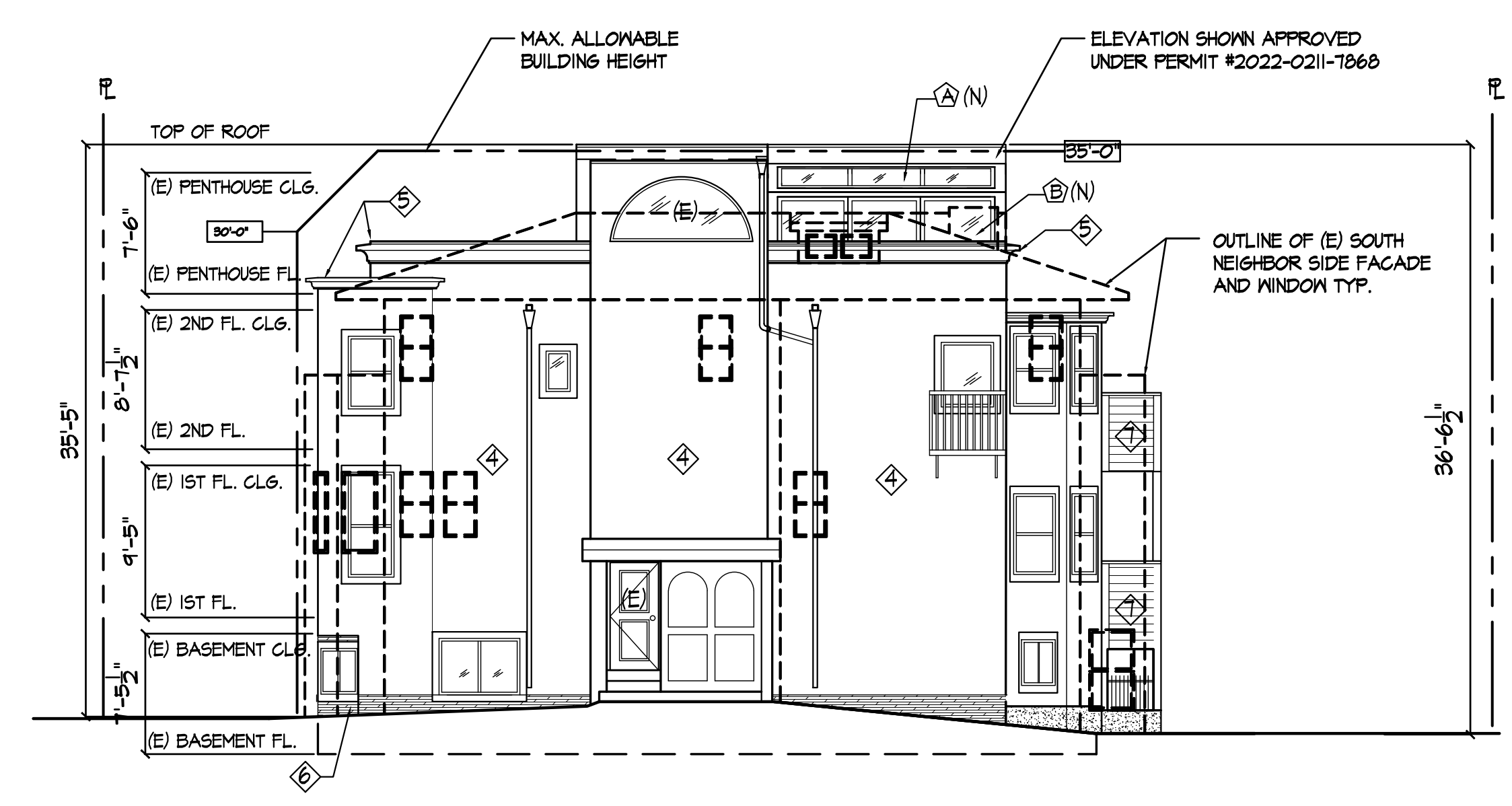
2 EXISTING SOUTH ELEVATION

1/8" = 1'-0"



3 PROPOSED WEST ELEVATION

1/8" = 1'-0"



4 PROPOSED SOUTH ELEVATION

1/8" = 1'-0"

EXIST. BUILDING MATERIAL

- ◇ (E) WALL CAP TYP.
- ◇ (E) HORIZONTAL WOOD SIDING TYP.
- ◇ (E) CEMENT PLASTER

BUILDING MATERIAL APPROVED UNDER PERMIT #2022-0211-1868

- ◇ (E) STUCCO
- ◇ (E) FABRICATED FOAM CORNICE
- ◇ (E) STONE VENEER
- ◇ (E) HARDI PLANK LAP SIDING, CEDAR MILL STYLE

Copyright 2022. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

**SOLARIUM
 ADDITION**

110 32ND AVE
 SAN FRANCISCO

Consultants:

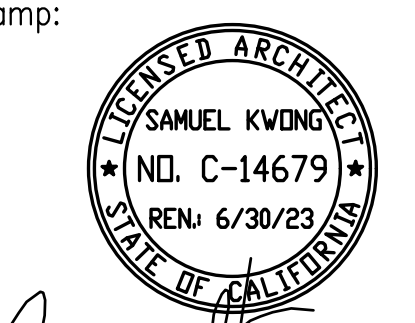
JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

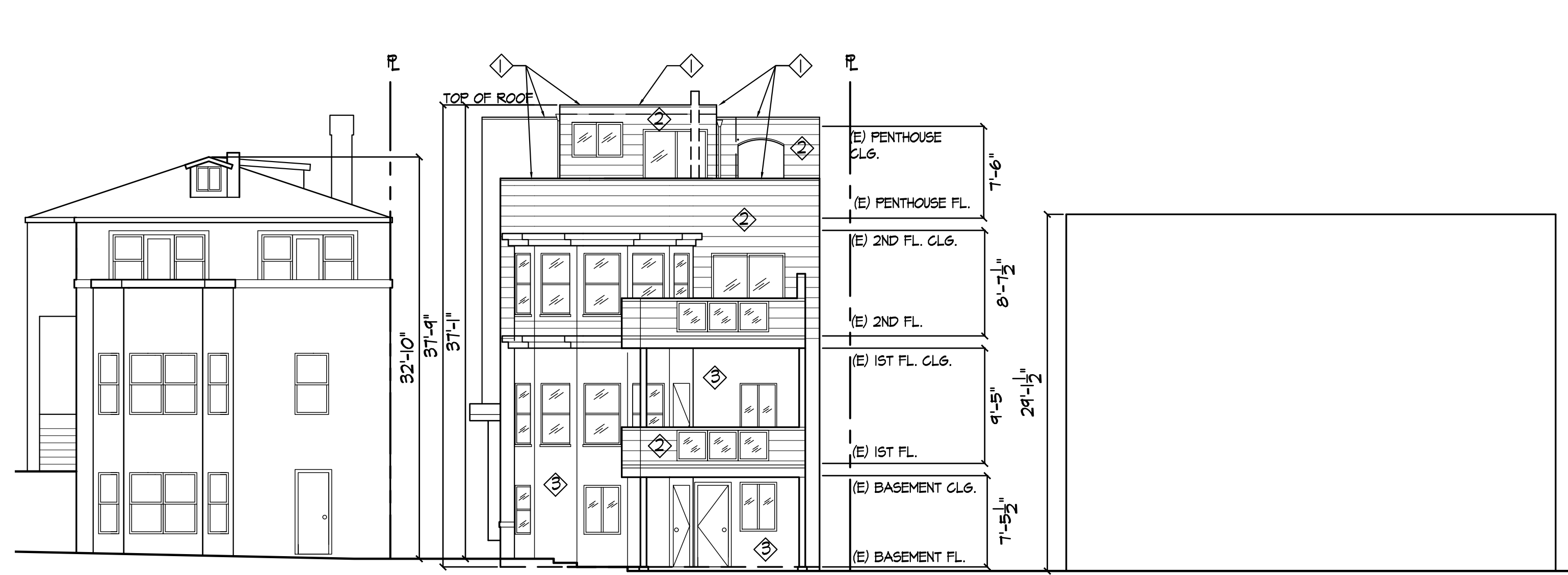
Stamp:



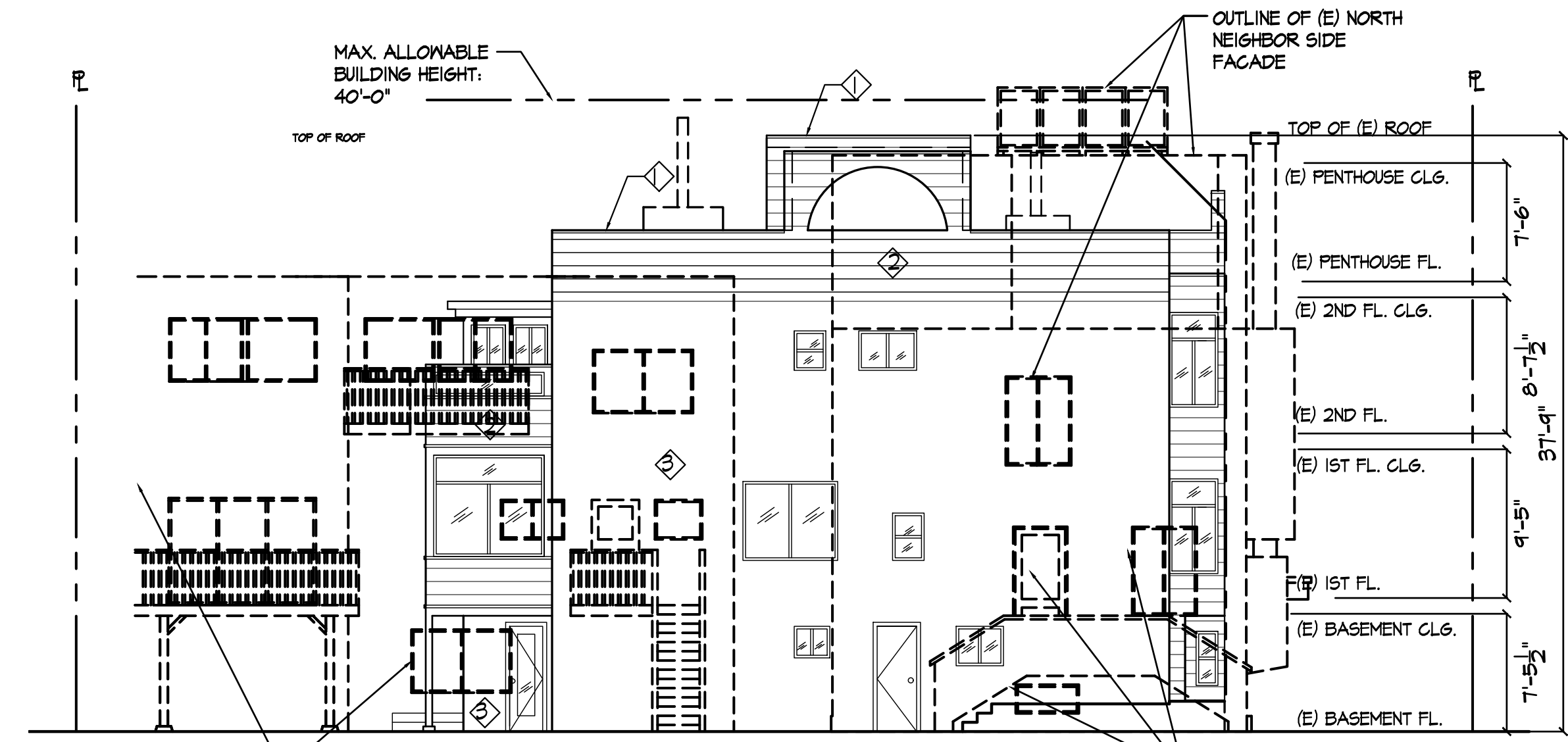
Samuel Kwong

Sheet Title
**EXIST. AND PROP.
 EAST ELEV. PLANS
 EXIST. AND PROP.
 NORTH ELEV. PLANS**

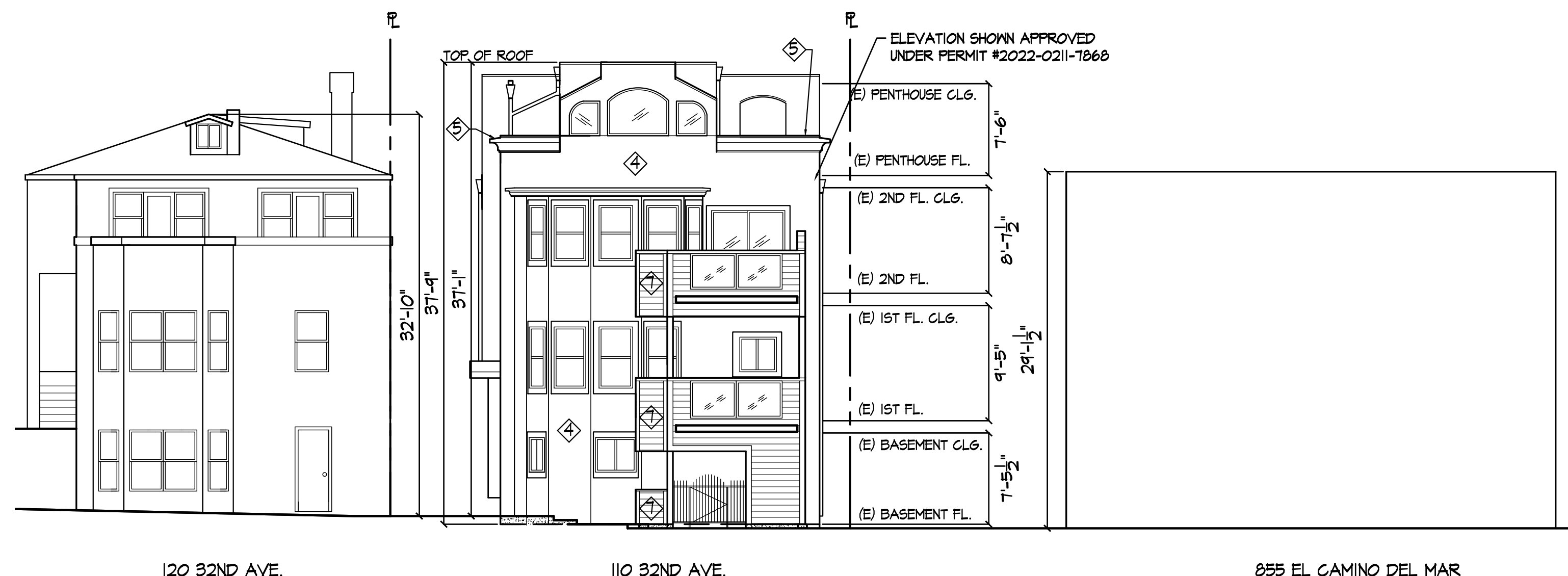
Sheet No.
A-2.2



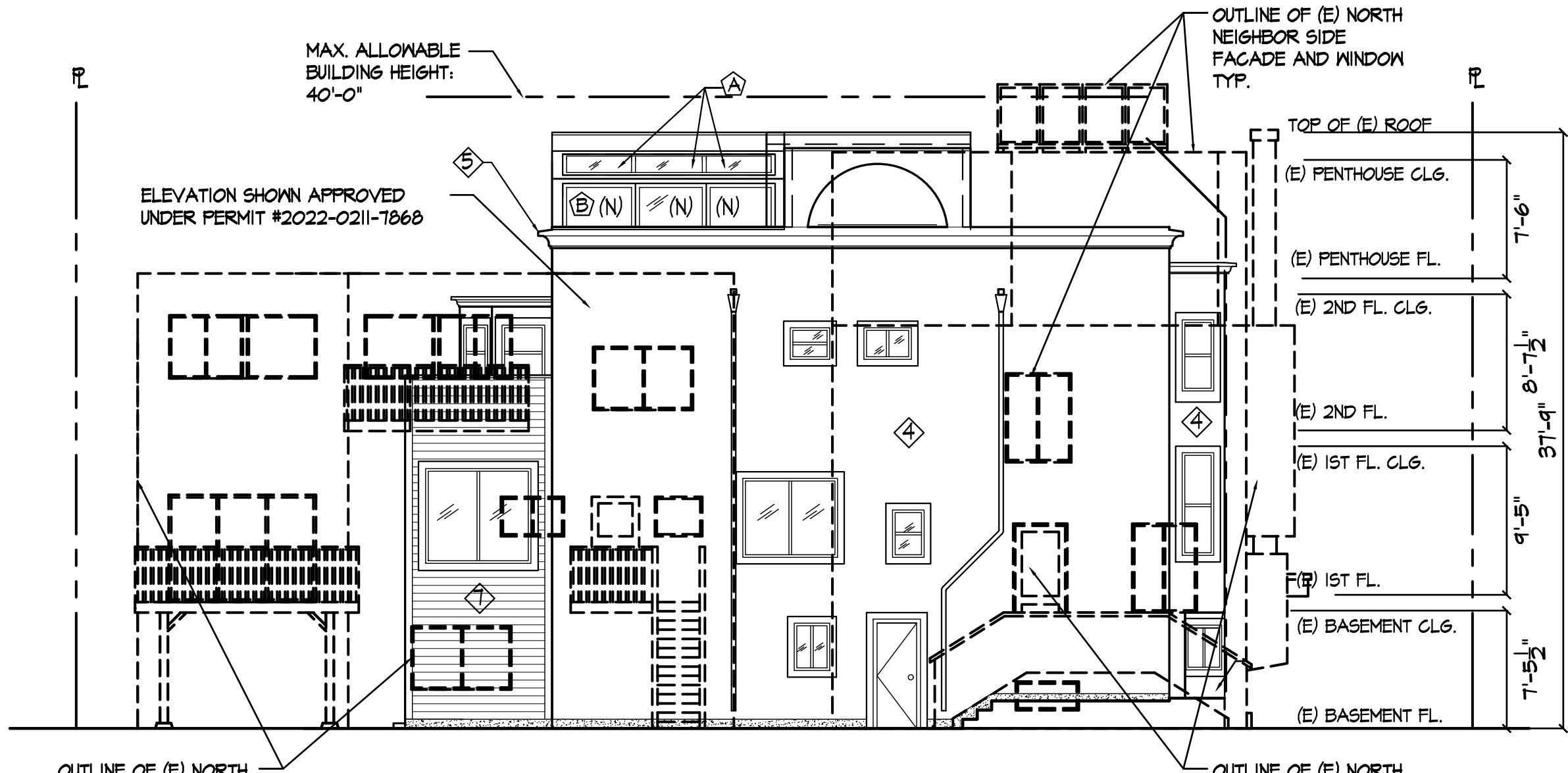
1 EXISTING EAST ELEVATION
 1/8" = 1'-0"



2 EXISTING NORTH ELEVATION
 1/8" = 1'-0"



3 PROPOSED SOUTH ELEVATION
 1/8" = 1'-0"



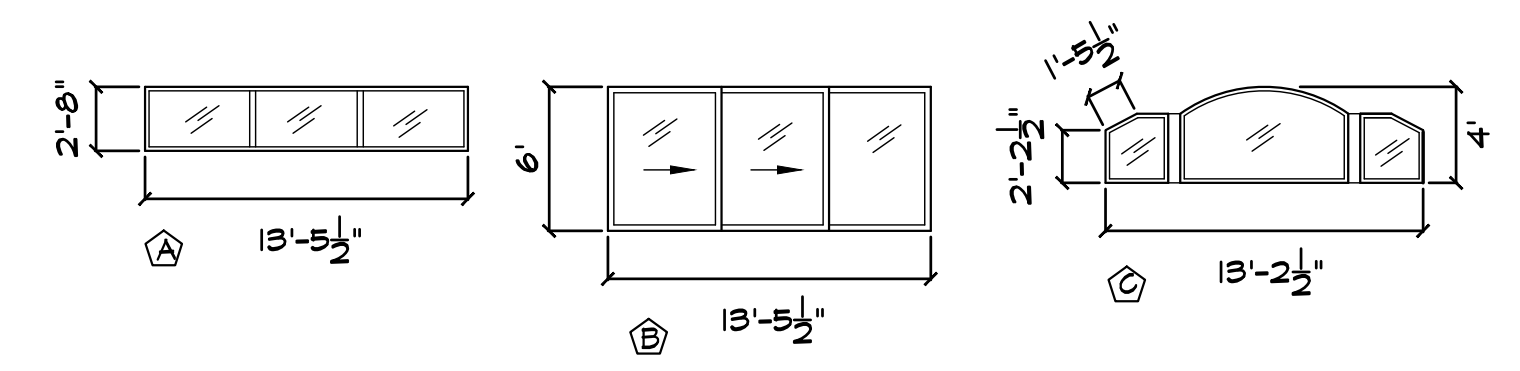
4 PROPOSED NORTH ELEVATION
 1/8" = 1'-0"

WINDOW SCHEDULE

TAG	SIZE (WXH)	STYLE	MATERIAL	REMARKS
A	13'-5 1/2" X 2'-8"	FIXED	ALUMINUM FRAME COLOR TO MATCH EXIST.	
B	13'-5 1/2" X 6'-0"	SLIDER		
C	13'-2 1/2" X 4'-0"	FIXED		TEMP.

ALL EXISTING WINDOWS: ALUMINUM FRAME

WINDOW STYLE



EXIST. BUILDING MATERIAL

- ◊ (E) WALL CAP TYP.
- ◊ (E) HORIZONTAL WOOD SIDING TYP.
- ◊ (E) CEMENT PLASTER

BUILDING MATERIAL APPROVED UNDER PERMIT #2022-0211-1868

- ◊ (E) STUCCO
- ◊ (E) FABRICATED FOAM CORNICE
- ◊ (E) STONE VENEER
- ◊ (E) HARDI PLANK LAP SIDING, CEDAR MILL STYLE

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:
SOLARIUM ADDITION
 110 32ND AVE
 SAN FRANCISCO

Consultants:

JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

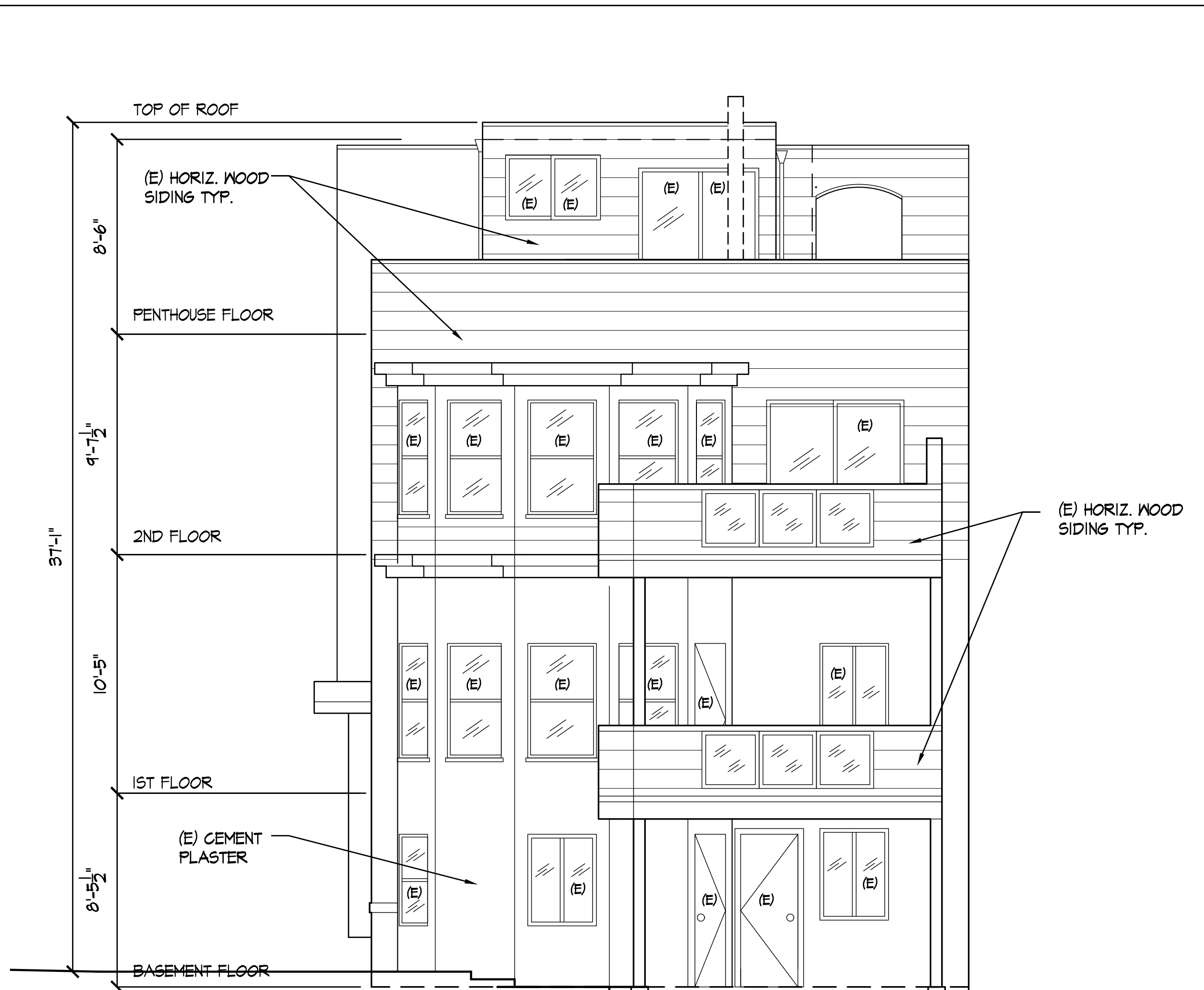
ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

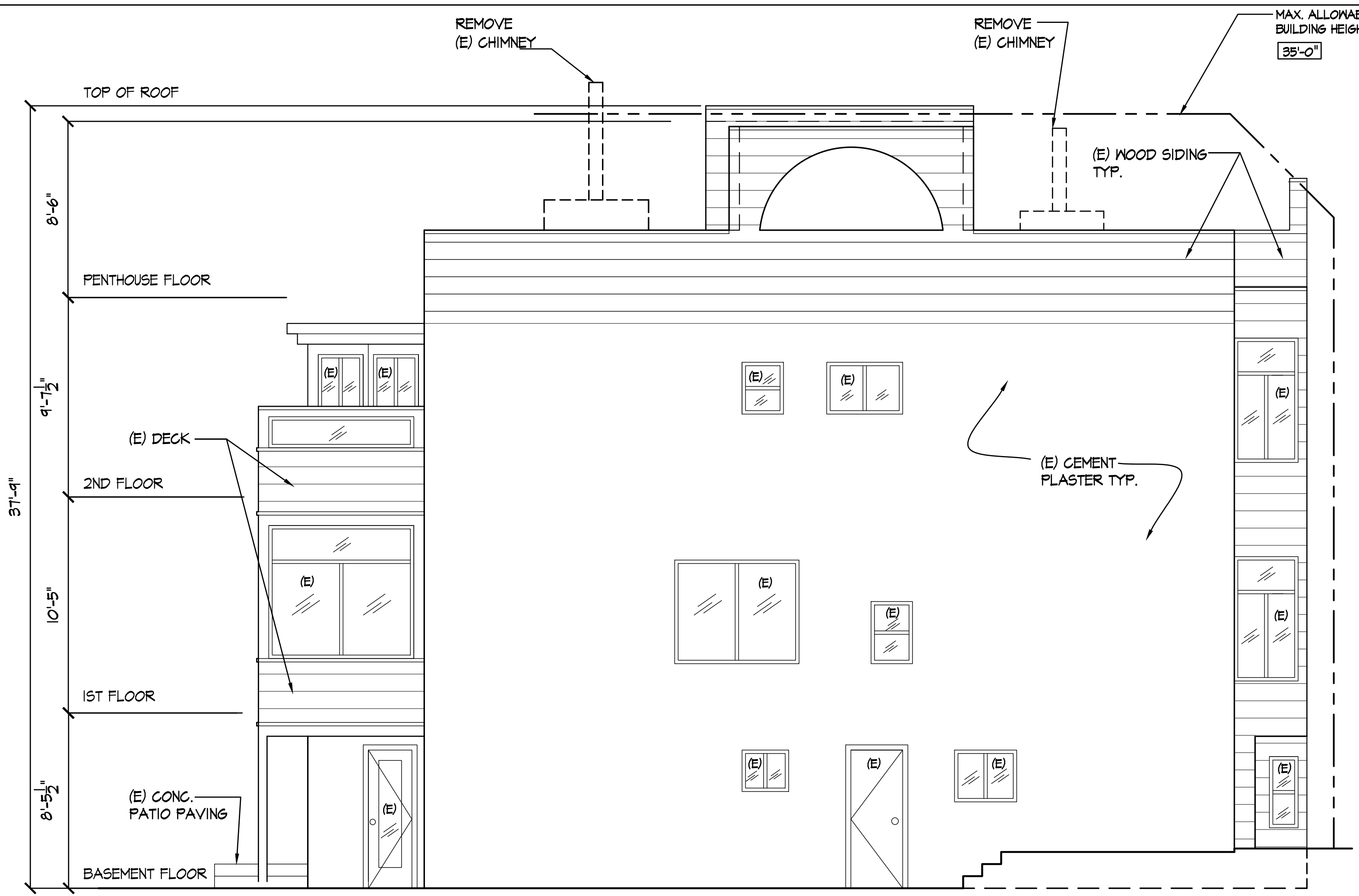
Stamp:

Sheet Title
EXIST. AND PROP. EAST ELEVATIONS
EXIST. AND PROP. NORTH ELEVATIONS

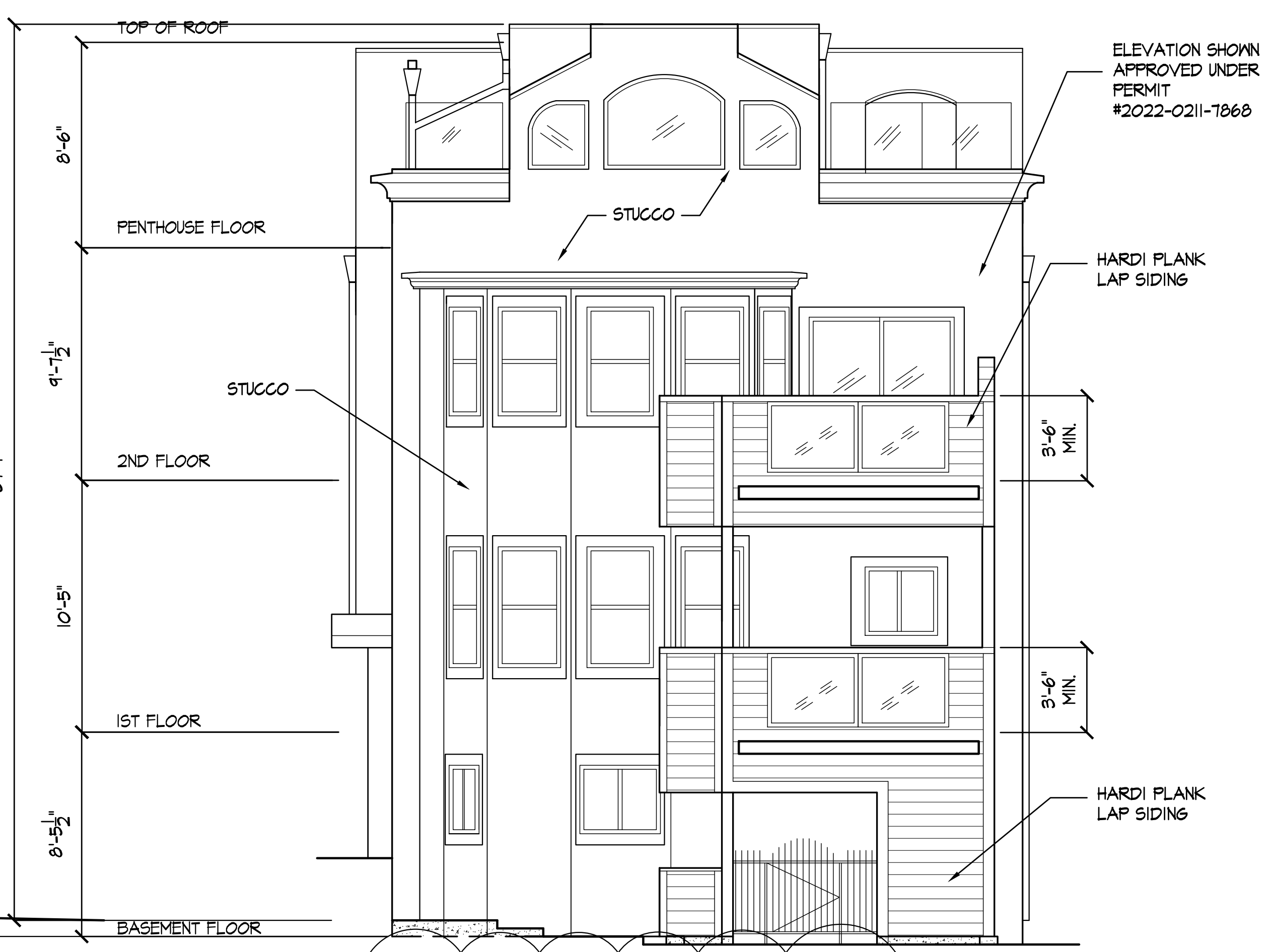
Sheet No.
A-3



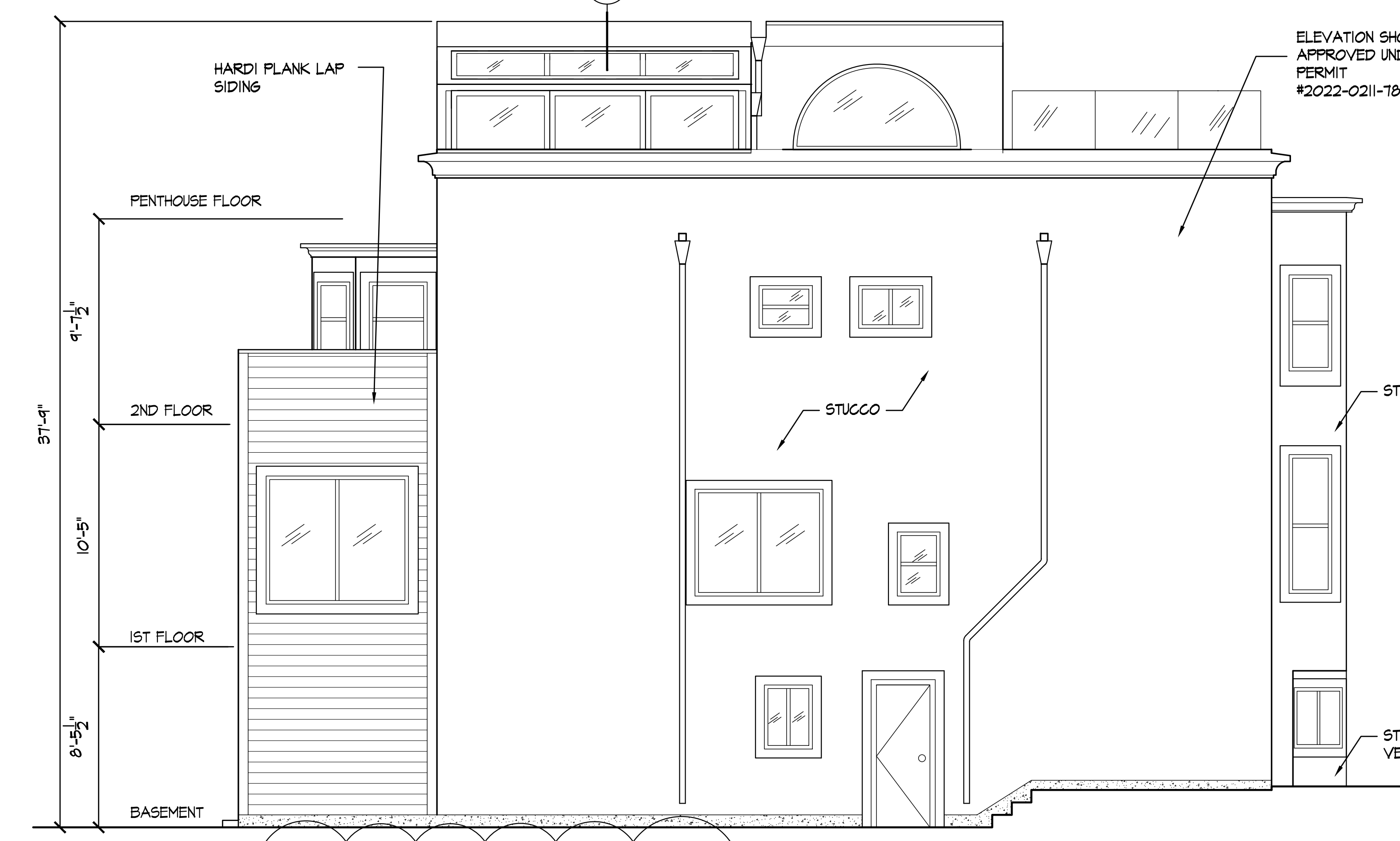
1 EXISTING EAST ELEVATION
 1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
 1/4" = 1'-0"



3 PROPOSED EAST ELEVATION
 1/4" = 1'-0"



4 PROPOSED NORTH ELEVATION
 1/4" = 1'-0"

Project Title:
**SOLARIUM
ADDITION**

110 32ND AVE
SAN FRANCISCO

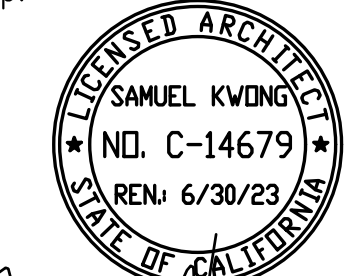
Consultants:

JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

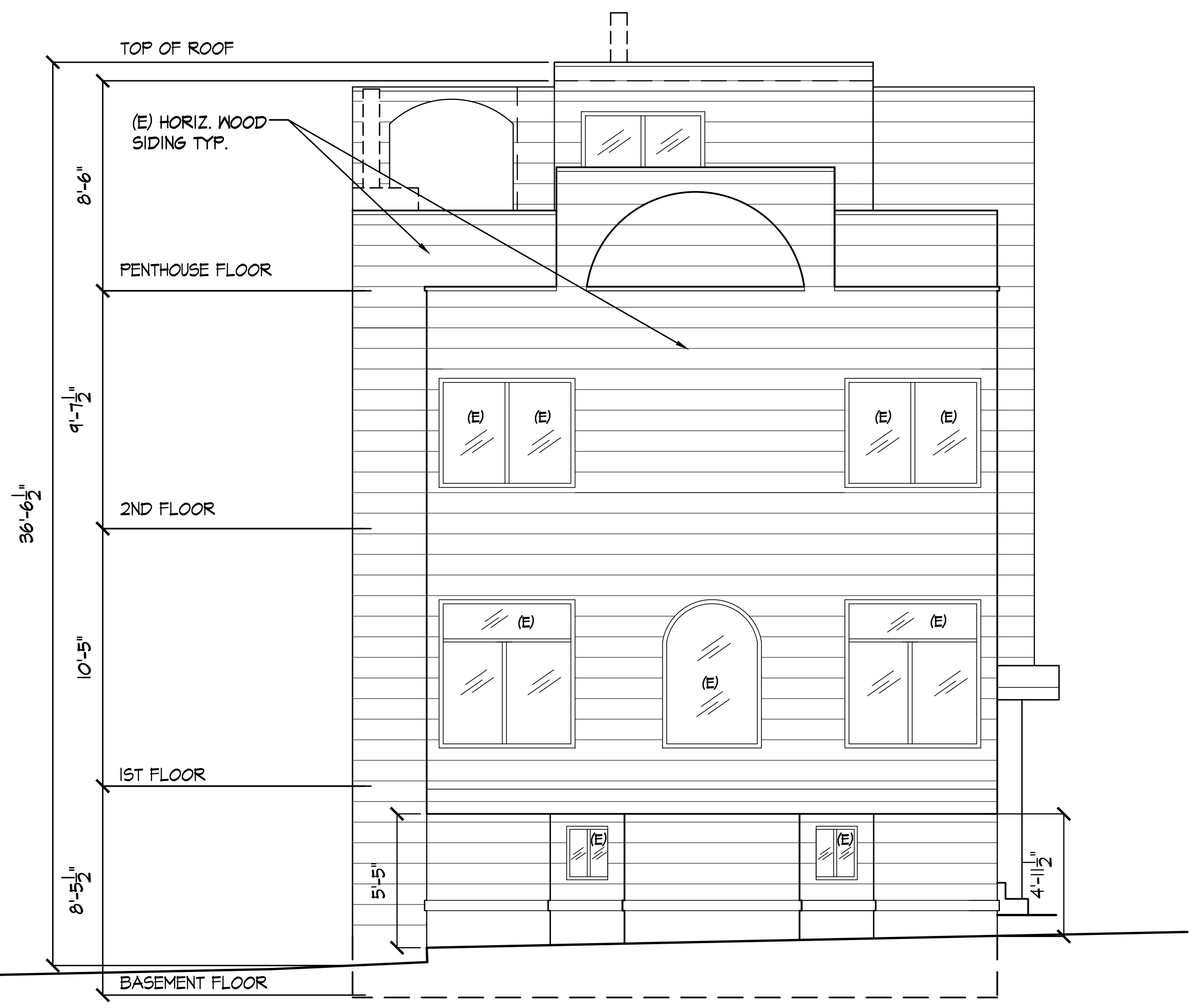
ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

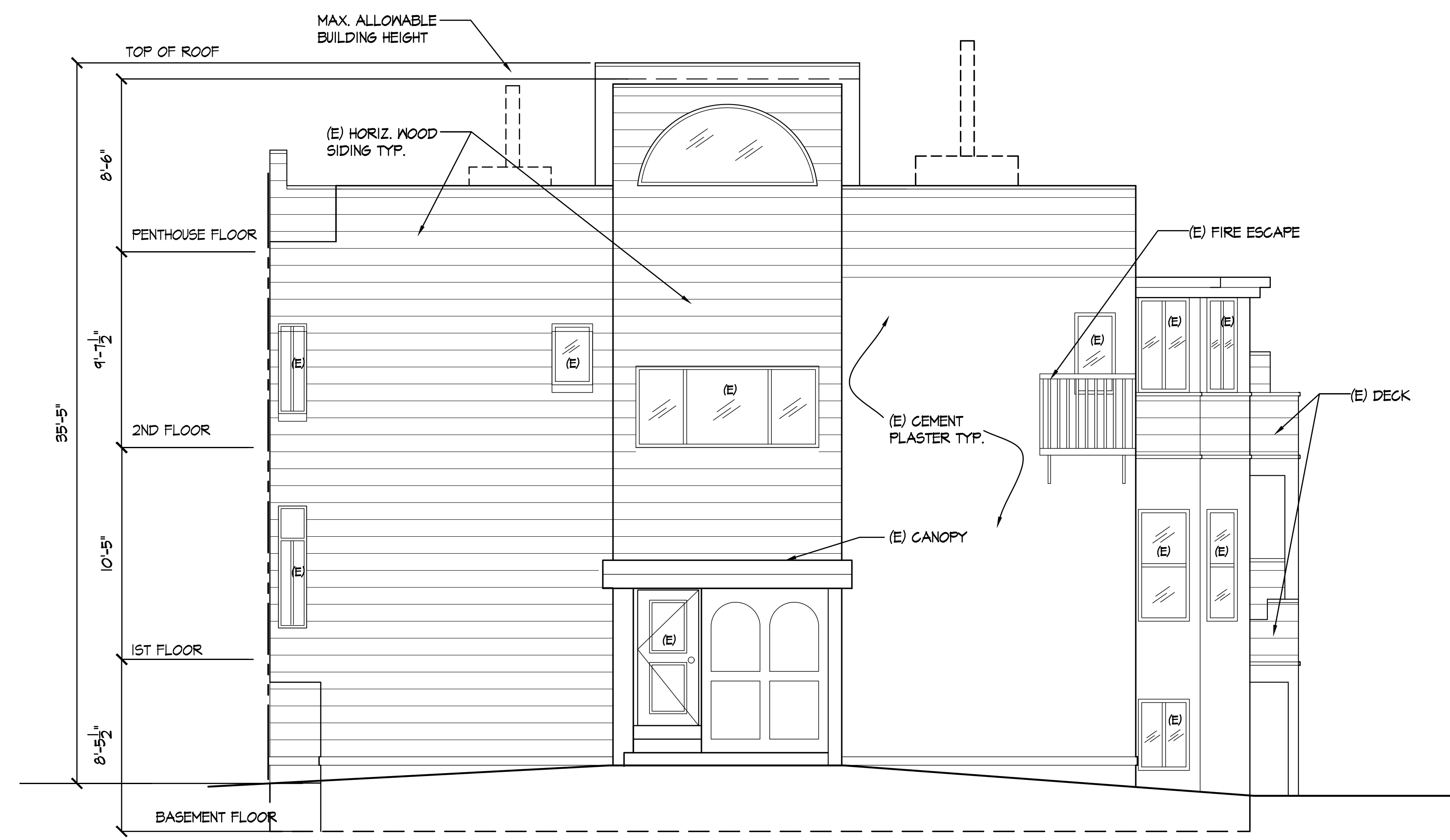
Stamp:


Sheet Title
**EXIST. AND PROP.
WEST ELEVATIONS
EXIST. AND PROP.
SOUTH ELEVATIONS**

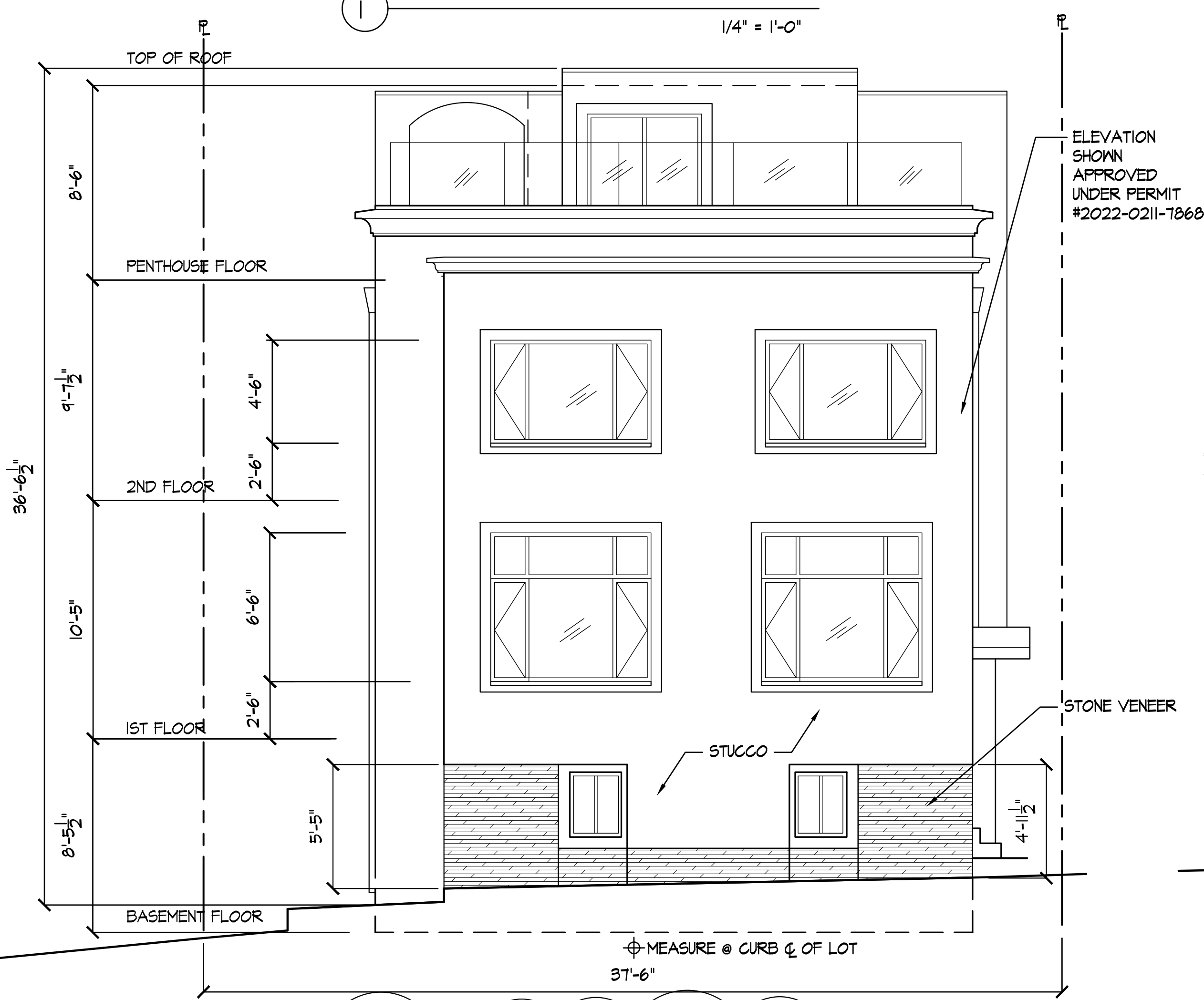
Sheet No.
A-31



1 EXISTING WEST ELEVATION
1/4" = 1'-0"



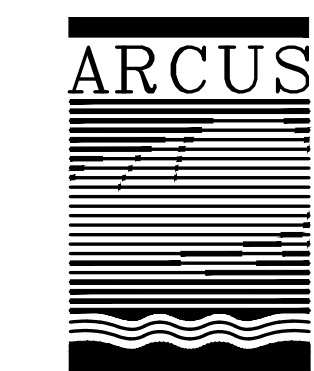
2 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"



