

BRIEF SUBMITTED BY THE APPELLANT(S)

Brief- John Wong vs. DBI

Demands:

- 1 Revoke building permit for 1334 12th Ave.
- 2 Required to read and follow all instructions correctly.
- 3 Start the process from the beginning.
- 4 Formal apology to the Wong's
- 5 Reimburse Nancy Wong for expenses incurred.

Outline:

1. The project sponsors, Mr. Hall & Ms. Favre, were unprepared to run the Pre-App. Mtg, no plans, no architect to answer questions or concerns, no notes taken.
2. Mr. Hall submitted false information and ignored important concerns from pre-app. mtg.
3. Mr. Hall never provided requested plans from the pre-app meeting.
4. Mr. Hall did not inform provide any project updates for a 1 ½ years after pre-planning mtg., completely bypasses the mitigation process, and applies for permit.
5. The architect's 311 plans have numerous errors, the most important- misrepresentation of 1338's North setback. It is crucial that adjacent properties are properly drawn to see the impact the project will have on them. Without setbacks or limits to extension on storie project will block an extraordinary amount of light and air circulation.
6. Definitions of Maintain vs. Adequate
7. The last page of the revised plans missing. lead you to believe lightwell will maintain 1338's light provide a full view of the blue sky. The draw is deceptive and false. The privacy fence creates

more issues than it solves. Revised plans were not emailed to us until a week after our first zoom mitigation meeting and did not include the fourth page – 1 week before DR hearing.

8. Mr. Hall receives unjust enrichment.

My name is John Wong, my sister, Nancy, is the property owner at 1338 12th Ave. She is the adjacent South neighbor to 1334. I had been working and painting the exterior of Nancy's house almost daily when I had free time. I'm very familiar with the properties since I did the landscaping and maintenance for 1330, 1334, and 1338 prior to Mr. Hall's purchase of 1334. I also have some architecture knowledge of plans.

I attended the pre-app mtg. on 11/18/2020 with Mark Benjamin. Nancy did not attend because we had just returned from our mother's funeral that day. Mr. Hall did not prepare for the meeting, there were no plans to review, no sign in sheet. Submitted plans were not available so we reviewed a prior set. My first reaction was that the house is too big to be on the property line alongside its adjacent neighbors. They did not address any of our questions or concerns and did not understand the intent of the meeting. If Mark and I did not have knowledge of plans, there would have been nothing to discuss, and the meeting would have been a complete waste of time. We were at the meeting for over an hour informing them of the negative impacts their project would create for 1338 by massing their building on the property line to the max. A solid 30'+ wall 28' long with a 12' 2nd story deck on the property line making it 40" long does not imply they want to be neighbors. RDG strongly recommends setbacks to additions as well as decks (ex.A) Blocking the 4 North facing windows 3' away and 3 East facing windows from any sunlight or daylight by extending the 3rd story creates a tunnel effect (ex.B) for the sole dining room window and the bathroom downstairs. When the sun rises, it hits the rear walls of 1338, a natural wake up call to the bedrooms, then travels up and over the kitchen and dining room illuminating them until after dinner, to the front of the house, it provides light into every window throughout the day until sunset. There were no other attendees while we were at the meeting. Mr. Benjamin created a sign in

sheet and we both filled it out and requested plans which we never received. I jotted down a few of our biggest concerns (light), so he could give them to his architect to come up with some creative solutions. We even gave multiple suggestions. Flipping the setback from the North to the South, articulate step backs on upper levels even adding a 4th story. In leaving, I took photos of the plans we viewed, so I would have something, told them I was looking forward to seeing the architect's new plans addressing our concerns. Ms. Favre asked "why do we have to make changes and not Nancy?" We told them because you are the ones building.

This is during the peak of COVID and 1 ½ year went by during which we asked about new plans many times with no answer. There is no fence between the properties, and I was there daily painting the exterior of the entire house in my free time. No updates. The 311 notices came in the mail with a set of plans, I went outside to measure the size of the addition. Mr. Hall came running outside and trying to convince me the measurements were wrong". I showed him my tape measure and he kept try to convince me otherwise. I said" if they are wrong, show me the right ones". Then he mentioned that measurement was taken from a point on 1330 12th Ave. I told him he was ridiculous and went back inside. We only had 30 days to file a DR if we didn't come to an agreement, so Mark did some research and found documents submitted to planning at the pre-app meeting. The sign in sheet was dated the following day. It did not have Mark's or my name, our contact information or request for plans on it. Instead, Jason Mitchell's name (1330) and Nancy's name (exC)(ex.C1) was written in with just her address and no request for plans no phone or email. The summary sheet did not list our names or an hour's worth of concerns or suggested alternatives. I spoke to Mr. Mitchell, and he mentioned he stopped by while walking his dog. Nancy's concern on the summary sheet was that the project would block her light. Mr. Hall reply was to paint his wall white since Nancy only gets indirect light because her kitchen windows face North. Immediately, I contacted Mary Woods at Planning and informed her of the findings,

expecting a suspension until an investigation was done, but nothing happened that I know of. Ms. Woods said we would have to mitigate with the project sponsor which we tried in the back yard, and Mr. Hall started up with the wrong measurement nonsense about building up to the tree, 11'9" away from his house, and placed a stick in the ground as a marker. (exhibit) We brought up the suggestions, but he refused to consider any of them. We did this for over ½ hour and, he kept repeating we had the wrong Ms. Woods recommended we ask Mr. Hall to request to postpone the deadline by a couple of weeks and try mitigating again. We did. He refused. A couple of hours before the deadline, we contacted Ms. Woods, and she told us "To file the DR regardless". I called Mr. Hall one last time saying, "we will file the DR if you won't make changes", he refused. We filed the DR. 5 minutes later Mr. Hall called me but had nothing to say, so we hung up.

Desperate for help, I called Lisa Signoff, owner of 1330 12th Ave. and asked if she knew about the addition. She did not, so I filled her in on DR and the build. I told her we had a petition and if she would sign it. She said yes, at first, but later changed her mind after speaking with Mr. Hall. She said, "the project will be good and will increase property value." She and her husband flip houses. Nancy loves the way her house is. There's more to life than just money for some people. I noticed errors on the 311 plans. The footprint for 1338 was incorrectly drawn as the North setback 28' to the rear wall, it was off short by over 9', windows were incorrectly placed, and it was missing doors, stairs, and walkways. 1330 stairs were drawn incorrectly, and deck stairs were missing. This was just the 2nd page. I also read Mr. Hall's reason for the addition in the DR stating the addition is due to 2 out of 3 of the bedrooms being too small. I then looked at the plans and found that they enlarged the master and added a bath, increased the length of the front bedroom by a couple of feet, but decreased the size of the 3rd bedroom. This contradicts his statement in the DR response. Going from a 3 bedroom, 2 bath and remaining a 3-bedroom 2 bath does not justify the need for more than doubling the square footage of the expansion. There is no ADU, No additional bedrooms. (ex.E)

We contacted Ms. Woods again to inform her of the additional findings and she told me the case has been passed on to Mr. David Winslow. We contacted Mr. Winslow and updated him; he suggested a meeting.