ARCUS ARCHITECTURE + PLANNING
61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2022. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
SAN FRANCISCO

Consultants:

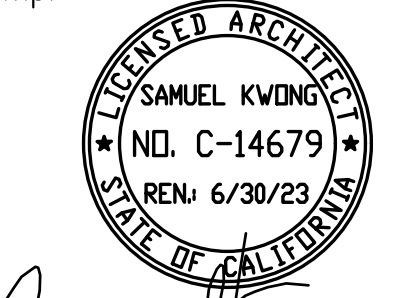
JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	7/27/22	PLANNING COMMENT

Stamp:

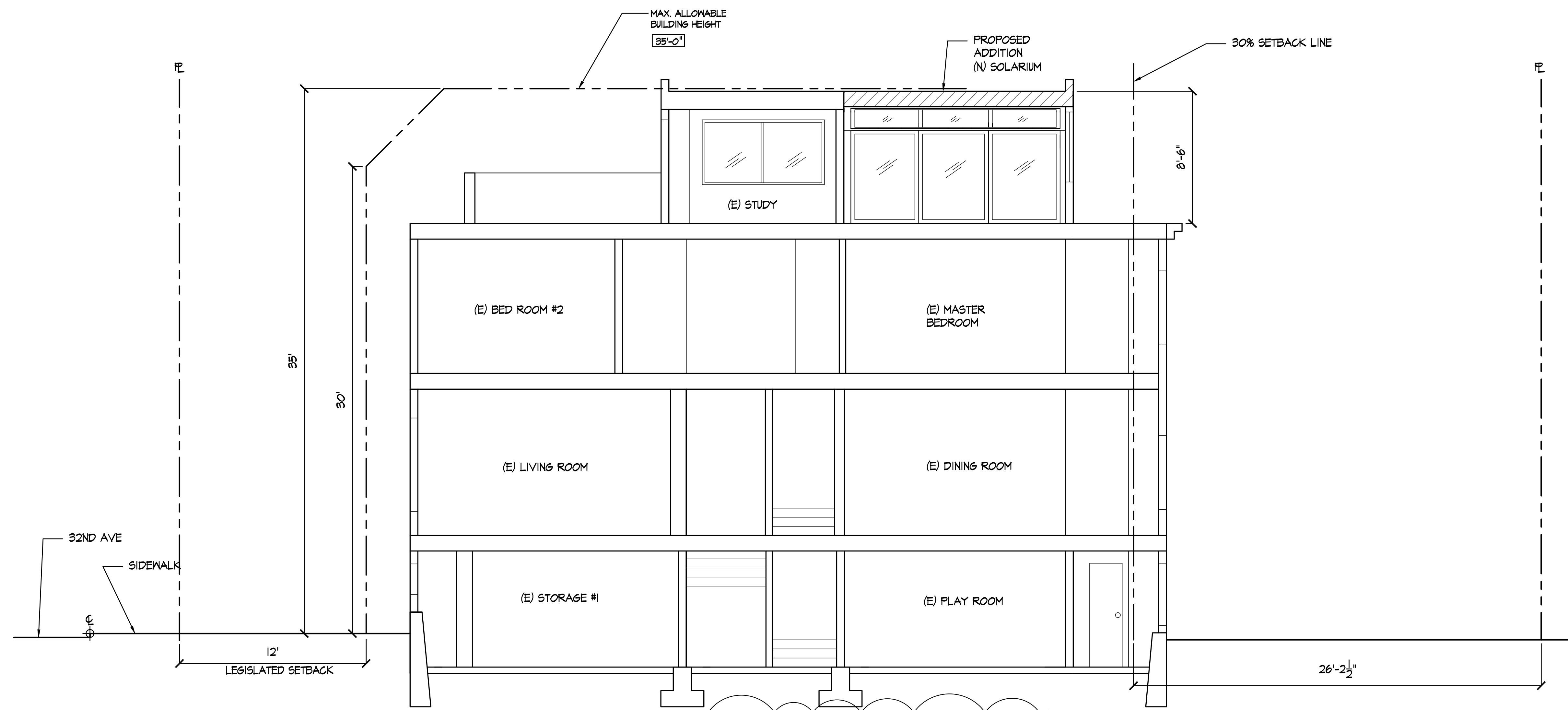


Samuel Kwong

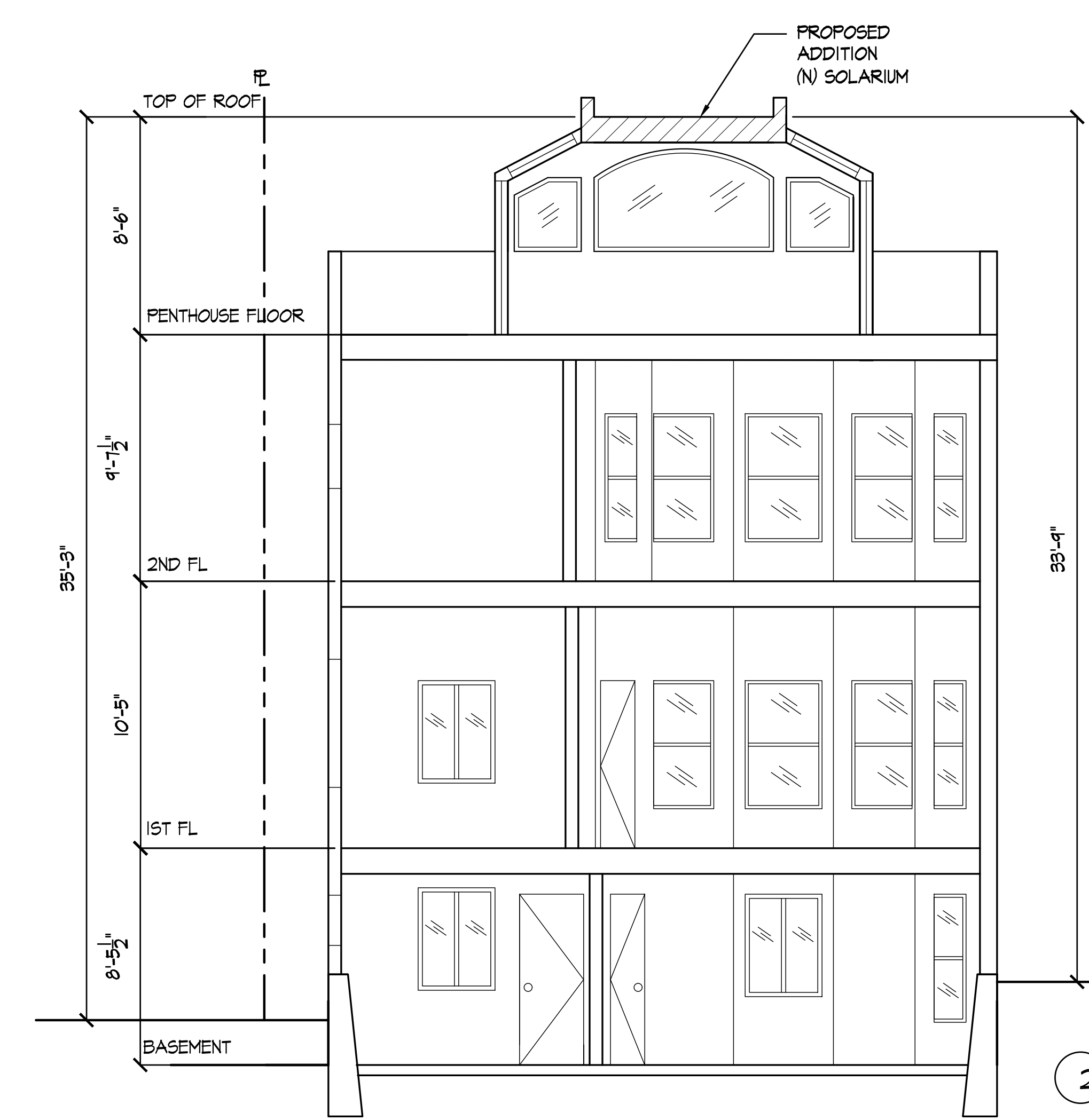
PROPOSED SECTIONS

Sheet No.

A-4



1 PROPOSED SECTION
1/4" = 1'-0"



2 PROPOSED SECTION
1/4" = 1'-0"

Exhibit D

Stamped Approved Set
Permit # 2022-0329-1124
Subject Permit Application

September 6th 2023
Address: 110 32nd Ave, San Francisco CA 94121
Permit Application # 2022-0329-1124
Appeal Number 23-041

CODE INFORMATION

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
 2019 CALIFORNIA BUILDING CODE
 2019 CALIFORNIA ELECTRICAL CODE
 2019 CALIFORNIA MECHANICAL CODE
 2019 CALIFORNIA PLUMBING CODE
 2019 GREEN BUILDING CODE
 2019 CALIFORNIA ENERGY CODE
 2019 SAN FRANCISCO BUILDING CODE AMENDMENTS
 2019 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
 2019 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
 2019 SAN FRANCISCO PLUMBING CODE AMENDMENTS
 2019 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS

BUILDING INFORMATION

FLOOR AREA	OCCUPANCY	EXISTING AREA	(E) OCCUPANT LOAD	ADDITION AREA	TOTAL AREA	(N) OCCUPANT LOAD
DETACHED GARAGE	U	238 SF.	2	NO WORK	238 SF.	2
BASEMENT FLOOR						
STORAGE	S	548 SF.	3	NO WORK	548 SF.	3
LIVING AREA	R-3	587 SF.	3	NO WORK	587 SF.	3
FIRST FLOOR						
LIVING AREA	R-3	1,160 SF.	3	NO WORK	1,160 SF.	3
SECOND FLOOR						
LIVING AREA	R-3	1,182 SF.	6	NO WORK	1,182 SF.	6
3RD FL. PENTHOUSE FLOOR SOLARIUM	R-3	254 SF.	2	202 SF.	456 SF.	3
TOTAL		3,969 SF.	19	174 SF.	4,143 SF.	20

ADDRESS: 110 32ND AVE.
 SAN FRANCISCO CA 94121
 BLOCK: 1312 LOT: 009
 LOT AREA: 3,270 SQ. FT.
 ZONE: RH-1 (D)
 OCCUPANCY: R-3
 TYPE OF CONSTRUCTION: V-B
 NUMBER OF STORIES: 3
 SPRINKLERS: NONE
 ADDITIONAL NON-CONDITIONED AREA: 202 SF

VICINITY MAP SC: N.T.S.



ARCUS
 ARCHITECTURE + PLANNING
 61 Walter U Lum Pl
 3/F San Francisco
 94108-1801 CA
 U S A
 (415) 391-3313
 (Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used in any manner, in whole or in part, without the expressed written consent of Arcus.

Project Title:
SOLARIUM ADDITION

110 32ND AVE
 SAN FRANCISCO

Consultants:

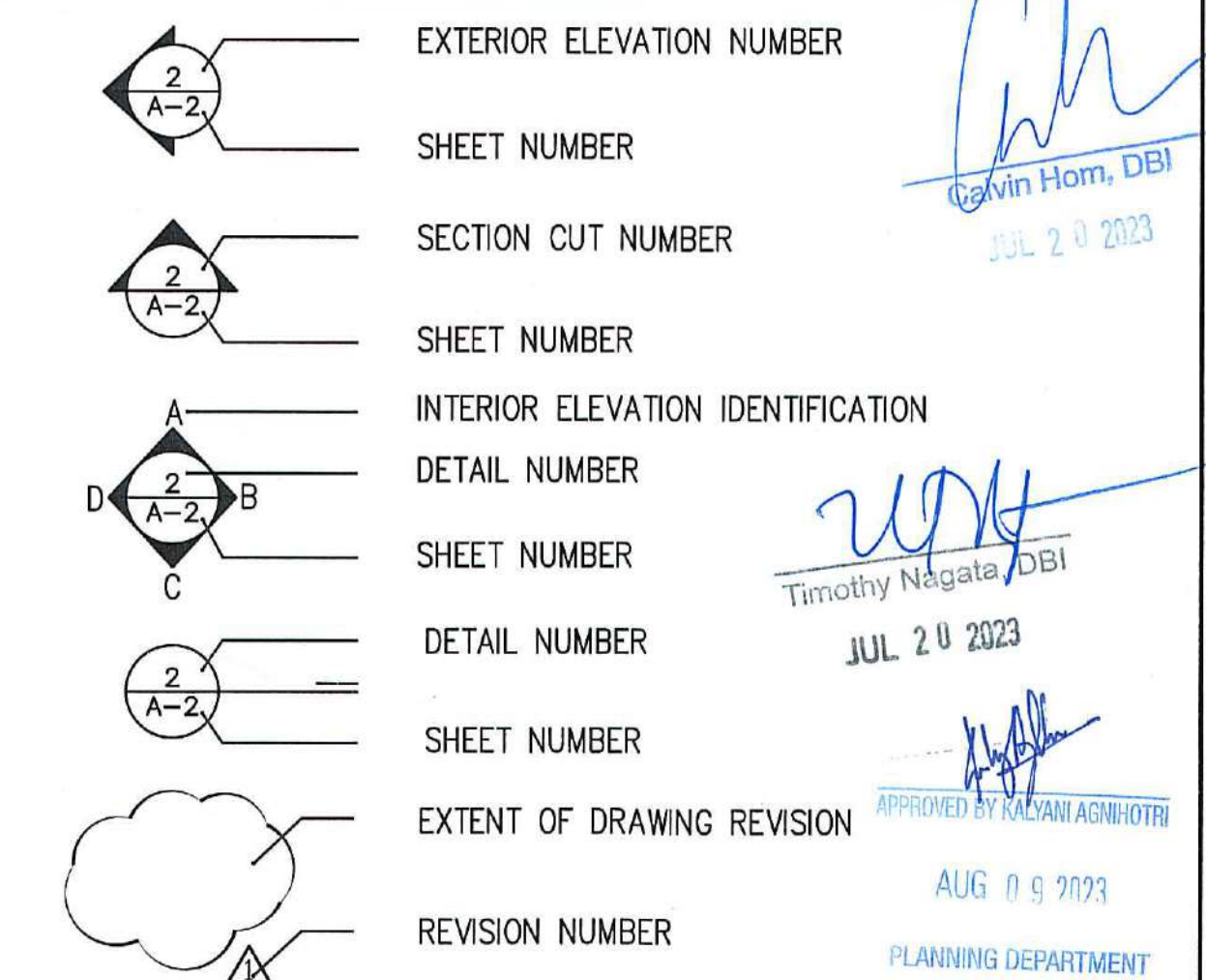
SCHEDULE OF DRAWING

- T-1 VICINITY MAP, SITE PLAN PLAN, BUILDING INFO., SCOPE OF WORK, CODE INFO., SCHEDULE OF DRAWINGS
- A-1 EXISTING & PROPOSED FLOOR PLANS
- A-1.1 PROPOSED ROOF DECK PLAN, SECTION, AND DETAILS
- A-1.2 PROPOSED CEILING PLAN AND DETAILS
- A-2 EXISTING ELEVATIONS
- A-2.1 EXISTING ELEVATIONS
- A-2.2 PROPOSED ELEVATIONS
- A-3 PROPOSED ELEVATIONS
- A-4 PROPOSED SECTIONS
- A-5 TRAVEL DISTANCE ANALYSIS
- S-1 GENERAL NOTES & TYPICAL DETAILS
- S-2 FOUNDATION, 1ST, 2ND & PENTHOUSE FLOOR FRAMING PLANS
- S-3 DETAILS, NOTES & INSPECTION FORM
- S-4 TOP ROOF FRAMING PLAN & DETAILS; INSPECTION FORMS
- GB-1 655 GREEN BUILDING FORM

SCOPE OF WORK

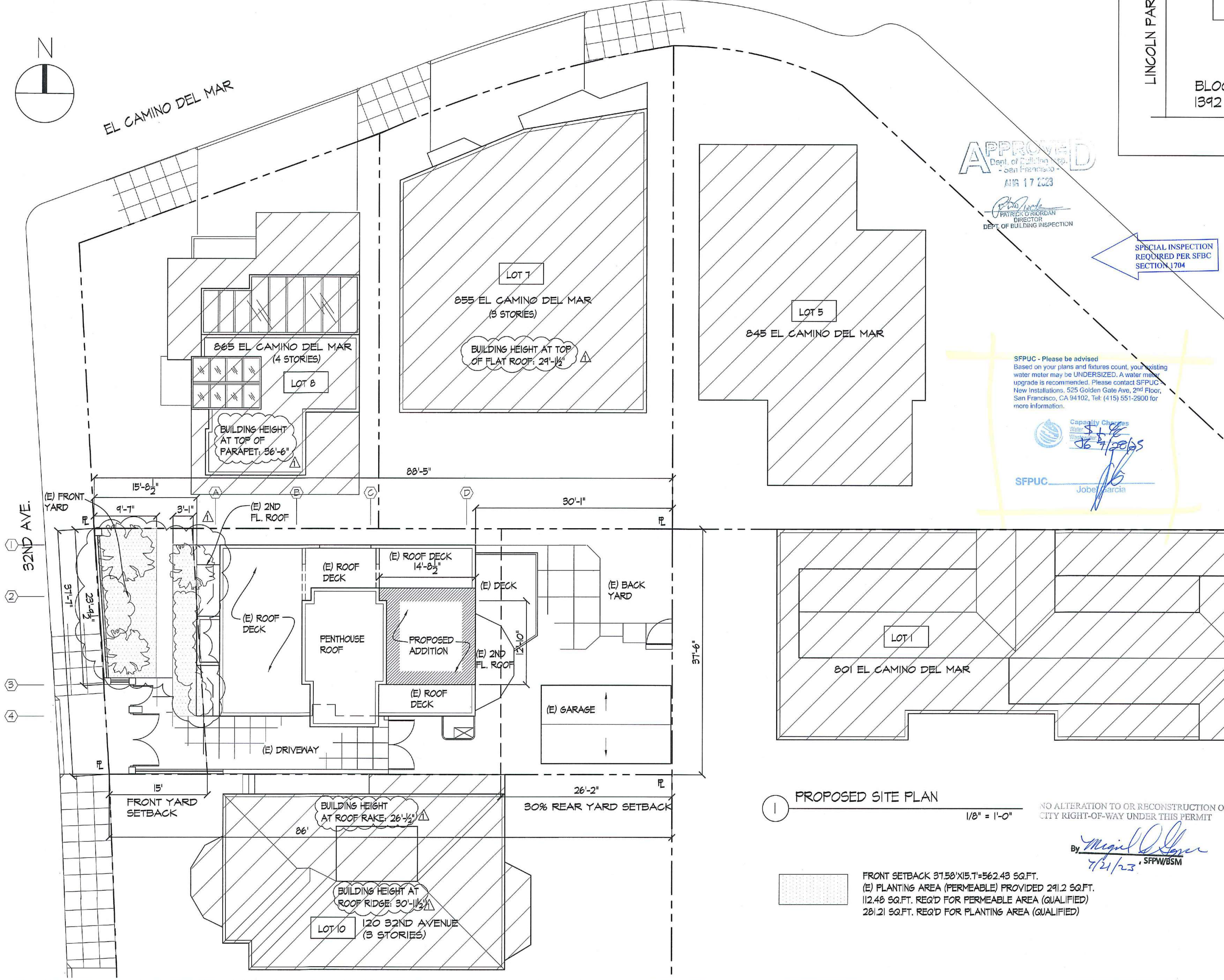
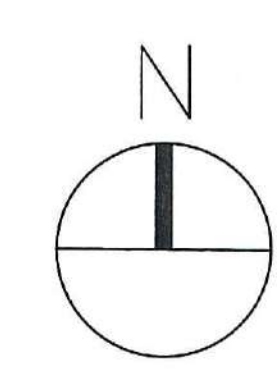
1. COMMENCEMENT OF PA #2016-0621-0534
2. HORIZONTAL ADDITION (SOLARIUM) AT PENTHOUSE FLOOR
3. REMOVE 2 CHIMNEYS
4. REFINISH EXISTING PENTHOUSE ROOF DECK AND REPLACE DAMAGED GUTTERS AND DOWNSPOUT

SYMBOLS & LEGEND



REF PERMITS

THE FOLLOWING ARE ACTIVE PERMITS ON THE PROPERTY
 2021-0823-6921 INTERIOR REMODEL
 2022-0211-7868 FACADE ALTERATIONS
 2020-0828-2848 REPLACE FALLING STUCCO



APPROVED
 Dept. of Building Inspection
 PATRICIA D. RICHARDSON
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

SPECIAL INSPECTION REQUIRED PER SFBC SECTION 1704

SFPUC - Please be advised
 Based on your plans and fixtures count, your existing water meter may be UNDERSIZED. A water meter upgrade is recommended. Please contact SFPUC New Installations, 525 Golden Gate Ave, 2nd Floor, San Francisco, CA 94102, Tel: (415) 551-2900 for more information.

Capacity Change
 Water Meter
 J6 7/20/23
 SFPUC Job # Garcia

PROPOSED SITE PLAN
 1/8" = 1'-0"

NO ALTERATION TO OR RECONSTRUCTION OF CITY RIGHT-OF-WAY UNDER THIS PERMIT

By: *Miguel Delatorre*
 7/21/23 SFPW/BSM

FRONT SETBACK 31.58' X 15.11' = 562.43 SQ.FT.
 (E) PLANTING AREA (PERMEABLE) PROVIDED 241.2 SQ.FT.
 112.45 SQ.FT. REQ'D FOR PERMEABLE AREA (QUALIFIED)
 281.21 SQ.FT. REQ'D FOR PLANTING AREA (QUALIFIED)

RECEIVED
 JUL 20 2023
 DEPT. OF BUILDING INSPECTION
 THESE PLANS ARE THE PROPERTY OF ARCUS AND ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED FOR BIDDING AND CONSTRUCTION.

JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

ISSUANCES & REVISIONS:

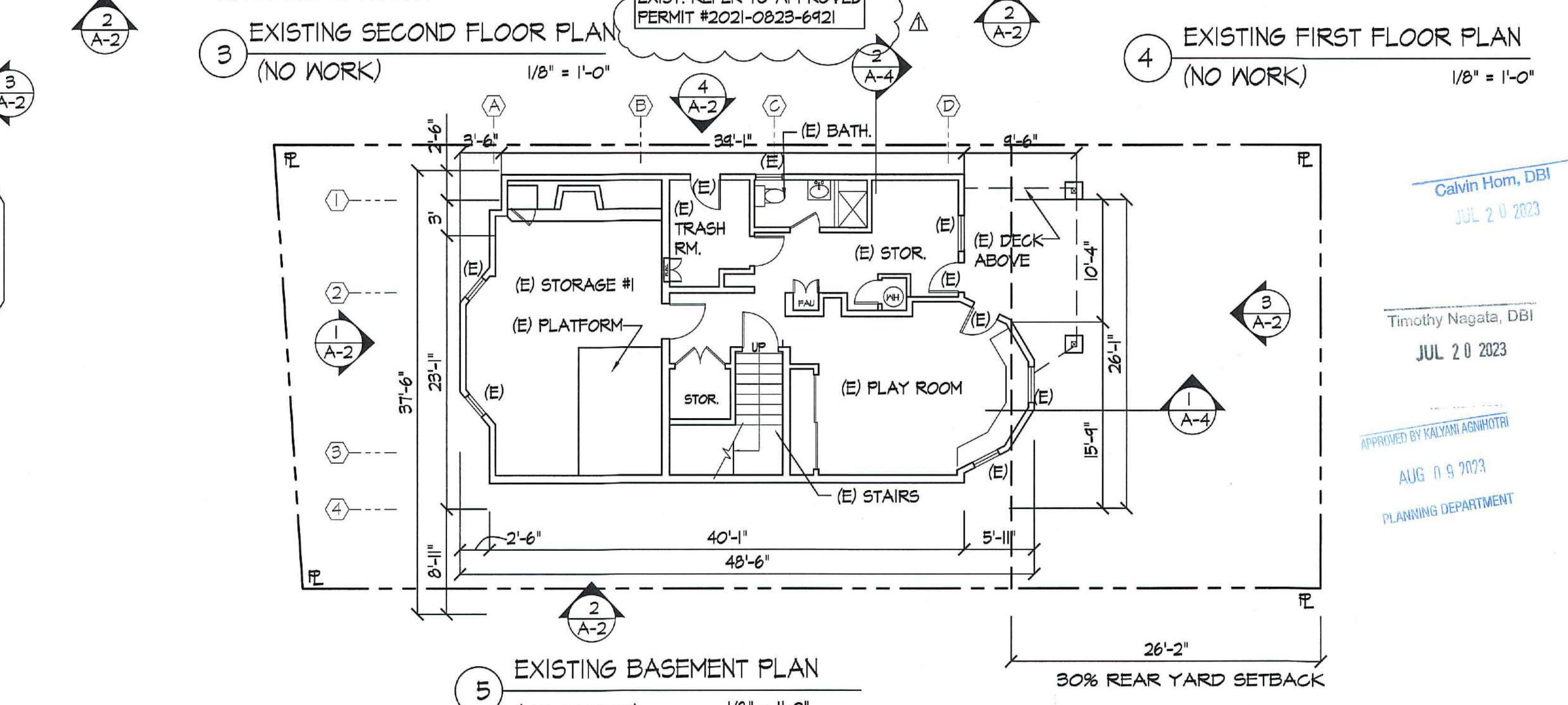
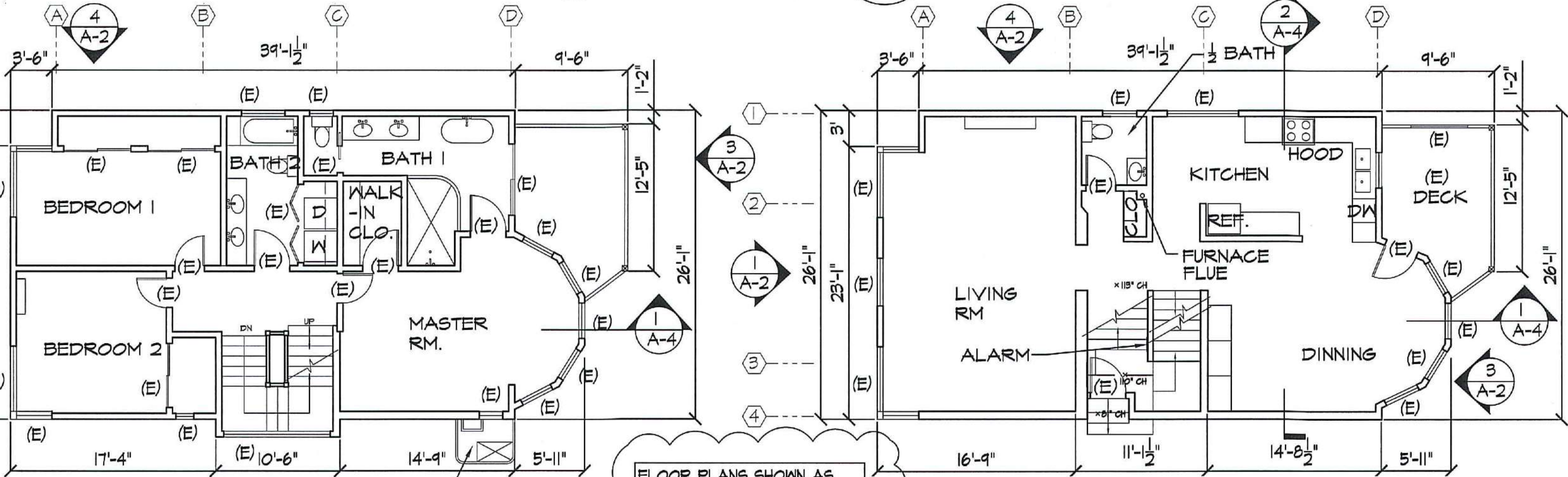
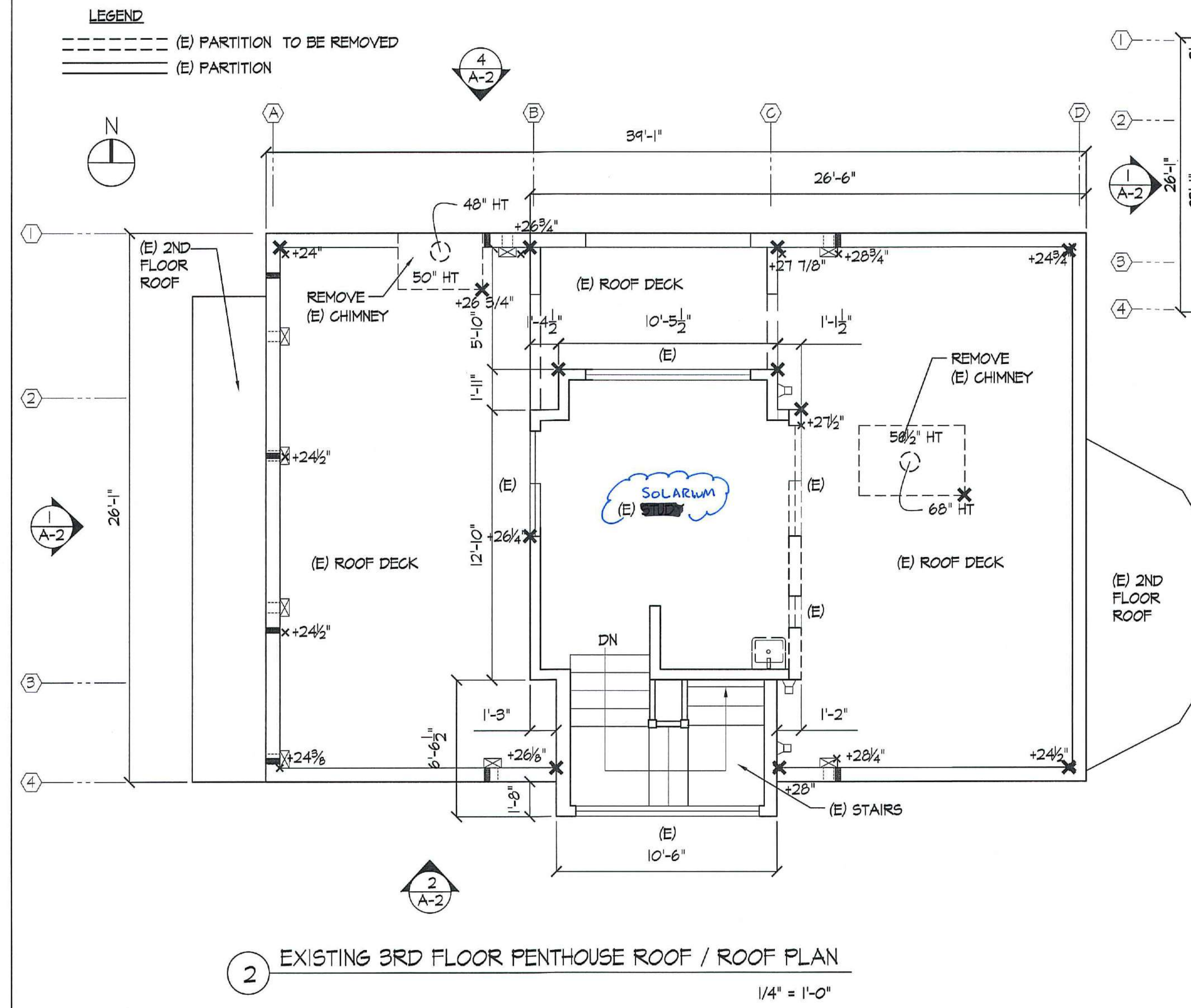
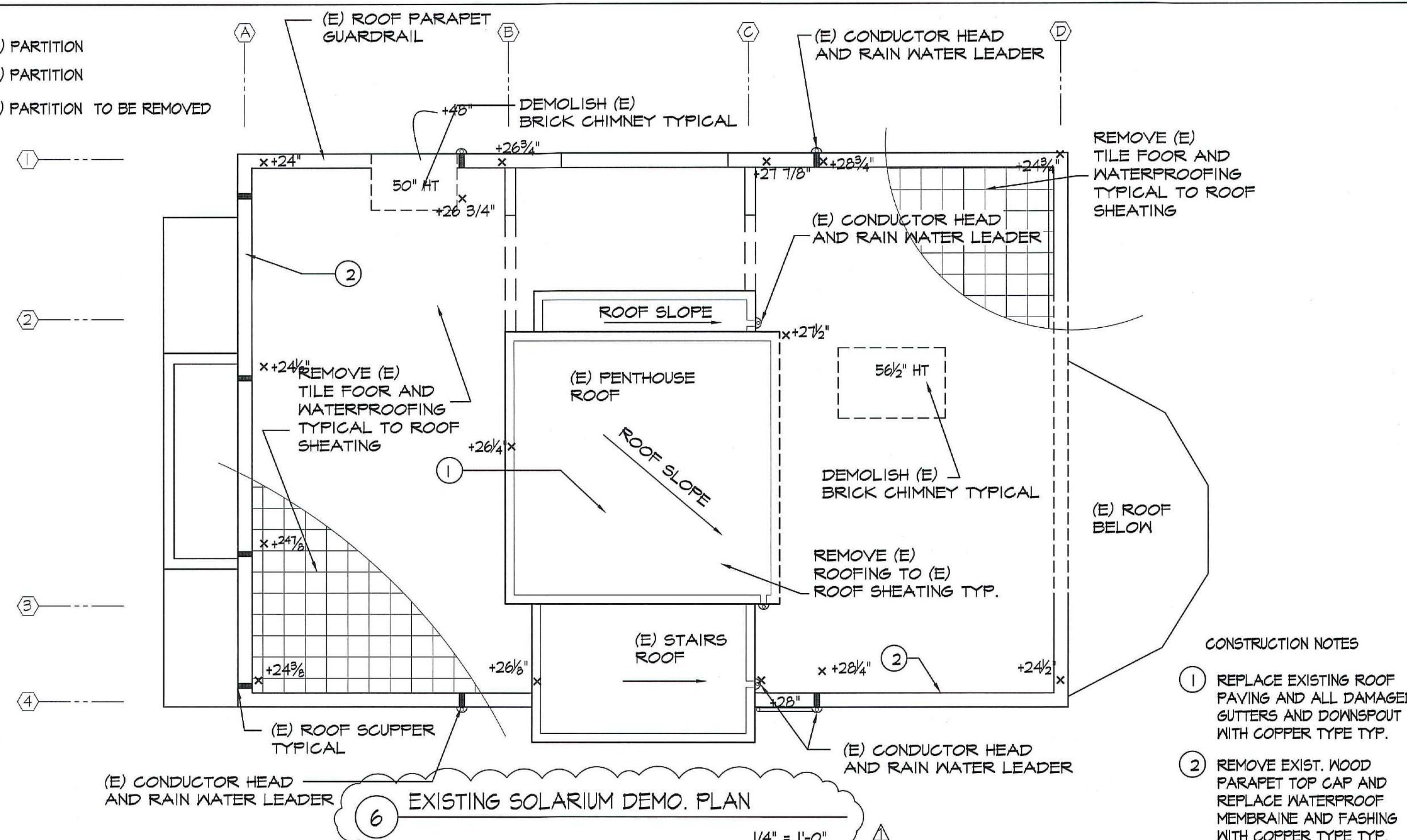
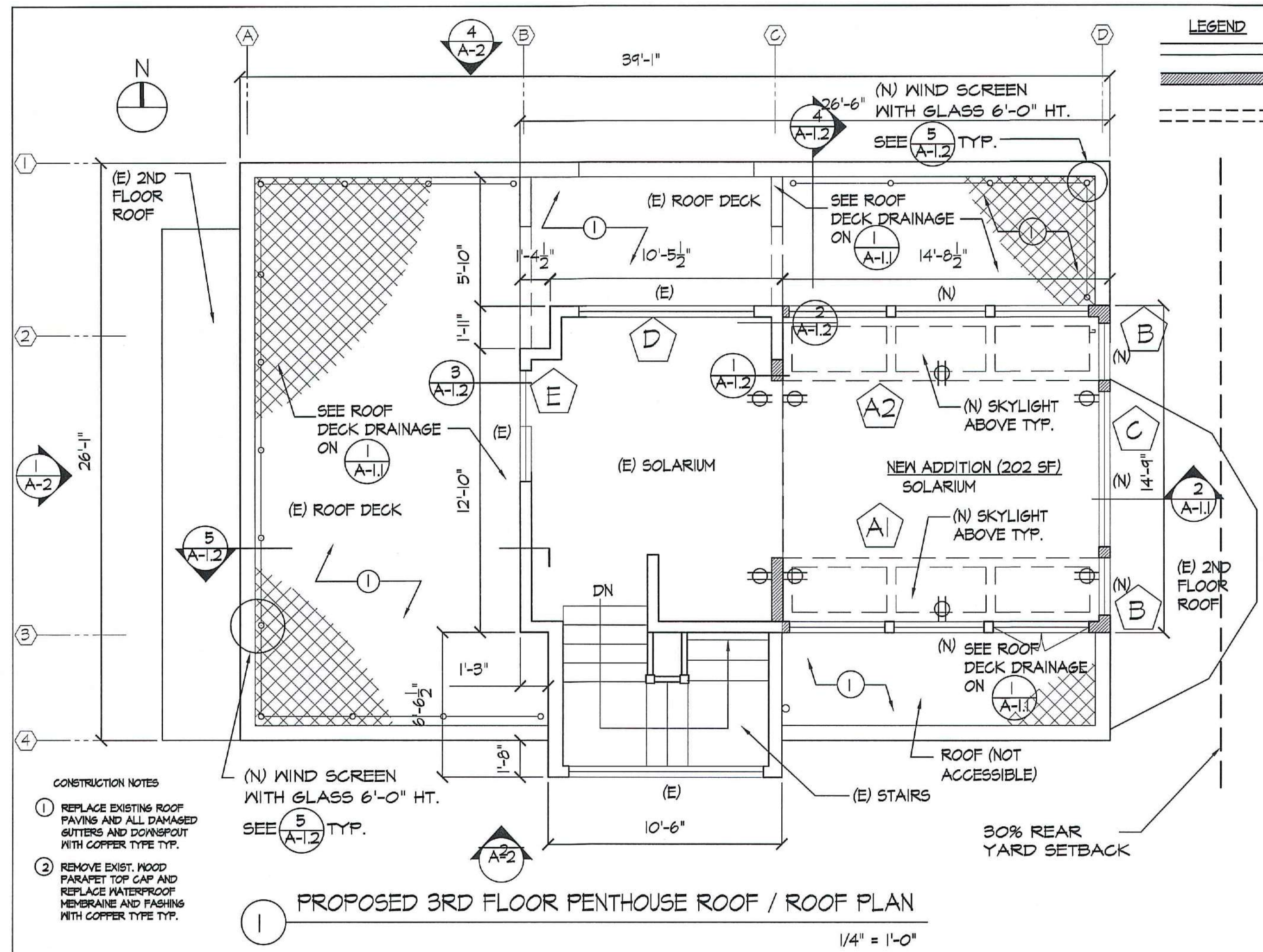
No.	Date	Description
Δ	3/1/23	PLAN REVIEW COMMENTS

Stamp:

Sheet Title
SITE PLAN, VICINITY MAP, SCOPE OF WORK, BUILDING INFO.

Sheet No.
T-1

2022 03 29 11 24 R2



AGENCY USE ONLY

ARCUS
 ARCHITECTURE + PLANNING
 61 Walter U Lum Pl
 3/F San Francisco
 94108-1801 CA
 U S A
 (415) 391-3313
 (Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:
SOLARIUM ADDITION

110 32ND AVE
 SAN FRANCISCO

Consultants:
APPROVED
 Dept. of Building Insp.
 - San Francisco -
 AUG 17 2023

DEPT. OF BUILDING INSPECTION

RECEIVED
 JUL 20 2023
 DEPT. OF BUILDING INSPECTION
 WITH THE CITY ENGINEER'S OFFICE
 STANDARD FLOOR PLANS
 ACCEPTED

JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
1	3/1/23	PLAN REVIEW COMMENTS

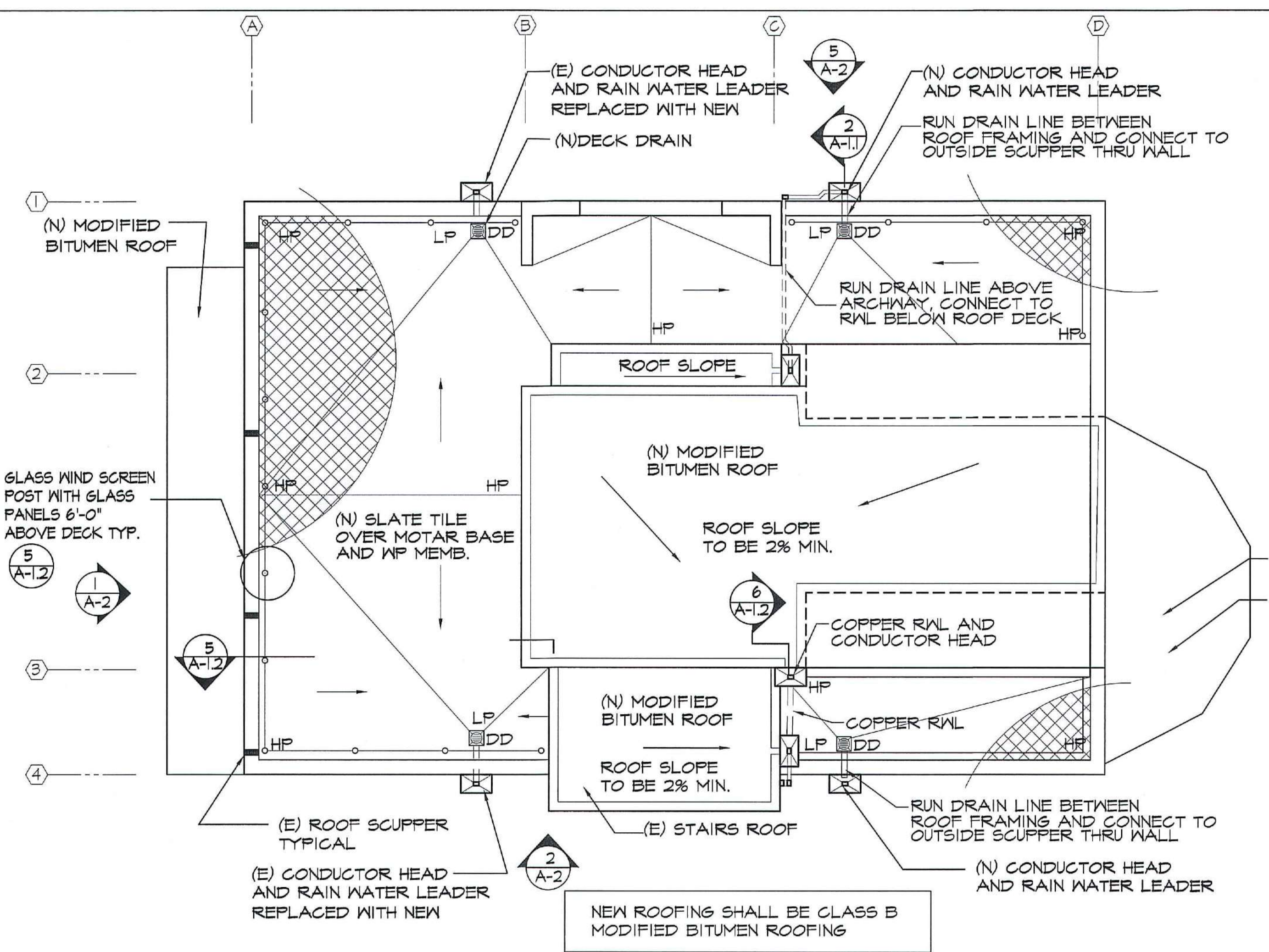
Stamp:
 Calvin Hom, DBI
 JUL 20 2023
 Timothy Nagata, DBI
 JUL 20 2023
 APPROVED BY KALYANI AGRAWAL
 AUG 09 2023
 PLANNING DEPARTMENT

Sheet Title
EXISTING AND PROPOSED FLOOR PLANS

Sheet No.
A-1

ISSUANCES & REVISIONS:

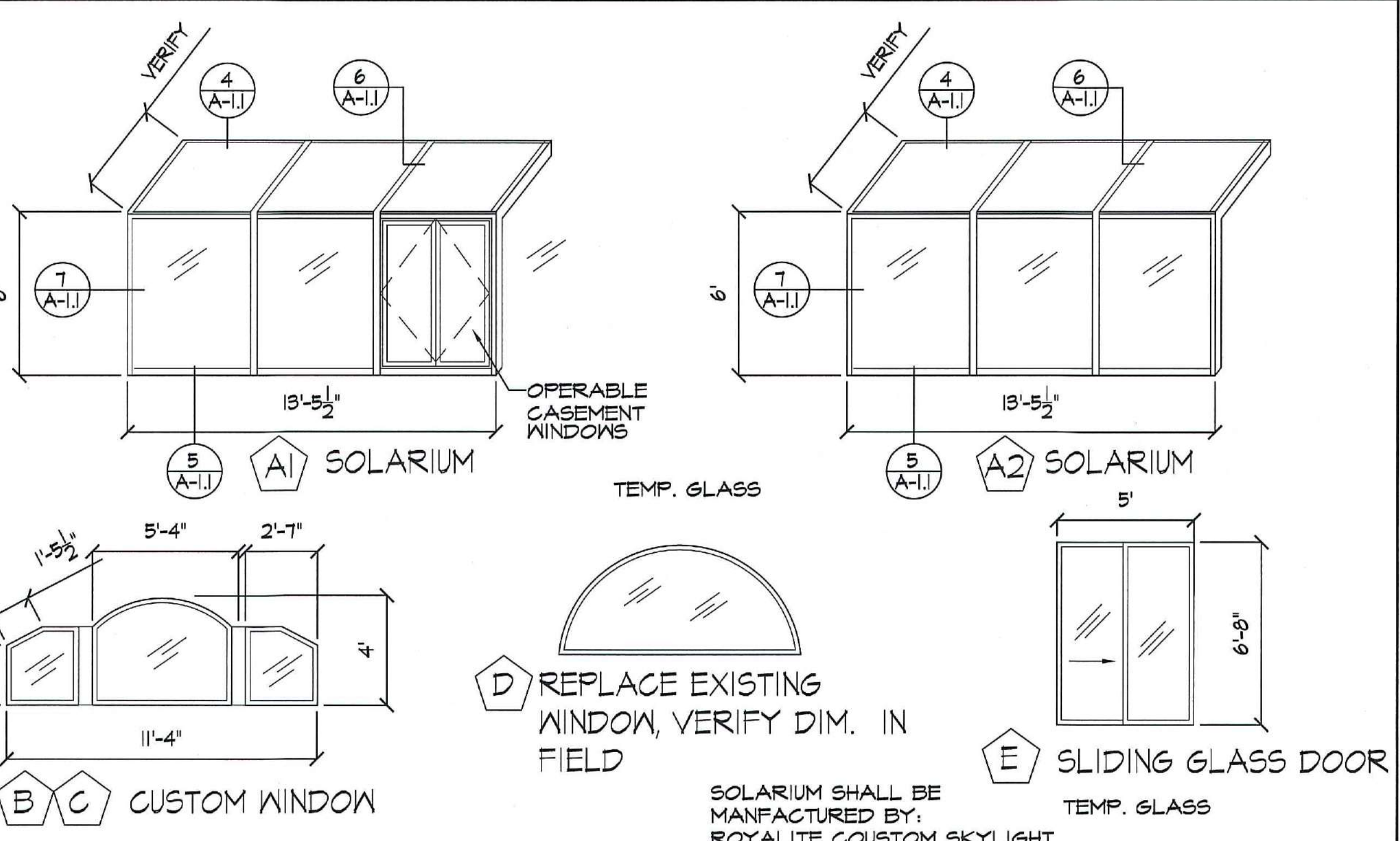
No.	Date	Description
Δ	3/1/23	PLAN REVIEW COMMENTS



REPLACE ALL FLASHING RAIN WATER LEADERS CONDUCTOR HEADS WITH ALL COPPER TYPICAL

REPLACE EXIST. PARAPET WOOD COPING WITH NEW COPPER COVER, SEE DETAIL

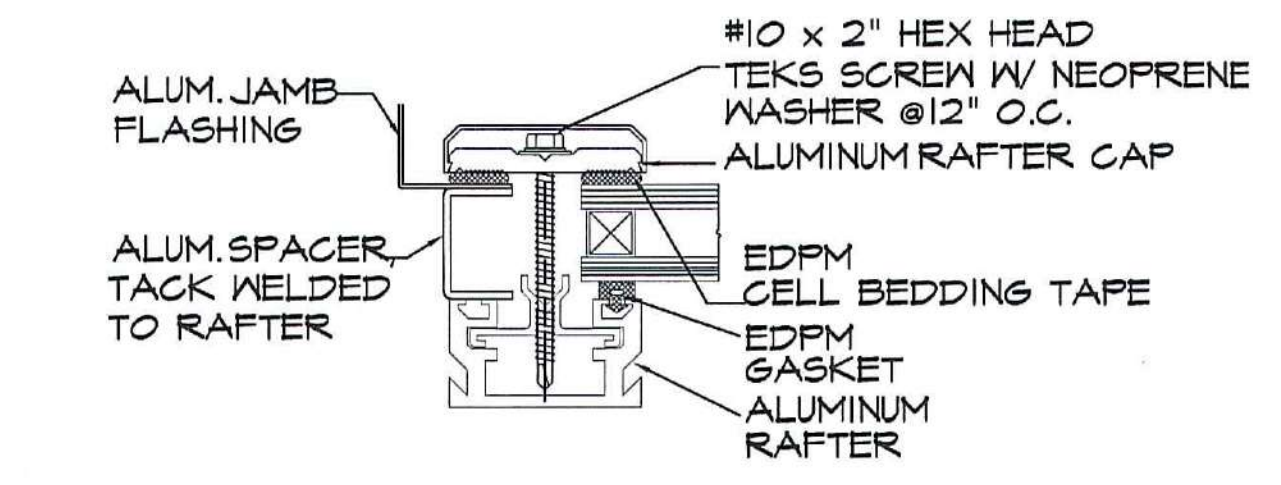
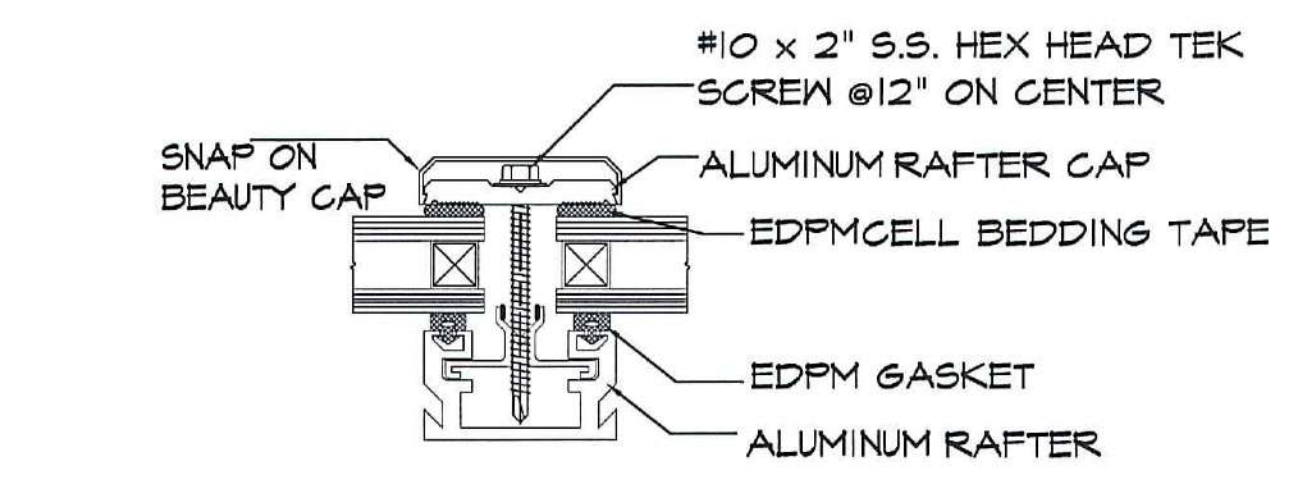
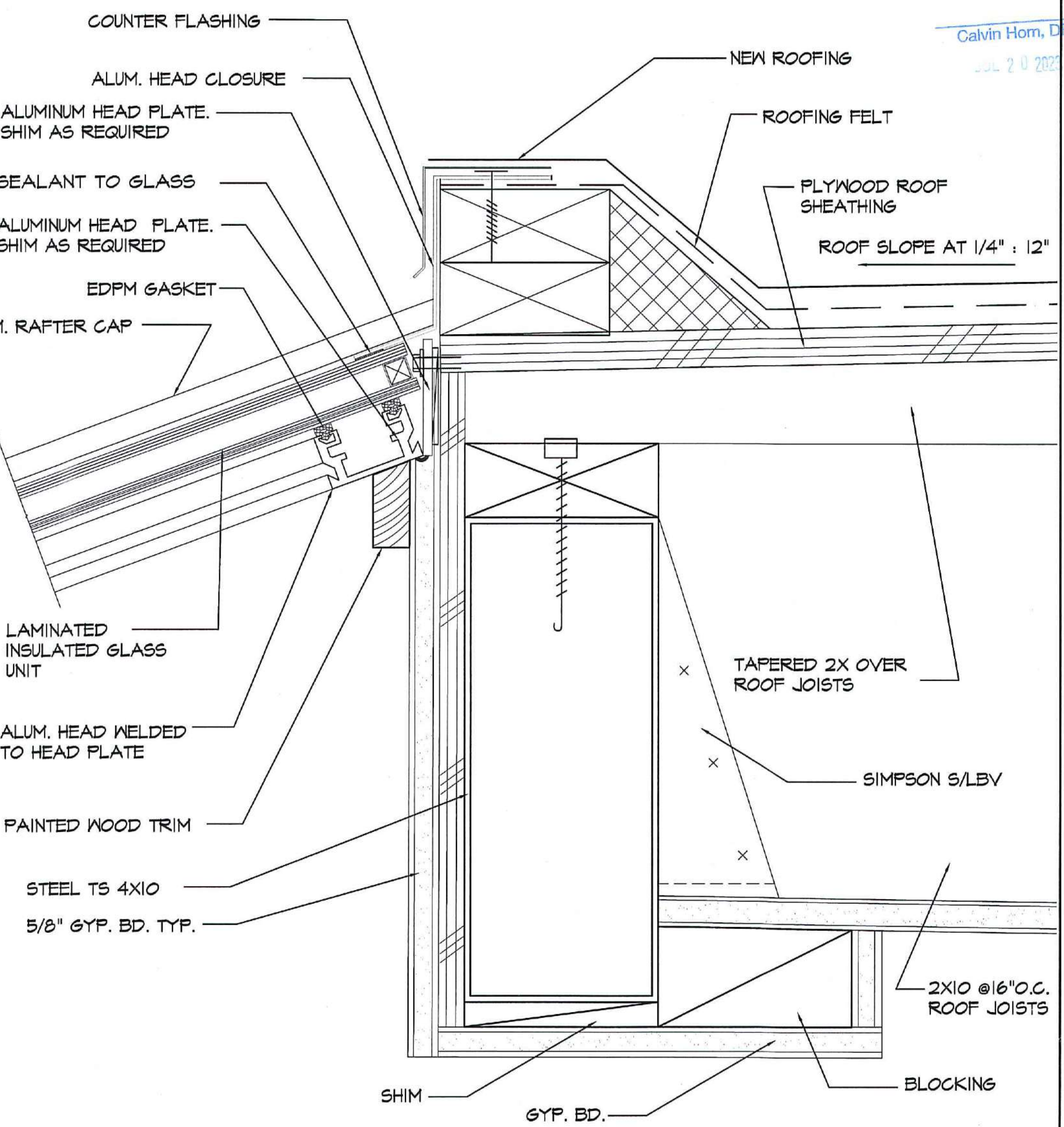
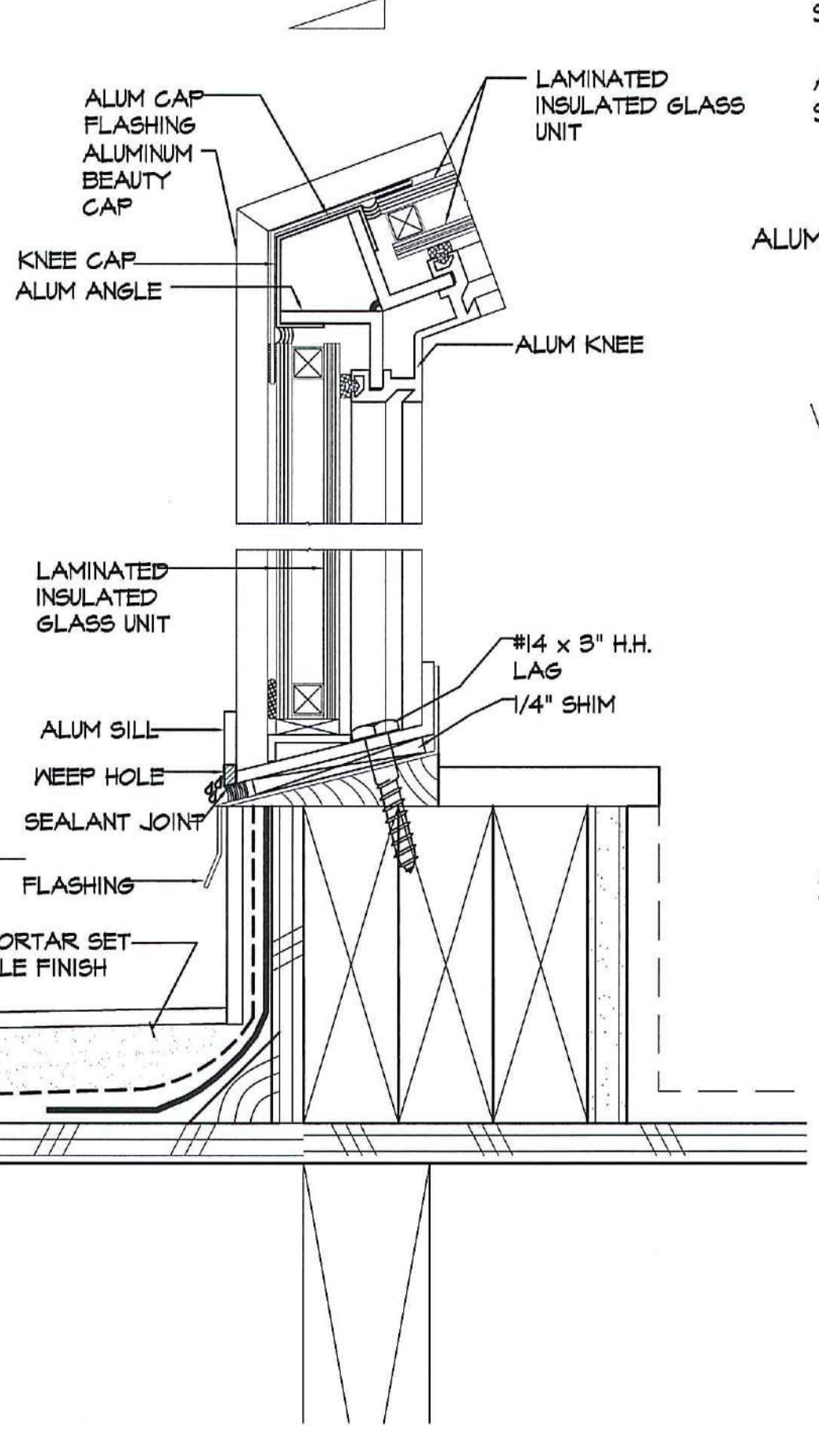
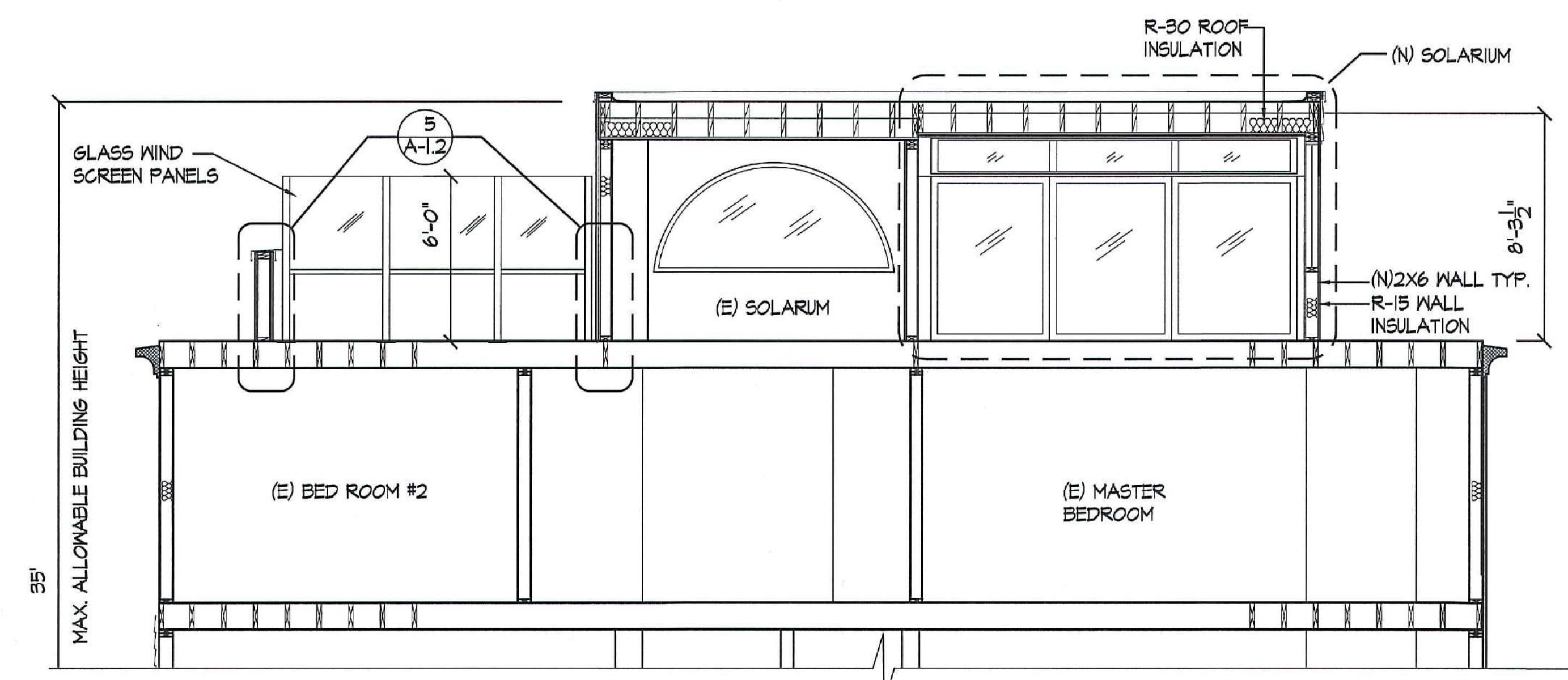
CONTRACTOR SHALL INSTALL ALL COPPER PARTS ACCORDING TO PROPER CORROSION PROTECTION PROCEDURES AS SPECIFIED IN COPPER.ORG WEBSITE

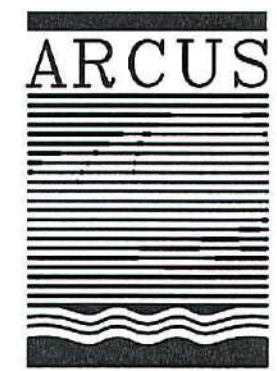


SOLARIUM SHALL BE MANUFACTURED BY: ROYALITE COUSTOM SKYLIGHT 1055 TERMINAL WAY, SAN CARLOS CA 94070 TEL: 650-637-1440

APPROVED
 Dept. of Building Insp.
 - San Francisco -
 AUG 17 2023
 PATRICK BRIGGS
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

NEW ROOFING SHALL BE CLASS B MODIFIED BITUMEN ROOFING TYP.





61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
SAN FRANCISCO

Consultants:

Calvin Hom, DBI
JUL 20 2023



JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
A	3/1/23	PLAN REVIEW COMMENTS

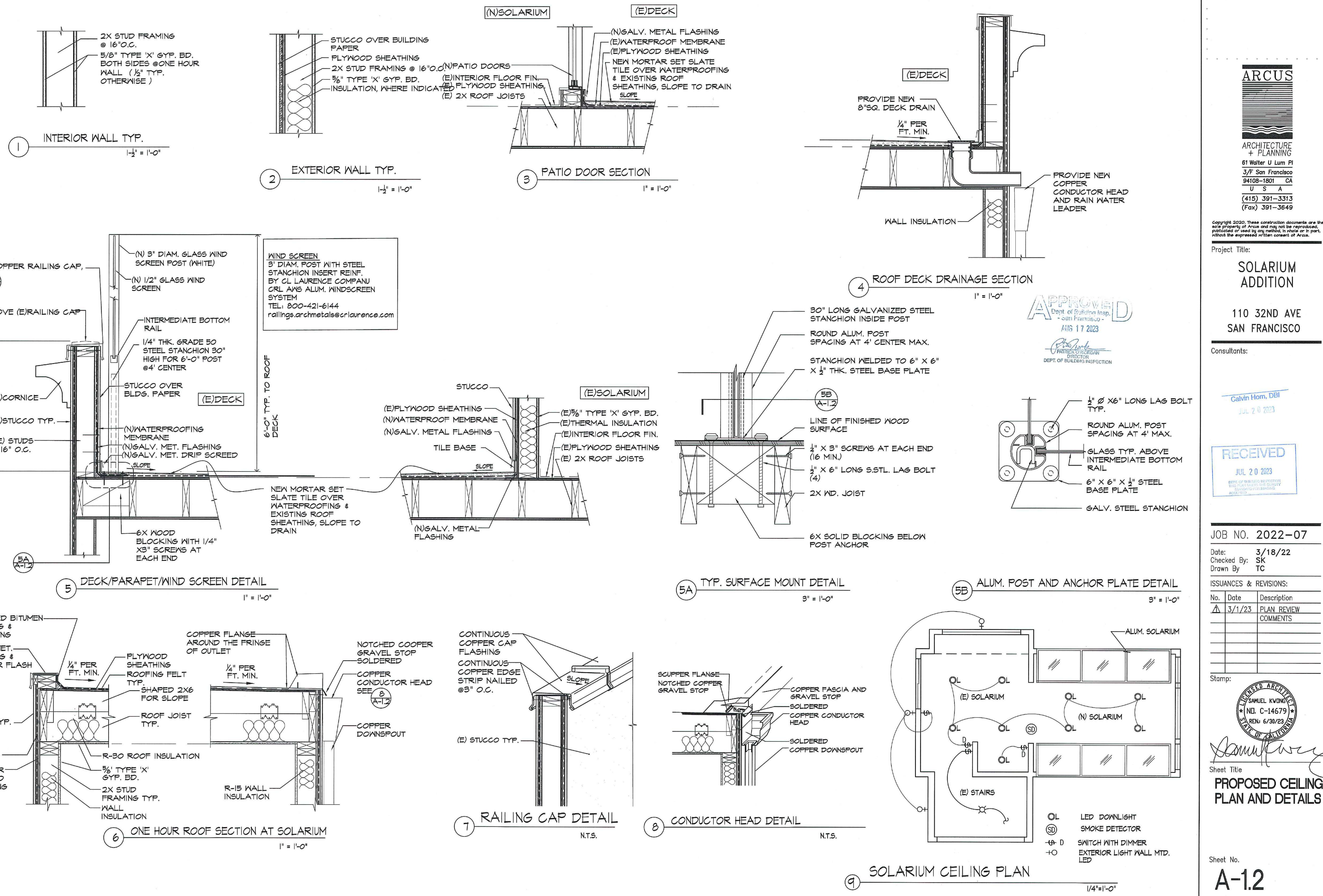
Stamp:



PROPOSED CEILING PLAN AND DETAILS

Sheet No.

A-1.2



Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
 SAN FRANCISCO

Consultants:

Calvin Horn, DBI
 JUL 20 2023

APPROVED BY KALYANI AGNIHOTRI
 AUG 09 2023
 PLANNING DEPARTMENT

RECEIVED
 JUL 20 2023
 DEPT. OF BUILDING INSPECTION
 THE PLAN SHALL BE OF QUALITY
 REVIEWED BY PERMITS MANAGER
 ACCEPTED

JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
▲	3/1/23	PLAN REVIEW COMMENTS

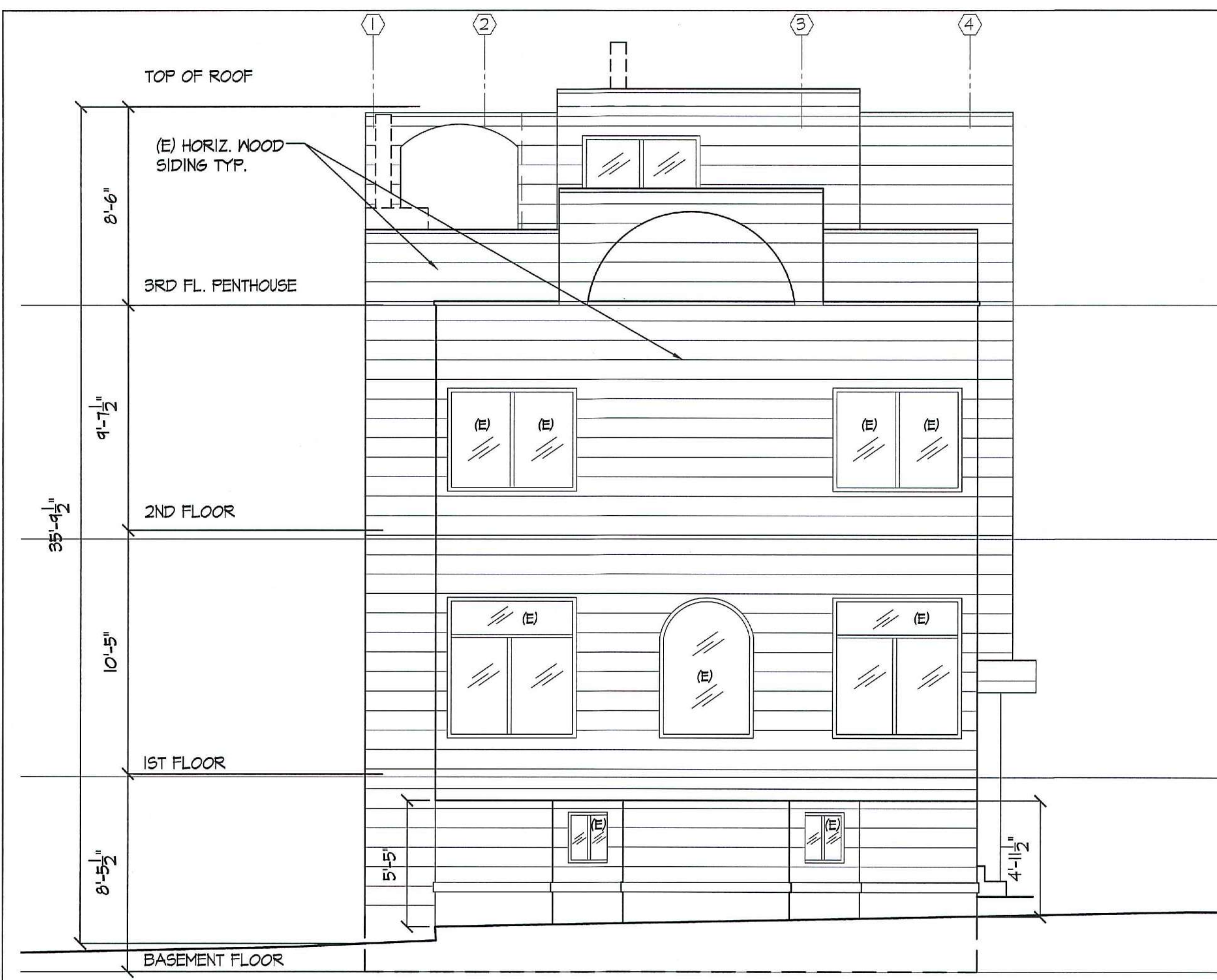
Stamp:



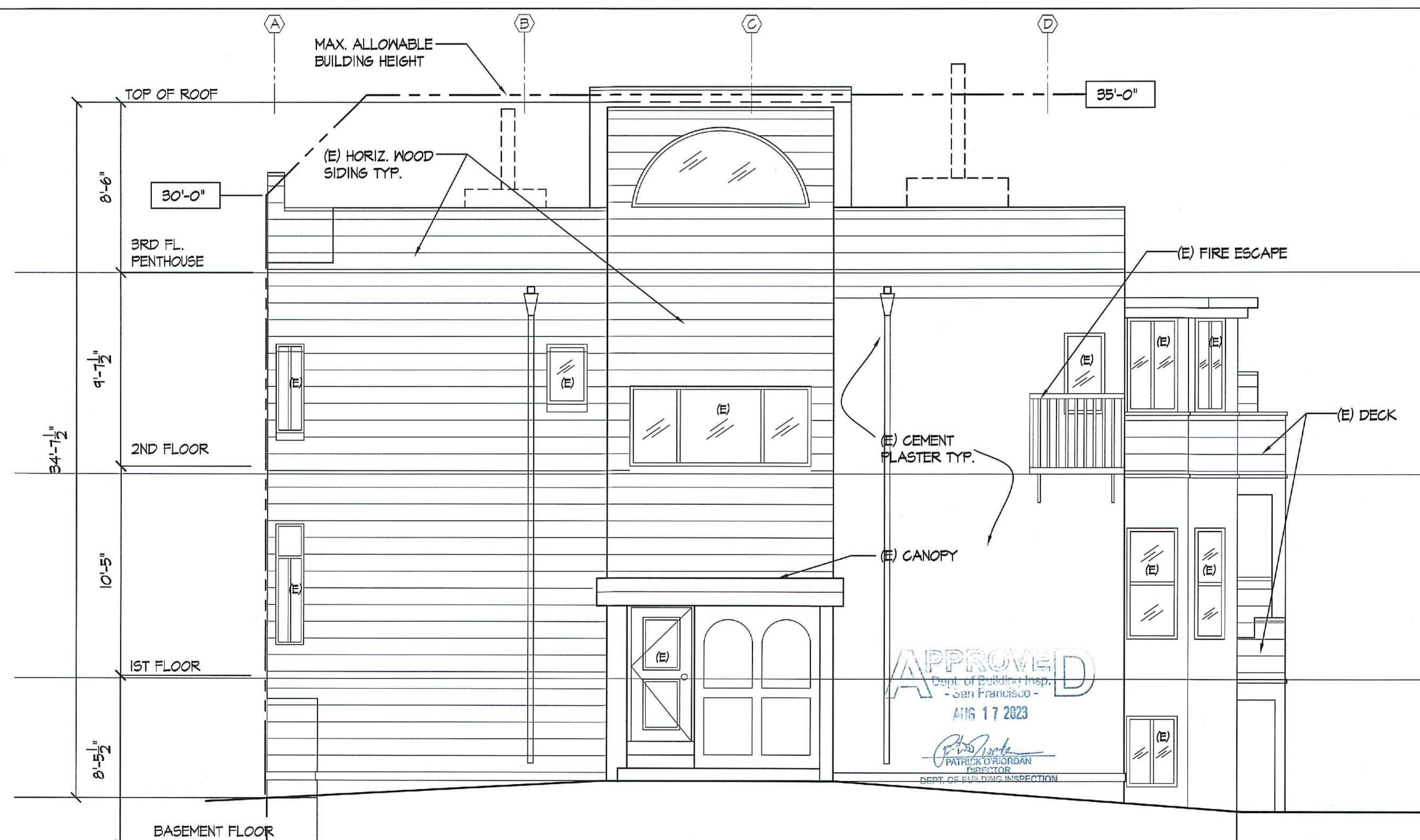
Sheet Title
EXISTING ELEVATIONS

Sheet No.

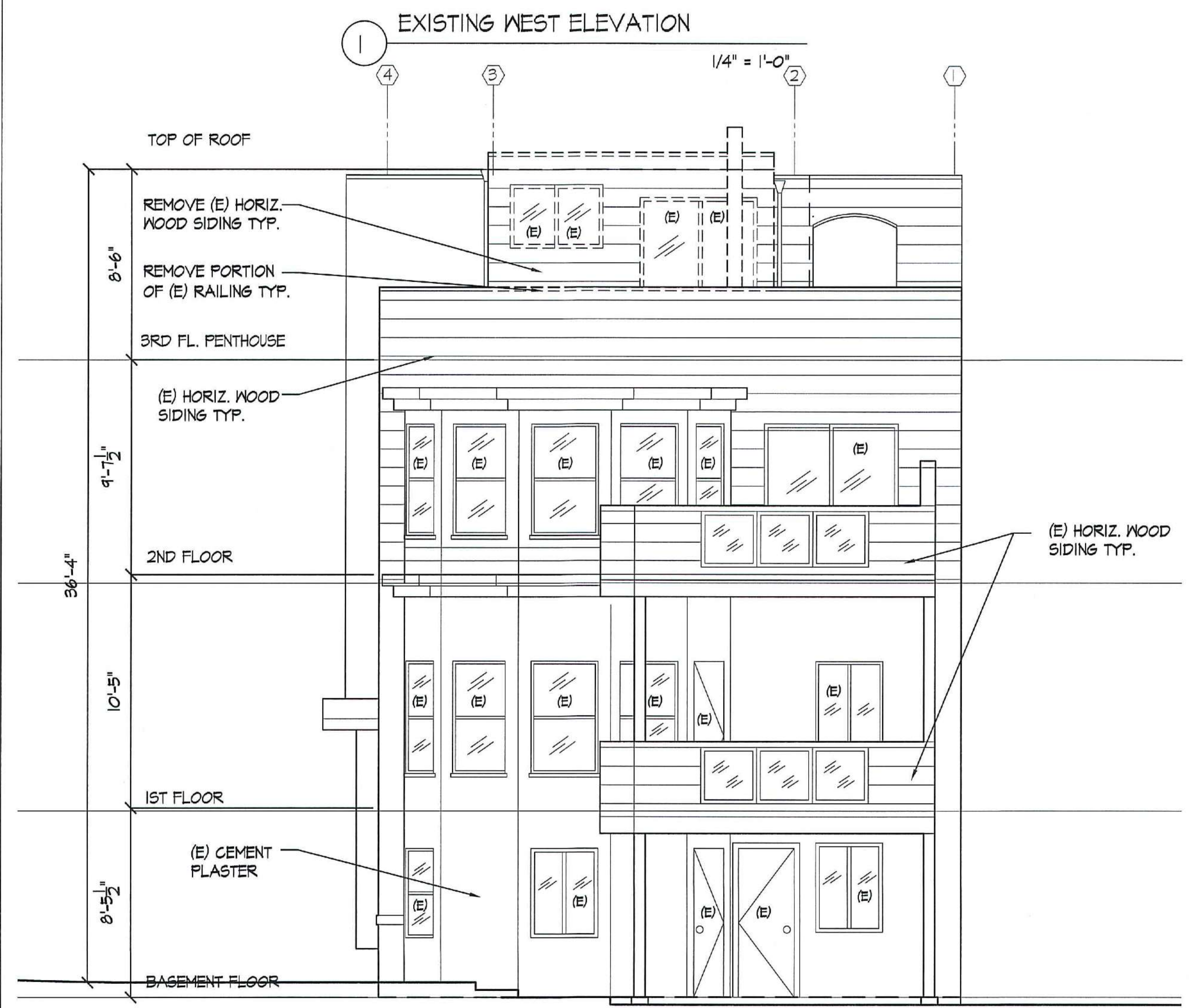
A-2



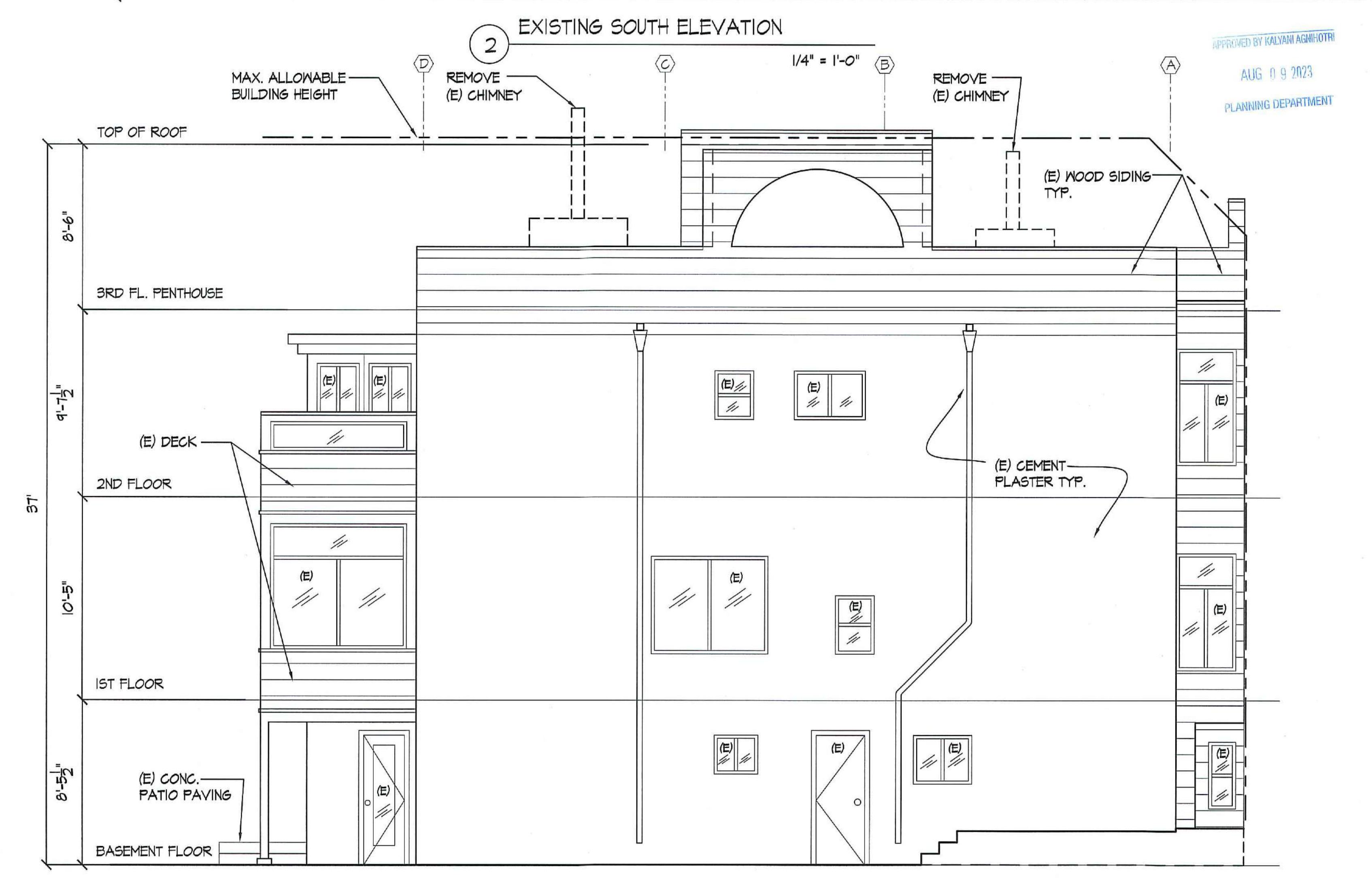
EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION



Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

**SOLARIUM
ADDITION**

110 32ND AVE
SAN FRANCISCO

Consultants:

APPROVED BY KALYAN AGRIWAL
AUG 09 2023
PLANNING DEPARTMENT
Calvin Horn, DBI
JUL 20 2023



JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

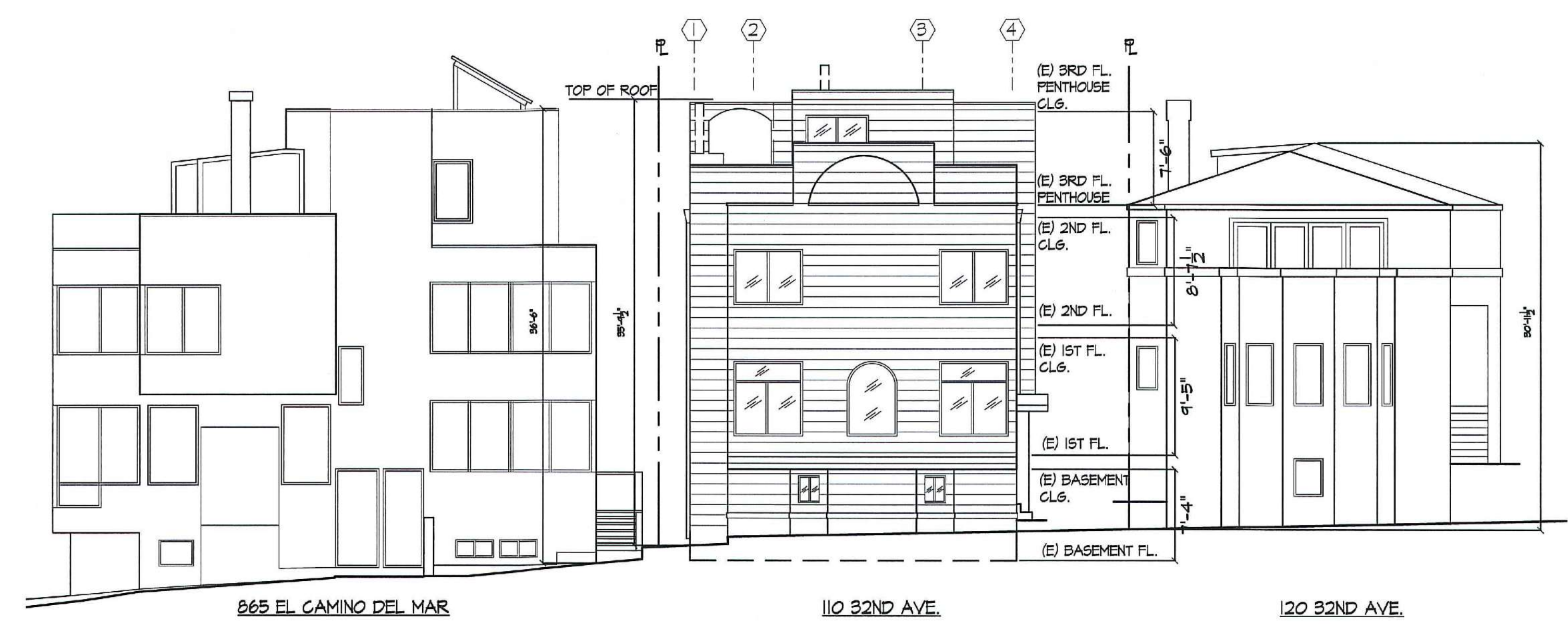
No.	Date	Description
Δ	3/1/23	PLAN REVIEW COMMENTS

Stamp:

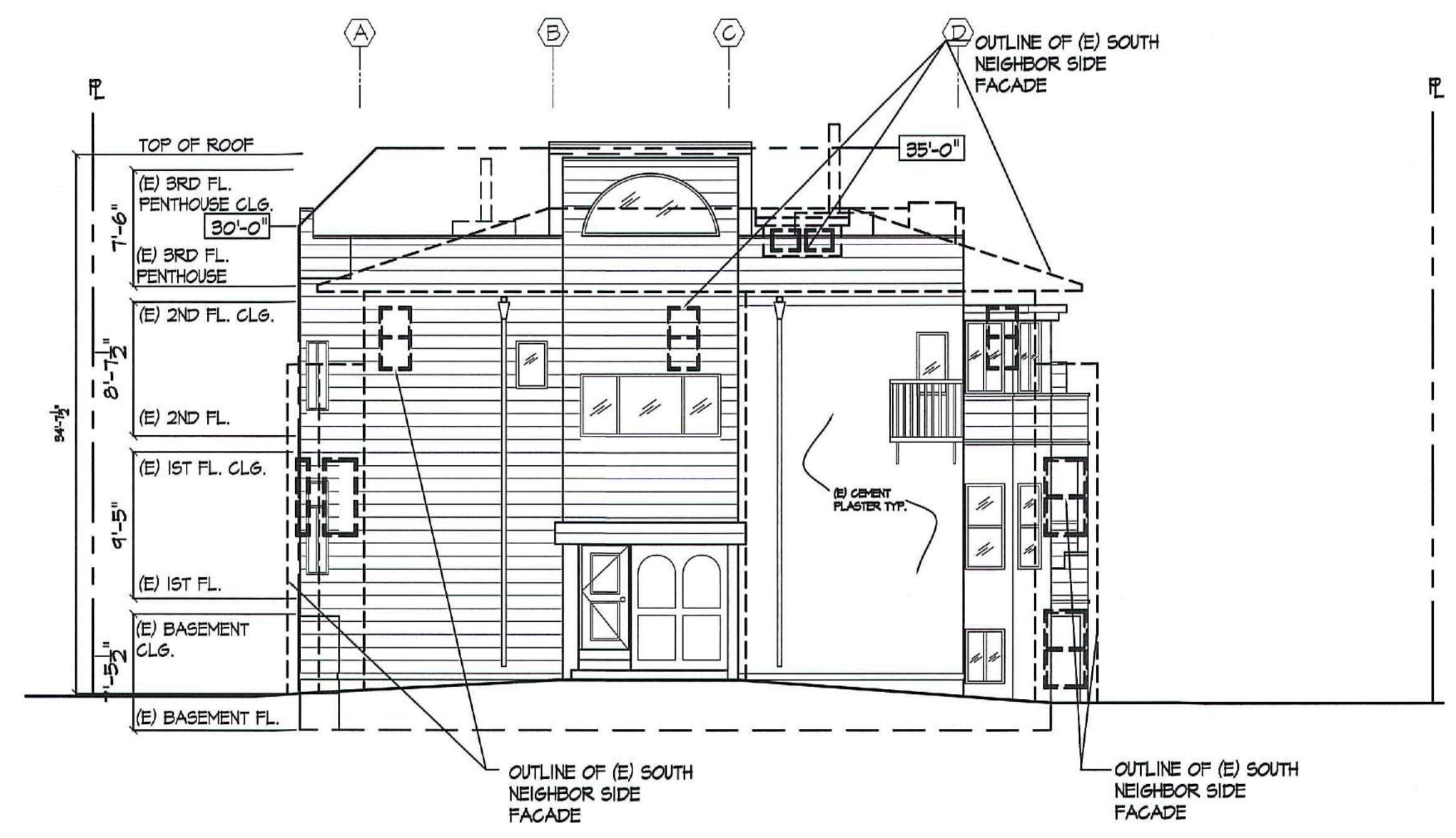


Sheet Title
**EXISTING
ELEVATIONS**

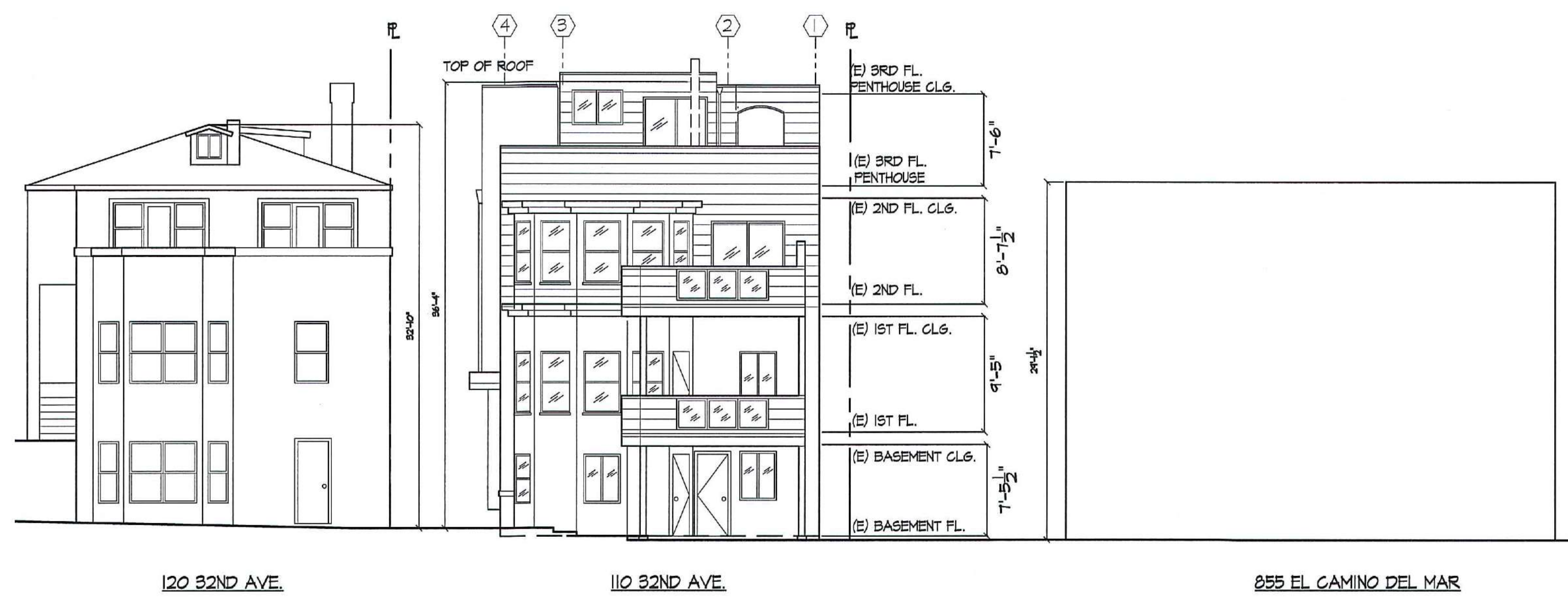
Sheet No.
A-21



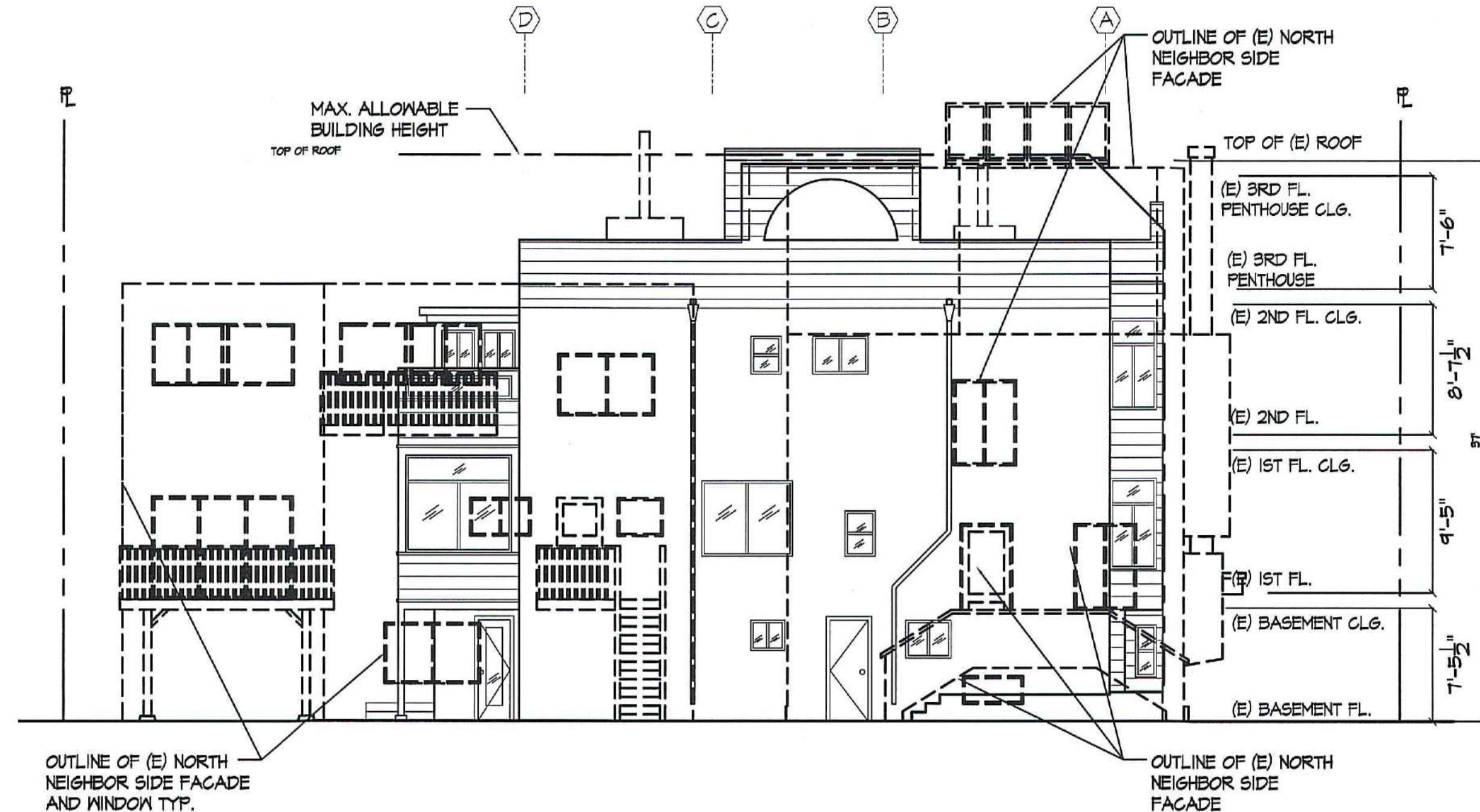
1 EXISTING WEST ELEVATION
1/8" = 1'-0"