The architect, Tim Lorenz, contacted me to meet and to show us some revisions he done on the plans, but wanted to meet in Nancy's home. Nancy's is very private and wary of strangers in her house. She's 4'?? and alone most of the time. Due to Mr. Hall's actions, we didn't feel comfortable having it at Nancy's, so we requested that the meeting be held at the planning office with a staff member to help moderate as well as clarify for both parties. I called Mr. Winslow, he agreed and said "he had new developments to share with us and will get back with his availability in a few days. He emailed me and I forwarded it to everyone involved. Nancy and my schedules were open except for that day. The meeting took place over Zoom, not at the planning office as I intended, Mr. Hall was teleconferenced in; no video. We signed on with my laptop, a ___ x ___screen. We told Mr. Winslow everything that had transpired to get us to that point. Mr. Lorenz did not send us revised plans in advance to review and waited until he placed them on screen. He pointed out the lightwell and the privacy fence on the deck. It was difficult to make out the plans and he did not zoom in to those areas for closer examination. We stated that these changes do not solve any of the issues of maintaining light, air, or privacy, but at least it was a starting point. Nancy's 3' x 28" setback against Mr. Hall's 32' wall will block any direct sun and majority of daylight from 7 of her windows even with the lightwell. It will create what's called a "tunnel effect" in the RDG. (exhibit) The 12"popout deck on the 2nd level with 12' privacy wall may give privacy but will block additional daylight into 1338's yard. The noise and BBQ smoke will also be an issue since the deck will be the same level and 3' from 1338's rear bedroom. We also pointed out the 1338's 28' setback measured 9'8" short, and did not begin at 1334's rear wall. The response from the architect was "sometimes when printing, images get distorted". I have never had a print error that shortened an image in the center of the page shorten. Mr. Winslow did not comment. He did say it would be good for us to

meet a few more times before the hearing to work things out. We all agreed, but stated these changes are not acceptable, but at least it's a start. I asked him to email me the revised plans, but he did not send them for a week. Mr. Lorenz emailed to set up another meeting, but since there have been no additional changes since that meeting, there was nothing to discuss.

We then had to take a crash course on Planning, DRs, etc., with no prior knowledge of the processes and what was available to us. One of which was that the Hering posting was in the window again, and now we know it was incorrectly posted. (exhibit) It was not visible to the passing public unless you were looking for it. Instructions are very clear on how to post notices. (exhibit) This notice as well as the pre-app meeting notice were not posted correctly since we never saw the notices from sidewalk. We contacted David Winslow and sent him a photo of the posting by email, he agreed, but did nothing. When our case was called, we informed the Commission of the incorrect posting and requested a continuance. After viewing the photo of the location of the post, they granted it.

On the day of the hearing, we arrived early at 2pm and our case was called at 7pm? After listening to all the different hearings, we were uncertain of how much time we had to speak. I politely said "we have 3 speakers, how much time do we have?". The Secretary said, "5 minutes". I still wasn't sure, so I asked "Each?". He replied "All". So, I said to my team "we have 5 minutes each" out loud. Nancy spoke first, mentioned she was not at meeting that Mark and I were, and listed numerous concerns, she had lived there for 39 years, and bought the house because of all the natural light, spends most of her day in the kitchen, cooking, sewing, reading, and when she feels down, looking out the windows seeing the trees and sky cheers her up, her last comment was "if there was a choice between privacy and light, I would choose light." I got up next and within 15 seconds, they cut me off. Startled, I said to the secretary "I thought you said, "5 minutes each?" He replied "total" and was told to sit down.

Completely frustrated, we weren't sure what to do. Even Mr. Hall and his architect were surprised and weren't prepared to speak. The 2-minute rebuttal came up, and I was still in recovering from being cut off, I stated that Mr. Hall forged Nancy's signature, attendance, and concern with what appears to be a resolution. Since she wasn't in attendance, she could not have signed in and listed that concern? The pre app is a record of what transpired at the meeting, nowhere else. The commission did not question why Mark and I were left off or what our concerns were. I showed a 3D model, I built of Nancy's house and the project house with measurements directly taken from the plans with the projector and pointed out how narrow a space 3'x28' with 12' pop out privacy fence would appear. (exhibit) Showing that the project would block off a massive amount of light and combined with the deck and privacy fence, creates a 40 foot "tunnel effect" which would not allow much air circulation, smoke from the BBQ and blocking additional light. (ex)

The architect showed his revised plan of the light well and privacy fence scrolling through them quickly, so we didn't have time to examine them. On the last sheet of the plan, which I had never seen showed a person against the counter by the window at 1338 with a blue highlighted area representing that Nancy could see the blue sky. At that point the teleprompter was turned off and I requested it turned back on because I could not hear the Commission. I had been reading from the teleprompter all day. They did not turn it back on, so I was in the dark the rest of the hearing.