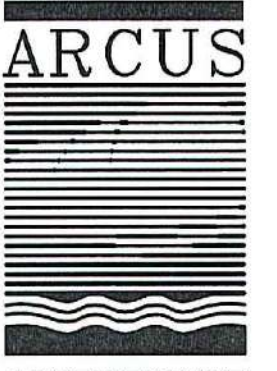
2 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



3 EXISTING EAST ELEVATION
1/8" = 1'-0"



4 EXISTING NORTH ELEVATION
1/8" = 1'-0"



61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2023. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:
SOLARIUM ADDITION

110 32ND AVE
SAN FRANCISCO

Consultants:
APPROVED BY KALYANI AGNIHOTRI
AUG 09 2023
Calvin Horn, DBP TRAINING DEPARTMENT
JUL 20 2023



JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
A	3/1/23	PLAN REVIEW COMMENTS

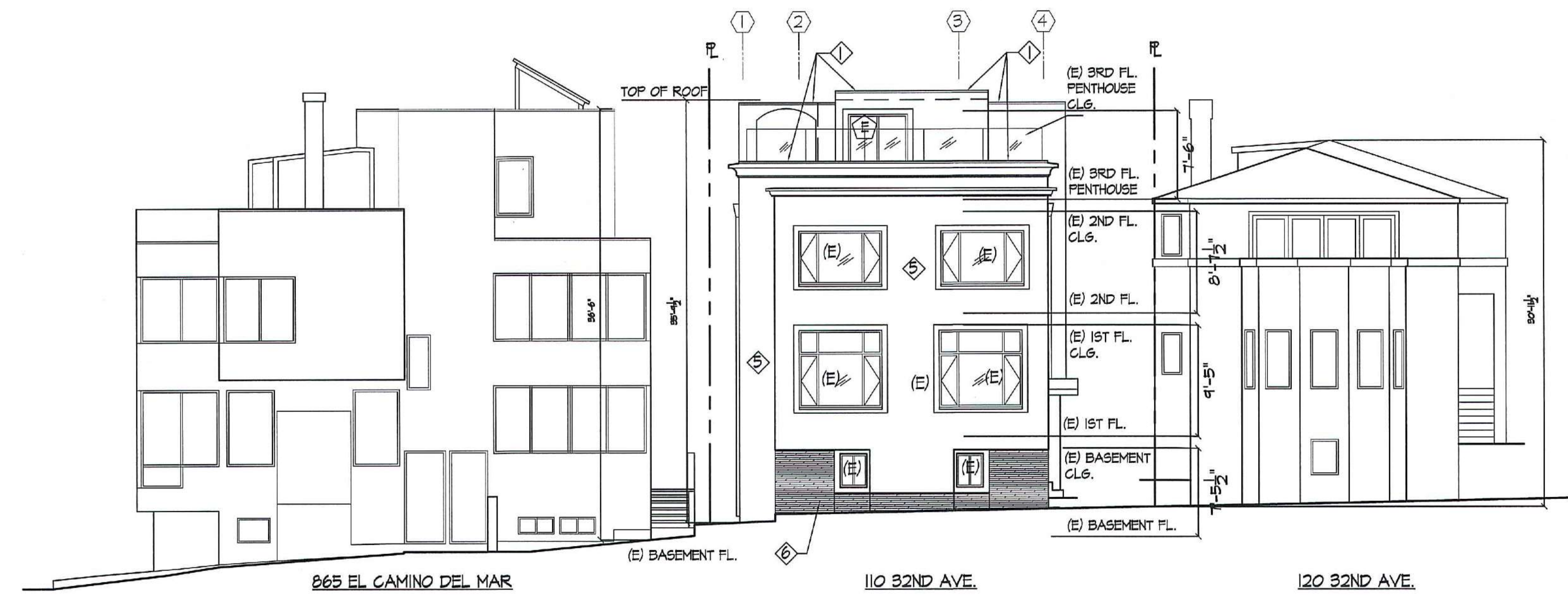
Stamp:



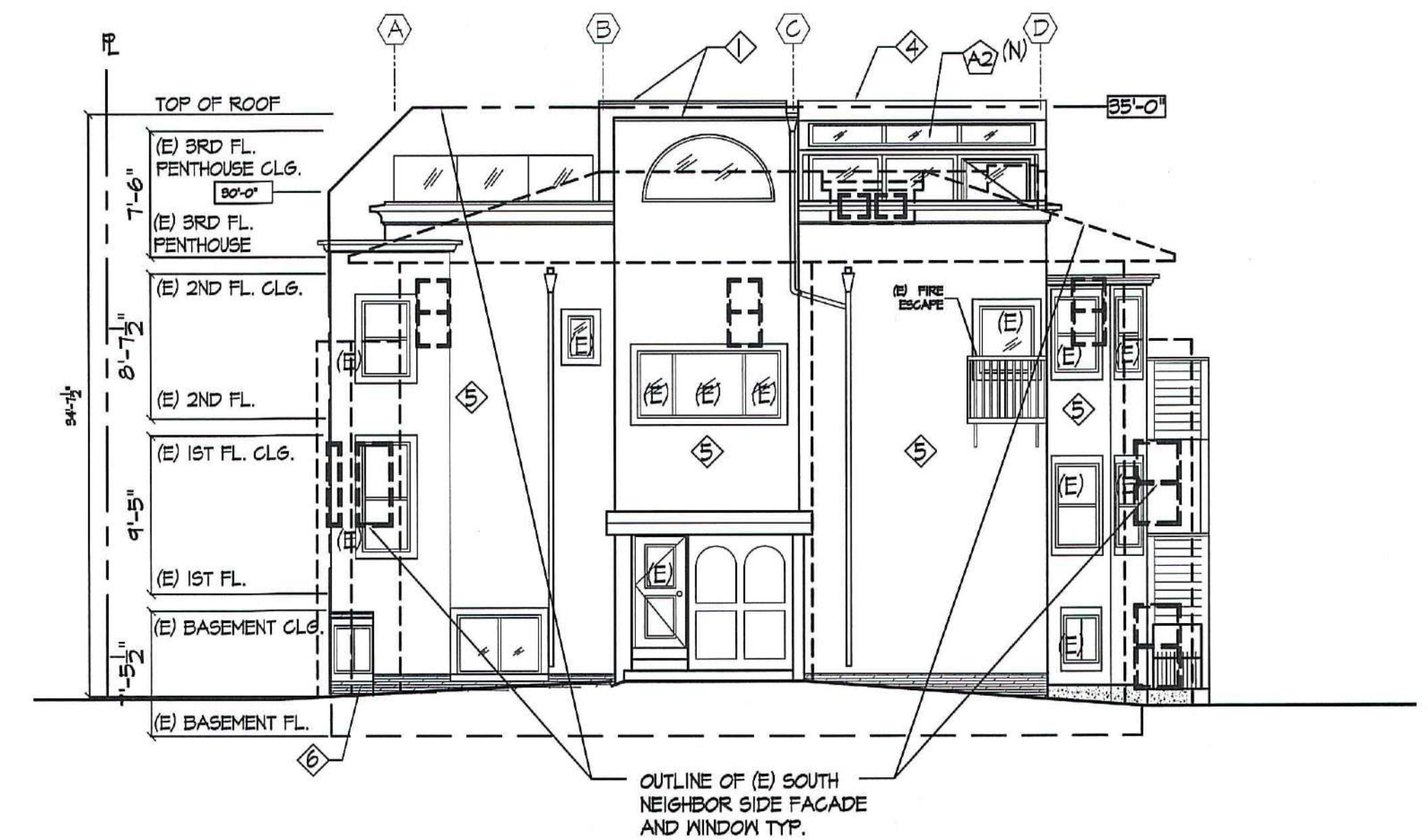
Samuel Kwong

Sheet Title
PROPOSED ELEVATIONS PLANS

Sheet No.
A-2.2



1 PROPOSED WEST ELEVATION
1/8" = 1'-0"

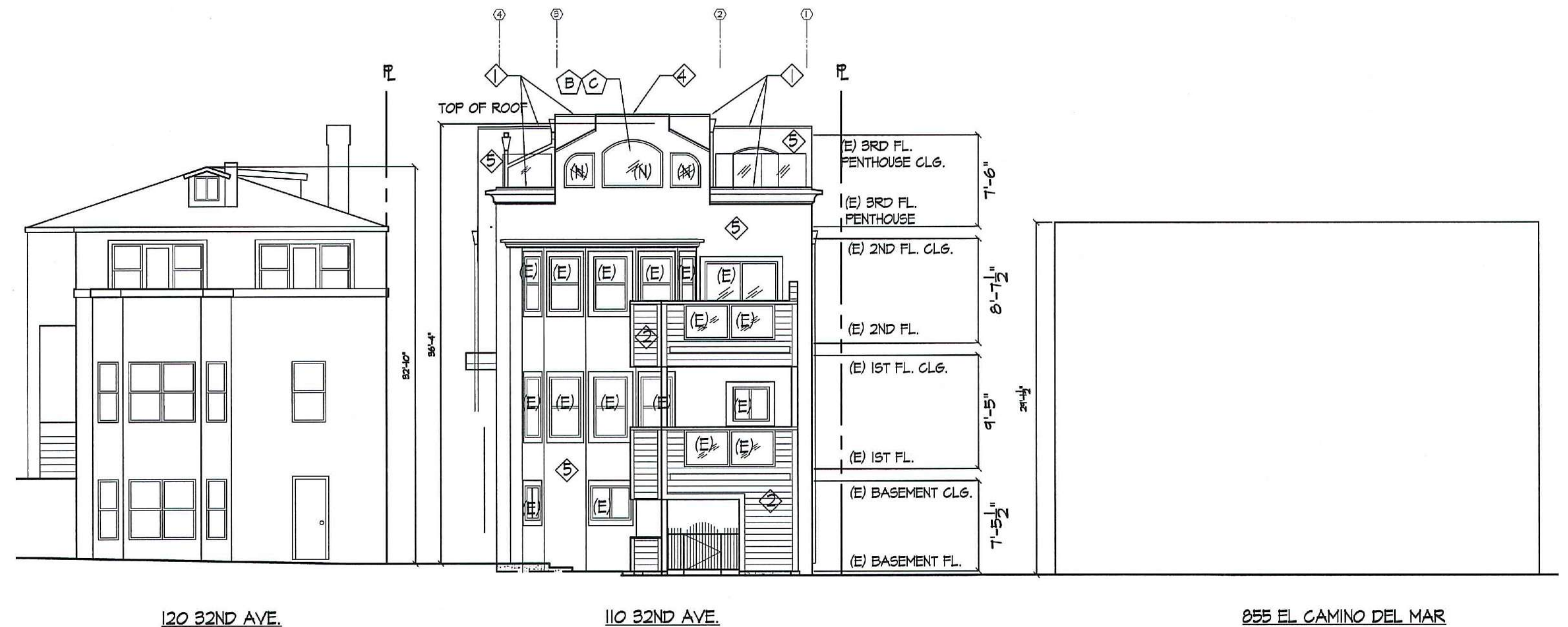


3 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"

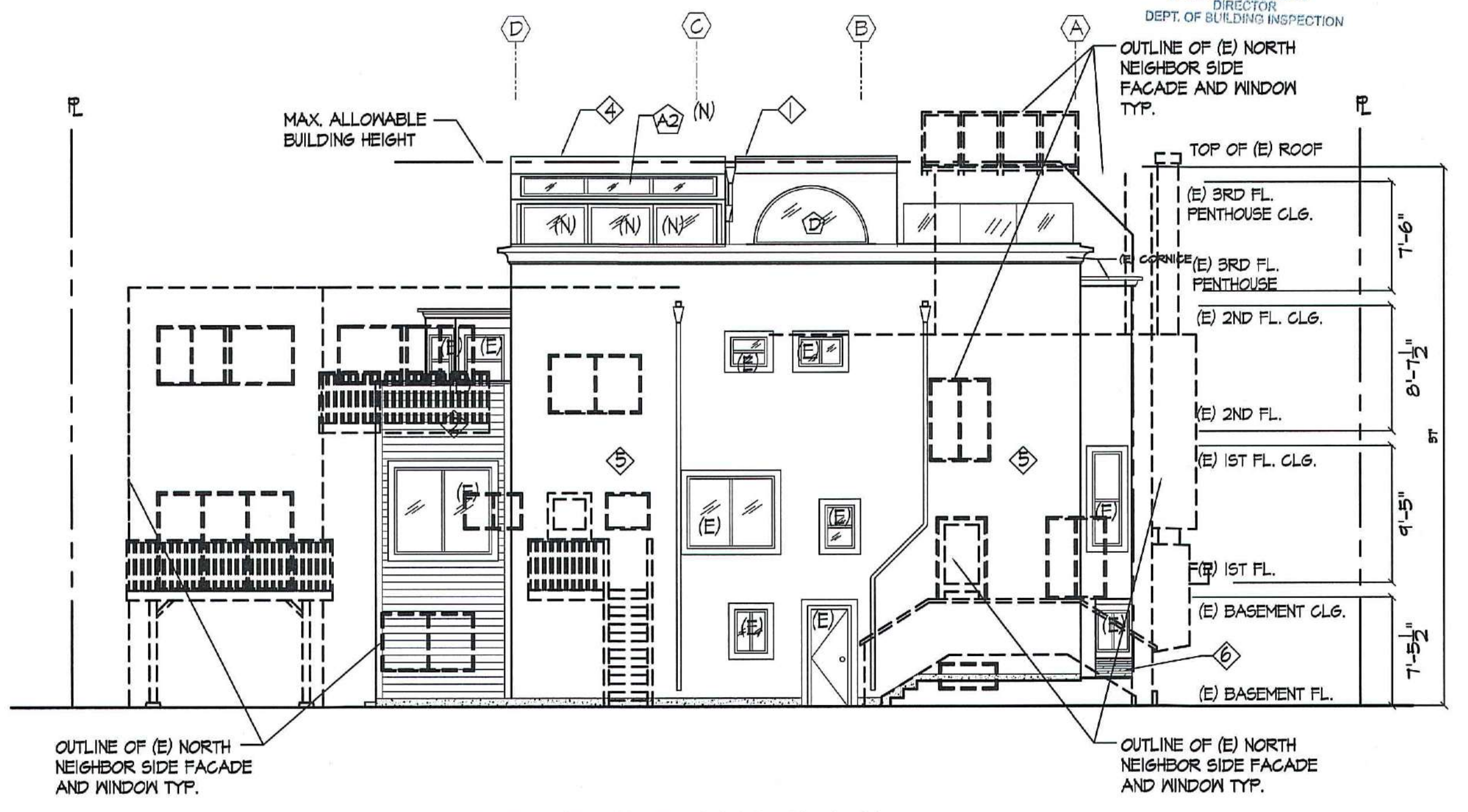
ELEVATIONS SHOWN AS EXIST. REFER TO APPROVED PERMIT #2022-0211-7868



PATRICK O'BRIEN
DIRECTOR
DEPT. OF BUILDING INSPECTION



2 PROPOSED SOUTH ELEVATION
1/8" = 1'-0"



4 PROPOSED NORTH ELEVATION
1/8" = 1'-0"

- BUILDING MATERIAL**
- ◇ (E) WALL CAP TYP.
 - ◇ (E) HORIZONTAL WOOD SIDING TYP.
 - ◇ (N) HORIZONTAL WOOD SIDING TYP.
 - ◇ (N) WALL CAP TO MATCH EXIST.
 - ◇ (E) 3 COAT STUCCO
 - ◇ (E) STONE VENEER

ARCUS
 ARCHITECTURE
 + PLANNING
 61 Walter U Lum Pl
 3/F San Francisco
 94108-1801 CA
 U S A
 (415) 391-3313
 (Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:
SOLARIUM ADDITION
 110 32ND AVE
 SAN FRANCISCO

Consultants:

Calvin Hom, DBI
 AUG 20 2023

RECEIVED
 JUL 20 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN SETS THE QUALITY
 STANDARD FOR WORKMANSHIP
 ACCEPTED

JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

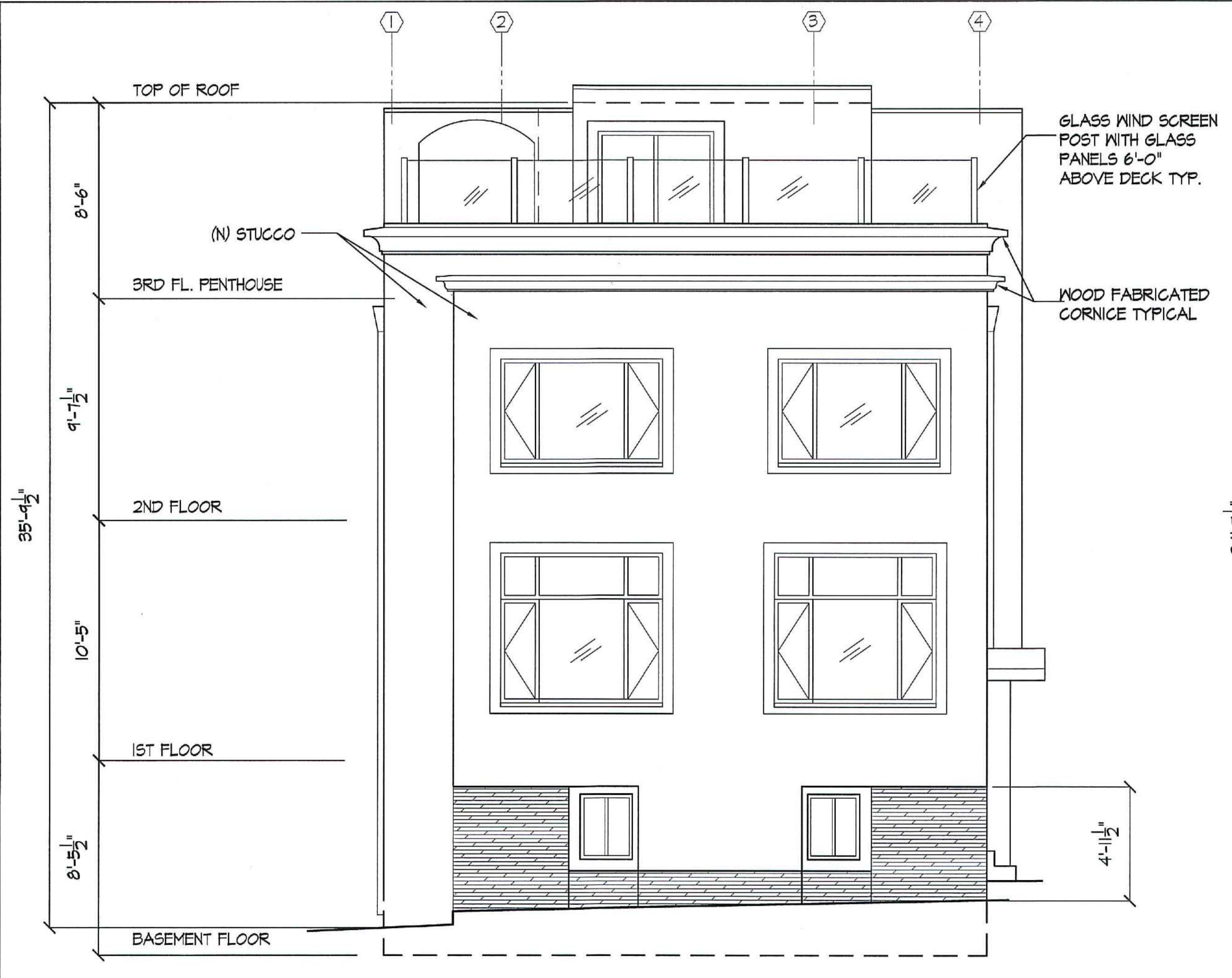
ISSUANCES & REVISIONS:

No.	Date	Description
A	3/1/23	PLAN REVIEW COMMENTS

Stamp:

Sheet Title
PROPOSED ELEVATIONS

Sheet No.
A-3

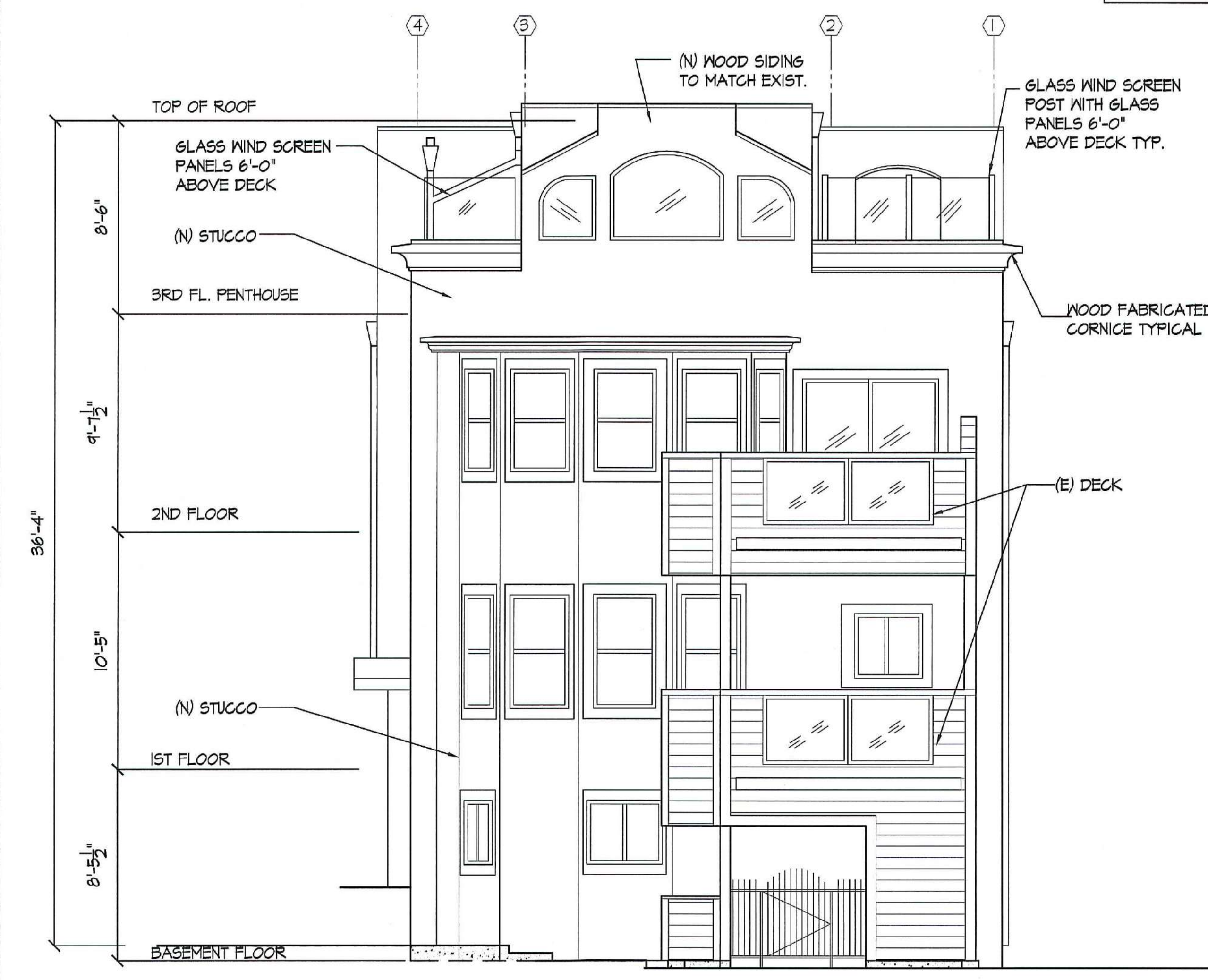


1 PROPOSED WEST ELEVATION
 1/4" = 1'-0"

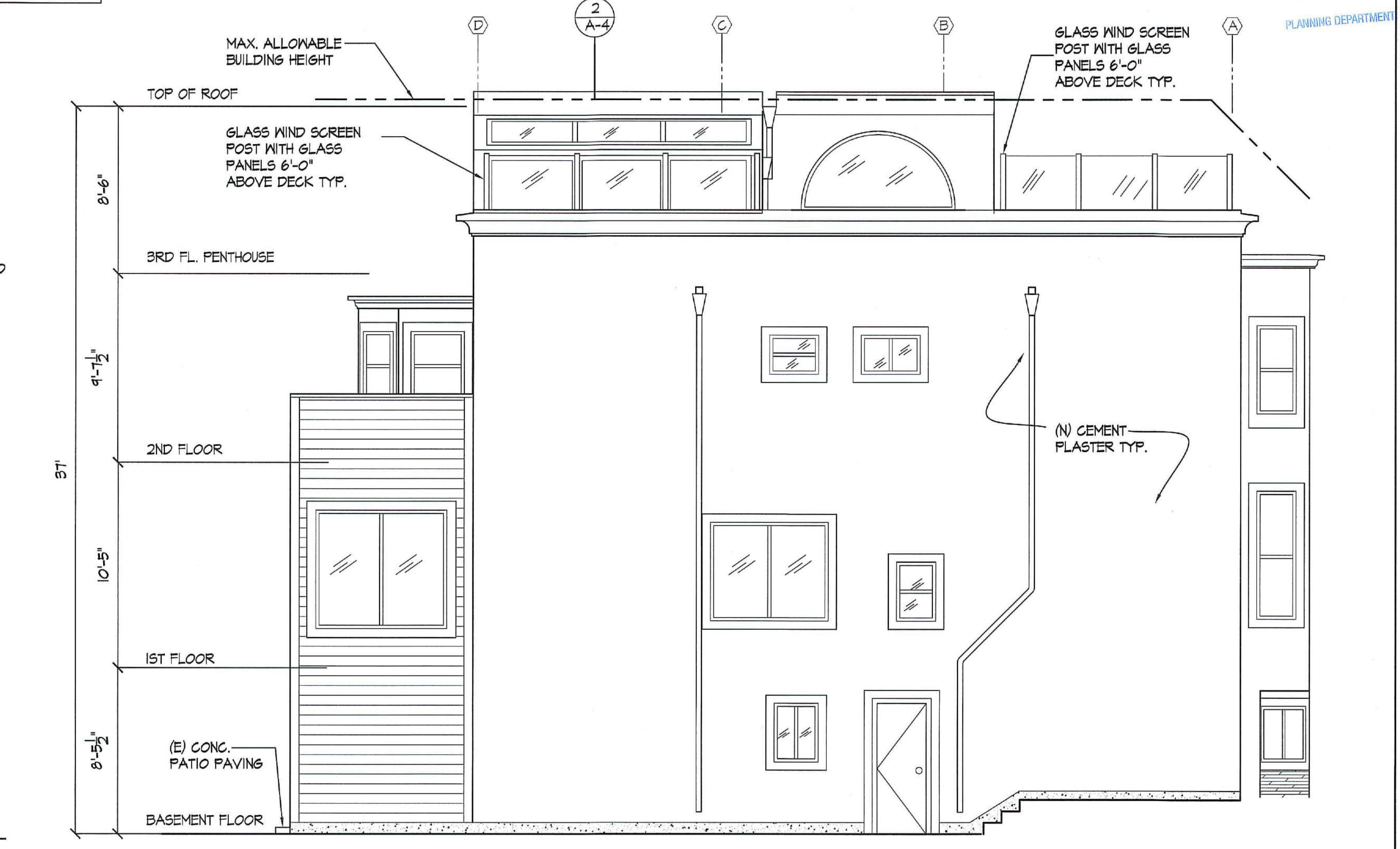


2 PROPOSED SOUTH ELEVATION
 1/4" = 1'-0"

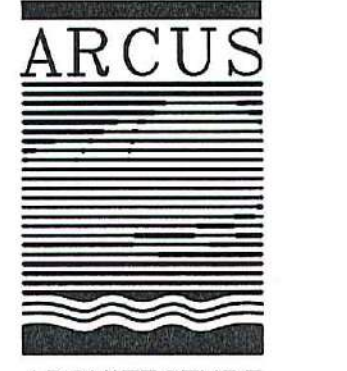
ELEVATIONS SHOWN AS EXIST. REFER TO APPROVED PERMIT #2022-0211-7868



3 PROPOSED EAST ELEVATION
 1/4" = 1'-0"



4 PROPOSED NORTH ELEVATION
 1/4" = 1'-0"



ARCUS ARCHITECTURE + PLANNING
61 Water U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
SAN FRANCISCO

Consultants:

APPROVED
Dept. of Building Insp.
- SAN FRANCISCO -
AUG 17 2023
Patricia Jordan
DIRECTOR
DEPT. OF BUILDINGS INSPECTION

Calvin Horn, DBI
JUL 20 2023

APPROVED BY KALYANI AGNIHOTRI

AUG 09 2023
PLANNING DEPARTMENT

RECEIVED
JUL 20 2023
DEPT. OF BUILDINGS INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR UNIFORM
ACCEPTANCE

JOB NO. 2022-07

Date: 3/18/22
Checked By: SK
Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
A	3/1/23	PLAN REVIEW COMMENTS

Stamp:

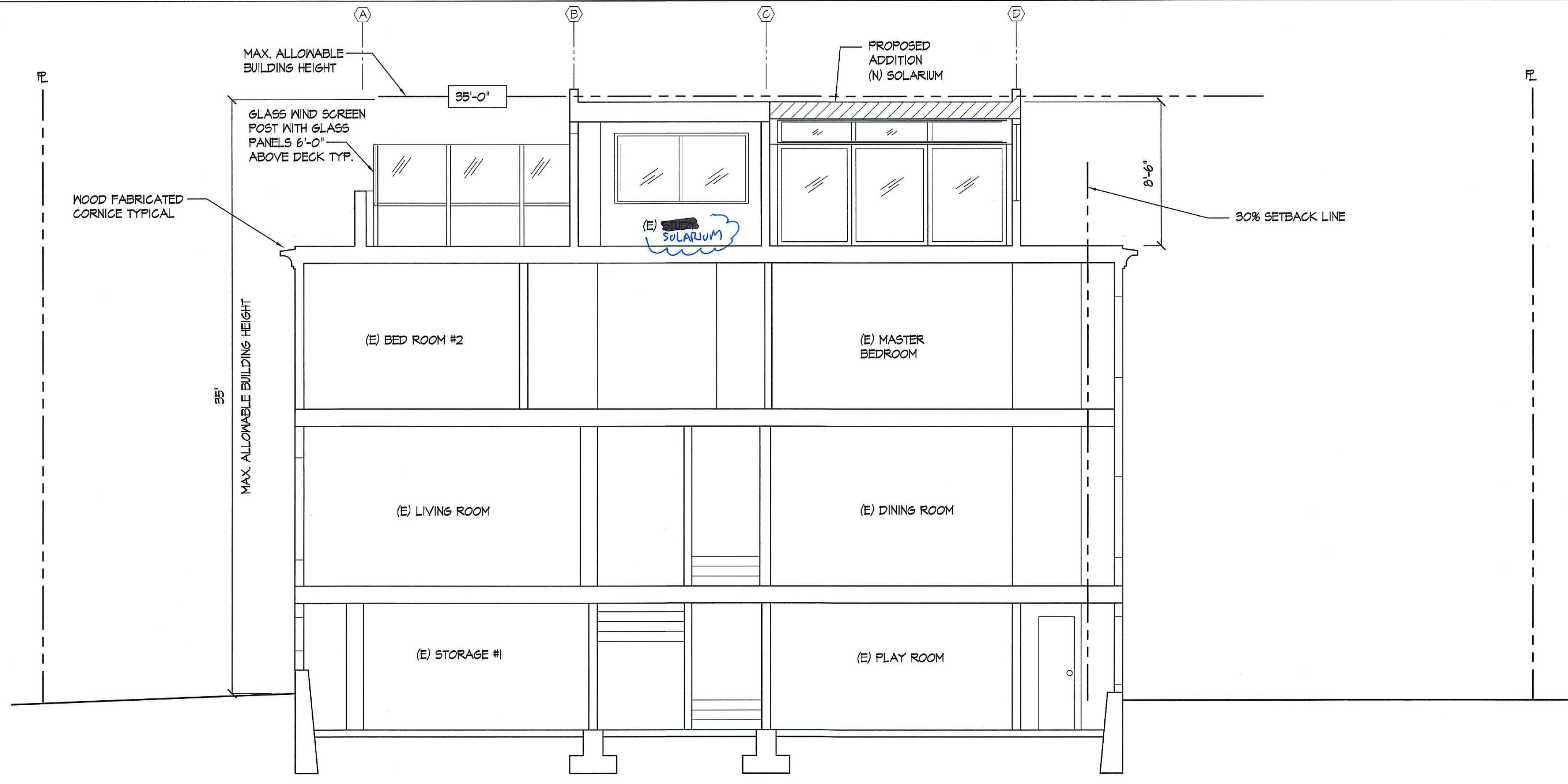


Samuel Kwong
Sheet Title

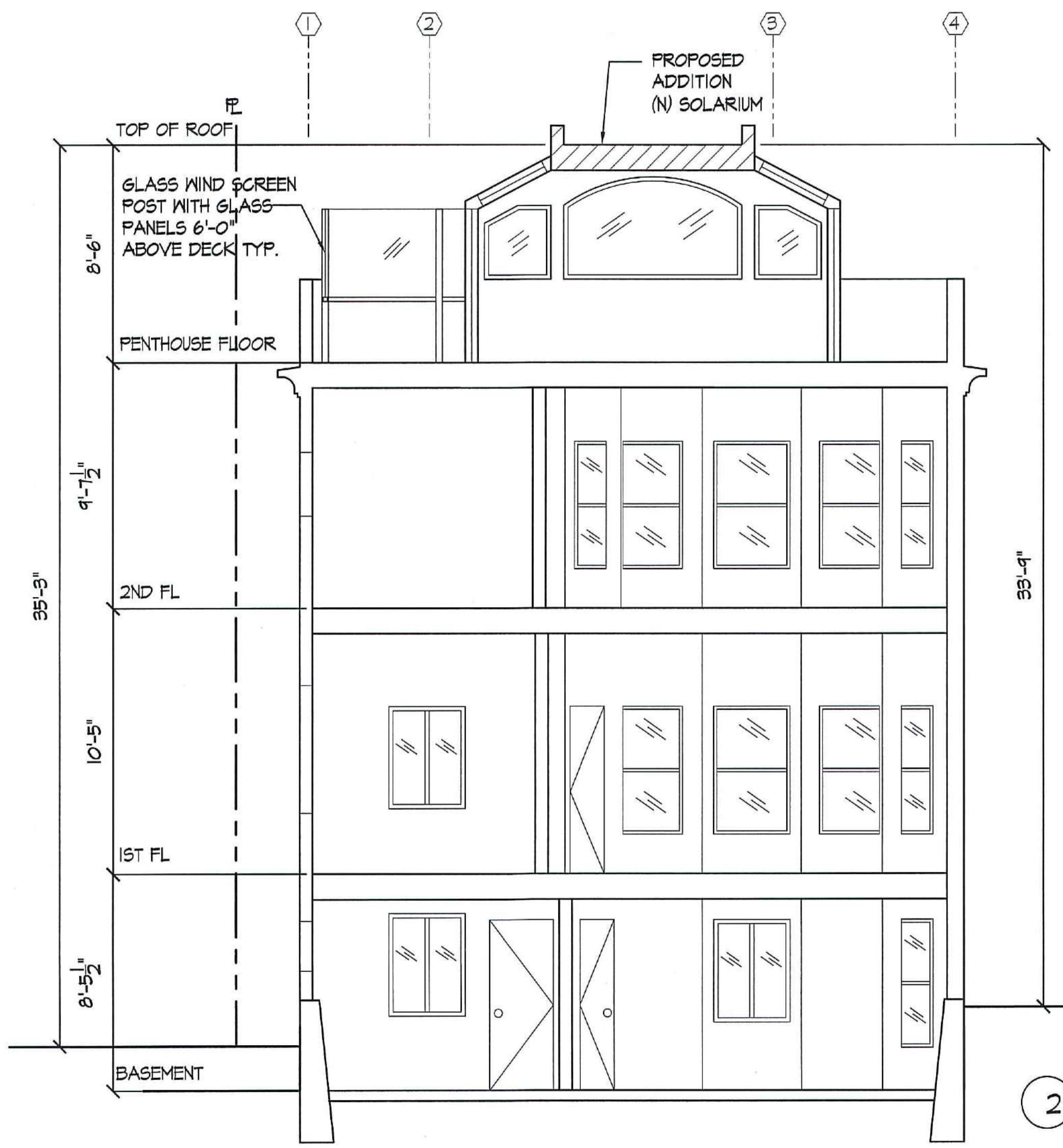
PROPOSED SECTIONS

Sheet No.

A-4



1 PROPOSED SECTION 1/4" = 1'-0"



2 PROPOSED SECTION 1/4" = 1'-0"

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:

SOLARIUM ADDITION

110 32ND AVE
 SAN FRANCISCO

Consultants:

Calvin Horn, DBI
 JUL 20 2023

RECEIVED
 JUL 20 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN SHALL BE QUALITY
 CHECKED FOR AWARD
 ACCREDITED

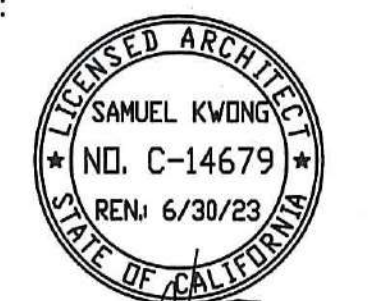
JOB NO. 2022-07

Date: 3/18/22
 Checked By: SK
 Drawn By: TC

ISSUANCES & REVISIONS:

No.	Date	Description
Δ	3/1/23	PLAN REVIEW COMMENTS

Stamp:



Sheet Title
TRAVEL DISTANCE ANALYSIS

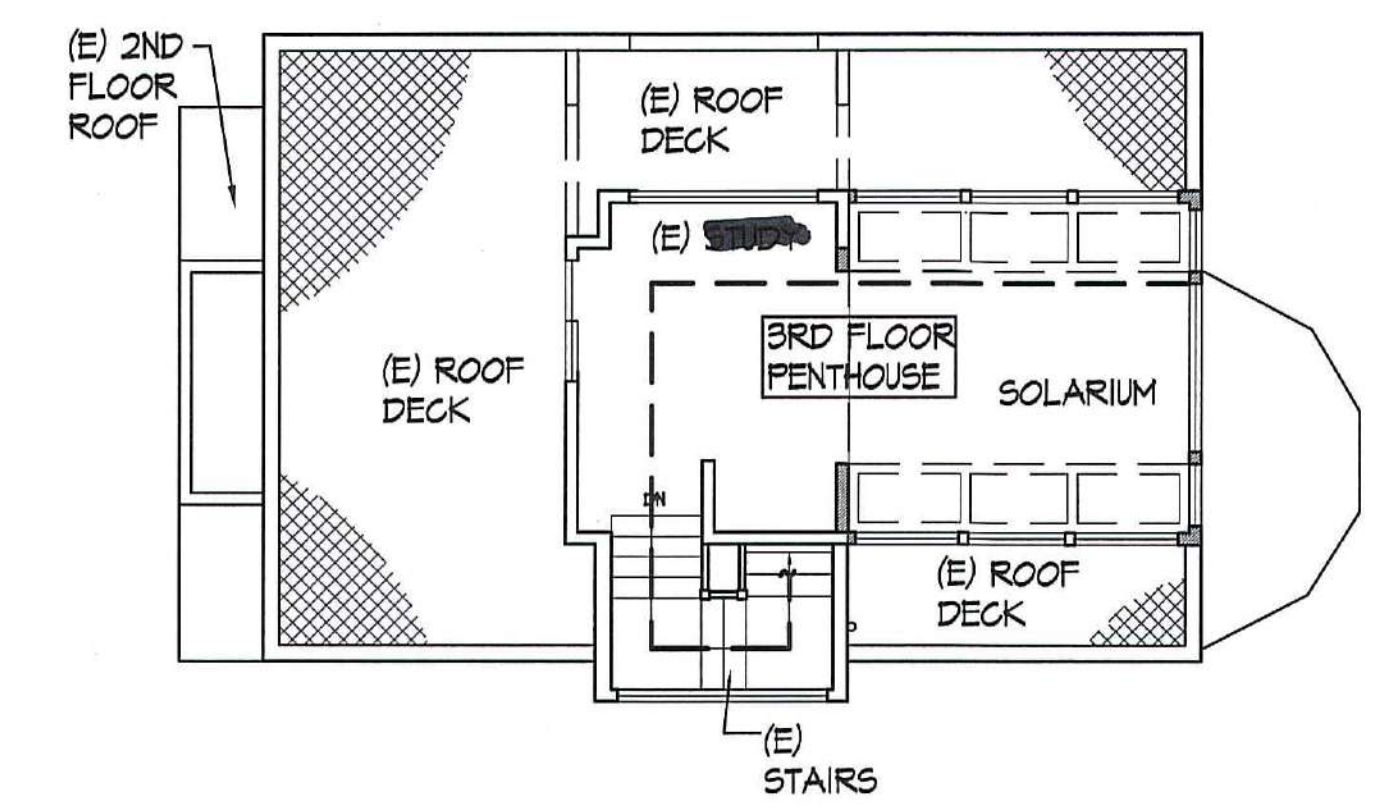
Sheet No.

A-5



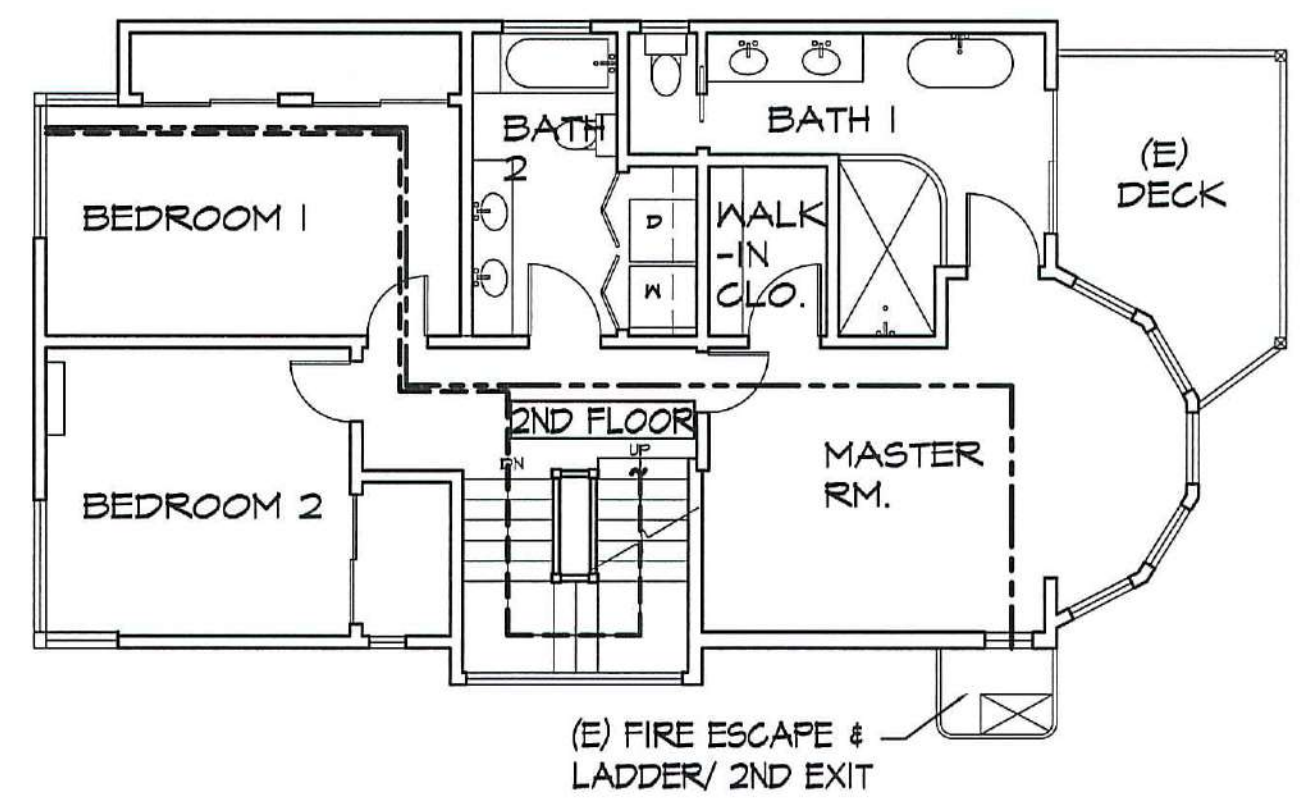
3RD FLOOR PENTHOUSE TRAVEL DISTANCE

1ST FL. MAIN ENTRANCE	99'-6 $\frac{3}{4}$ "	---
-----------------------	-----------------------	-----



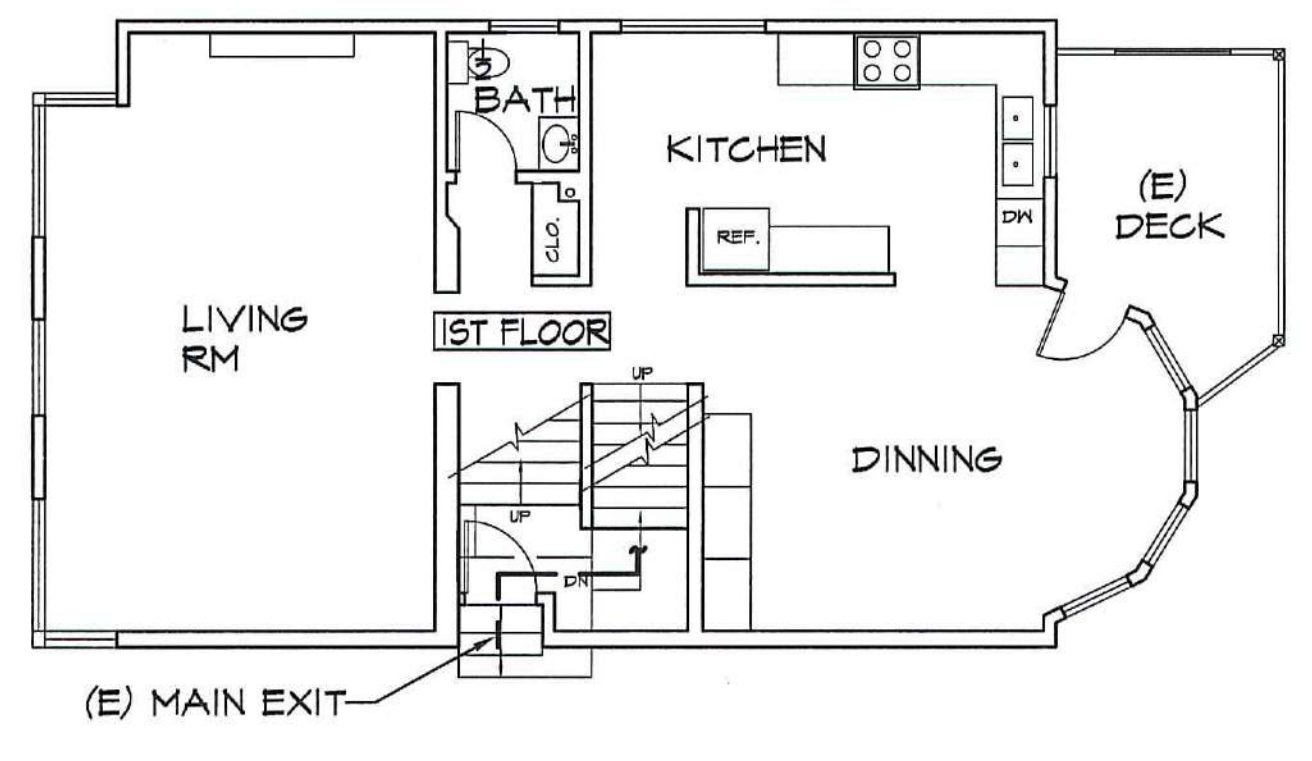
2ND FLOOR TRAVEL DISTANCE

1ST FL. MAIN ENTRANCE	99'-11 $\frac{1}{2}$ "	---
FIRE ESCAPE 2ND EXIT	87'-7 $\frac{1}{2}$ "	---



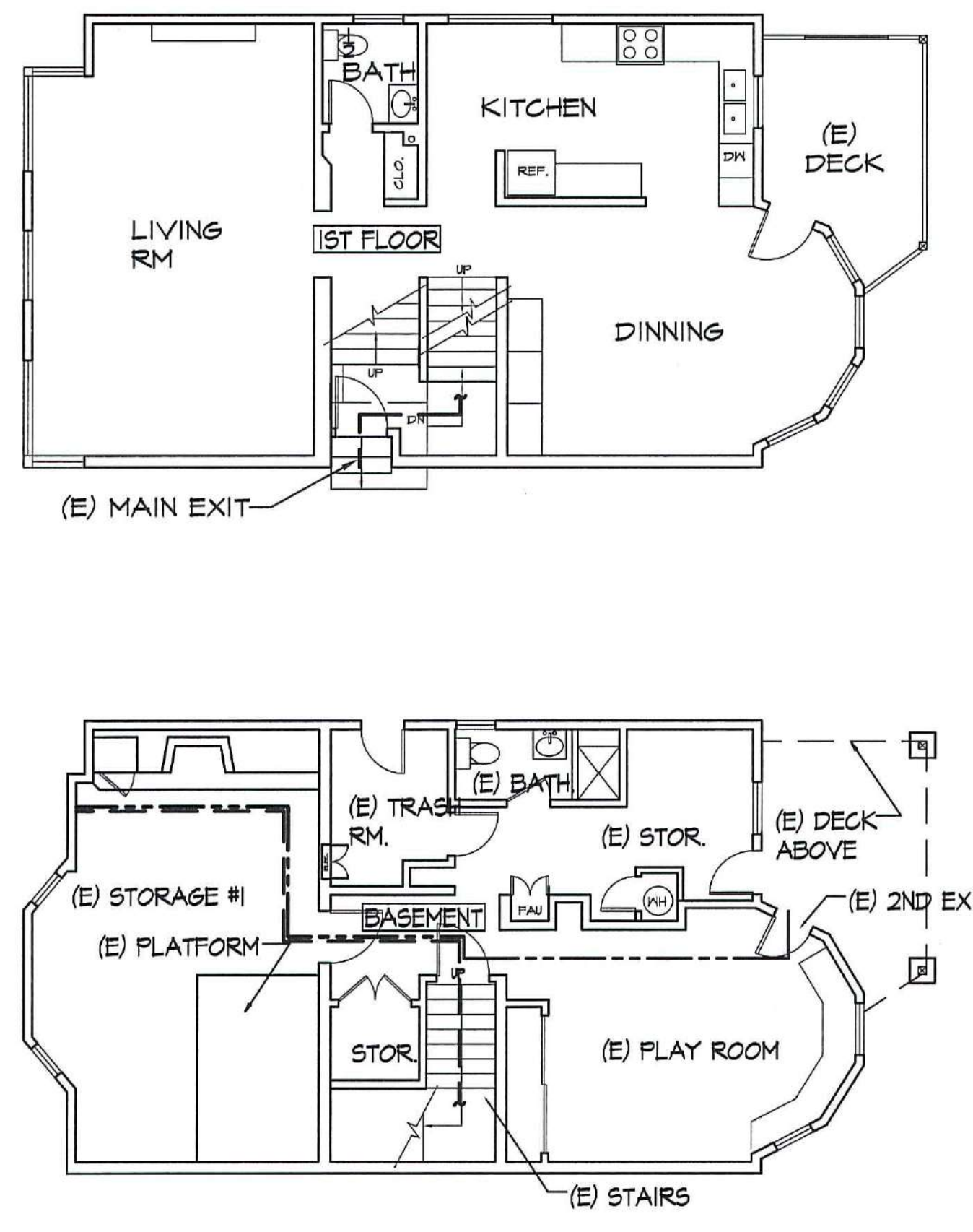
1ST FLOOR TRAVEL DISTANCE

1ST FL. MAIN ENTRANCE	40'-4 $\frac{1}{2}$ "	---
-----------------------	-----------------------	-----



BASEMENT TRAVEL DISTANCE

1ST FL. MAIN ENTRANCE	48'-10 $\frac{1}{2}$ "	---
REAR YARD 2ND EXIT	52'-7"	---



1 BASEMENT TRAVEL DISTANCE
 1/8" = 1'-0"

2 1ST FLOOR TRAVEL DISTANCE
 1/8" = 1'-0"

3 2ND FLOOR TRAVEL DISTANCE
 1/8" = 1'-0"

4 3RD FLOOR PENTHOUSE TRAVEL DISTANCE
 1/8" = 1'-0"

GS5: San Francisco Green Building Submittal Form for Residential Alteration + Addition Projects

INSTRUCTIONS:

1. Fill out the project information in the Verification box at the right.
2. Submittal must be a minimum of 11" x 17".
3. This form is for permit applications submitted January 2020 through December 2022.