The commission asked Mr. Hall why he put Nancy's name on the attendance sheet and not ours. His reply was that he felt we represented Nancy and we didn't live there. The commission accepted that answer even though she did not attend. Nothing was asked about Mark and my attendance or our list of concerns. We put our names on the sheet with our contact and request for plans. We did list Nancy because we felt we represented ourselves. Mark and I attended, not Nancy. The form states that if you are representing to include that name. Therefore, he should have listed all of us. The meeting is open to the public, anyone can attend. Attendance and comments, replies, and the outcome must be recorded,

and if plans have been requested, they must be provided. They were not. This data is crucial so planning can record and decide whether follow-up is necessary. Mr. Hall signed an affidavit under penalty of perjury that what he submitted is true and accurate. He dated the forms the day after the meeting 11/19/20, but planning did not receive it until May 2021. I called Alec Longaway at appeals and gave me the received date. Mr. Hall never provided us with plans and did not update us. He evaded this important process and ignored us, bypassed mitigating and got his unjust enrichment of the building permit. Nancy has financial loss and well as stress. If this permit is not revoke due to multiple circumstances mentioned, she will lose her brightness in her house. We didn't hear from his architect until after filing the DR. Mr. Hall and Mr. Lorenz did not count on us finding Mr. Hall's submission online and whether we knew understood plans. Further investigation wasn't done. The commission did not ask us any questions nor permitted us to speak. One Commission member asked for a 3' setback on the deck to allow breathing room because of the massing of the structure and that it was standard practice. Mr. Hall replied "No, because it would be dead space". The commission and convinced the member to withdraw the suggestion. Another commission asked to clarify about the privacy wall and the architect pulled up some photos of a counter and a solid fence above it. They voted "not to take the DR". They approved a wall starting from Nancy's recessed setback. 3'wide x 28' long 32' high wall on the property line creating a "tunnel effect" which is against the RDG (exhibit) plus an additional 12' long x 20' high wall, half of her green center space, but not 3' set back of Mr. Hall's deck. I planted Roses, salvia, dahlias trees, rosemary, figs, Casablanca lilies, agave, and tangerines along the property line. (exhibit) They have already destroyed a dahlia tree near the back of the yard. Those plants will die if there is no setback. It was late and I'm sure everyone wanted to just go home, but that's not reason to not due diligence when their decision drastically impacts a senior's living conditions. Disgruntled, we said we would file an appeal and left. Mr. Hall's answer of no, to a 3' deck setback displays his character, lack of respect and compassion for his neighbor. He should not be unjustly enriched by his actions.

Mr. Hall also requested that Nancy paint her wall beside his house be paint white which is not the color of her house.

For months, I looked for the transcript or video of the hearing, so I could find out what I missed after the teleprompter was turned off. I reviewed the video of the hearing when it was finally posted. I was able to web capture the plan page showing the person at the counter looking up at the blue sky which the architect never gave us. His drawing is false and highlights just what he wanted to show. I found it shows and hides many points of loss light. (exhibit) There is a 45-degree rule in the RDG showing how much light and view is blocked if an adjacent building is too tall, too long or too close. (exhibit) You start at the roof line of the building in question and use a 45-degree angle line down toward the middle of the neighbors window. Everything below that line will be blocked by the building. The line did not end at the window, but inches above it and Nancy's kitchen windows go up to the ceiling. Now draw a line from the back corner of the building towards the window with a 45-degree line and it hits Nancy's back wall. That means all you can see is the wall in every direction. It also means there will be no air circulation. He only points out the false blue line on a 60-degree angle to the sky above the lightwell but, completely skips over the effect rest of the building has before and after the lightwell. Neither is the rest of the building drawn in which I highlighted in yellow (exhibit). Furthermore, he didn't bother to address the sole window in the dining room, bathroom and 3 other windows below affected by the project. I also reviewed all of Mr. Lorenz's plans with a fine-tooth comb, and there are multiple discrepancies on every single page. He is supposed to be a professional with years of experience but chose to be schlocky with his work and deceptive and falsifying drawings to depict what he wants you to see and what he doesn't. (exhibit)

We currently have a police report filed and waiting for the report.