OTHER RESIDENTIAL ALTERATIONS + ADDITIONS

adds any amount of conditioned area, volume, or size

if applicable

VERIFICATION

Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by ≥1,000 sq. ft. are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by <1,000 sq. ft., the applicant or design professional may sign below, and no license or special qualifications are required. FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion

PROJECT NAME
SOLARIUM ADDITION

BLOCK/LOT
1312/009

ADDRESS
110 32ND AVE.

PRIMARY OCCUPANCY
R-3

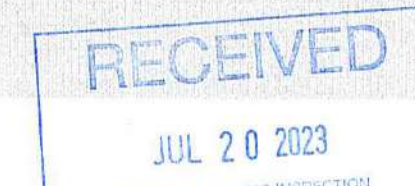
GROSS BUILDING AREA
4143 SF

INCREASE IN CONDITIONED FLOOR AREA **3,000**

I have been retained by the project sponsor to verify that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements. I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

LICENSED PROFESSIONAL (sign & date)
May be signed by applicant when <1,000 sq. ft. is added

AFFIX STAMP BELOW:



Projects that increase total conditioned floor area by ≥1,000 sq.ft.: Green Building Compliance Professional of Record will verify compliance.

GREEN BUILDING COMPLIANCE PROFESSIONAL (name & contact phone #)

FIRM

- I am a LEED Accredited Professional
- I am a GreenPoint Rater
- I am an ICC Certified CALGreen Inspector

GREEN BUILDING COMPLIANCE PROFESSIONAL (sign & date)

Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by another party who will verify applicable green building requirements are met.

	TITLE	SOURCE OF REQUIREMENT	DESCRIPTION OF REQUIREMENT	
RESIDENTIAL	GRADING & PAVING	CALGreen 4.106.3	Show how surface drainage (grading, swales, drains, retention areas) will keep surface water from entering the building.	
	RODENT PROOFING	CALGreen 4.406.1	Seal around pipe, cable, conduit, and other openings in exterior walls with cement mortar or DBI-approved similar method.	•
	FIREPLACES & WOODSTOVES	CALGreen 4.503.1	Install only direct-vent or sealed-combustion, EPA Phase II-compliant appliances.	•
	CAPILLARY BREAK, SLAB ON GRADE	CALGreen 4.505.2	Slab on grade foundation requiring vapor retarder also requires a capillary break such as: 4 inches of base 1/2-inch aggregate under retarder; slab design specified by licensed professional.	•
	MOISTURE CONTENT	CALGreen 4.505.3	Wall + floor <19% moisture content before enclosure.	•
	BATHROOM EXHAUST	CALGreen 4.506.1	Must be ENERGY STAR compliant, ducted to building exterior, and its humidistat shall be capable of adjusting between <50% to >80% (humidistat may be separate component).	•
MATERIAL EMISSIONS	LOW-EMITTING MATERIALS	CALGreen 4.504.2.1-5, SFGBC 4.103.3.2	Use products that comply with the emission limit requirements of 4.504.2.1-5, 5.504.4.1-6 for adhesives, sealants, paints, coatings, carpet systems including cushions and adhesives, resilient flooring (80% of area), and composite wood products.	•
WATER	INDOOR WATER USE REDUCTION	CALGreen 4.303.1, SF Housing Code sec.12A10	Meet flush/flow requirements for: toilets (1.28 gpf); urinals (0.125 gpf wall, 0.5 gpf floor); showerheads (1.8 gpm); lavatories (1.2 gpm private, 0.5 gpm public/common); kitchen faucets (1.8 gpm); wash fountains (1.8 gpm); metering faucets (0.2 gpc); food waste disposers (1 gpm/8 gpm). Residential major improvement projects must upgrade all non-compliant fixtures per SF Housing Code sec.12A10.	•
	WATER-EFFICIENT IRRIGATION	Administrative Code ch.63	If modified landscape area is ≥1,000 sq.ft., use low water use plants or climate appropriate plants, restrict turf areas and comply with Model Water Efficient Landscape Ordinance restrictions by calculated ETAF of ≤.55 or by prescriptive compliance for projects with ≤2,500 sq.ft. of landscape area.	•
ENERGY	ENERGY EFFICIENCY	CA Energy Code	Comply with all provisions of the CA Energy Code.	•
PARKING	WIRING FOR EV CHARGERS	CalGreen 4.106.4.3	For alterations to multifamily, install raceway for future Level 2 EVSE (min 40A 208/240VAC) terminating at 10% of parking spaces in areas where parking is added, or electrical systems (including lighting) are altered in existing parking facilities.	•
	BICYCLE PARKING	Planning Code sec.155.1-2	Provide short- and long-term bike parking to meet requirements of SF Planning Code sec.155.1-2.	if applicable
RESOURCE RECOVERY	RECYCLING BY OCCUPANTS	SF Building Code 106A.3.3, CalGreen 5.410.1, AB-088	Provide adequate space and equal access for storage, collection, and loading of compostable, recyclable and landfill materials. For help estimating adequate space for collection by hauler, see supporting materials including a design guide and calculator at: www.sfenvironment.org/refusecalculator .	•
	CONSTRUCTION & DEMOLITION (C&D) DISCARDS MANAGEMENT	Environment Code ch. 14 SFGBC 4.103.2.3 CalGreen 4.408.2, 4.408.5	100% of mixed debris must be taken by a Permitted Transporter to a Registered Facility for recycling and recovery. Complete Material Reduction and Recovery Plan and demonstrate minimum 65% recovery rate. For more information, see DBI Information Sheet GB-02 or contact: debrisrecovery@sfgov.org or 415-355-3799.	•
HVAC	HVAC INSTALLER QUALS	CALGreen 4.702.1	Installers must be trained in best practices.	•
	HVAC DESIGN	CALGreen 4.507.2	HVAC shall be designed to ACCA Manual J, D, and S.	•
GOOD NEIGHBOR	BIRD-SAFE BUILDINGS	Planning Code sec.139	Glass facades and bird hazards facing and/or near Urban Bird Refuges may need to treat their glass for opacity.	•
	TOBACCO SMOKE CONTROL	Health Code art.19F	Prohibit smoking within 10 feet of building entries, air intakes, and operable windows and enclosed common areas.	•
POLLUTION PREVENTION	STORMWATER CONTROL PLAN	Public Works Code art.4.2 sec.147	Projects disturbing ≥5,000 sq.ft. in combined or separate sewer areas, or replacing ≥2,500 impervious sq.ft. in separate sewer area, must implement a Stormwater Control Plan meeting SFPUC Stormwater Management Requirements.	if project extends outside envelope
	CONSTRUCTION SITE RUNOFF	Public Works Code art.4.2 sec.146	Provide a construction site Stormwater Pollution Prevention Plan and implement SFPUC Best Management Practices.	if project extends outside envelope
INDOOR AIR QUALITY	AIR FILTRATION (CONSTRUCTION)	CALGreen 4.504.1	Seal permanent HVAC ducts/equipment stored onsite before installation.	•

For Reference Only

FOR YOUR INFORMATION: INDOOR WATER EFFICIENCY

Each fixture must not exceed CALGreen 4.303 maximum flow rates:

FIXTURE TYPE	MAXIMUM FIXTURE FLOW RATE
Showerheads ²	1.8 gpm @ 80 psi
Lavatory Faucets: residential	1.2 gpm @ 60 psi
Kitchen Faucets	1.8 gpm @ 60 psi default
Wash Fountains	1.8 gpm / 20 [rim space (inches) @ 60 psi]
Metering Faucets	.20 gallons per cycle
Tank-type water closets	1.28 gallons / flush ¹ and EPA WaterSense Certified
Flushometer valve water closets	1.28 gallons / flush ¹
Urinals	Wall mount: 0.125 gallons / flush Floor mount: 0.5 gallons / flush

NOTES:

1. For dual flush toilets, effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. The referenced standard is ASME A112.19.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification – 1.28 gal (4.8L)
2. The combined flow rate of all showerheads in one shower stall shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time (CALGreen 5.303.2.1)

Water Efficiency of Existing Non-Compliant Fixtures

All fixtures that are not compliant with the San Francisco Commercial Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards referenced above. For more information, see the Commercial Water Conservation Program Brochure, available at SFDDBI.org.

NON-COMPLIANT PLUMBING FIXTURES INCLUDE:

1. Any toilet manufactured to use more than 1.6 gallons/flush
2. Any urinal manufactured to use more than 1 gallon/flush
3. Any showerhead manufactured to have a flow capacity of more than 2.5 gpm
4. Any interior faucet that emits more than 2.2 gpm

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

GENERAL NOTES:

- ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF "2019 CBC", AND SF BUILDING CODE AMENDMENTS AND ORDINANCES, LATEST EDITION.
- DETAILS OF CONSTRUCTION SHALL BE VERIFIED AT SITE BY THE CONTRACTOR, AND DISCREPANCIES BETWEEN THE PLAN AND EXISTING CONDITIONS SHALL BE PROMPTLY REPORTED TO ENGINEER PRIOR TO PROCEED WITH WORK.
- DIMENSIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE CONFIRMED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE TO CAREFULLY MEASURE ALL EXISTING CONDITIONS TO ASSURE ACCURATE POSITIONING OF THE NEW CONSTRUCTION.
- DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY TO SIMILAR SITUATIONS.
- DO NOT SCALE THESE DRAWINGS.
- STRUCTURAL ENGINEER ASSUMES NO RESPONSIBILITY FOR THE SUPERVISION OF CONSTRUCTION OR PROPER EXECUTION OF THE WORK SHOWN ON THESE DRAWINGS. SAFETY METHODS AND TECHNIQUES ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE PLANS AND DETAILS PREPARED BY THE ENGINEER ARE FOR THE COMPLETED WORK ONLY. IN PREPARING THEM, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PROCEDURES NECESSARY TO ACHIEVE THE COMPLETE WORK.
- DAMAGE TO EXISTING CONDITIONS NOT CAUSED BY THE NEW WORK SHALL BE REPAIRED AND RESTORED TO THE ORIGINAL CONDITIONS AT CONTRACTOR'S EXPENSE.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING, AND UNDERPINNINGS, ETC. AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY PRIOR TO AND DURING CONSTRUCTION. SUCH DESIGN SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO SUCH WORK.
- ALL DISTURBED SOIL SHALL BE COMPACTED TO 90% RELATIVE DENSITY.

STRUCTURAL STEEL:

- ALL STEEL WORK SHALL CONFORM TO MANUAL OF STEEL CONSTRUCTION LATEST EDITION.
- STRUCTURAL STEEL WIDE FLANGE BEAM SHALL BE ASTM A-992 AND STEEL PLATES SHALL BE ASTM A-36. STRUCTURAL STEEL PIPE SHALL BE ASTM A-53, GRADE B. STRUCTURAL STEEL TUBE SHALL BE ASTM A-500, GRADE B.
- ALL CONNECTION BOLTS SHALL BE ASTM A-307.
- ALL WELDS SHALL BE MADE WITH E70XX ELECTRODE, BY CERTIFIED WELDERS.
- ALL STEEL EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED.
- ALL INTERIOR STEEL MEMBERS SHALL BE SHOP PRIMED.

CONCRETE AND REBAR:

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH LATEST A.C.I. CODE.
- ALL CONCRETE SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.
- REINFORCING STEEL SHALL BE NEW, FREE OF SCALE, AND RUST PER ASTM A-615, GRADE 40 FOR 1/4" OR SMALLER BAR AND GRADE 60 FOR 1/2" OR LARGER BAR.
- CONCRETE COVERAGE OF REINFORCING BARS SHALL BE AS FOLLOWS:
 3" CONCRETE IF POURED DIRECTLY AGAINST EARTH.
 2" CONCRETE IF EXPOSED TO EARTH BUT POURED IN FORMS.
 1 1/2" FOR BEAM, COLUMN, AND EXTERIOR SURFACES.
 3/4" FOR INTERIOR SLAB, JOIST AND WALL.
- ALL LAP LENGTH SHALL BE 30" MIN. NOT LESS THAN 48X DIAMETER OF REBAR.
- EPOXY USED SHALL BE SIMP. SET-XP

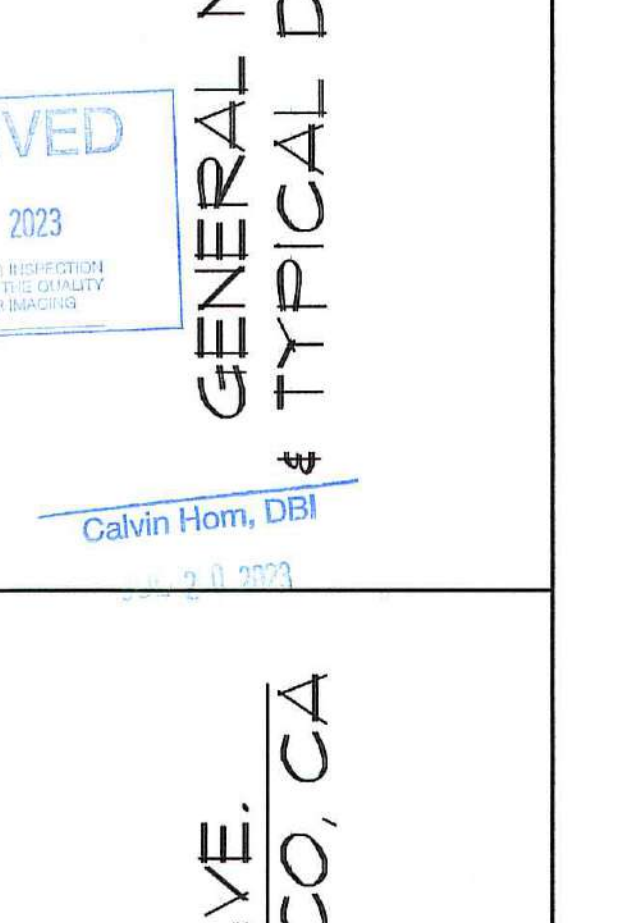
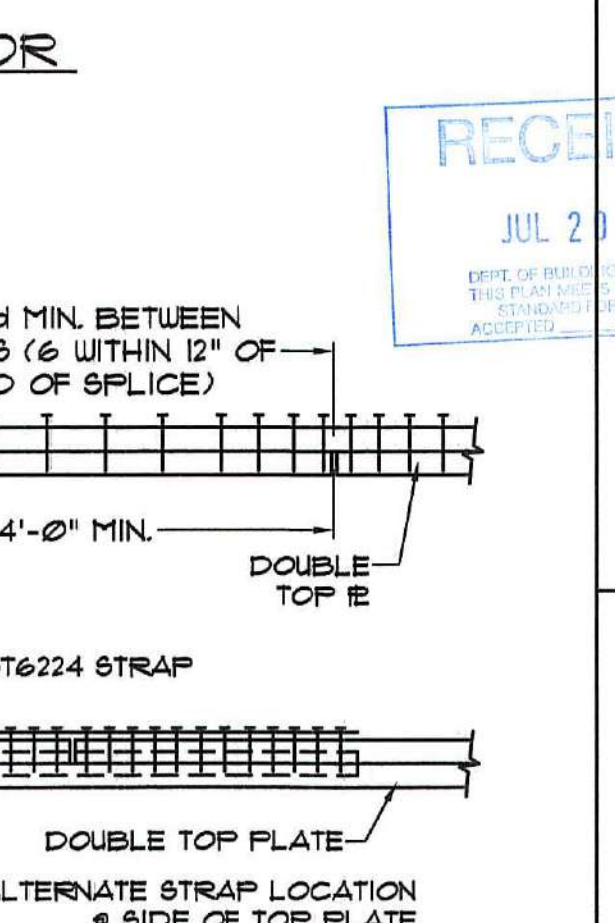
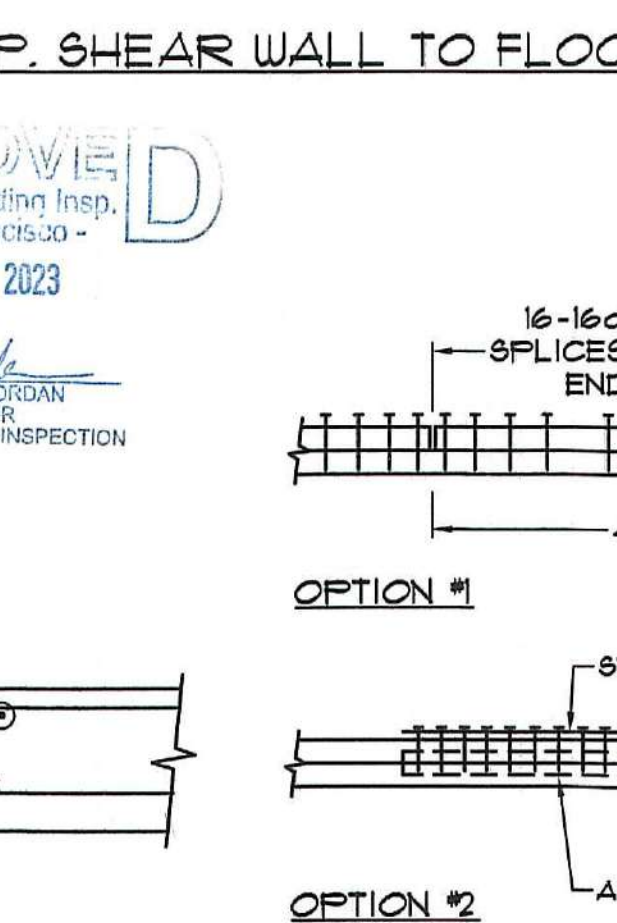
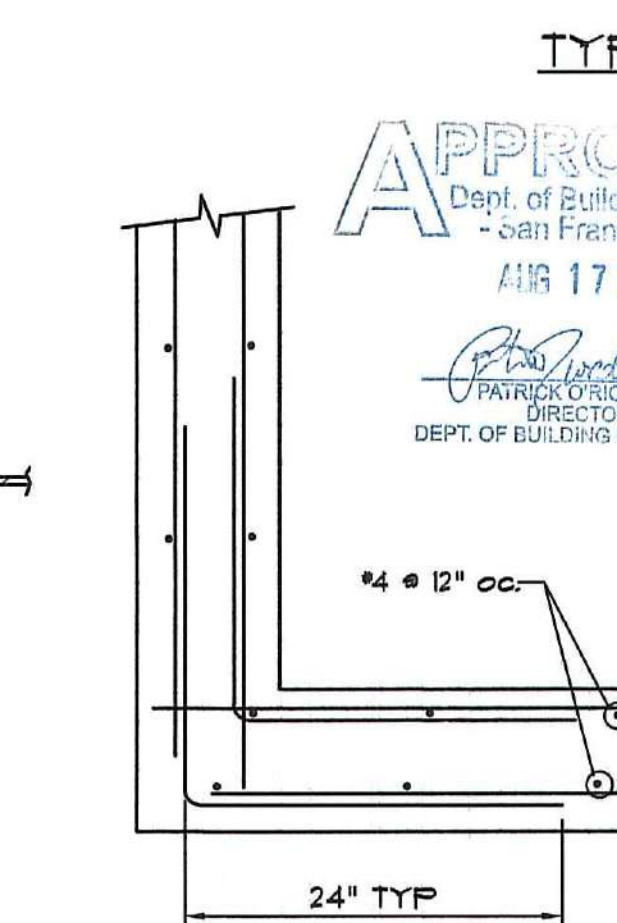
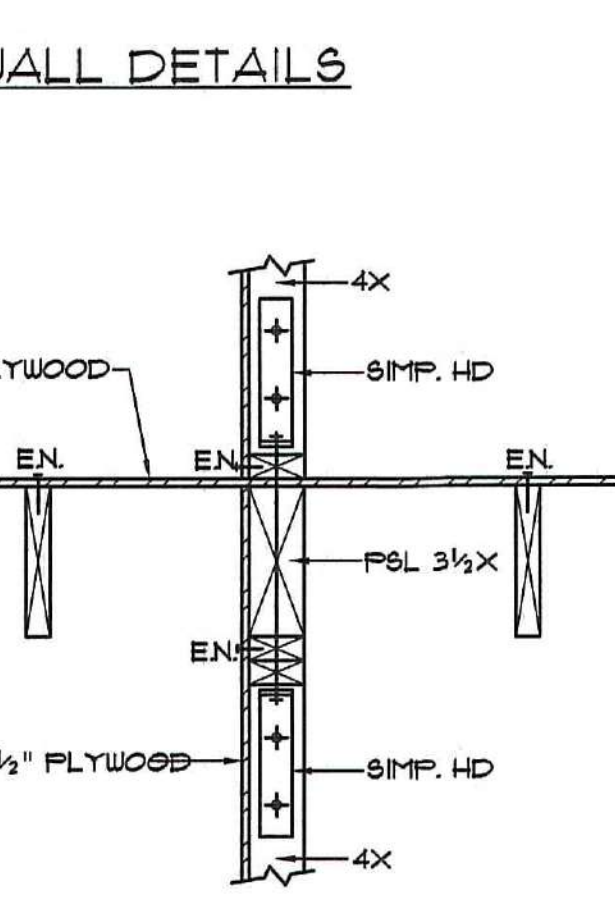
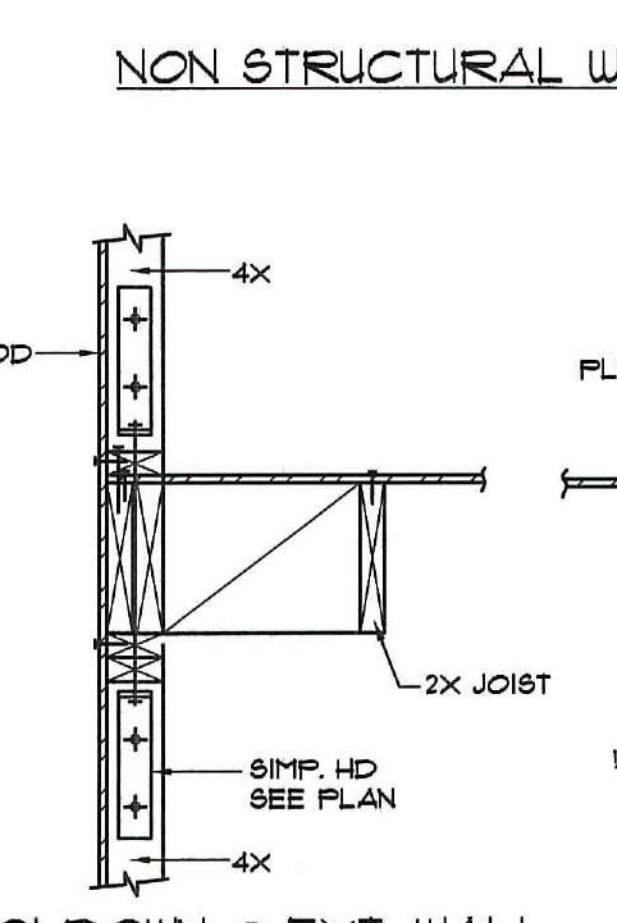
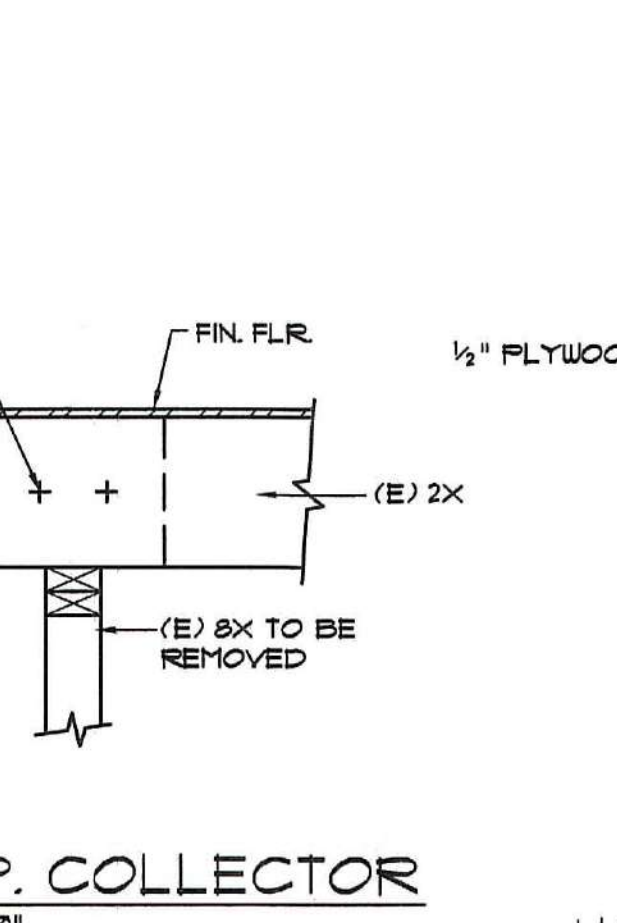
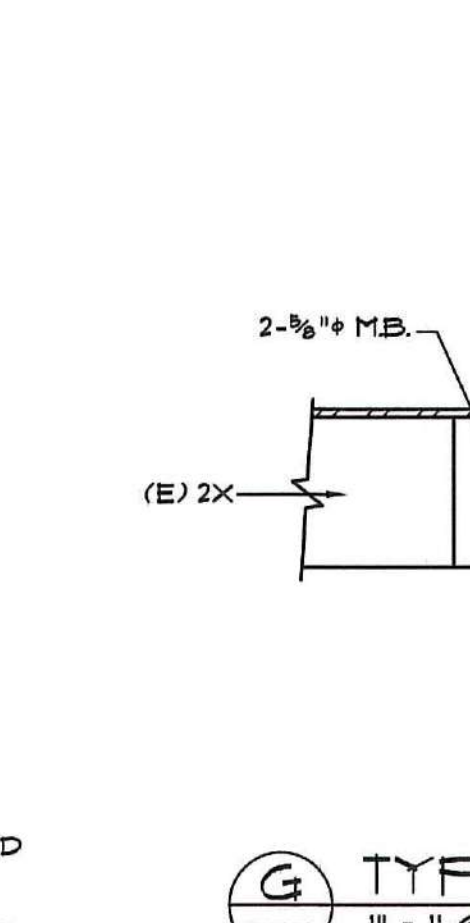
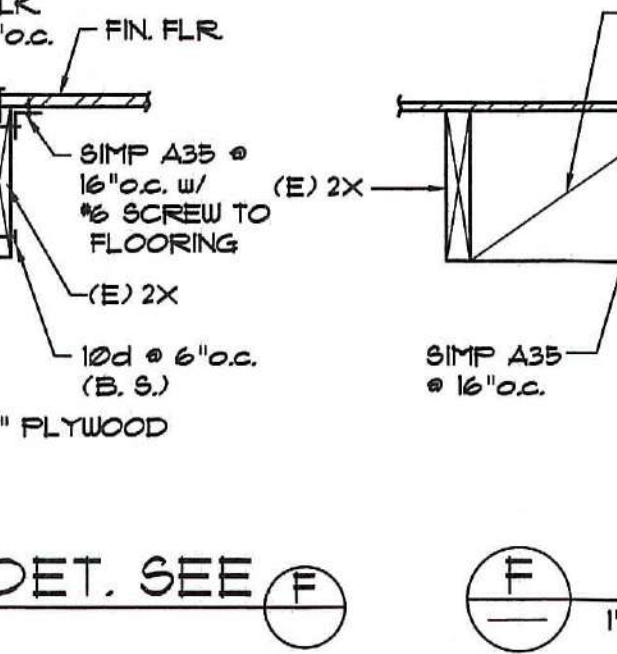
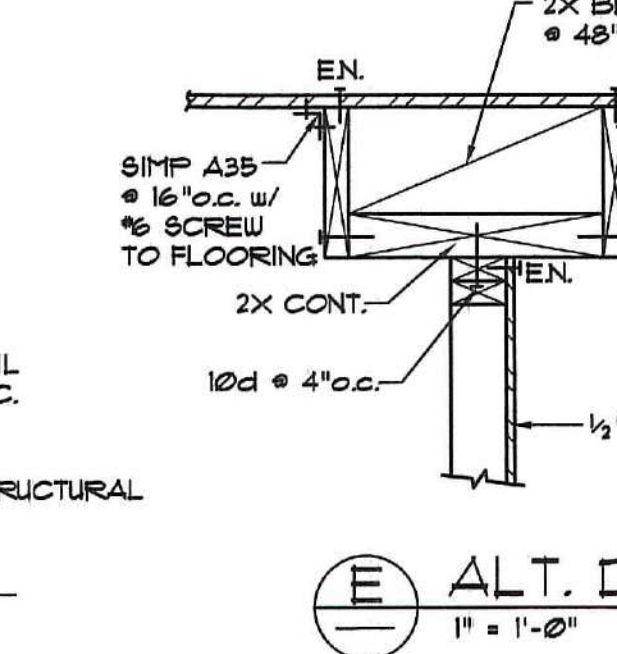
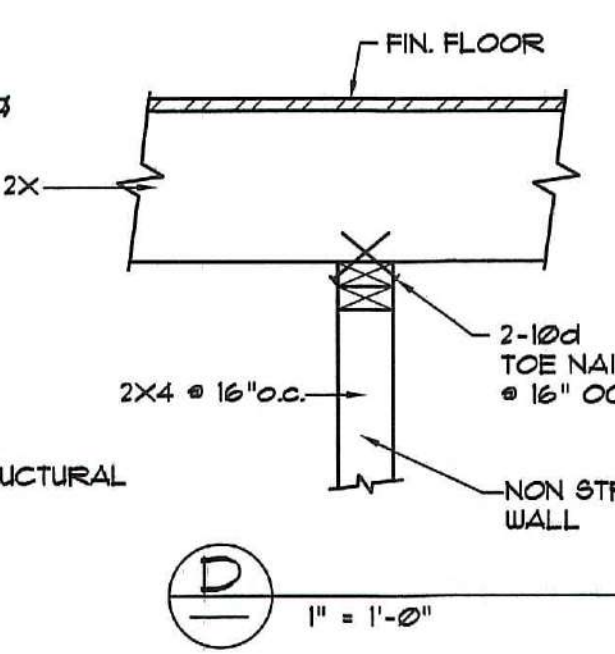
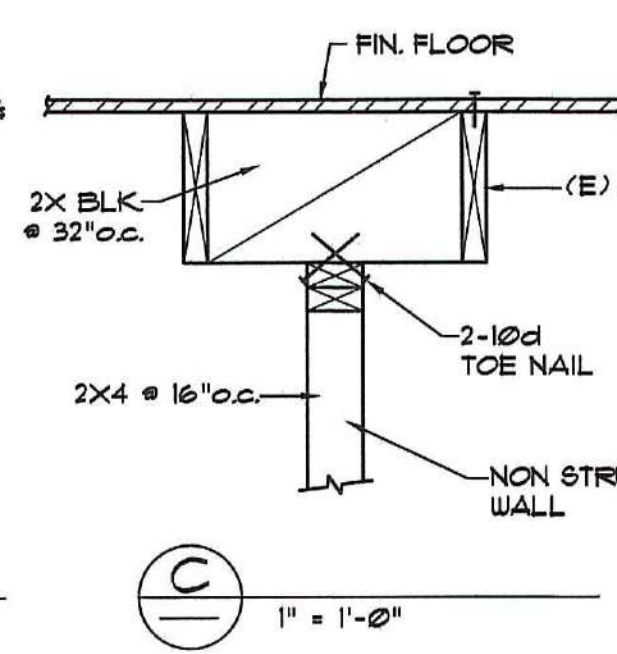
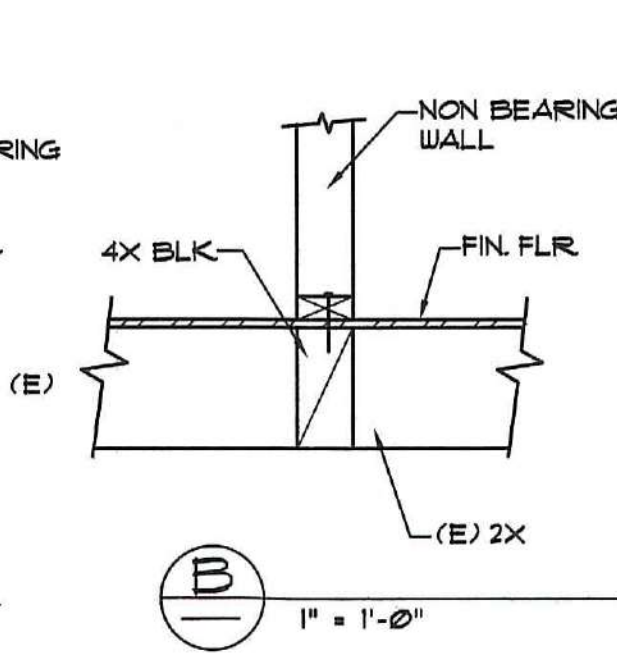
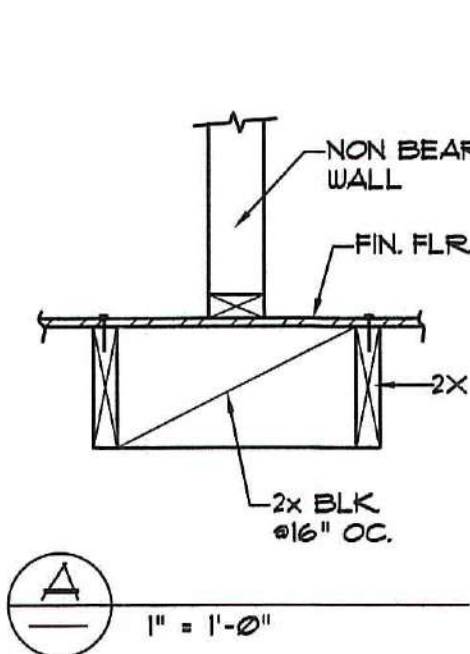
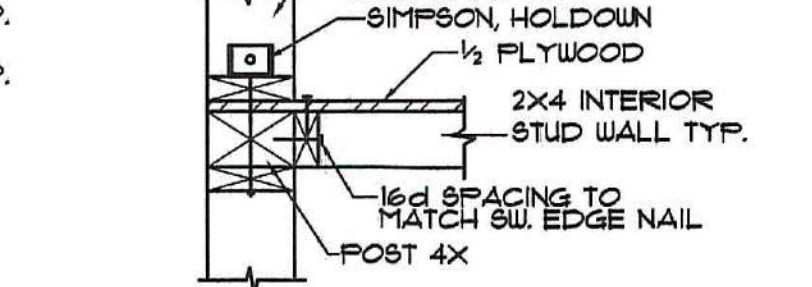
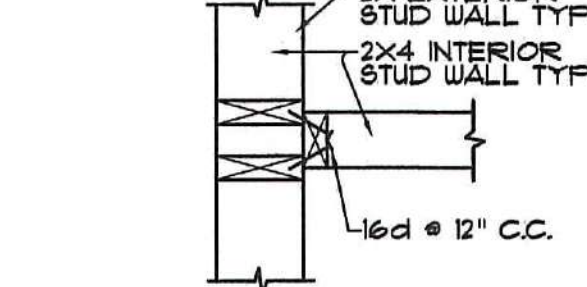
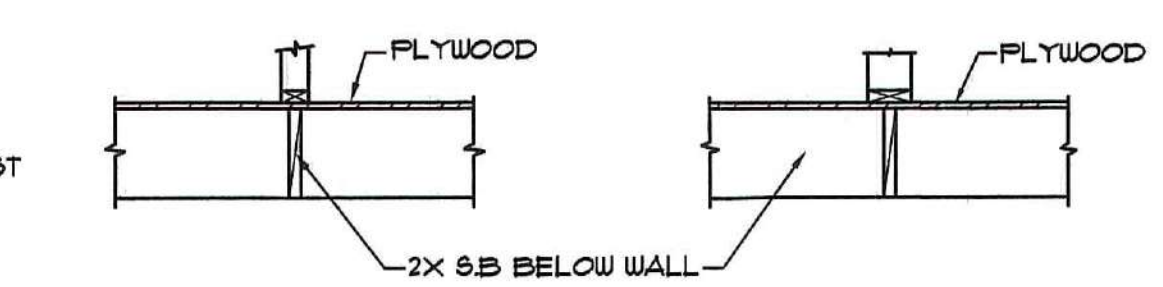
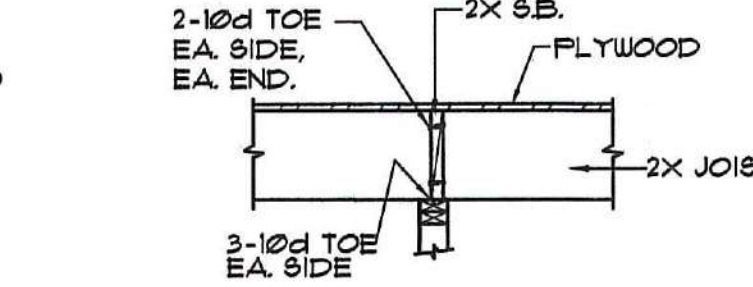
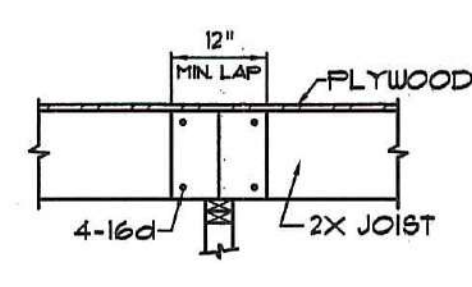
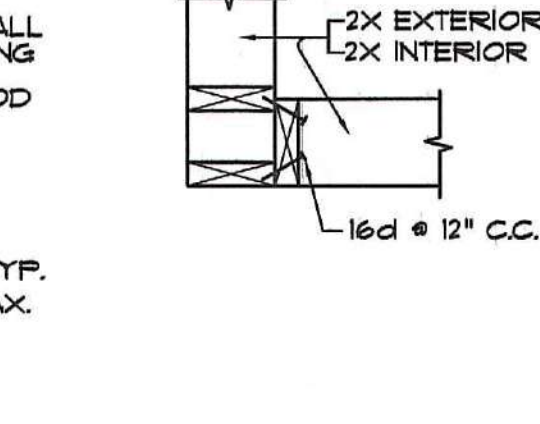
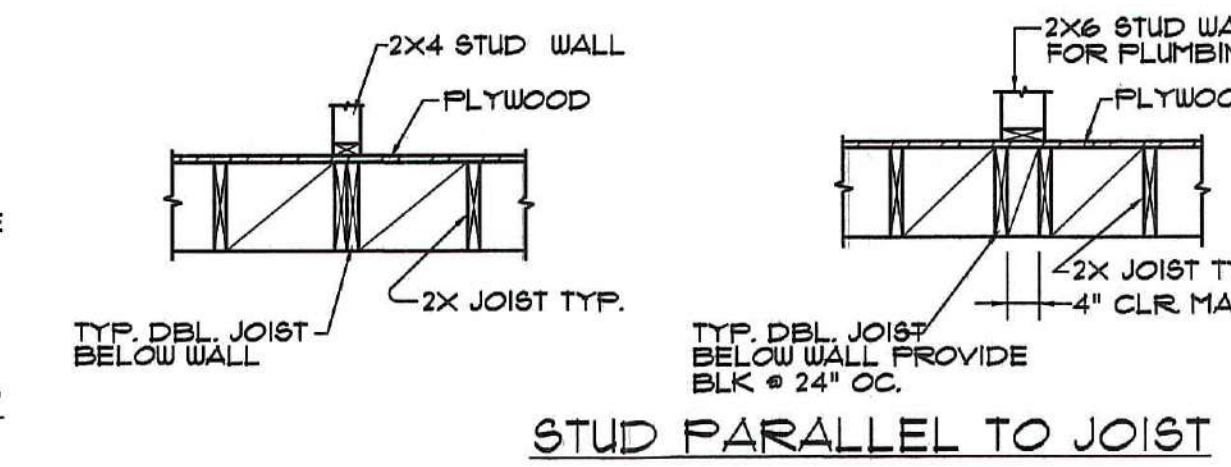
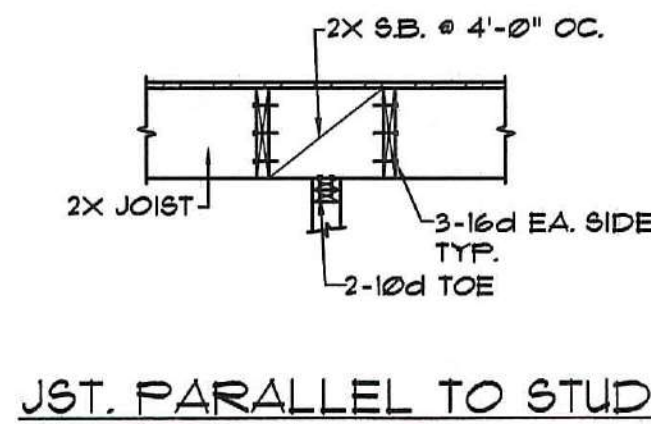
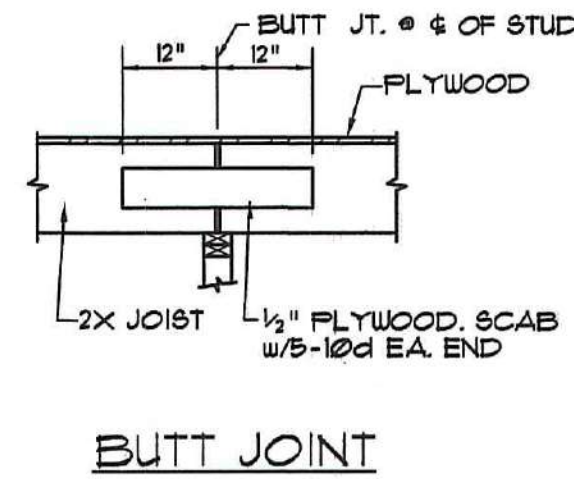
LUMBER:

- ALL WOOD JOISTS & BEAMS SHALL BE DOUGLAS FIR LARCH NO.1 OR BETTER (UNLESS NOTED OTHERWISE).
- ALL LUMBER TO BE GRADE STAMPED S-DRY & THE MOISTURE CONTENT (MC) BE LESS THAN OR EQUAL TO 19 PERCENT.
- ALL PLYWOOD SHEATHING SHALL BE APPROVED STRUCTURAL, CDX EXTERIOR GRADE, APA OR APPROVED EQUAL.
- BOLTS BEARING ON WOOD SHALL HAVE ADEQUATE WASHERS.
- ALL NAILING SHALL BE COMMON NAIL.
- ALL STUD WALLS SHALL BE 2X4 @ 16" O.C. (UNO.)
- PROVIDE DOUBLE JOIST BELOW WALLS.
- PSL, LVL AND TJI SHALL BE MANUFACTURED BY TRUSS JOIST MACMILLAN OR APPROVED EQUAL.
- INSTALL PSL, LVL AND TJI PER MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE 2X6 STUDS @ 16" O.C. FOR ALL PLUMBING WALLS.
- ALL PLYWOOD CONNECTED TO THE FLOOR JOIST SHALL BE GLUED AND NAILED.
- ALL LUMBER EXPOSED TO WEATHER SHALL BE DOUGLAS FIR PRESSURE TREATED OR ALL HEART REDWOOD.
- PARALLAM PSL, LVL AND TJI BEAMS BY TRUSS JOIST MACMILLAN, ICBO APPROVAL NO. NER481.
- CONNECTORS USED ABOVE GRADE SHALL BE TYPE 304 OR 316 STAINLESS STEEL, SILICON BRONZE, COPPER, HOT-DIPPED ZINC OR HOT-TUMBLE COATED GALVANIZED STEEL NAILS. CRC R3113.
- CONNECTORS FOR PRESSURE TREATED OR FIRE-RETARDANT TREATED WOOD ARE HOT-DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER COATING TYPES SHALL BE PER MANUFACTURER RECOMMENDATIONS OR AS A MINIMUM CAN BE MECHANICALLY DEPOSITED ZINC-COATED GALVANIZED STEEL. CRC R313.
- ALL EXT. WALLS SHALL HAVE 1/2" PLYWOOD W/ 10D @ 6" O.C. (EDGES) TYP. UNO.
- ALL ANCHOR BOLTS ARE PROVIDED WITH 3" X 3" X 0.225" STEEL PLATE WASHERS. THE HOLE IN THE PLATE WASHER IS PERMITTED TO BE DIAGONALLY SLOTTED WITH A WIDTH OF UP TO 3/16" LARGER THAN THE BOLT DIAMETER AND A SLOT LENGTH NOT TO EXCEED 1 1/4". PROVIDE A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT, CRC 6021 U.

SHEAR WALL SCHEDULE & NOTES:

KEY	MATERIAL	10d NAILS	EDGE FIELD	CLIPS	SILL PLATE NAILING	FTDF MID/SILL AB. SIZE & SPACING	NOTES	SHEAR
SU6 1/2"	PLYWOOD	6" OC.	12" OC.	L170 @ 16" OC.	20d @ 6" OC.	3"x w/ 3/8" DIA. AB. @ 16"	1, 2, 3, 4, 5, 8, 10	340
SU4 1/2"	PLYWOOD	4" OC.	12" OC.	L30 @ 16" OC.	20d @ 4" OC.	3"x w/ 3/8" DIA. AB. @ 16"	1, 2, 3, 4, 5, 6, 7, 8, 10	510
SU3 1/2"	PLYWOOD	3" OC.	12" OC.	2-L50 @ 16" OC.	20d @ 3" OC.	3"x w/ 3/8" DIA. AB. @ 16"	1, 2, 3, 4, 5, 6, 7, 8, 9, 10	665
SU2 1/2"	PLYWOOD	2" OC.	12" OC.	2-L10 @ 16" OC.	SDS 1/2" @ 6" OC.	3"x w/ 3/8" DIA. AB. @ 16"	1, 2, 3, 4, 5, 6, 7, 8, 9, 10	810

- SHEAR WALL AND HOLDOWN ARE SHOWN ON WALL ON THE SAME FLOOR SHOWN, E.G. 2ND FLOOR SHEAR WALLS AND HOLDOWN ARE SHOWN ON SECOND FLOOR FRAMING PLAN.
- ALL PLYWOOD SHEAR WALL TO BE STRUCTURAL 1, CDX, EXTERIOR GRADE.
- ALL PLYWOOD SHEAR WALL NAILING TO BE 10d COMMON NAILS.
- ALL PANEL EDGES SHALL BE BLOCKED.
- PROVIDE 4" POST AT EACH END OF SHEAR WALL FOR HOLDOWN EXCEPT AS OTHERWISE NOTED. PROVIDE 6" POST FOR HD-1B AND 4" POST FOR HD-20A.
- WHERE PLYWOOD IS APPLIED ON BOTH FACES OF A WALL AND NAIL SPACING IS LESS THAN 6" O.C. EITHER SIDE PANEL JOINTS SHALL BE OFFSET TO FALL DIFFERENT FRAMING MEMBERS OF FRAMING SHALL BE 3" AND NAILING ON EACH SIDE SHALL BE STAGGERED.
- FRAMING ADJOINING PANEL EDGES SHALL BE 3"X AND NAILING SHALL BE STAGGERED.
- MINIMUM DIMENSION OF PLYWOOD PANEL TO BE 10" FOR SHEAR WALL.
- MINIMUM LUMBER THICKNESS OF 1 1/2" FOR CONNECTING FRAMING CLIP.
- PREDRILLED SILL PLATE AS REQUIRED TO PREVENT SPLITTING.



AGENCY USE ONLY

NY ENGINEERING
Consulting Engineers

NILGUN A. WOLFE (P.E.)
250 S. Van Ness Ave, Suite #3
San Francisco, CA 94110
Tel: (415) 568-1210
Email: nyengineering@earthlink.net
Web: www.nyengineering.net

REGISTERED PROFESSIONAL ENGINEER
NIGUN A. WOLFE
No. 62482
Exp. SEP. 30, 2023
CIVIL
STATE OF CALIFORNIA

RECEIVED
JUL 20 2023
DEPT. OF BUILDING INSPECTION
SAN FRANCISCO

APPROVED
Patricio Jordan
DIRECTOR
DEPT. OF BUILDING INSPECTION
AUG 17 2023

GENERAL NOTES & TYPICAL DETAILS

Calvin Horn, DBI

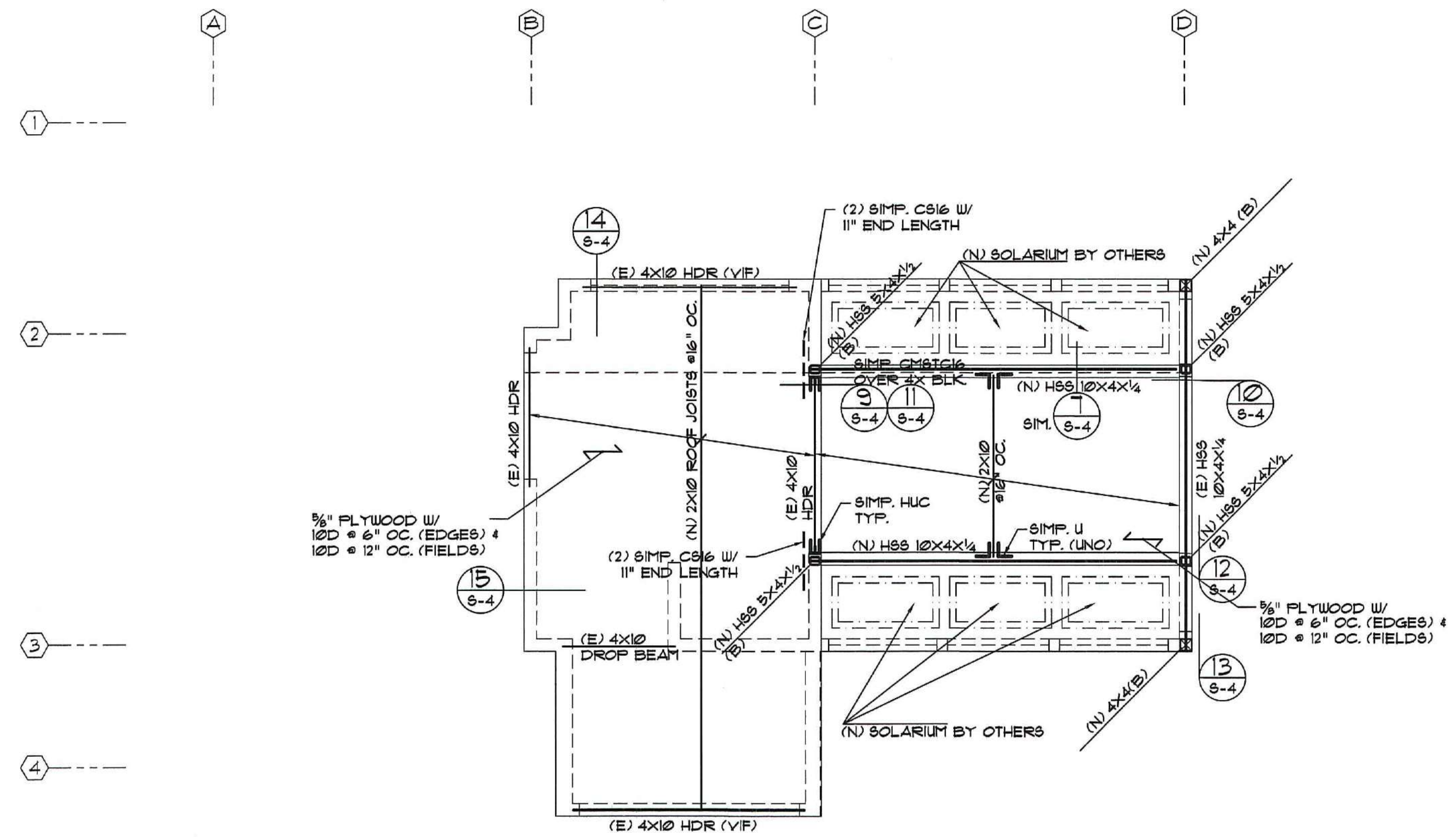
110 32ND AVE.
SAN FRANCISCO, CA

Submitted on:
Revisions:

APR 11, 2023

Scale: AS SHOWN

Drawing No.
S-1



NOTE:

1. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IF THE JOISTS & (E) FOUNDATION SIZES/LOCATIONS ARE DIFFERENT THAN THE PLAN.
2. THE ENGINEER WILL REVISE THE DRAWING ACCORDING TO FIELD CONDITION.
3. CAN BE REPLACED:
HD8B BY HDUB-8DS 2.5
HD1B BY HDUB-8DS 2.5

LEGEND:

- EXISTING WALL / ROOF
- - - WALL BELOW
- · - · - (N) SOLARIUM

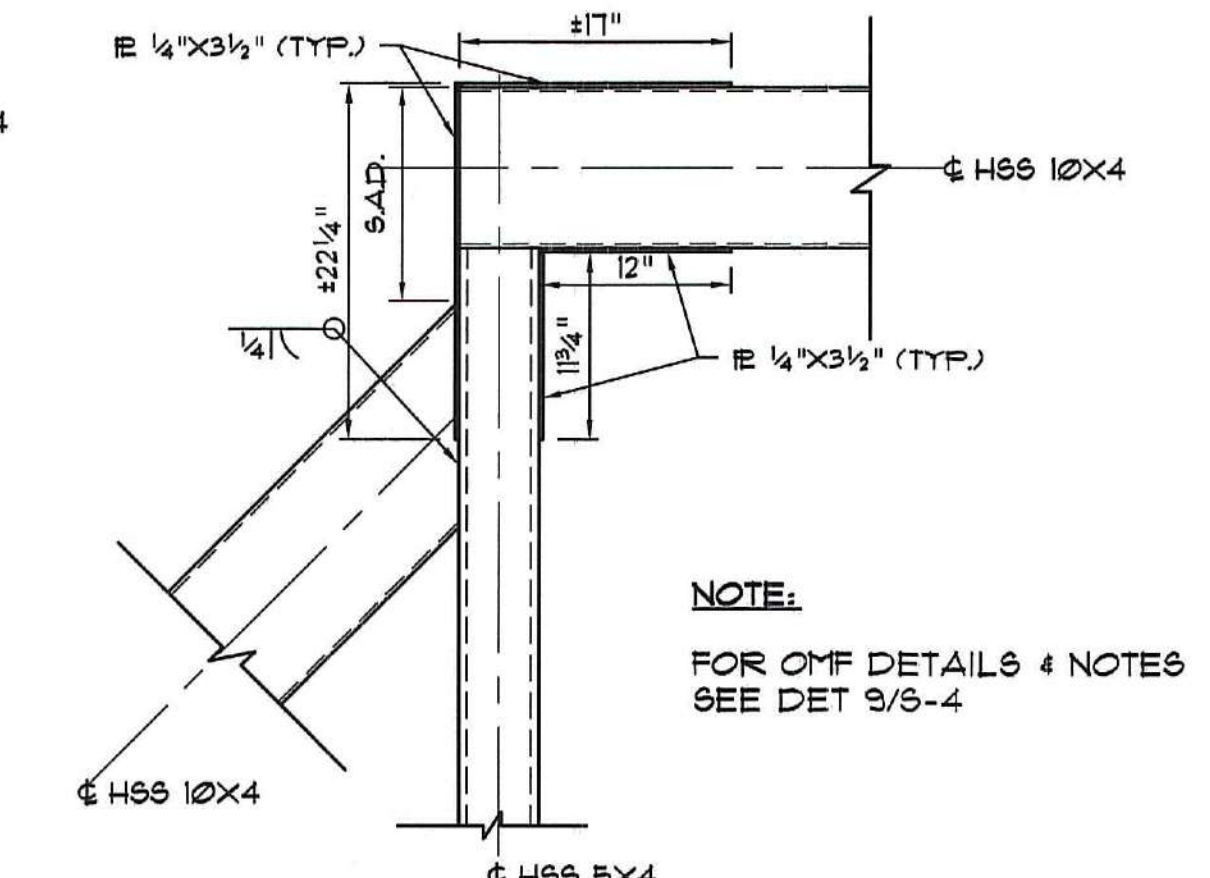
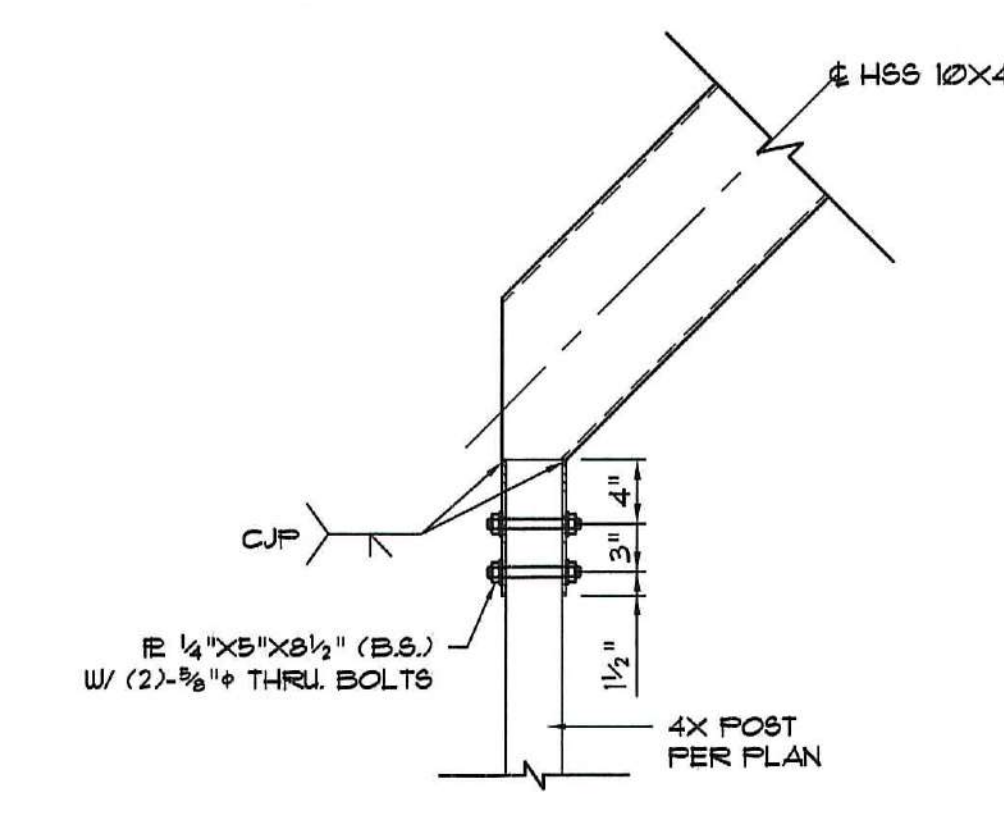
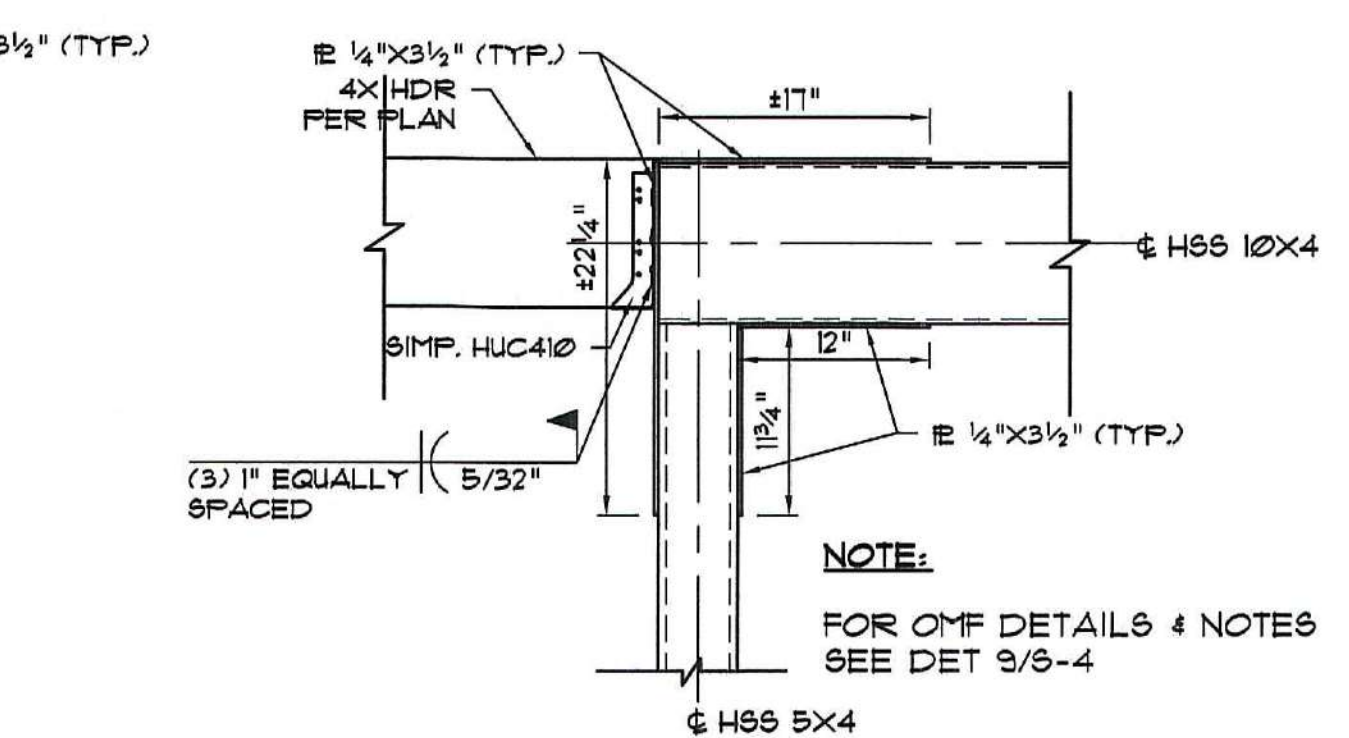
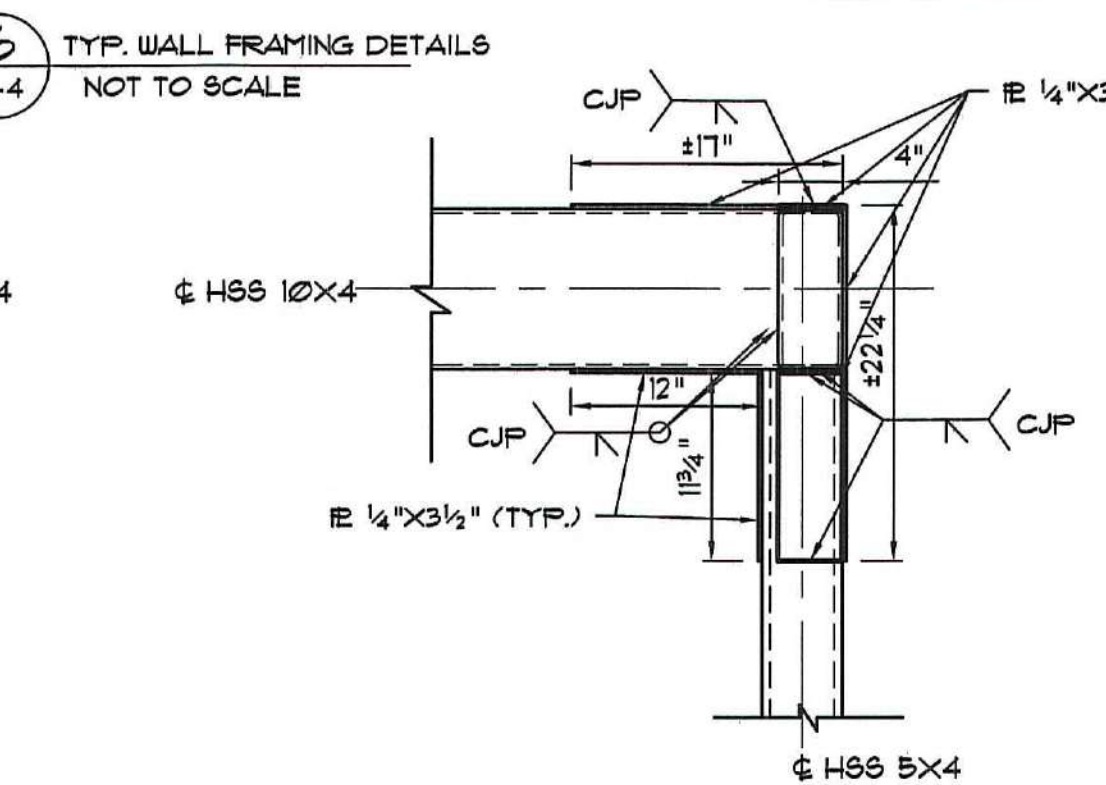
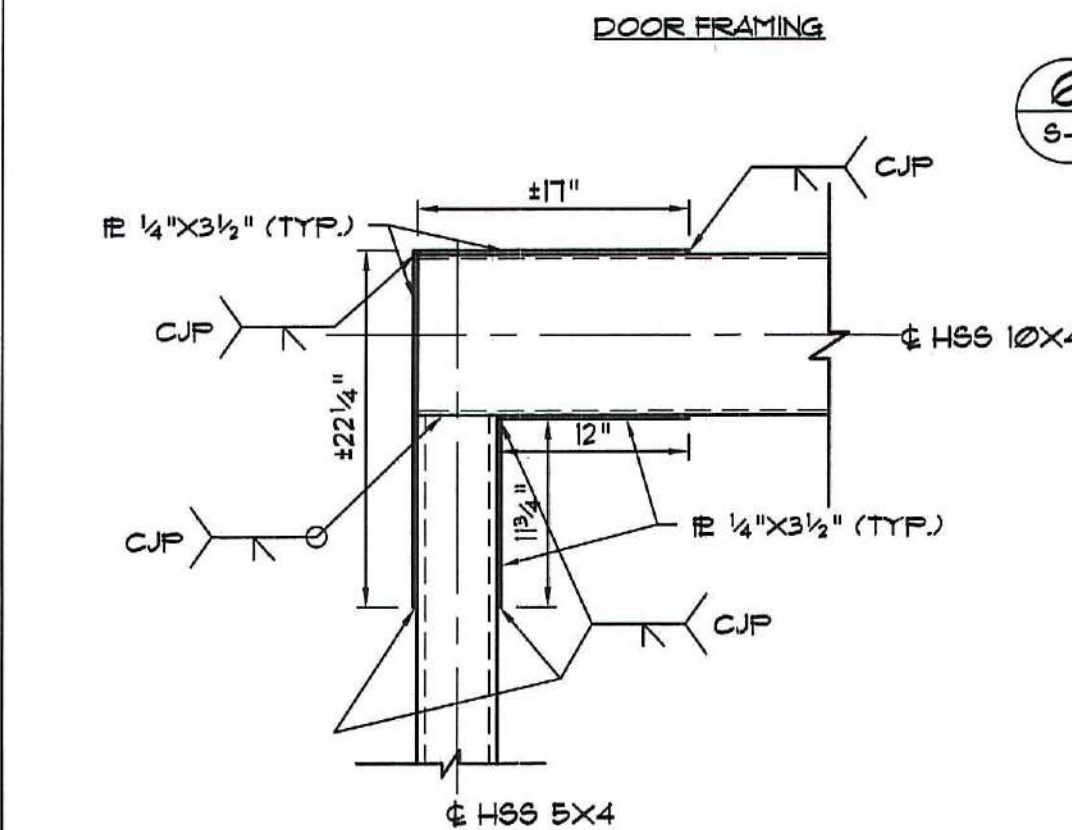
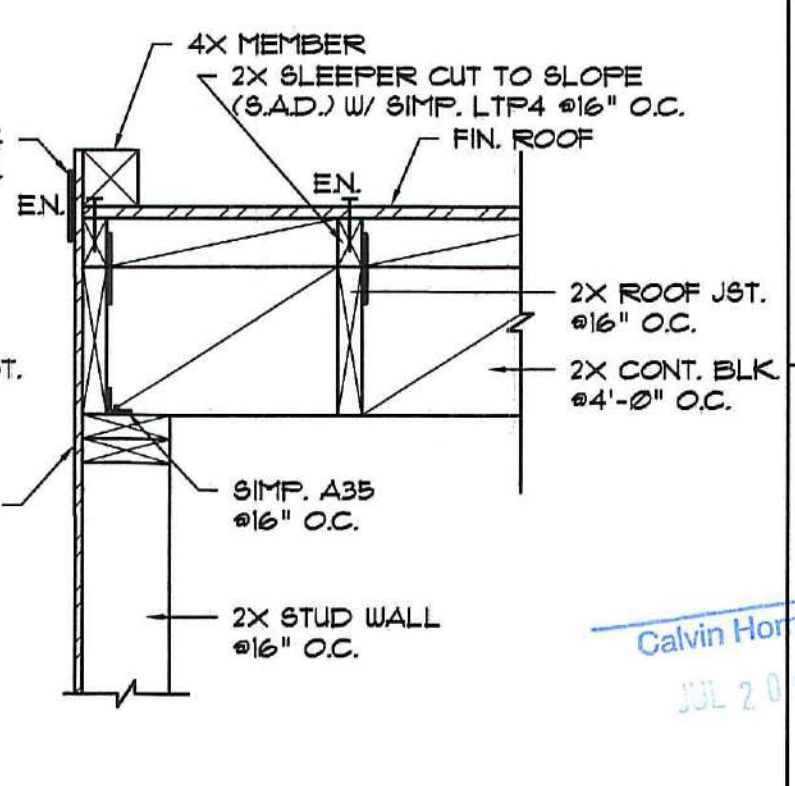
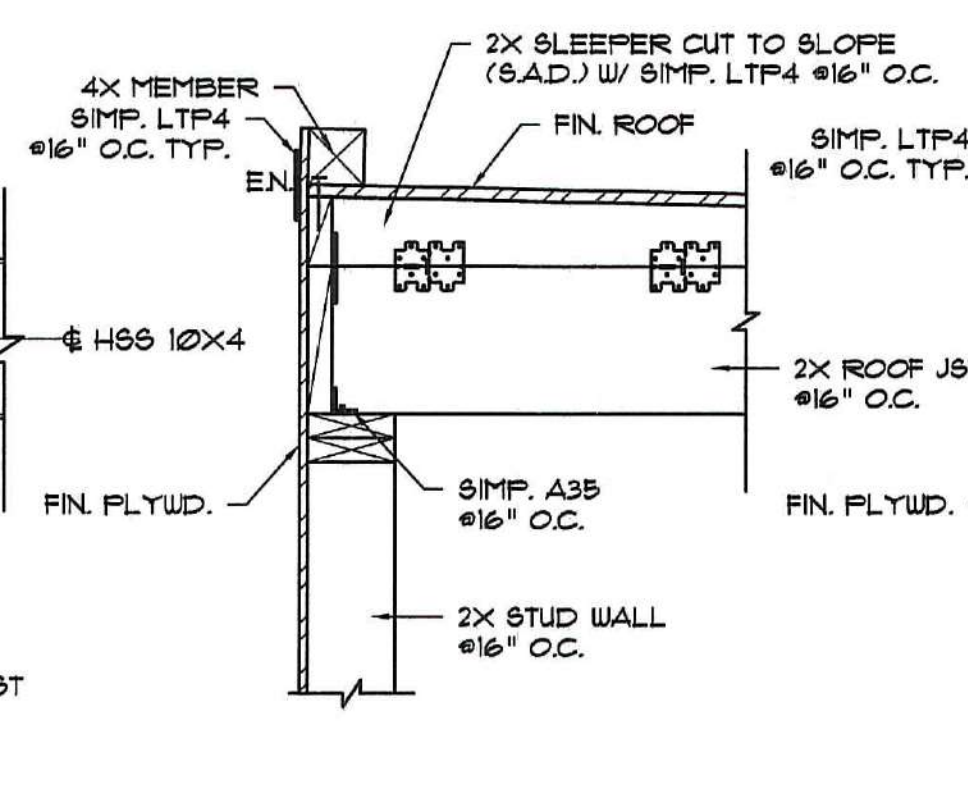
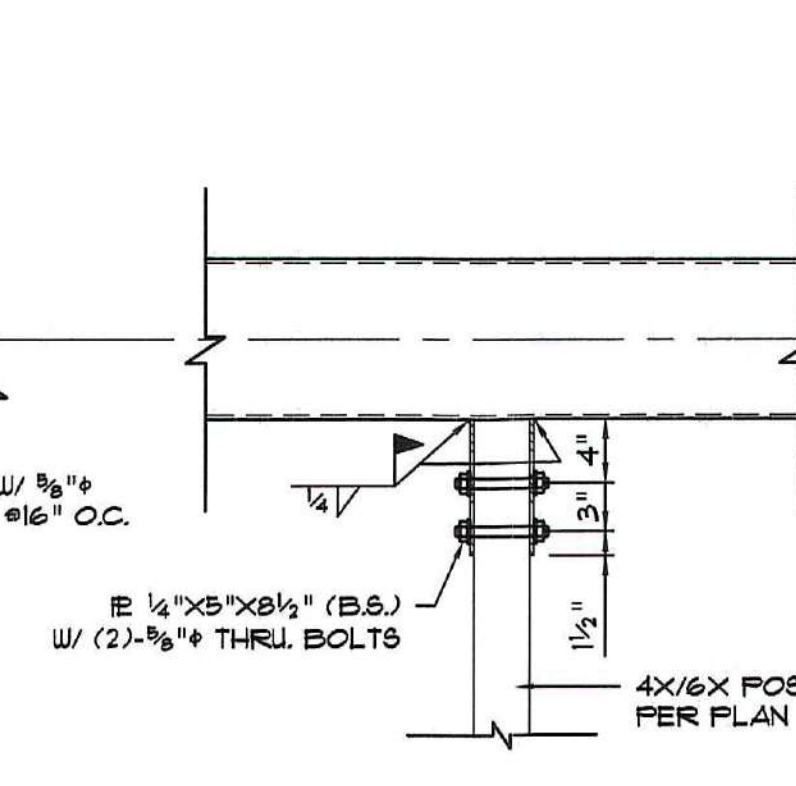
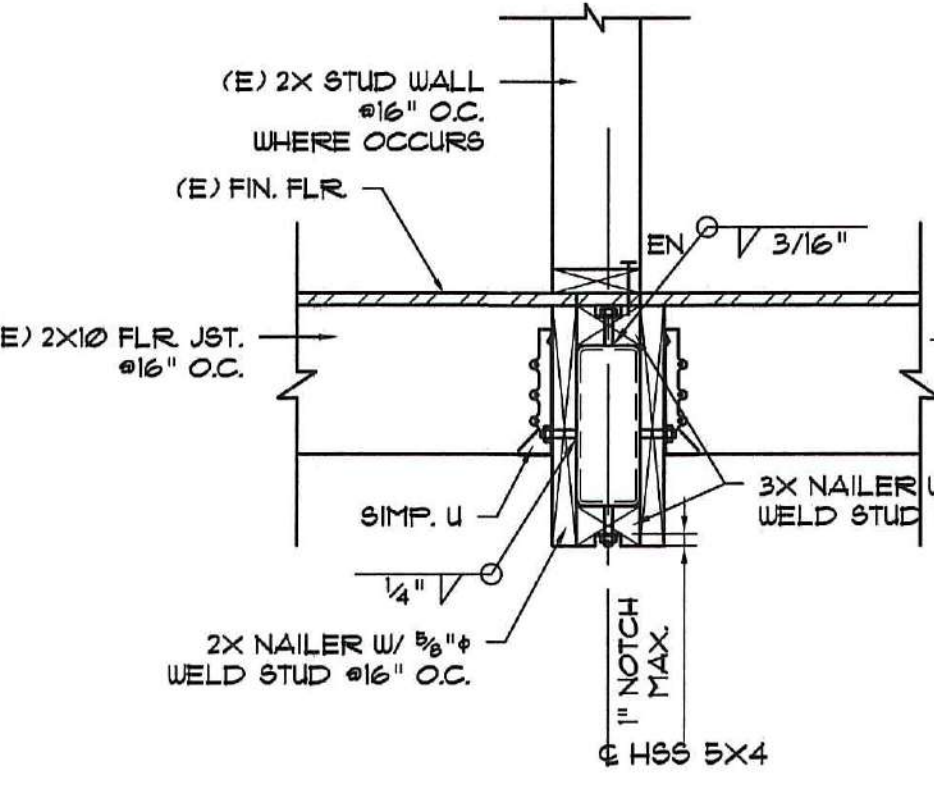
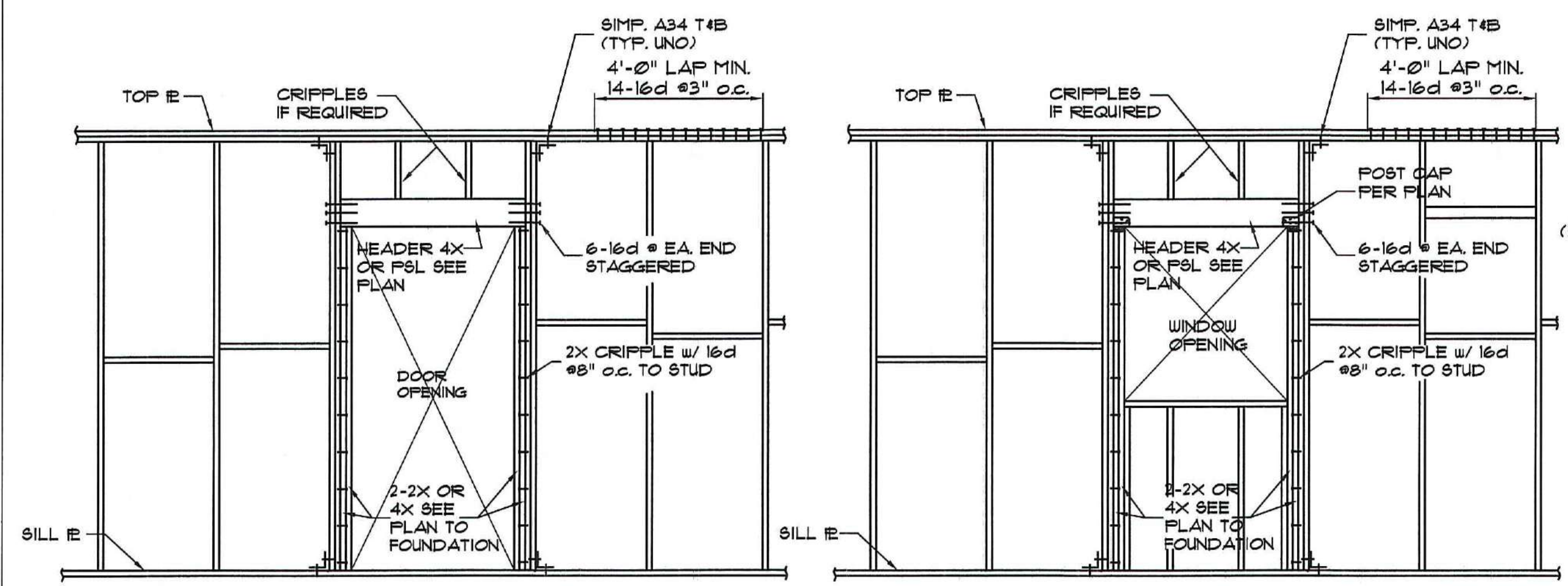
POSTS LEGEND:

- (A) POST ABOVE
- (B) POST BELOW
- (A & B) POST ABOVE & BELOW

TOP ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

APPROVED
Dept. of Building Insp.
- San Francisco -
MIG 17 2023
F. J. Wolf
FAYREX O'DONOGHAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
JUL 20 2023
DEPT. OF BUILDING INSPECTION
THE STATE OF CALIFORNIA
REGISTERED PROFESSIONAL ENGINEER



NOTE:
FOR OMF DETAILS & NOTES
SEE DET 9/8-4

NY ENGINEERING
Consulting Engineers
NILGUN A. WOLFE (P.E.)
850 S. Van Ness Ave. Suite #9
San Francisco, CA 94108
Tel: (415) 568-1270
Email: NYengineering@9BCglobal.net
Web: www.nyengineering.net



**TOP ROOF FRAMING
PLAN & DETAILS**

**110 32ND AVE.
SAN FRANCISCO, CA**

Calvin Horn, DBI
JUL 20 2023

Submitted on:
Revisions:
APR 11, 2023

APR 11, 2023

Scale: AS SHOWN

Drawing No.

S-4

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required in addition to the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 628-652-3407. If there are any field problems regarding special inspection, please call your District Building Inspector or 628-652-3400 Ext 1.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. The permit will not be finalized without compliance with the special inspection requirements.

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1704.6. The building permit will not be finalized without compliance with the structural observation requirements.

Special Inspection Services Contact Information

- 1. Telephone: (628) 652-3407
- 2. Email: dbi.specialinspections@sfgov.org
- 3. In person: 49 South Van Ness Ave – Suite 400

Note: We are moving towards a "paperless" mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services
49 South Van Ness Ave – Suite 400 – San Francisco CA 94103
Office (628) 652-3407 – www.sfdbi.org

Updated 10/05/2020

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET
110 32nd AVE.
San Francisco, CA APPLICATION NO. ADDENDUM NO.
OWNER NAME OWNER PHONE NO. ()

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special Inspector shall be one of those as prescribed in Sec. 1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.6. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and high-rise projects, and for projects utilizing new processes or materials.

In accordance with Chapter 17 (SFBC), Special Inspection and/or testing is required for the following work:

- | | | |
|---|--|--|
| 1. <input checked="" type="checkbox"/> Concrete (Placement & sampling) | 6. <input type="checkbox"/> High-strength bolting | 18. <input checked="" type="checkbox"/> Bolts installed in existing concrete or masonry: |
| 2. <input type="checkbox"/> Bolts installed in concrete | 7. <input type="checkbox"/> Structural masonry | <input type="checkbox"/> Concrete <input type="checkbox"/> Masonry |
| 3. <input type="checkbox"/> Special moment - Resisting concrete frame | 8. <input type="checkbox"/> Reinforced gypsum concrete | <input type="checkbox"/> Pull/torque tests per SFEBEC Sec. 507C & 515C |
| 4. <input checked="" type="checkbox"/> Reinforcing steel and prestressing tendons | 9. <input type="checkbox"/> Insulating concrete fill | 19. <input checked="" type="checkbox"/> Shear walls and floor systems used as shear diaphragms |
| 5. Structural welding: | 10. <input type="checkbox"/> Sprayed-on fireproofing | 20. <input checked="" type="checkbox"/> Holdowns |
| A. Periodic visual inspection | 11. <input type="checkbox"/> Piling, drilled piers and caissons | 21. Special cases: |
| <input type="checkbox"/> Single pass fillet welds 5/16" or smaller | 12. <input type="checkbox"/> Shotcrete | <input type="checkbox"/> Shoring |
| <input type="checkbox"/> Steel deck | 13. <input type="checkbox"/> Special grading, excavation and filling (Geo. Engineer) | <input type="checkbox"/> Underpinning <input type="checkbox"/> Not affecting adjacent property |
| <input type="checkbox"/> Welded studs | 14. <input type="checkbox"/> Smoke-control system | <input type="checkbox"/> Affecting adjacent property; PA |
| <input type="checkbox"/> Cold formed studs and joists | 15. <input type="checkbox"/> Demolition | <input type="checkbox"/> Others |
| <input type="checkbox"/> Stair and railing systems | 16. <input type="checkbox"/> Exterior Facing | 22. <input type="checkbox"/> Crane safety (Apply to the operation of tower cranes on high-rise building) (Section 1705.22) |
| <input type="checkbox"/> Reinforcing steel | 17. Retrofit of unreinforced masonry buildings: | 23. <input checked="" type="checkbox"/> Others: "As recommended by professional of record" MOMENT FRAME |
| <input type="checkbox"/> NDT (Section 1704) | <input type="checkbox"/> Testing of mortar quality and shear tests | |
| <input type="checkbox"/> All other welding (NDT exception: Fillet weld) | <input type="checkbox"/> Inspection of repointing operations | |
| <input type="checkbox"/> Reinforcing steel; and <input type="checkbox"/> NDT required | <input type="checkbox"/> Installation inspection of new shear bolts | |
| <input type="checkbox"/> Moment-resisting frames | <input type="checkbox"/> Pre-installation inspection for embedded | |
| <input type="checkbox"/> Others | <input type="checkbox"/> Pull/torque tests per SFBC Sec. 1607C & 1615C | |
| 24. Structural observation per Sec. 1704.6 (SFBC) for the following: Foundations | <input checked="" type="checkbox"/> Steel framing | |
| <input checked="" type="checkbox"/> Concrete construction | <input type="checkbox"/> Masonry construction | <input checked="" type="checkbox"/> Wood framing |
| <input type="checkbox"/> Other: | | |
| 25. Certification is required for: <input type="checkbox"/> Glu-lam components | | |
| 26. <input type="checkbox"/> Firestops in high-rise building | | |

Prepared by: NILGUN A. WOLFE Phone: 415 568-1270
Engineer/Architect of Record

Requested information:
FAX: () Email: nyengineering@sbcglobal.net

Review by: Calvin Horn Phone: (628) 652-
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports.)

DATE DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO:
Special Inspection Services (628) 652-3407, or, dbi.specialinspections@sfgov.org

Updated 10/05/2020

SEISMIC DESIGN CRITERIA:

SEISMIC IMPORTANT FACTOR, I = 1.0
MAPPED SPECTRAL RESPONSE ACCELERATION, S_s = 1.809
S₁ = 0.240
SITE CLASS D (DEFAULT)
SPECTRAL RESPONSE COEFFICIENTS, S_{Ds} = 1.441
S_{D1} = 0.728

SEISMIC DESIGN CATEGORY E
BASIC SEISMIC FORCE RESISTING SYSTEM - PLYWOOD SHEAR WALLS

DESIGN BASE SHEAR, V = C_s x W
SEISMIC RESPONSE COEFFICIENTS, C_s = 0.223

RESPONSE MODIFICATION, R = 6.5 (PLYWOOD SHEAR WALL)
R = 3.5 (CMF)

REDUNDANCY FACTOR, ρ = 1

ANALYSIS PROCEDURE USED - SIMPLE PROCEDURE

LOADS:

ROOF DEAD LOAD = 16 P.S.F. FLOOR DEAD LOAD = 12 P.S.F.
ROOF LIVE LOAD = 20 P.S.F. FLOOR LIVE LOAD = 40 P.S.F.

DESIGN OF LOAD BEARING OF SOIL = 1,500 P.S.F.

WIND DESIGN CRITERIA:

BASIC WIND SPEED = 110 MILE PER HOUR

WIND IMPORTANT I = 1

WIND EXPOSURE B

ADJUSTMENT FACTOR = 1

K_{zt} = TOPOGRAPHIC FACTOR = 1

P_{s30} = 12.9 P.S.F.

P_s = K_{zt} P_{s30}

NAILING SCHEDULE

CONNECTION	NAILING (#)
JOIST TO SILL OR GIRDER, TOENAIL	3- 8d
BRIDGING TO JOIST, TOENAIL EACH END	2- 8d
1"x6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2- 8d
WIDER THAN 1"x6" SUBFLOOR TO EACH JOIST, FACE NAIL	3- 8d
2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2- 16d
SOLE PLATE TO JOIST OR BLOCKING, TYP. FACE NAIL	16d @ 16" O.C.
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS	3- 16d PER 16"
TOP PLATE TO STUD, END NAIL	2- 16d
STUD TO SOLE PLATE	4- 8d TOENAIL OR 2- 16d END NAIL
DOUBLE STUDS, FACE NAIL	16d @ 24" O.C.
DOUBLED TOP PLATES, FACE NAIL	16d @ 12" O.C.
DOUBLED TOP PLATES, FACE NAIL	16d @ 12" O.C.

TOP PLATES, LAPS AND INTERSECTION, FACE NAIL	2- 16d
CONTINUOUS HEADER, TWO PIECES	16d @ 16" O.C. ALONG EACH EDGE
CEILING JOIST TO TOP PLATE, TOENAIL	3- 8d
CONTINUOUS HEADER TO STUD, TOENAIL	4- 8d
CEILING JOIST, LAPS OVER PARTITIONS, FACE NAIL	3- 16d
CEILING JOIST PARALLEL RAFTERS, FACE NAIL	3- 16d
RAFTER TO PLATE, TOENAIL	3- 8d
1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2- 8d
1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2- 8d
WIDER THAN 1"x8" SHEATHING EACH BEARING, FACE NAIL	3- 8d
BUILT-UP CORNER STUDS	16d @ 24" O.C.
BUILT-UP GIRDERS AND BEAM	20d @ 32" O.C. AT TOP AND BOTTOM AND STAGGERED 2-20D AT ENDS @ EACH SPLICE
2" FLANKS	2- 16d @ EACH BEARING

PLYWOOD AND PARTICLE BOARD : (#)	
6" SUB-FLOOR, ROOF AND WALL SHEATHING	
1/2" AND LESS	8D (#)
3/4" TO 1"	10D (#)

PANEL SIDING (TO FRAMING):	
1/2" AND LESS	6D (#)
5/8"	8D (#)

FIRE BOARD SHEATHING : (#)	
1/2"	No. 11GA (#)
	6D (#)
	No. 16GA (#)
25/32"	No. 11GA (#)
	8D (#)

NAILING NOTES:

- COMMON OR BOX NAILS MAYBE USED EXCEPT WHERE OTHERWISE STATED.
- COMMON OR DEFORMED SHANK.
- COMMON.
- NAILS SPACED AT 6" O.C. AT EDGES, 12" AT INTERMEDIATE SUPPORTS (10" AT INTERMEDIATE SUPPORT OF FLOORS), EXCEPT 6" AT ALL SUPPORTS WHERE SPANS ARE 48" AND MORE FOR PLYWOOD AND PARTICLE BOARD DIAPHRAGMS AND SHEAR WALL. NAILING REFER TO SECTION 2314 OF UBC. NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.
- CORROSION-RESISTANT SIDING OR CASING NAILS CONFORMING TO REQUIREMENTS OF SECTION 2325.1 OF UBC.



Calvin Horn, DBI
JUL 20 2023

DETAILS, NOTES & INSPECTION FORM

110 32ND AVE. SAN FRANCISCO, CA

Submitted on: _____
Revisions: _____
APR 11, 2023

APR 11, 2023

Scale: AS SHOWN

Drawing No.

S = J

INFORMATION SHEET S-19

ATTACHMENT A

FOR DBI USE ONLY

ASSIGNMENT OF REVIEW TIER

EXEMPTED: Reports per Section E and Third Party Peer Review Not Required

If the box in Section 1 "Property Location" AND the box in Section 2 "Average Slope of Property" are marked "No" OR if all the boxes in Section 3 "Proposed Construction" are marked "No", reports per Section E and Third Party Peer Review are exempted by the SSPA.

TIER I: Reports per Section E Required but Third Party Peer Review Not Required

If the box in Section 2 "Average Slope of Property" AND any boxes in Section 3 "Proposed Construction" are marked "Yes" AND the property does not lie within any areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E only.

TIER II: Reports per Section E and Third Party Peer Review Required

If the box in Section 2 "Average Slope of Property" AND any boxes in Section 3 "Proposed Construction" are marked "Yes" AND the property lies within the areas of potential landslide hazard, DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to a third party peer review. At the discretion of the SSPA Review Committee, the peer review may be followed by the establishment of a Structural Advisory Committee (SAC) with the project reassigned to Tier III.

If the DBI Plan Review Engineer (or the SSPA Review Committee, if established), in their discretion, determines from the submitted documents that the project has a substantial impact on the slope stability of the site or creates a potential for earthquake induced landslide hazards, DBI may require that the third party peer review be followed by the establishment of a Structural Advisory Committee (SAC) and re-assigned the project to Tier III.

TIER III: Structural Advisory Committee (SAC) Review

If the box in Section 1 "Property Location" AND any boxes in Section 3 "Proposed Construction" are marked "Yes", DBI shall require mandatory submittal of reports per Section E and require the permit application be subject to review by a Structural Advisory Committee (SAC), as defined by SFBC Section 105A.6

Tier assigned by: Calvin Horn Phone: (415)
DBI Plan Review Engineer

Comment: _____

Attachment A

SLOPE AND SEISMIC HAZARD ZONE PROTECTION CHECKLIST

A COPY OF THIS DOCUMENT SHALL BE SUBMITTED WITH THE PERMIT APPLICATION

110 32nd AVE.
San Francisco, CA APPLICATION NO. ADDENDUM NO.
OWNER NAME OWNER PHONE NO. ()

1: PROPERTY LOCATION		3: PROPOSED CONSTRUCTION	
EARTHQUAKE INDUCED LANDSLIDE AREA ON THE STATE OF CALIFORNIA DEPARTMENT OF CONSERVATION DIVISION OF MINES AND GEOLOGY (CDMG) SEISMIC HAZARD ZONES MAP FOR SAN FRANCISCO, RELEASED NOVEMBER 17, 2000.	YES	CONSTRUCTION OF NEW BUILDING OR STRUCTURE HAVING OVER 1000 SQFT OF NEW PROJECTED ROOF AREA	YES NO
	NO	HORIZONTAL OR VERTICAL ADDITIONS HAVING OVER 500 SQFT OF NEW PROJECTED ROOF AREA	YES NO
2: AVERAGE SLOPE OF PROPERTY	YES	SHORING	YES NO
	NO	UNDERPINNING	YES NO
PROPERTY EXCEEDING AN AVERAGE SLOPE OF 4H:1V (25%) GRADE (APPLICANT WILL NEED TO INCLUDE PLANS ILLUSTRATING SLOPE OF THE PROPERTY AND/OR INCLUDE A SURVEY VERIFYING THE SLOPE OF THE PROPERTY)	YES	GRADING, INCLUDING EXCAVATION OR FILL, OF OVER 50 CUBIC YARDS OF EARTH MATERIAL	YES NO
	NO	CONSTRUCTION ACTIVITY LISTED BELOW DETERMINED BY THE BUILDING OFFICIAL THAT MAY HAVE A SUBSTANTIAL IMPACT ON THE SLOPE STABILITY:	YES NO
		RETAINING WALL:	YES NO
		OTHERS:	YES NO

SECTION 4: LICENSED DESIGN PROFESSIONAL VERIFICATION AND SIGNATURES

Under penalty of perjury, I certify that the information provided on this form is based on my personal review of the building and its records, or review by others acting under my direct supervision, and is correct to the best of my knowledge.