Although features such as bays and chimneys project into the side yards, the overall side yard pattern is consistent, creating a defining characteristic of the block face.

REAR YARD

GUIDELINE: Articulate the building to minimize impacts on light and privacy to adjacent properties.

Rear yards are the open areas of land between the back of the building and the rear property line. When expanding a building into the rear yard, the impact of that expansion on light and privacy for abutting structures must be considered. This can be challenging given San Francisco's dense pattern of development, however, modifications to the building's design can help reduce these impacts and make a building compatible with the surrounding context.

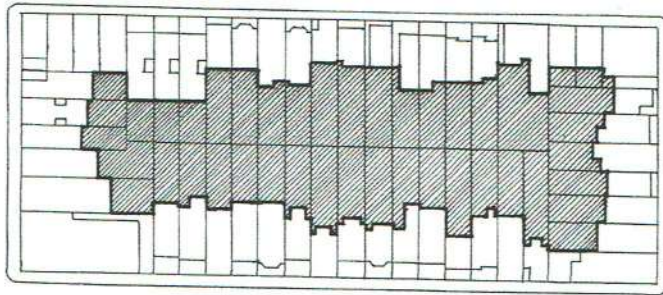
Light

In areas with a dense building pattern, some reduction of light to neighboring buildings can be expected with a building expansion. However, there may be situations where a proposed project will have a greater impact on neighboring buildings. In these situations, the following design modifications can minimize impacts on light; other modifications may also be appropriate depending on the circumstances of a particular project:

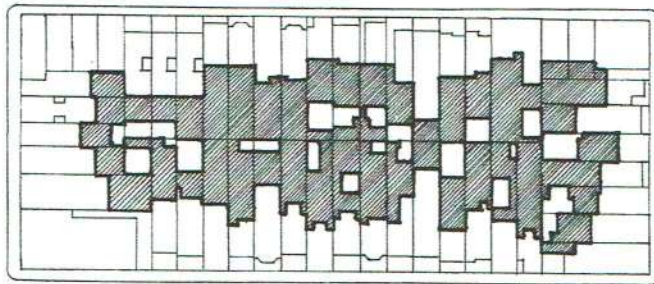
- Provide setbacks on the upper floors of the building.
- Include a sloped roof form in the design.
- Provide shared light wells to provide more light to both properties.
- Incorporate open railings on decks and stairs.
- Eliminate the need for parapet walls by using a fire-rated roof.

Planning Code Section 101 states that one of the purposes of the Planning Code is to provide adequate light, air, privacy and convenience of access to property in San Francisco.

Block with a strong mid-block open space pattern.



Block with an irregular mid-block open space pattern. The rear yards of many of the parcels are developed with structures.



The height and depth of a building expansion into the rear yard can impact the mid-block open space. Even when permitted by the Planning Code, building expansions into the rear yard may not be appropriate if they are uncharacteristically deep or tall, depending on the context of the other buildings that define the mid-block open space. An out-of-scale rear yard addition can leave surrounding residents feeling “boxed-in” and cut-off from the mid-block open space.

The following design modifications may reduce the impacts of rear yard expansions; other modifications may also be appropriate depending on the circumstances of a particular project:

- Set back upper floors to provide larger rear yard setbacks.
- Notch the building at the rear or provide setbacks from side property lines.
- Reduce the footprint of the proposed building or addition.

Planning Code Section 134 establishes minimum depths for required rear yards in all residential districts. Planning Code Section 136 summarizes permitted rear yard projections.