Prepared by: NILGUN A. WOLFE
Engineer/Architect of Record

(415) 568-1270 Telephone NYENGINEERING@SBCGLOBAL.NET Email

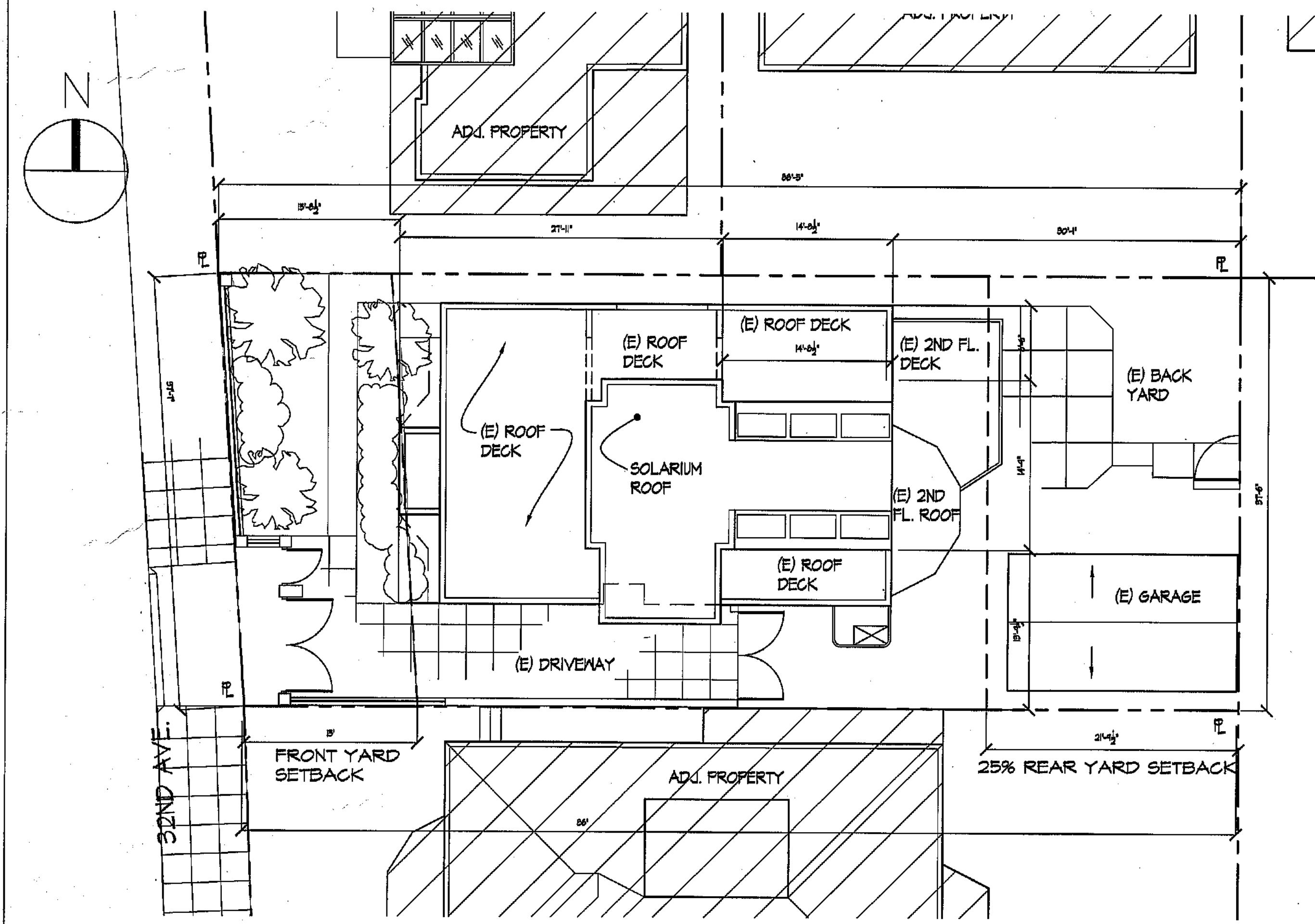
3-6-2023 Signature Date



Exhibit E

Stamped Approved Set
Permit # 2022-0211-7868
Façade Alterations

September 6th 2023
Address: 110 32nd Ave, San Francisco CA 94121
Permit Application # 2022-0329-1124
Appeal Number 23-041

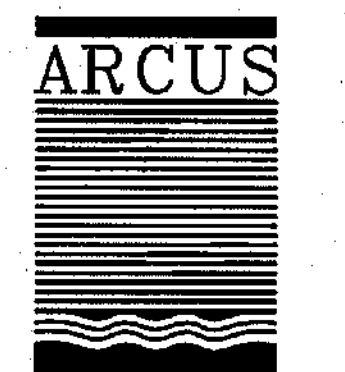


1 SITE PLAN
1/8" = 1'-0"

BUILDING INFORMATION

FLOOR AREA	OCCUPANCY	AREA	OCCUPANT LOAD
DETACHED GARAGE	U	258 SF.	2
BASEMENT FLOOR			
STORAGE	S	134 SF.	0
FAMILY ROOM	R-3	414 SF.	2
LIVING AREA	R-3	587 SF.	3
FIRST FLOOR			
LIVING AREA	R-3	1,160 SF.	3
SECOND FLOOR			
LIVING AREA	R-3	1,182 SF.	6
PENTHOUSE FLOOR			
SOLARIUM	R-3	456 SF.	3
TOTAL		4,143 SF.	19

ADDRESS: 110 320 32ND AVE.
SAN FRANCISCO CA 94121
BLOCK: 1312 LOT: 009
LOT AREA: 5,270 SQ. FT.
ZONE: RH-1 (D)
OCCUPANCY: R-3
TYPE OF CONSTRUCTION: V-5
REFERENCED APPROVED PERMITS:
2016-0621-05381 SOLARIUM ADDITION
2021-0823-6921 DWELLING
INTERIOR REMODEL



ARCHITECTURE
+ PLANNING
61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

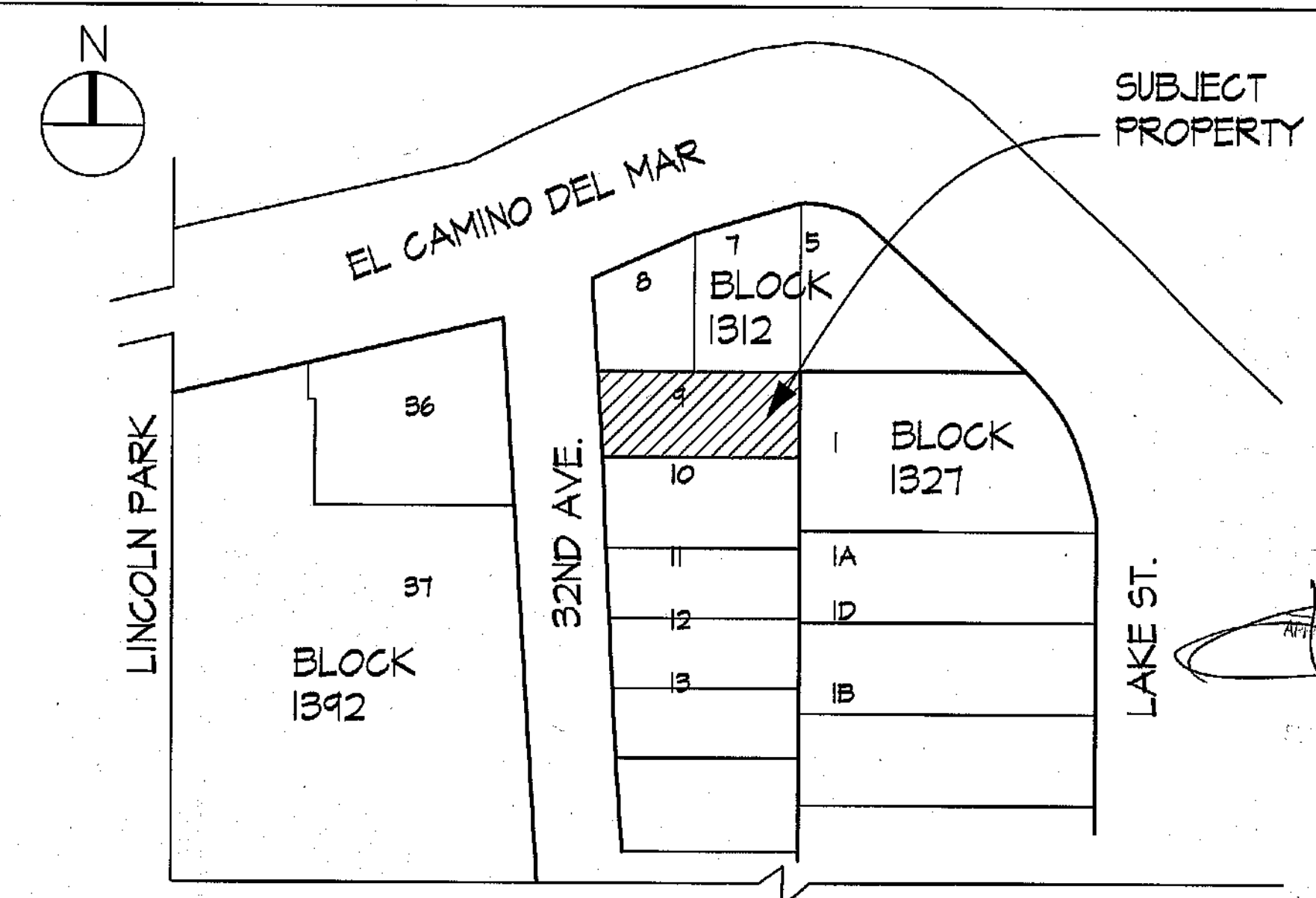
Project Title:
DEWELLING FACADE ALTERATIONS
110 32ND AVE
SAN FRANCISCO

Consultants:

SCOPE OF WORK

1. FACADE ALTERATIONS
2. REMOVED EXISTING HORIZONTAL SIDING AND REPLACE WITH STUCCO
3. MODIFY EXISTING WINDOW LOCATIONS AT FRONT FACADE

VICINITY MAP



CODE INFORMATION

ALL CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING:
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

2019 SAN FRANCISCO BUILDING CODE AMENDMENTS
2019 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS
2019 SAN FRANCISCO MECHANICAL CODE AMENDMENTS
2019 SAN FRANCISCO PLUMBING CODE AMENDMENTS
2019 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS
2019 SAN FRANCISCO HOUSING CODE

ABBREVIATIONS

ABBREVIATIONS	DESCRIPTION	ABBREVIATIONS	DESCRIPTION
A.	ANCHOR BOLT	F.	FIRE ALARM
A.B.	AIR CONDITIONING	F.A.L.M.	FABRICATE
A/C	AGGREGATE	F.A.B.R.	FORCED AIR UNIT
AGGR.	ALUM. (OR AL.)	F.A.I.L.	FLOOR DRAIN
ALUM. (OR AL.)	APPROXIMATE	F.D.	FINISH FLOOR
APPROX. &	AND	F.F.L. (OR F.F.)	FINISH OR FINISHED
A.F.F.	BOARD	F.F.	FLOOR
B.	BITUMEN	F.L.	FLUORESCENT
BD.	BUILDING	F.L.R.	FACE OF BLOCKING
BIT.	BRK.	F.O.B.	FACE OF CONCRETE
BLOG.	BRACKET	F.O.C.	FACE OF FINISH
BRK.	BSMT.	F.O.F.	FACE OF MASONRY
BRKT.	C.	F.O.M.	FACE OF STUD
BSMT.	C.C. (OR C-C)	F.O.S.	FACE OF WALL
C.	CLG. (OR CERAM.)	F.O.W.	FRAMING
C.C. (OR C-C)	CLG.	FRM.G.	FOOT OR FEET
CLG. (OR CERAM.)	CL.G. (OR CL.)	FT.	FOOTING
CLG.	CL.G. (OR CL.)	FTG.	FACE TO FACE
CL.G. (OR CL.)	CLOS.	F.F.	FACE TO FACE
CLOS.	CLR.	G.	GALV.
CLR.	CLR.OPG.	GA.	GALVANIZED
CLR.OPG.	CONC.	CLV.	GROUND
CONC.	CONC.	GND.	GROUND
CONC.	CTR.	GR.	GRADE
CTR.	D.	GYP.	GYP.
D.	DBL DET.	GYP.BD.	GYP.
DBL DET.	DIA. (OR DIAM.)	H.	HOLLOW CORE
DIA. (OR DIAM.)	DM.	H.C.	HARDBOARD
DM.	DN	HDBD	HARDWOOD
DN	DR.	HWD	HARDWOOD
DR.	DWG.	HT. (OR HGT.)	HEIGHT
DWG.	E.	HTZ.	HORIZONTAL
E.	EA.	HVC.	HEATING
EA.	EL. (OR ELEV.)	HVAC	HEATING VENTILATING
EL. (OR ELEV.)	ELEC.	H.W.	HOT WATER
ELEC.	ENT. (OR ENTR)	I.	INSULATION
ENT. (OR ENTR)	EQ.	INSUL.	INSULATION
EQ.	EQIP.	INT. (OR INTER)	INTERIOR
EQIP.	EXH.	INCAN.	INCANDESCENT
EXH.	EXT. (OR EXTER.)	J.	JOIST
EXT. (OR EXTER.)		JT.	JOINT
		K.	KITCHEN
		KIT.	KITCHEN

SYMBOLS & LEGEND

	EXTERIOR ELEVATION NUMBER		CONTROL POINT		CONCRETE
	SHEET NUMBER		MATCH LINE		EARTH / COMPACTED FILL
	SECTION CUT NUMBER		IDENTIFICATION LINE FOR ITEMS ABOVE OR BEYOND		ASPHALT
	INTERIOR ELEVATION IDENTIFICATION		CENTER LINE		WOOD
	DETAIL NUMBER		PROPERTY LINE		GRAVEL / AGGREGATE BASE
	SHEET NUMBER		EXTENT OF DRAWING REVISION		WOOD
	DETAIL NUMBER		REVISION NUMBER		GRAVEL / AGGREGATE BASE
	SHEET NUMBER		RIGID INSULATION		METAL
	DOOR TAG		BATT INSULATION		
	WINDOW TAG				
	(E) PARTITIONS				
	(E) WALL TO BE REMOVED				
	(N) WALL				

SCHEDULE OF DRAWING

- T-1 VICINITY MAP, SCOPE OF WORK, BUILDING INFORMATION, CODE INFORMATION, SITE PLANS, SYMBOL AND LEGEND
- A-1 EXISTING BASEMENT, EXISTING AND PROPOSED FIRST FLOOR PLAN
- A-2 EXISTING AND PROPOSED SECOND FLOOR PLAN, SOLARIUM PLAN, ROOF DECK PLAN
- A-3 EXISTING AND PROPOSED FRONT AND NORTH ELEVATIONS
- A-4 EXISTING AND PROPOSED REAR AND SOUTH ELEVATIONS
- A-5 WINDOW SCHEDULE, WINDOW STYLES, AND DETAILS

TOTAL SHEET COUNT: 6

Chu Liu, DBI
FEB 25 2022

APPROVED
Dept. of Building Insp.
- San Francisco -
MAR 02 2022

RECEIVED
FEB 11 2022
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

JOB NO. 2022-04

Date: 2/8/22
Checked By: SK
Drawn By: SG, SK

ISSUANCES & REVISIONS:

No.	Date	Description

Stamp: Samuel Kwong

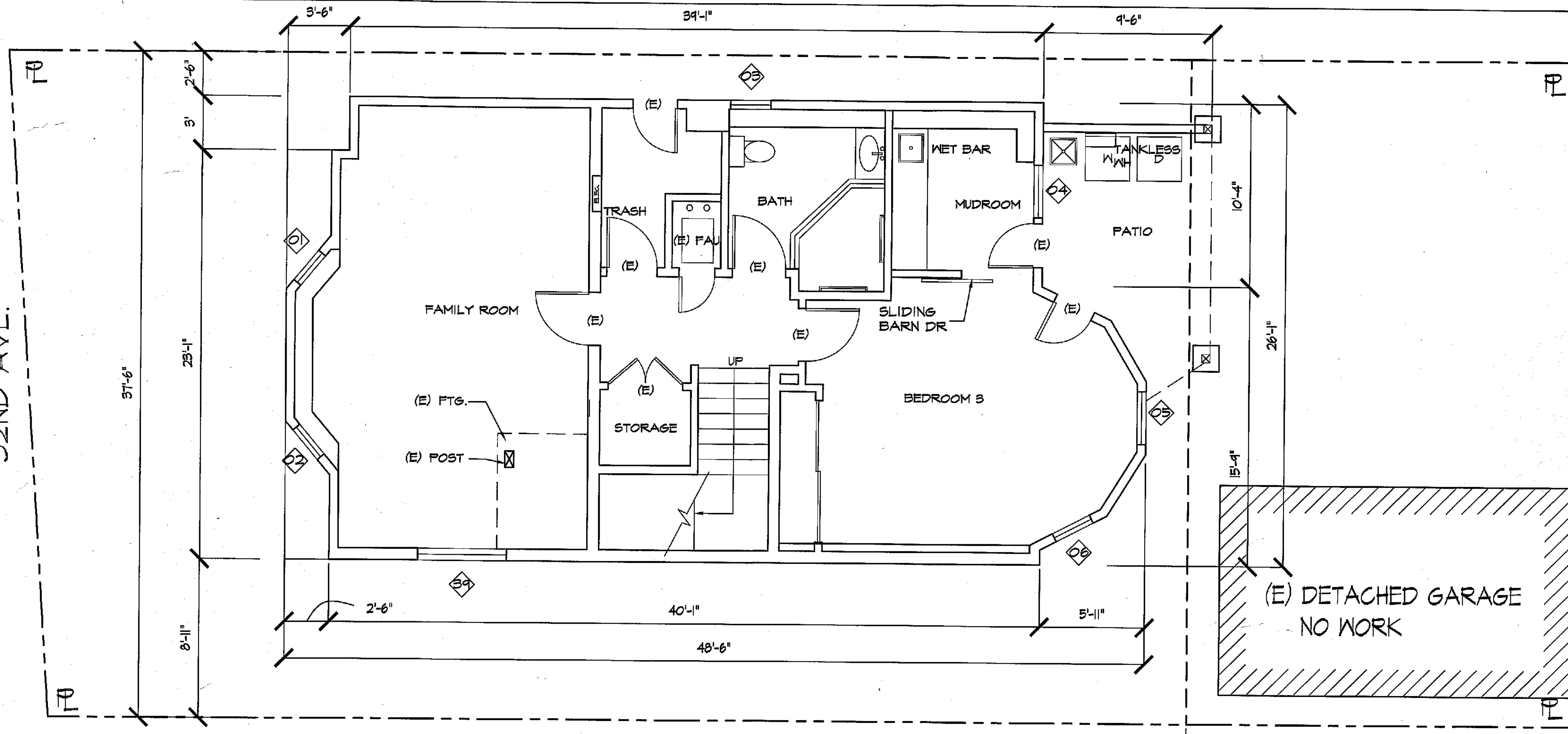
SAMUEL KWONG
NO. C-14879
REN: 89028

Sheet Title
VICINITY MAP, SCOPE OF WORK, BUILDING + CODE INFO, SCHEDULE OF DWG, SITE PLANS SYMBOL AND LEGEND

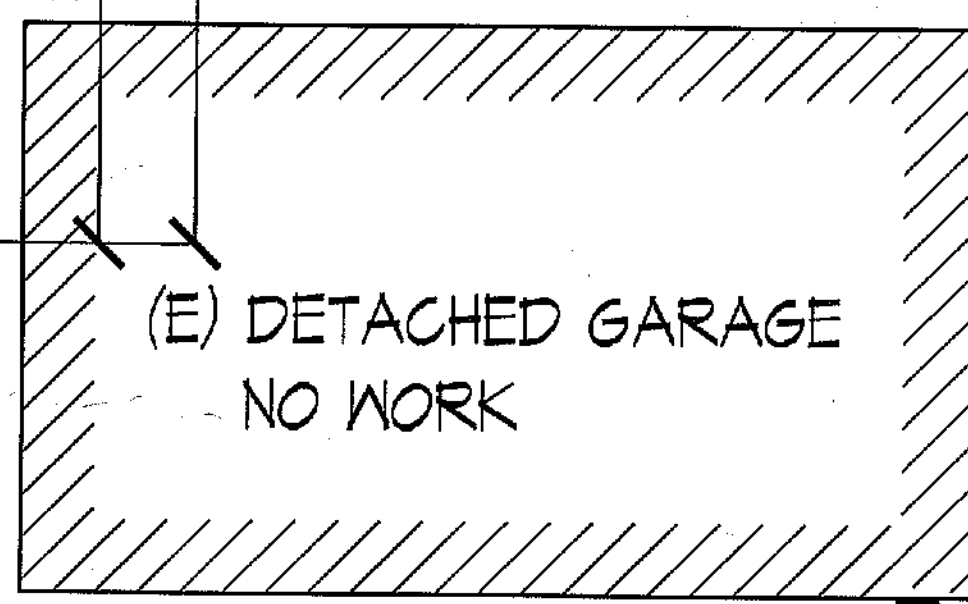
Sheet No.
T-1

2022-02-11-7868

32ND AVE.

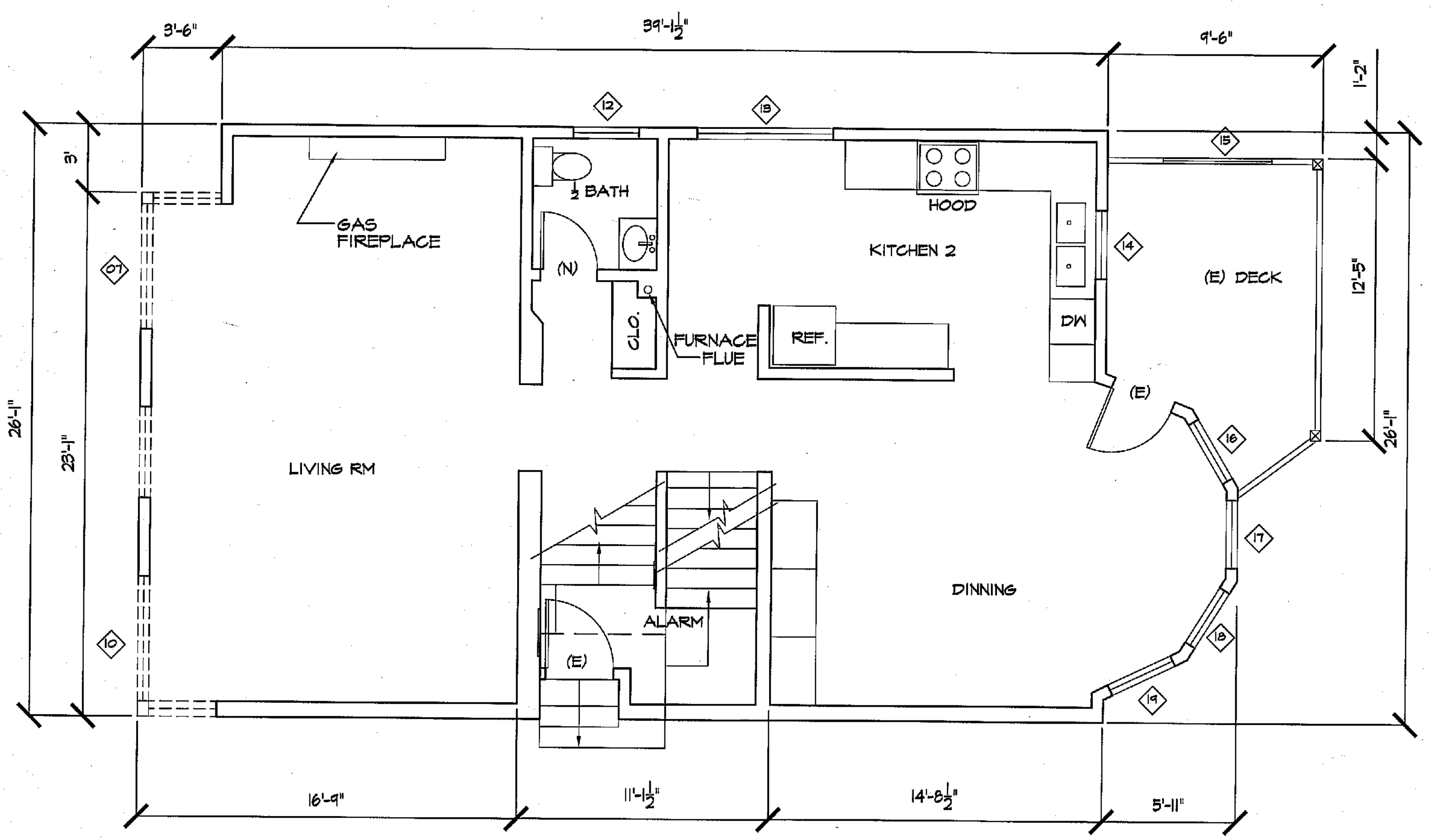


	ROOM AREA (SF)	PROVIDED (SF)	REQUIRED 2% (SF)	REQUIRED 4% (SF)
BASEMENT				
FAMILY RM.	418.9	84.5	83.11	16.56
WET BAR	88.41	1.44	7.07	3.54
BEDROOM 3	804.81	85.55	24.38	12.19
LIVING RM.	448.3	122.42	85.86	17.93
KITCHEN	219.45	42	17.56	8.78
DINING	800.62	55	24.05	12.02
1ST FL.				
BEDROOM 1	237.4	40.5	18.99	9.5
BEDROOM 2	208.5	44.25	16.68	8.34
MASTER RM.	275.97	74.9	22.08	11.04
ROOF				
SOLARIUM	860.86	232.15	28.85	14.43

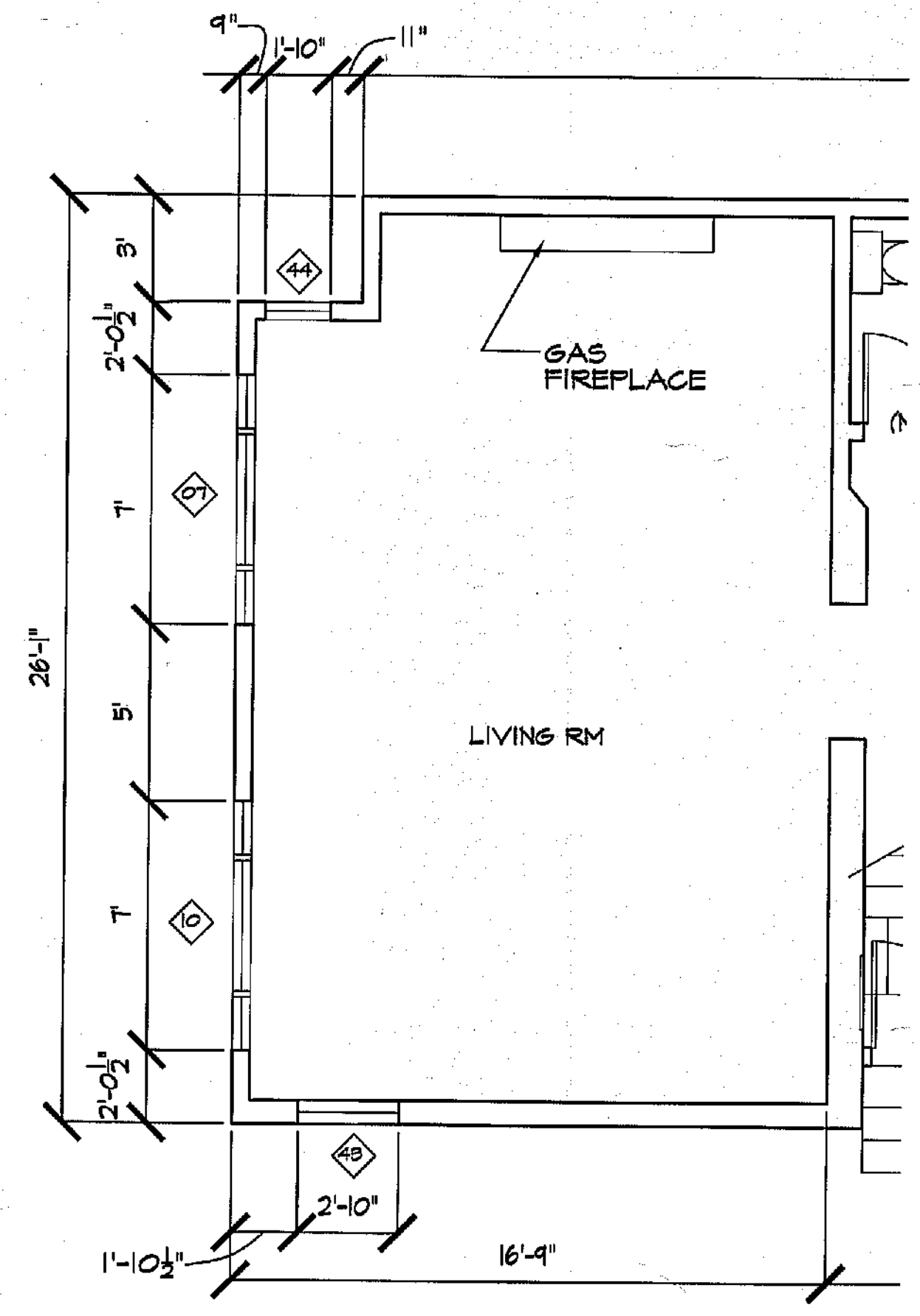


1 EXISTING BASEMENT FLOOR PLAN
1/4" = 1'-0"

APPROVED BY EDUAR OROPEZA
FEB 25 2022
PLANNING DEPARTMENT



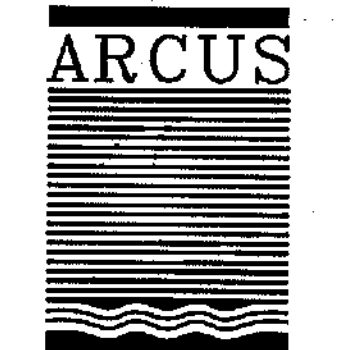
2 EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"



3 PROPOSED PARTIAL FIRST FLOOR PLAN
1/4" = 1'-0"

APPROVED
Dept. of Building Insp.
San Francisco
MAR 02 2022
PATRICK O'ROURKE
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

AGENCY USE ONLY



ARCUS
ARCHITECTURE
+ PLANNING
61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3648

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:
**DEWELLING
FACADE
ALTERATIONS**
110 32ND AVE
SAN FRANCISCO

Consultants:

RECEIVED
FEB 11 2022
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

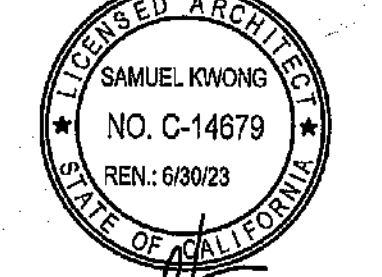
JOB NO. 2022-04

Date: 2/8/22
Checked By: SK
Drawn By: SG, SK

ISSUANCES & REVISIONS:

No.	Date	Description

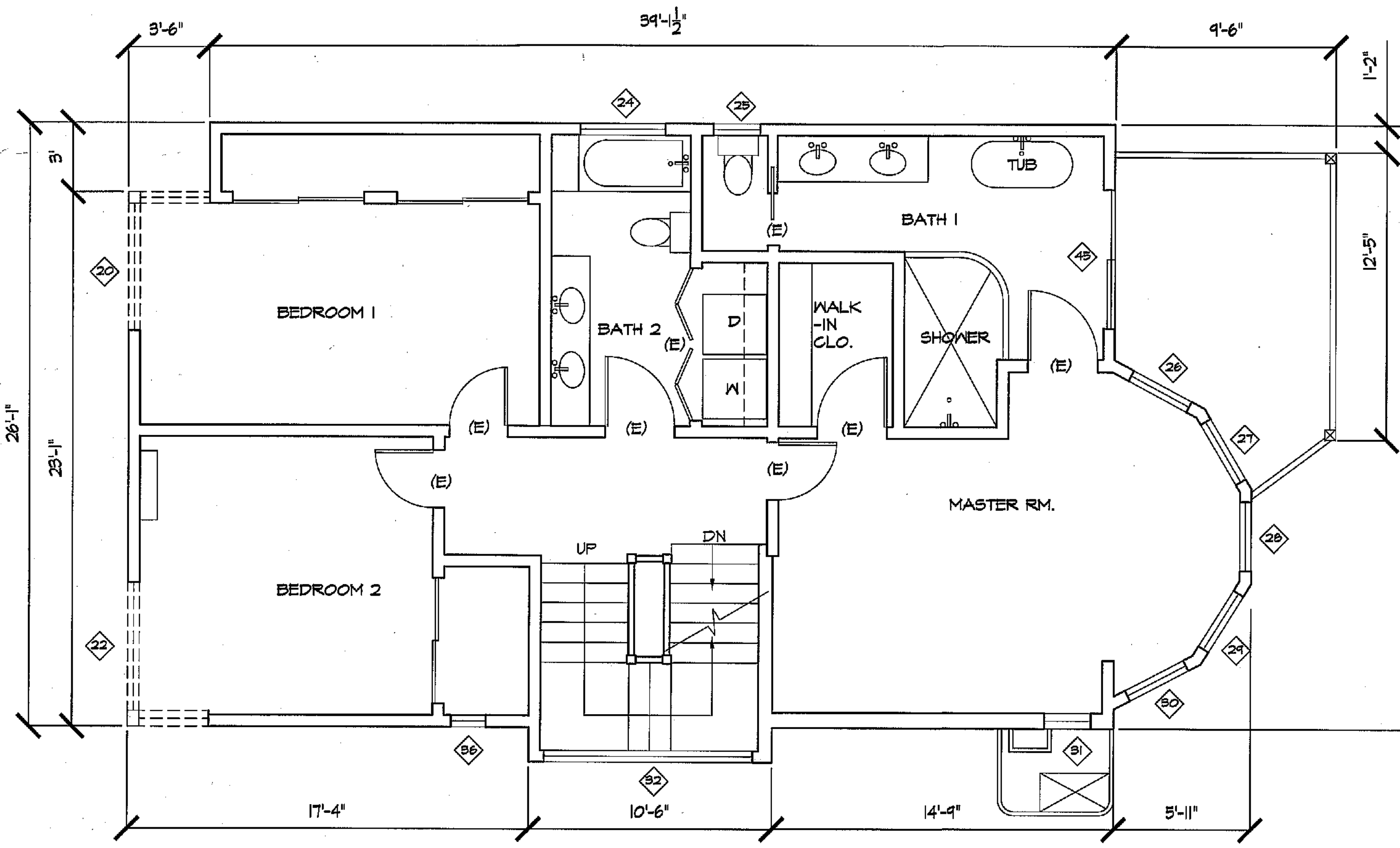
Stamp:



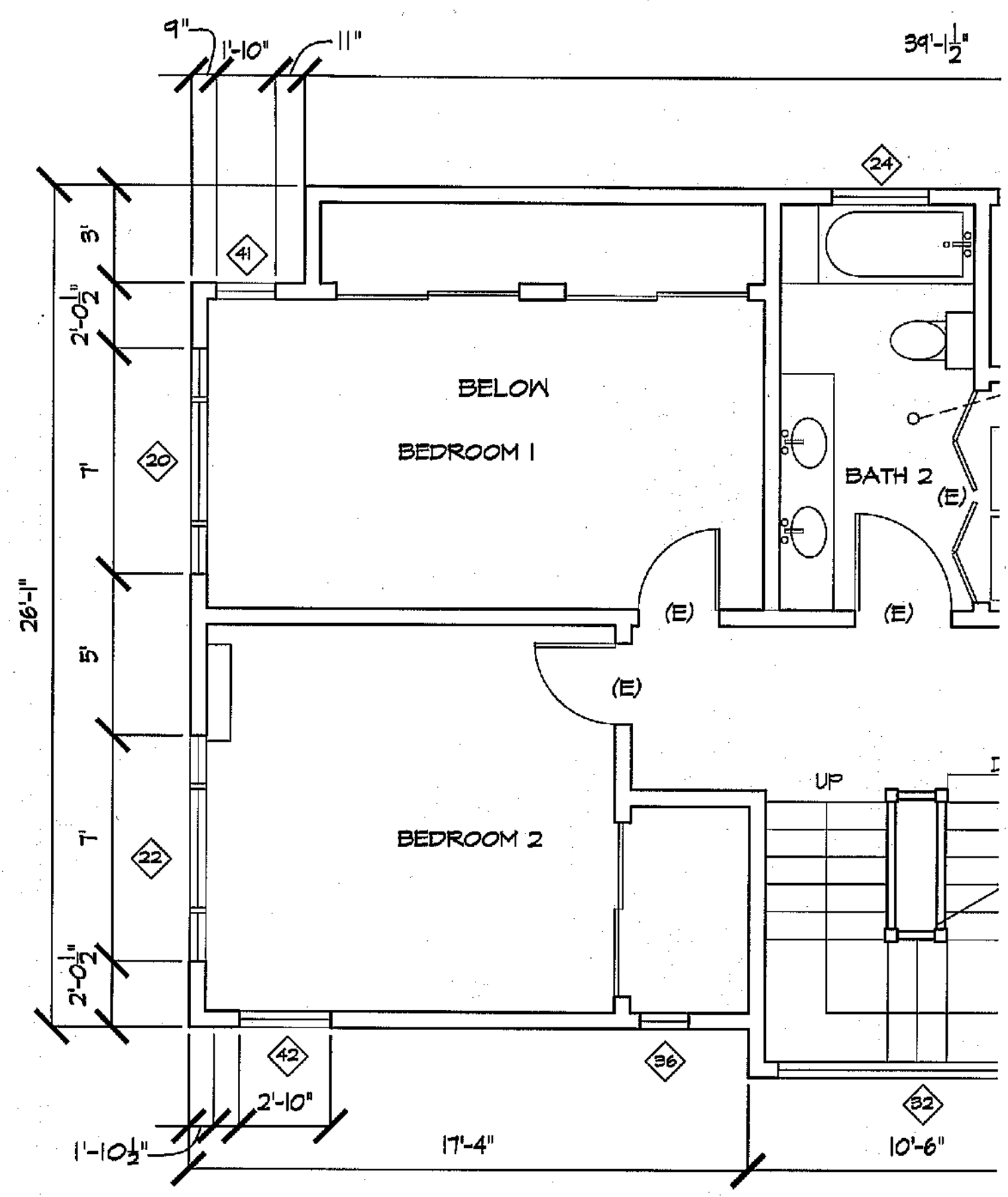
Sheet Title:
**EXISTING BASEMENT,
EXISTING AND
PROPOSED FIRST
FLOOR PLAN**

Sheet No.

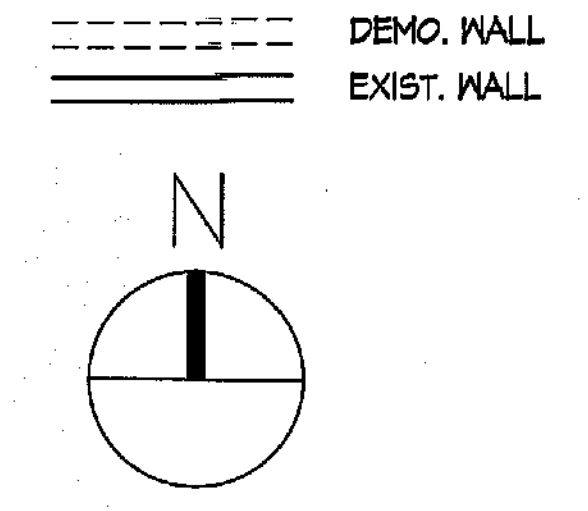
A-1



1 EXISTING SECOND FLOOR PLAN
1/4" = 1'-0"

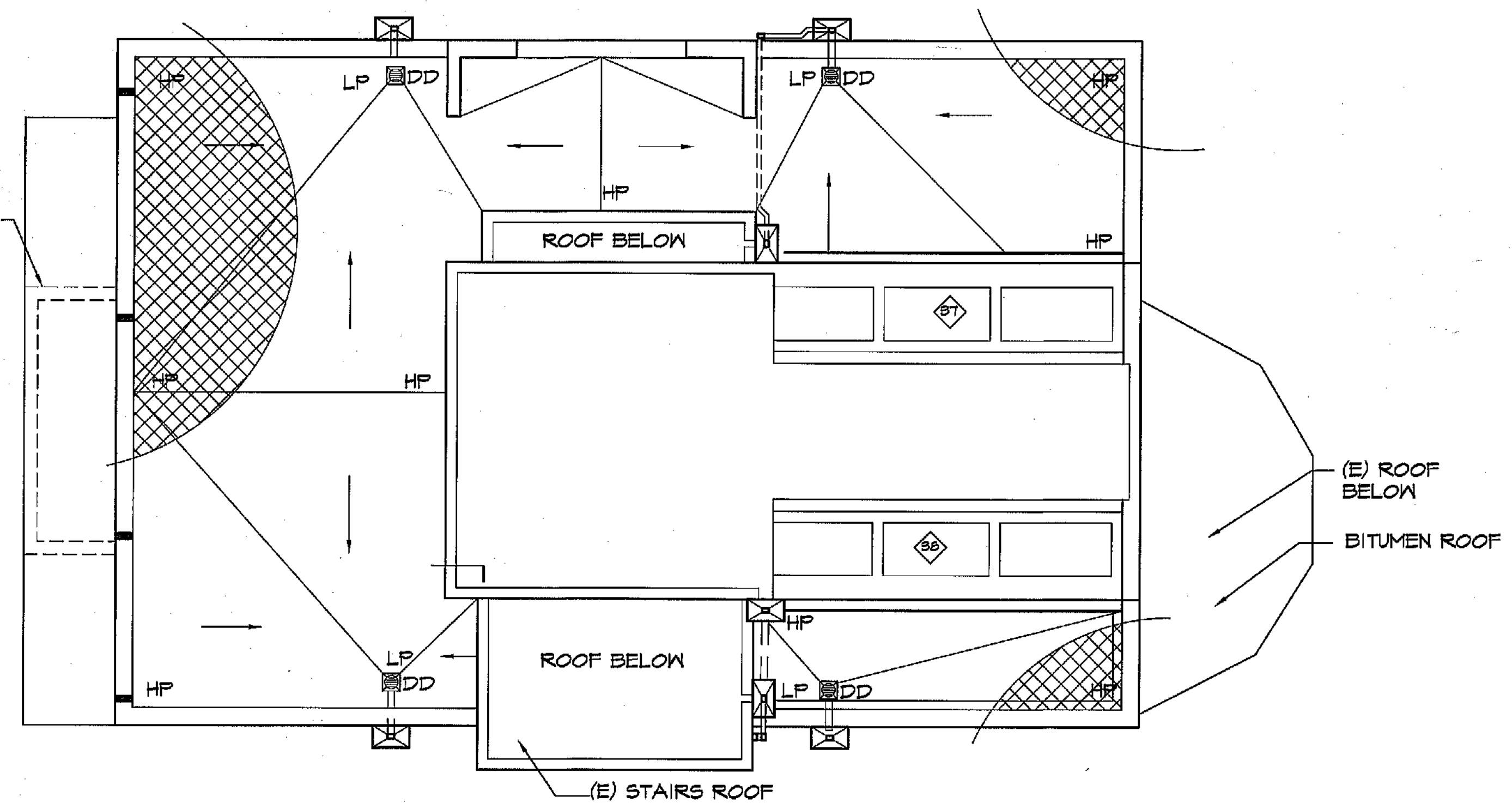


2 PROPOSED PARTIAL SECOND FLOOR PLAN
1/4" = 1'-0"

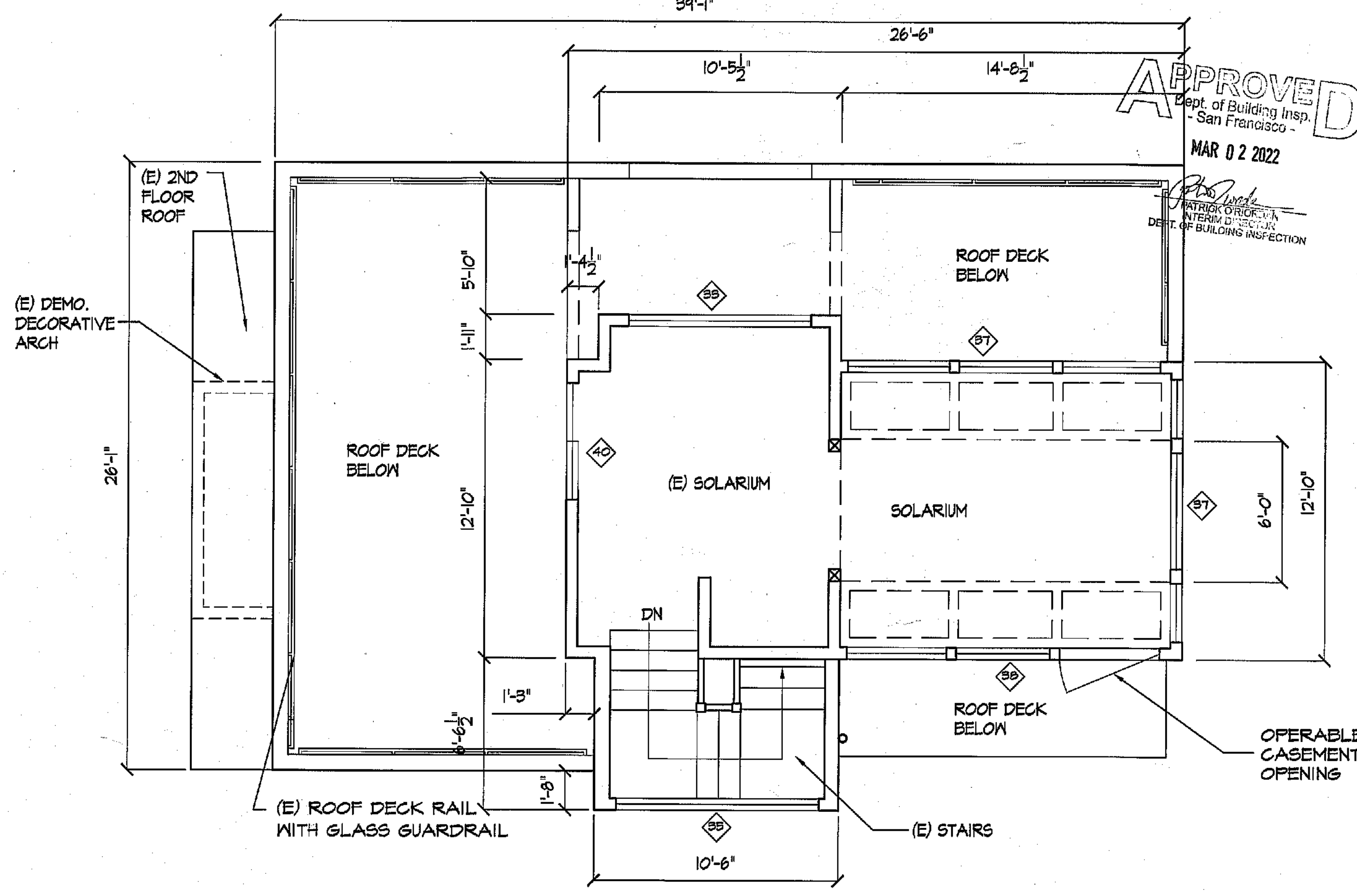


APPROVED BY EDGAR OROPEZA
FEB 25 2022
PLANNING DEPARTMENT

Chu Liu, DBI
FEB 25 2022



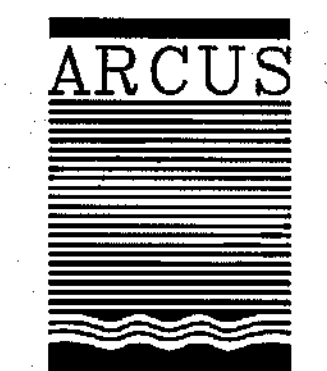
3 ROOF DECK PLAN
1/4" = 1'-0"



4 SOLARIUM PLAN
1/4" = 1'-0"

APPROVED
Dept. of Building Insp.
- San Francisco -
MAR 02 2022

APPROVED BY EDGAR OROPEZA
FEB 25 2022
DEPT. OF BUILDING INSPECTION



ARCUS
ARCHITECTURE
+ PLANNING
61 Walter U Lum Pl
3/F San Francisco
94108-1801 CA
U S A
(415) 391-3313
(Fax) 391-3649

Copyright 2020. These construction documents are the sole property of Arcus and may not be reproduced, published or used by any method, in whole or in part, without the expressed written consent of Arcus.

Project Title:
**DEWELLING
FACADE
ALTERATIONS**
110 32ND AVE
SAN FRANCISCO

Consultants:

RECEIVED
FEB 11 2022
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

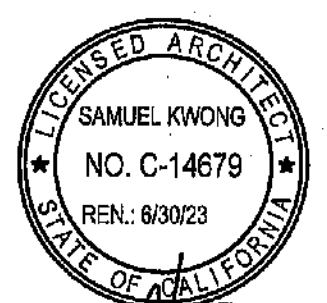
JOB NO. 2022-04

Date: 2/8/22
Checked By: SK
Drawn By: SG, SK

ISSUANCES & REVISIONS:

No.	Date	Description

Stamp:



Sheet Title
**EXIST. AND PROP.
SECOND FLOOR PLAN
SOLARIUM PLAN
ROOF DECK PLAN**

Sheet No.
A-2

- SHEET NOTES**
- 1 REMOVE EXIST. SIDING OVER ORIGINAL STUCCO
 - 2 REMOVE ALL EXT. STUCCO AND CHECK FOR DRY ROT
 - 3 REMOVE EXIST. RAIL, GUTTERS, AND REPLACE
 - 4 REMOVE EXIST. BRICK VENEER AT BUILDING BASE
 - 5 REMOVE DECORATIVE ARCH AT FRONT OF BUILDING
 - 6 REMOVE AND REINSTALL FIRE ESCAPE DURING STUCCO REPAIR WORK

APPROVED
Dept. of Building Insp.
San Francisco
MAR 02 2022

P. No. [Signature]
PATRICK CHORDIAN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

APPROVED BY EDGAR GORPEZA
FEB 23 2022
PLANNING DEPARTMENT

RECEIVED
FEB 11 2022
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR DIGITIZING ACCEPTED

JOB NO. 2022-04

Date: 2/8/22
Checked By: SK
Drawn By: SG, SK

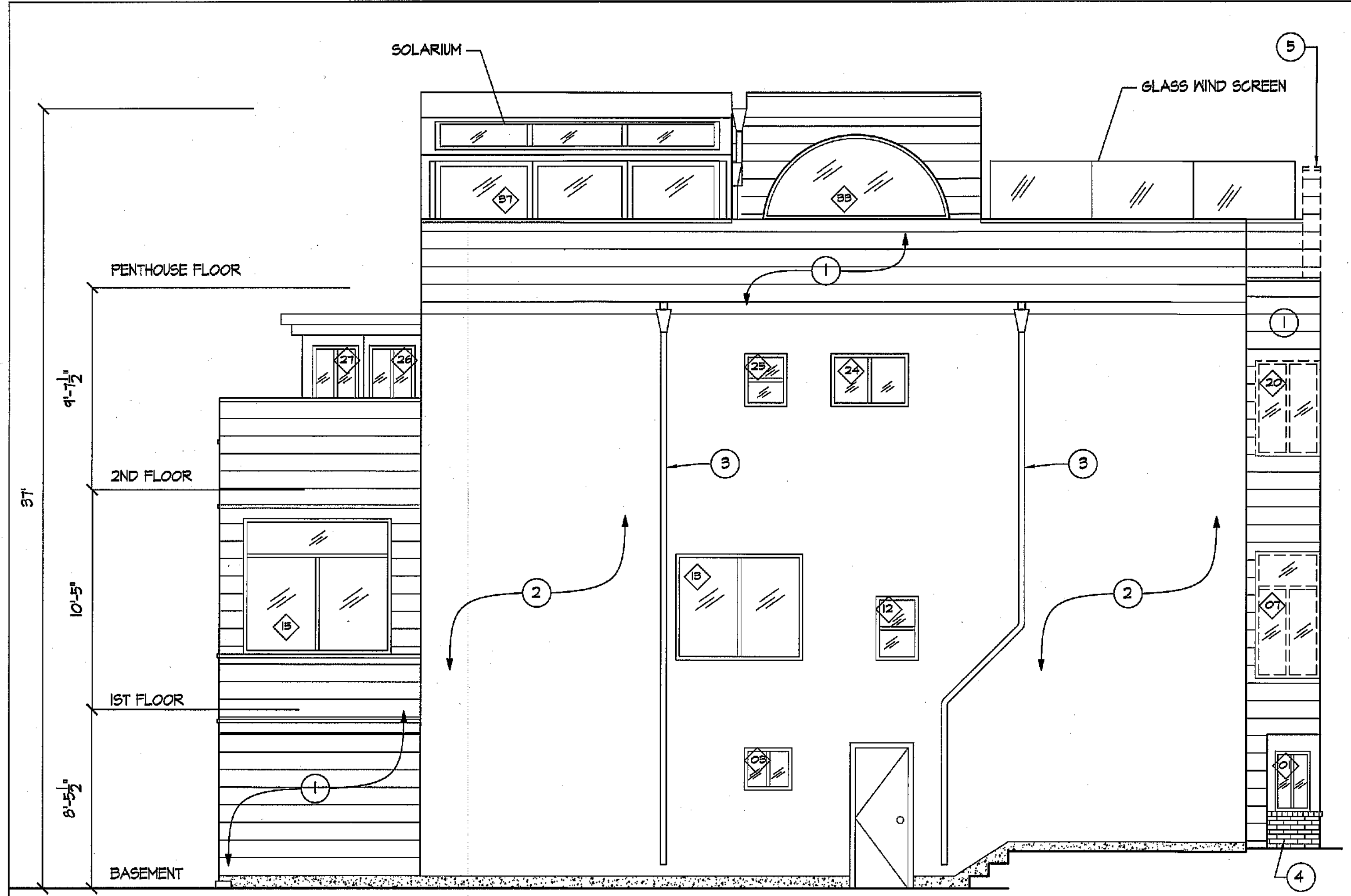
ISSUANCES & REVISIONS:

No.	Date	Description

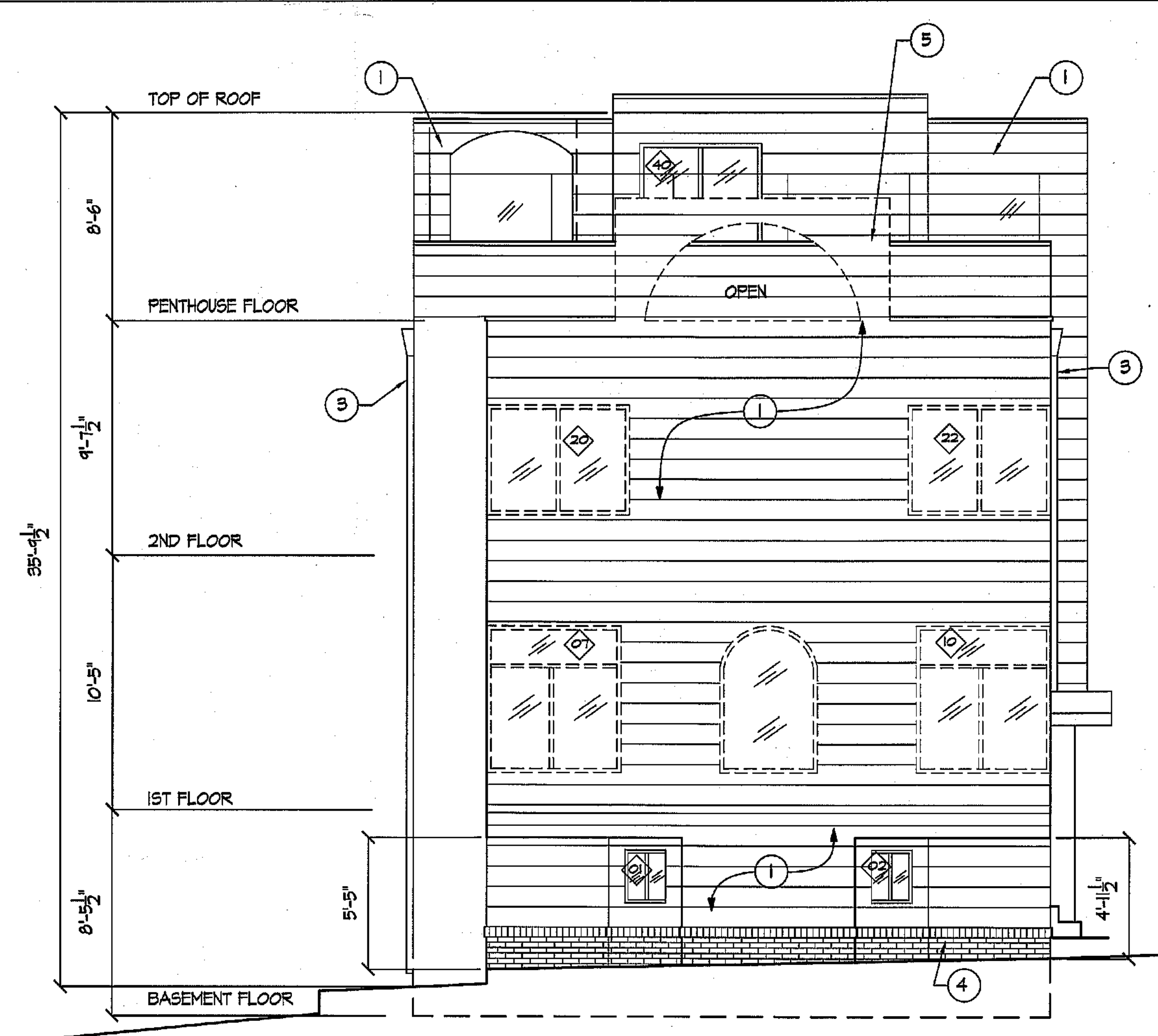
Stamp:

Sheet Title
EXIST. AND PROPOSED FRONT AND NORTH ELEVATIONS

Sheet No.
A-3

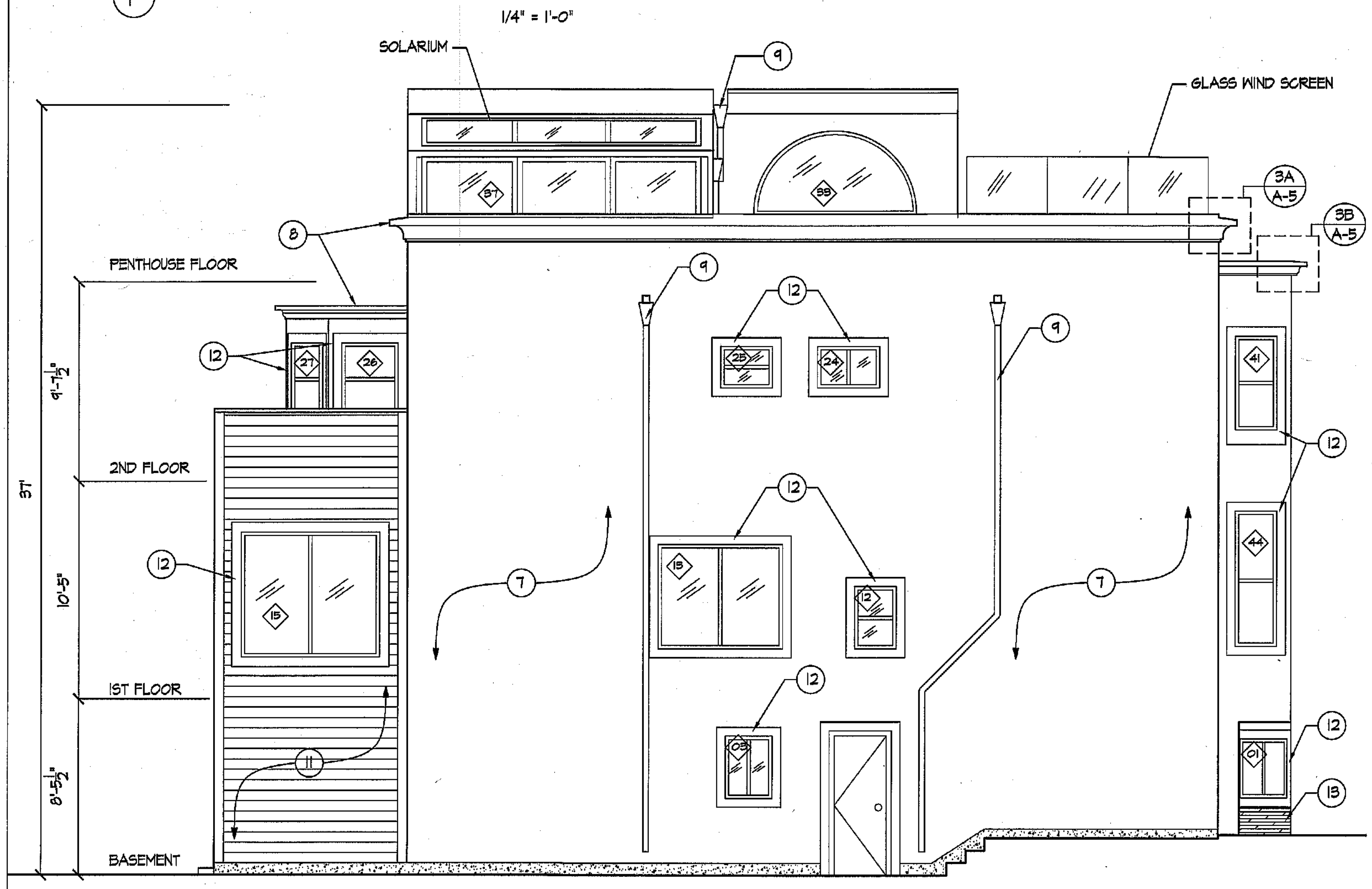


1 EXISTING NORTH ELEVATION
1/4" = 1'-0"

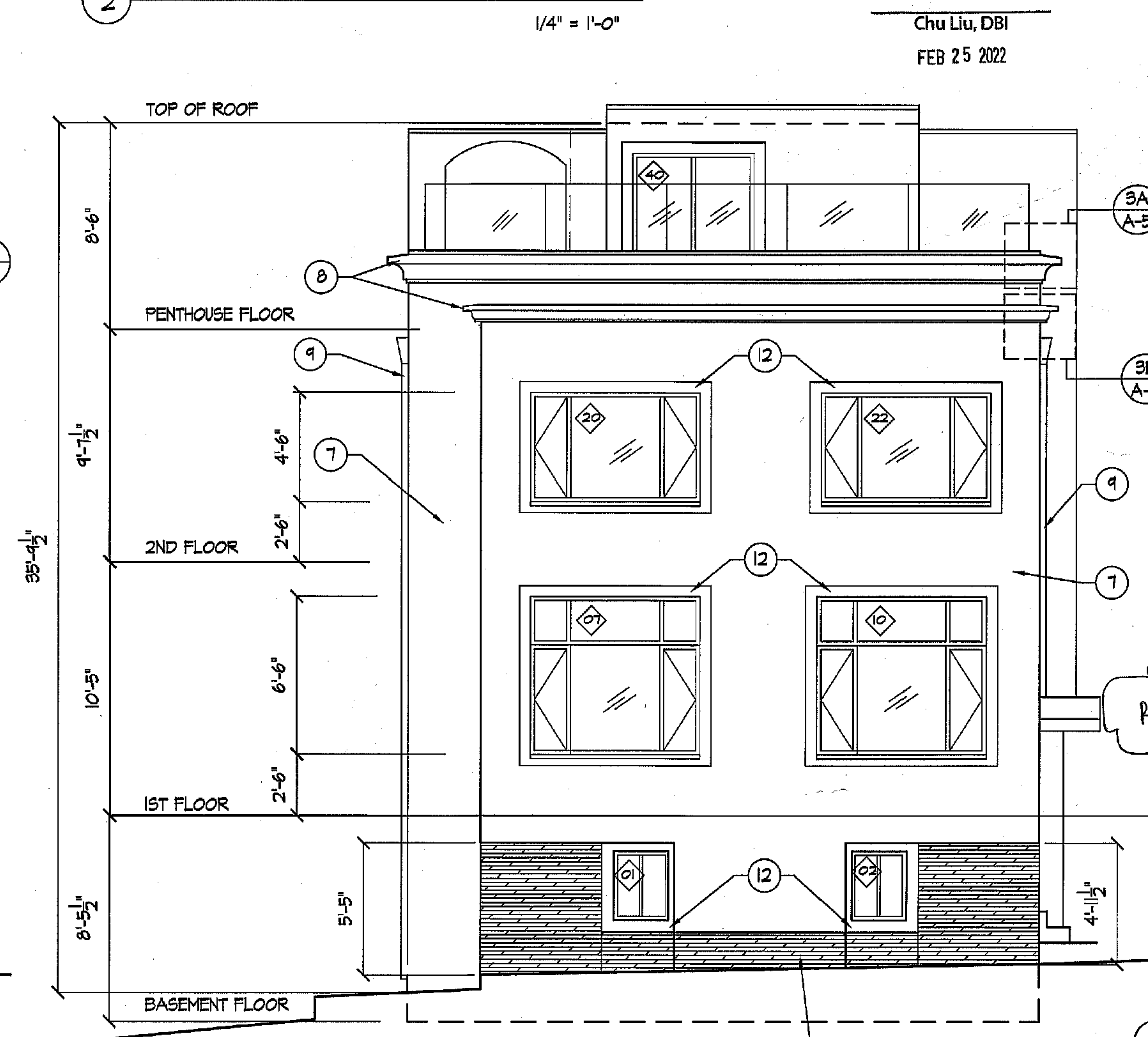


2 EXISTING FRONT ELEVATION
1/4" = 1'-0"

Chu Liu, DBI
FEB 25 2022



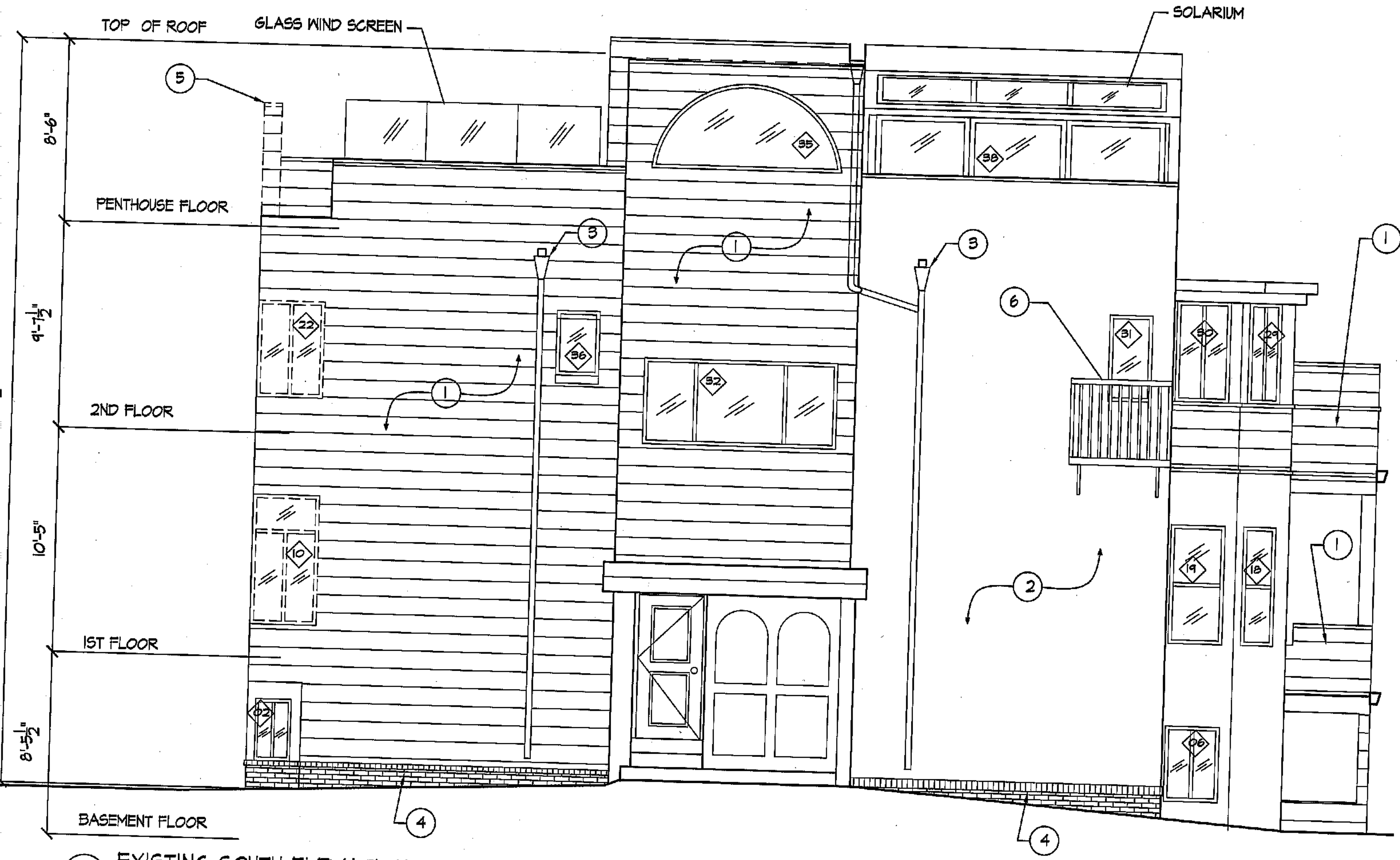
3 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



4 PROPOSED FRONT ELEVATION
1/4" = 1'-0"

- SHEET NOTES**
- 7 PROVIDE NEW 3 COAT STUCCO TYP. OVER STRUCTURE
 - 8 INSTALL FABRICATED FOAM CORNICE, CUSTOM CO. MANUFACTURED BY LILLYS FOAMWORKS, SACRAMENTO
 - 9 PROVIDE ALL NEW COPPER DRAINS, GUTTERS, DOWNSPOUTS AND CONNECT TO EXISTING TYP.
 - 10 NEW GALV. METAL SECURITY GATE AND FENCE
 - 11 EXIST. BALCONY TO BE COVERED WITH HARDI PLANK LAP SIDING, CEDAR MILL STYLE 6.25" TYP. PROVIDE 3.5" HARDITRIM AT ALL CORNERS
 - 12 ALL WINDOWS SHALL BE TRIMMED BY 5.5" REDUCED HARDITRIM ON ALL SIDES
 - 13 PROVIDE STONE VENEER AT BRICKS BASE OF STRUCTURE TO REPLACE EXIST
 - 14 PROVIDE VERTICAL STUCCO CONTROL JOINT
 - 15 REPLACE GLASS RAILING AND SAFETY GLASS AT BALCONY

* STONE VENEER
CD RONADO.COM
LEOSTONE SERIES



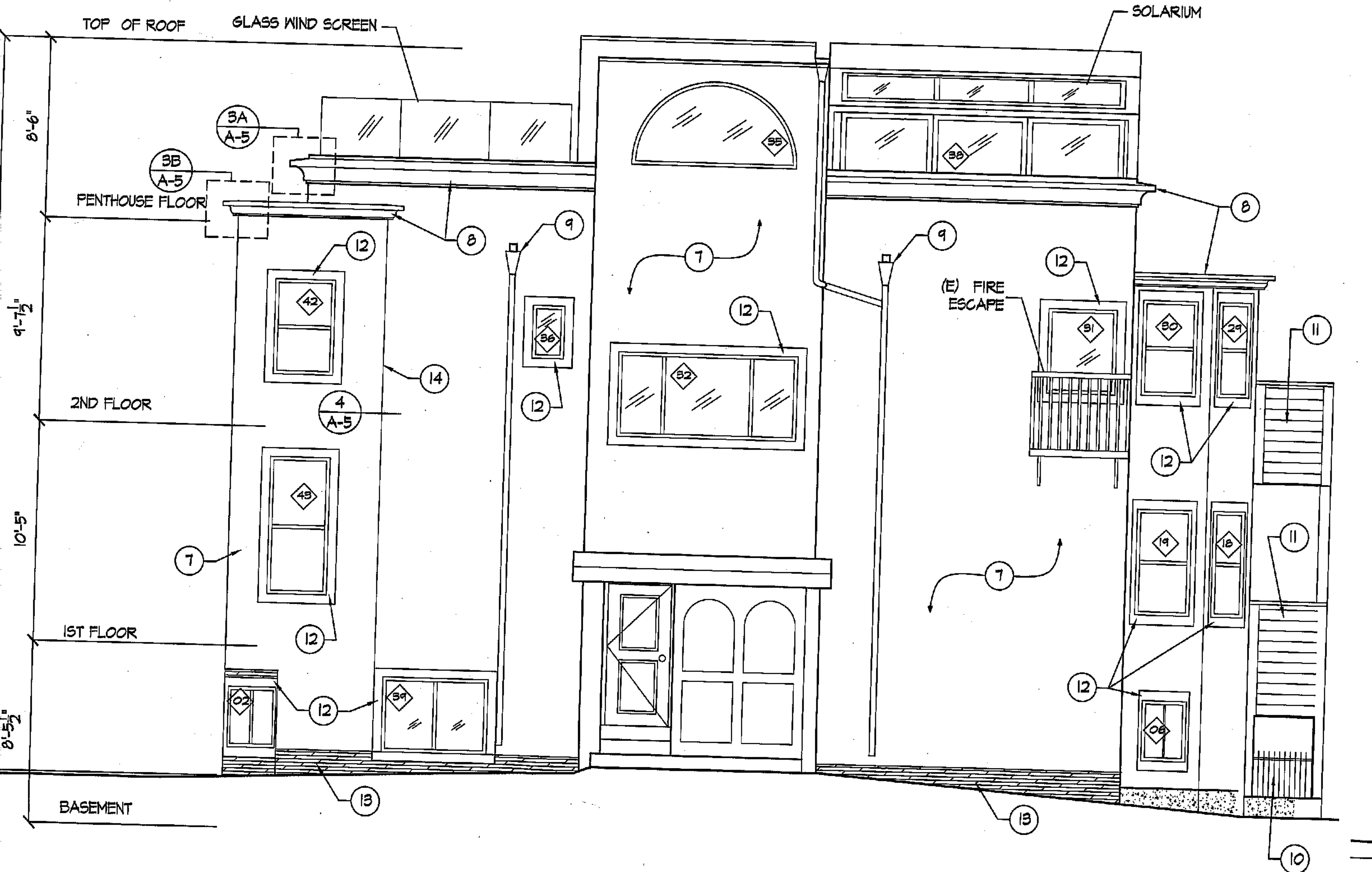
1 EXISTING SOUTH ELEVATION

1/4" = 1'-0"



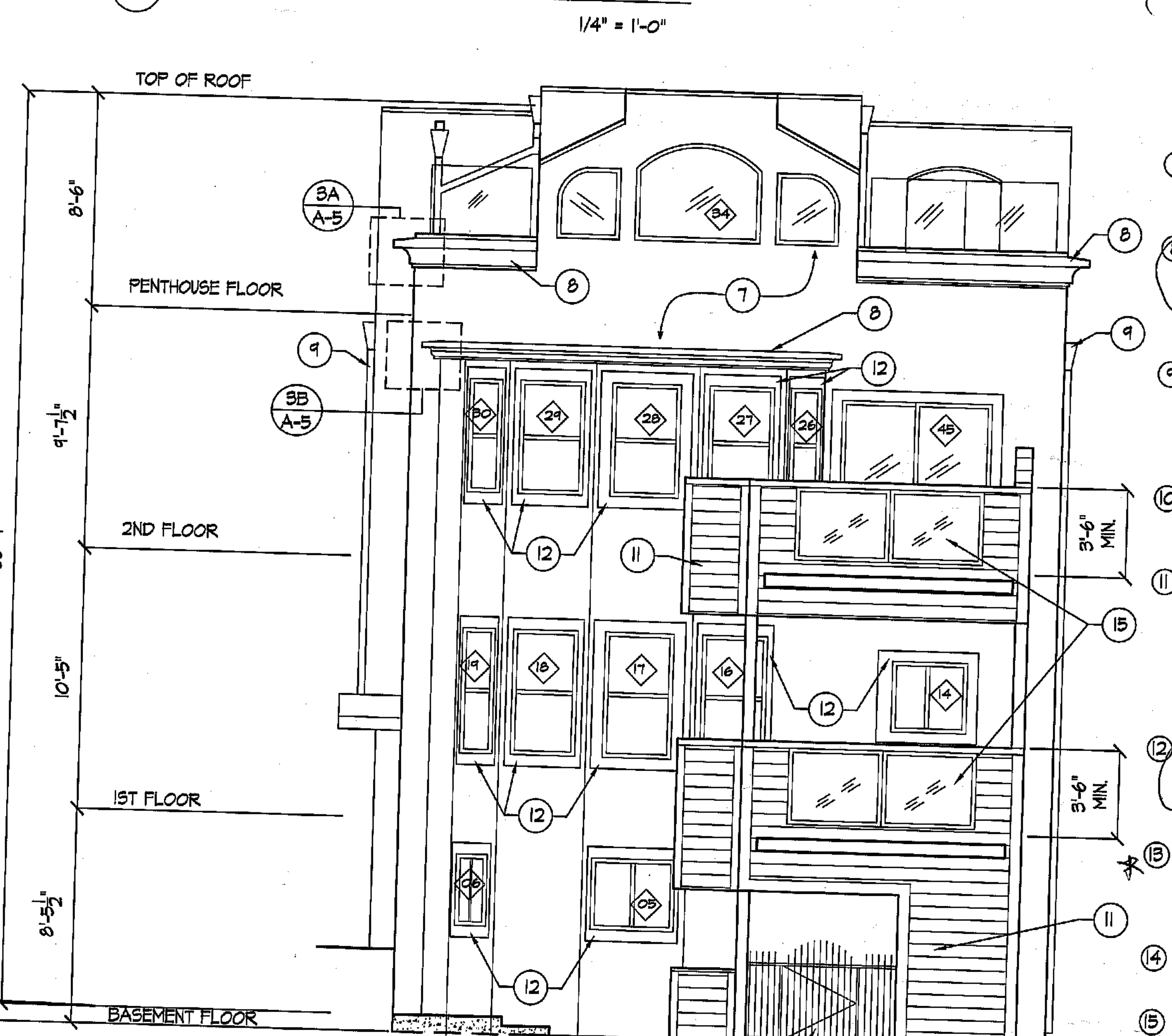
2 EXISTING REAR ELEVATION

1/4" = 1'-0"



3 PROPOSED SOUTH ELEVATION

1/4" = 1'-0"



4 PROPOSED REAR ELEVATION

1/4" = 1'-0"

- SHEET NOTES**
- 1 REMOVE EXIST. SIDING OVER ORIGINAL STUCCO
 - 2 REMOVE ALL EXT. STUCCO AND CHECK FOR DRY ROT
 - 3 REMOVE EXIST. RAIL, GUTTERS, AND REPLACE
 - 4 REMOVE EXIST. BRICK VENEER AT BUILDING BASE
 - 5 REMOVE DECORATIVE ARCH AT FRONT OF BUILDING
 - 6 REMOVE AND REINSTALL FIRE ESCAPE DURING STUCCO REPAIR WORK

Chu Liu, DBI
FEB 25 2022

APPROVED BY EDNA OROPEZA
FEB 25 2022
PLANNING DEPARTMENT

- SHEET NOTES**
- 7 PROVIDE NEW 3 COAT STUCCO TYP. OVER STRUCTURE
 - 8 INSTALL FABRICATED FOAM CORNICE COORDINATE MANUFACTURED BY LILLYS POATWORKS, SACRAMENTO
 - 9 PROVIDE ALL NEW COPPER DRAINS, GUTTERS, DOWNSPOUTS AND CONNECT TO EXISTING TYP.
 - 10 NEW GALV. METAL SECURITY GATE AND FENCE
 - 11 EXIST. BALCONY TO BE COVERED WITH HARDI PLANK LAP SIDING, CEDAR MILL STYLE 8.25" TYP. PROVIDE 3.5" HARDITRIM AT ALL CORNERS
 - 12 ALL WINDOWS SHALL BE TRIMMED BY 5.5" REPLACED HARDITRIM ON ALL SIDES
 - 13 PROVIDE STONE VENEER AT BRICKS BASE OF STRUCTURE TO REPLACE EXIST
 - 14 PROVIDE VERTICAL STUCCO CONTROL JOINT
 - 15 REPLACE GLASS RAILING AND SAFETY GLASS AT BALCONY
- * STONE VENEER TO RENOV. CO. RENOV. CO. LIMESTONE SERIES



Project Title:
**DEWELLING
FACADE
ALTERATIONS**
110 32ND AVE
SAN FRANCISCO

Consultants:
APPROVED
Dept. of Building Insp.
- San Francisco -
MAR 02 2022
PATRICK O'BRIEN
INTERIM DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
FEB 11 2022
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED
JOB NO. 2022-04

Date: 2/8/22
Checked By: SK
Drawn By: SG, SK

ISSUANCES & REVISIONS:

No.	Date	Description

Stamp:
SAMUEL KWONG
NO. C-14679
REL: 6/30/23
STATE OF CALIFORNIA
LICENSED ARCHITECT

Sheet Title
**EXIST. AND
PROPOSED
REAR AND SOUTH
ELEVATIONS**

Sheet No.
A-4

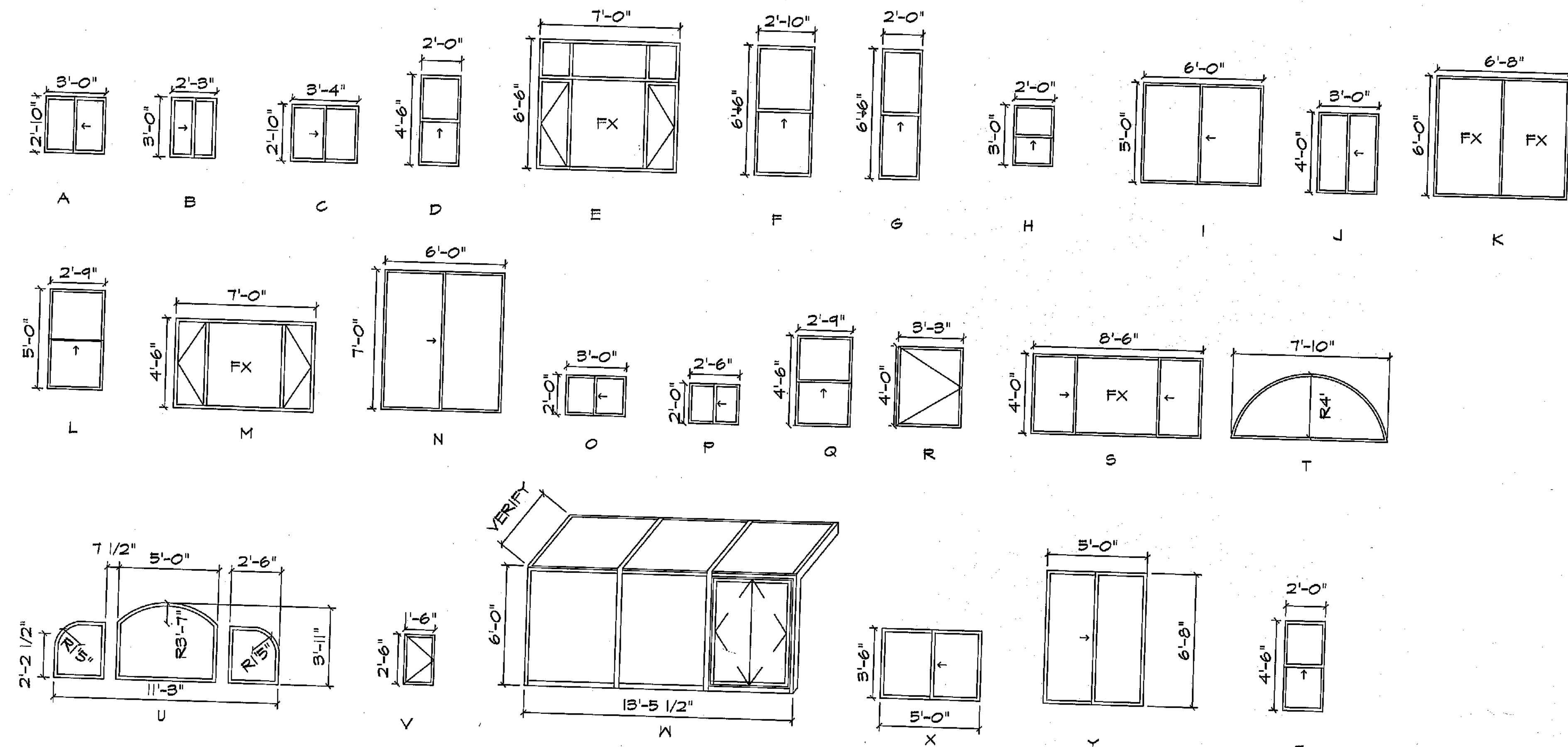
PROPOSED WINDOW/ DOOR SCHEDULE

FLOOR TAG TYPE LOCATION WIDTH HEIGHT REMARK

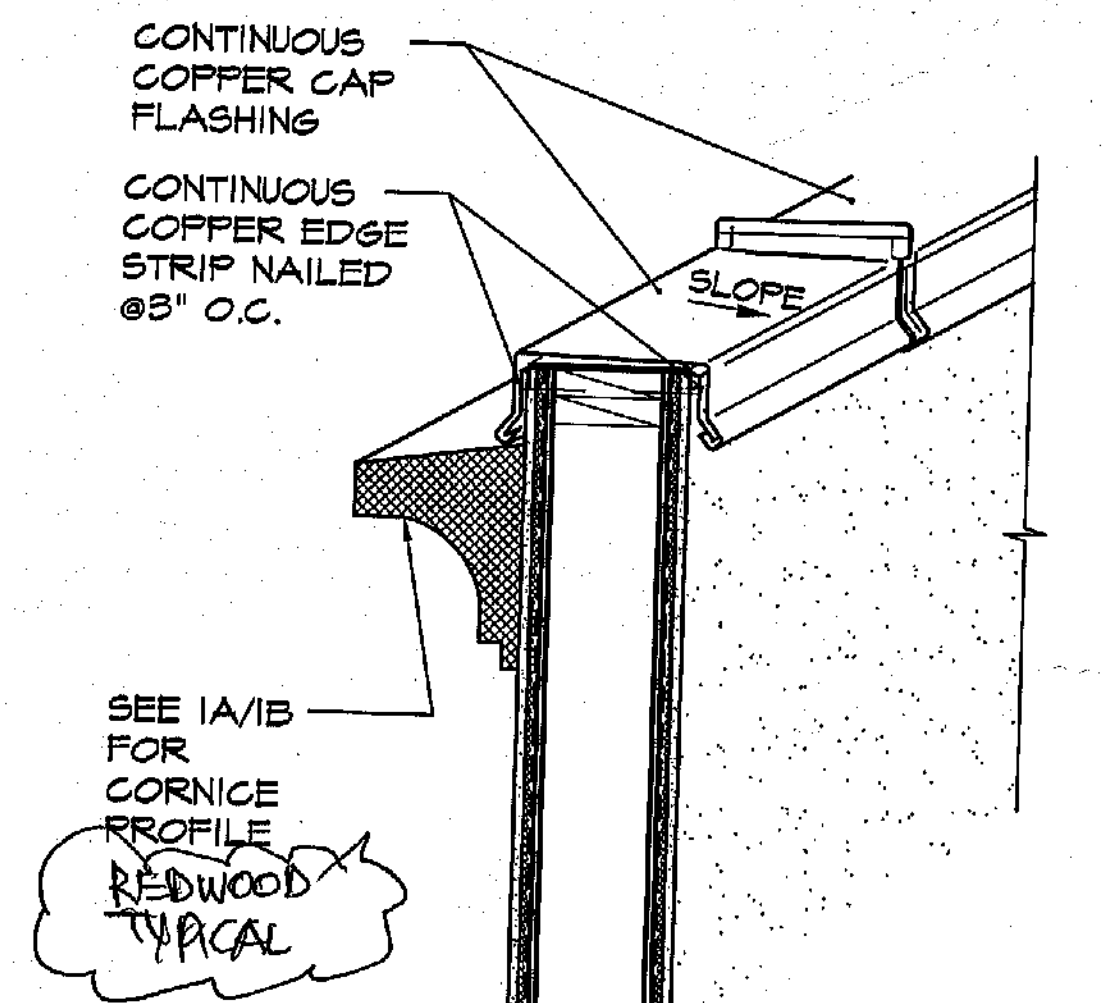
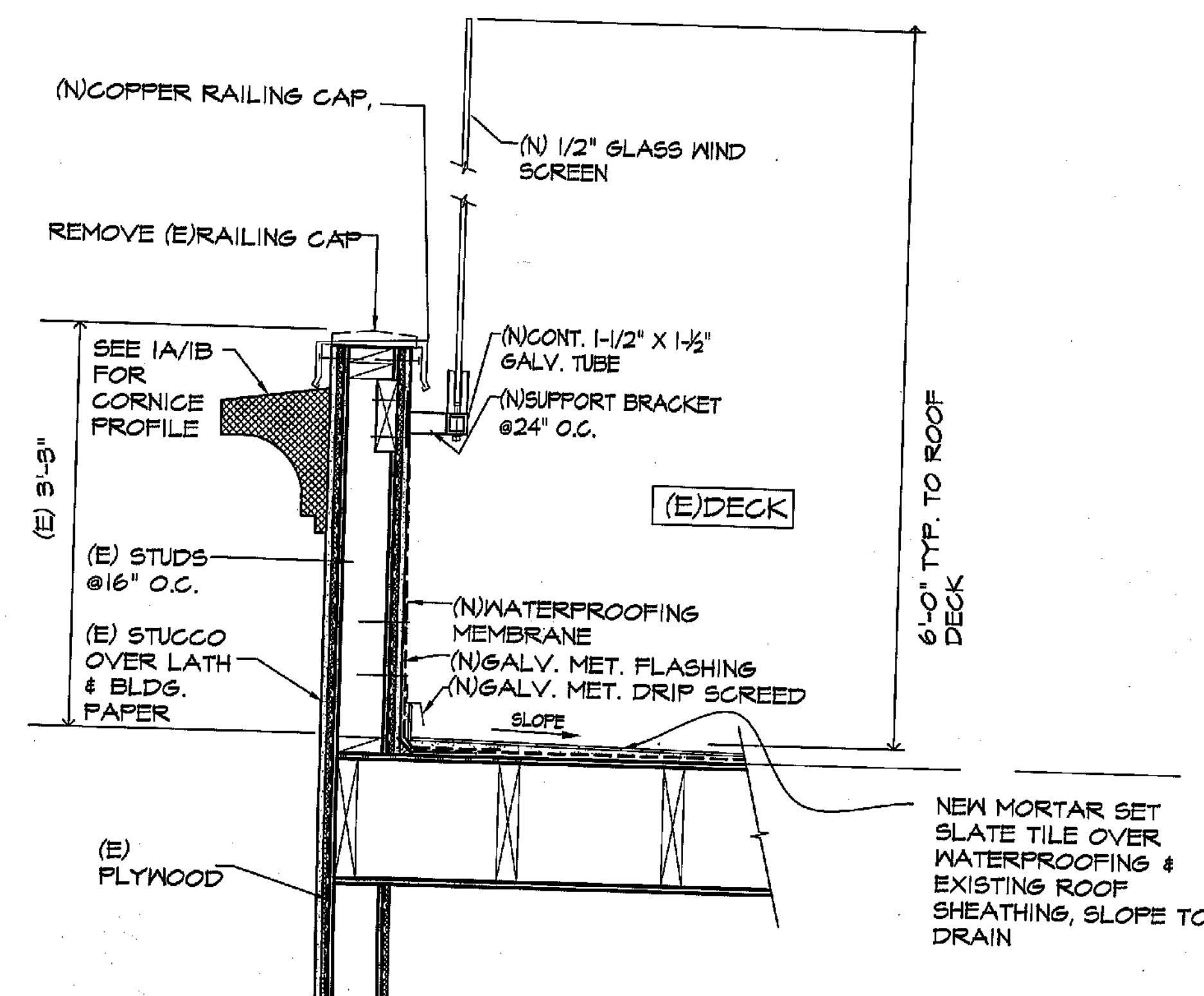
FLOOR	TAG	TYPE	LOCATION	WIDTH	HEIGHT	REMARK
BASEMENT	01	X	FAMILY RM	5'	3'-6"	LAMINATED SAFETY GLASS
BASEMENT	02	A	FAMILY RM	3'	2'-10"	
BASEMENT	03	B	BATHROOM	2'-3"	3'	OBSCURED GLASS
BASEMENT	04	C	WET BAR	3'-4"	2'-10"	
BASEMENT	05	C	BEDROOM B	3'-4"	2'-10"	
BASEMENT	06	C	BEDROOM B	3'-4"	2'-10"	
1ST FLOOR	07	E	LIVING RM	7'	6'-6"	
1ST FLOOR	43	G	LIVING RM	2'	6'-6"	
1ST FLOOR	10	E	LIVING RM	7'	6'-6"	
1ST FLOOR	44	F	LIVING RM	2'-10"	6'-6"	
1ST FLOOR	12	H	BATHROOM	2'	3'	OBSCURED GLASS
1ST FLOOR	13	I	KITCHEN	6'	5'	
1ST FLOOR	14	J	KITCHEN	3'	4'	
1ST FLOOR	15	K	DECK	6'-8"	6'	SINGLE PANE WINDOW
1ST FLOOR	16	L	DINING	2'-9"	5'	
1ST FLOOR	17	L	DINING	2'-9"	5'	
1ST FLOOR	18	L	DINING	2'-9"	5'	
1ST FLOOR	19	L	DINING	2'-9"	5'	
2ND FLOOR	20	M	BEDROOM 1	7'	4'-6"	
2ND FLOOR	41	Z	BEDROOM 1	2'	4'-6"	
2ND FLOOR	22	M	BEDROOM 2	7'	4'-6"	
2ND FLOOR	42	F	BEDROOM 2	2'-10"	4'-6"	
2ND FLOOR	24	O	BATHROOM	3'	2'	OBSCURED GLASS
2ND FLOOR	25	P	BATHROOM	2'-6"	2'	OBSCURED GLASS
2ND FLOOR	45	N	BATHROOM	6'	7'	OBSCURED GLASS DOOR
2ND FLOOR	26	Q	MASTER RM	2'-9"	4'-6"	
2ND FLOOR	27	Q	MASTER RM	2'-9"	4'-6"	
2ND FLOOR	28	Q	MASTER RM	2'-9"	4'-6"	
2ND FLOOR	29	Q	MASTER RM	2'-9"	4'-6"	
2ND FLOOR	30	Q	MASTER RM	2'-9"	4'-6"	
2ND FLOOR	31	R	MASTER RM	3'-3"	4'	
2ND FLOOR	32	S	STAIR	3'-6"	4'	
2ND FLOOR	36	V	BEDROOM 2	1'-6"	2'-6"	
3RD FLOOR	33	T	SOLARIUM	7'-10"	4'	
3RD FLOOR	34	U	SOLARIUM	11'-5 1/2"	3'-11"	
3RD FLOOR	35	T	STAIR	7'-10"	3'-3 1/2"	
3RD FLOOR	37	W	SOLARIUM	13'-5 1/2"	6'	
3RD FLOOR	38	W	SOLARIUM	13'-5 1/2"	6'	
3RD FLOOR	40	Y	SOLARIUM	6'-8"	5'	TEMP. GLASS SIDING DOOR

ALL WINDOWS EXCEPT FOR GREENHOUSE SOLARIUM SHALL BE BY MARVIN SIGNATURE SERIES ALUM. GLAD-WOOD WITH STANDARD MFR. COLOR WITH FACTORY PAINTED INTERIOR WOOD U-FACTOR=0.3

AGENCY USE ONLY



WIND SCREEN APPROVED UNDER PERMIT APPLICATION 2016-0621-0534



CORNICE SECTION



(A) REDWOOD FRAMED CORNICE
LILLYS FOAMWORKS
SACRAMENTO C-117 1-1/2" x 1'-0"

(B) REDWOOD FRAMED CORNICE
LILLYS FOAMWORKS
SACRAMENTO C-119 1-1/2" x 1'-0"

EXTERIOR WALL SECTION

1" = 1'-0"

EXTERIOR WALL DETAIL

STUCCO CONTROL JOINT DETAIL

NTD

APPROVED
Dept. of Building Insp.
- San Francisco -
MAR 02 2022

Patricia G. Gordon
INTERIM EXECUTIVE DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED
FEB 11 2022
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

APPROVED BY EDUAR GHOPEZA
FEB 25 2022
PLANNING DEPARTMENT

Chu Liu, DBI
FEB 25 2022

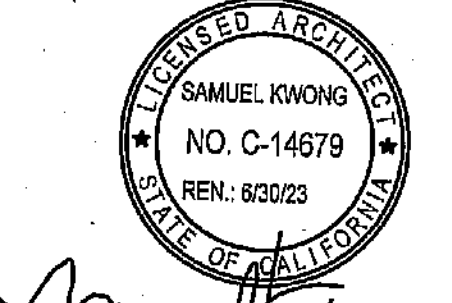
JOB NO. 2022-04

Date: 2/8/22
Checked By: SK
Drawn By: SG, SK

ISSUANCES & REVISIONS:

No.	Date	Description

Stamp:



Sheet Title
**WINDOW SCHEDULE,
WINDOW STYLE, AND
DETAILS**

Sheet No.

A-5