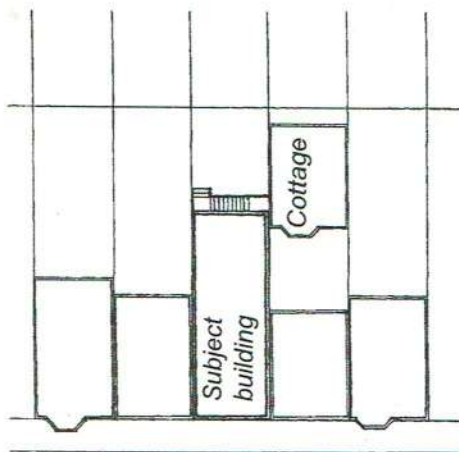
Special attention is necessary to ensure that the building's facades enhance the public realm. Blank walls or fences along public spaces can make these spaces feel isolated. Instead, these building facades must be fenestrated, articulated, ornamented and finished with a level of detail compatible to a front facade. Provide exterior lighting that is energy efficient and is shielded to avoid excess glare.

Rear Yard Cottages

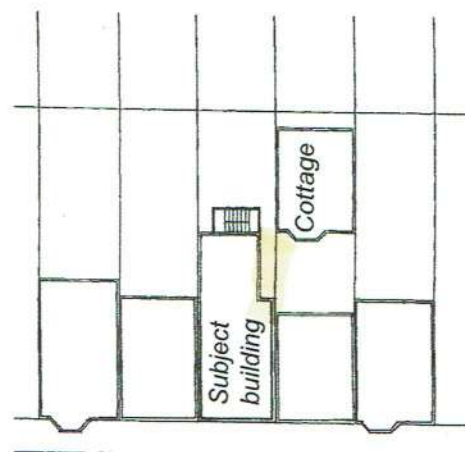
GUIDELINE: Articulate the building to minimize impacts on light to adjacent cottages.

Buildings located in rear yards are non-complying structures under the Planning Code and may themselves have an impact on the rear yard open space. However, when a proposed project is adjacent to a lot that has a cottage used as a dwelling unit at the rear of the lot, modifications to the building's design may be necessary to reduce light impacts to that cottage specifically. Consider the following modifications; other measures may also be appropriate depending on the circumstances of a particular project:

- Provide side setbacks at the rear of the building.
- Minimize rear projections such as decks and stairs.

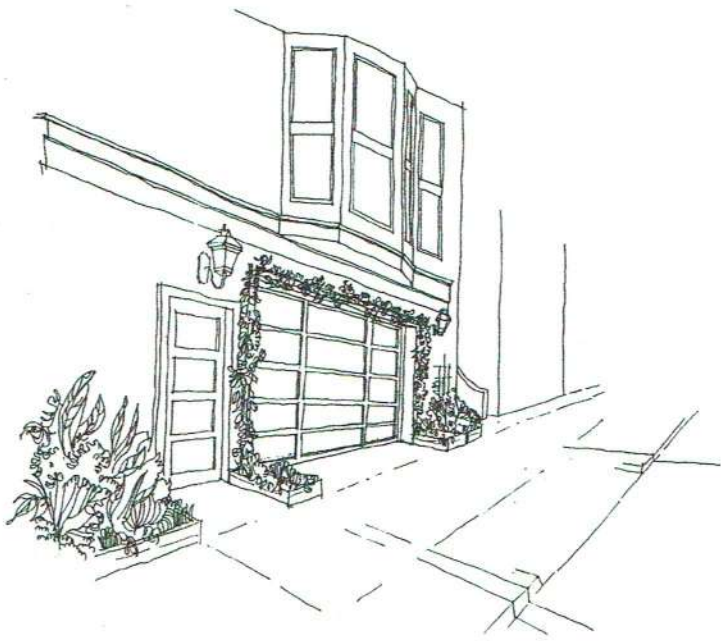


This illustration shows a new building permitted under the Planning Code. The building's design has not been modified to minimize light impacts to the adjacent cottage, and further restricts the mid-block open space.



This illustration shows a new building that provides a side setback to reduce the impact on light to the cottage.

With an encroachment permit from the Department of Public Works, planting can be provided in front of a building without a setback



Planning Code Section 132(g) requires that 20% of the required front setback area be unpaved and devoted to plant material.

On properties where there is no front setback, landscaping is still encouraged. Planting opportunities include the following:

- Provide street trees.
- At the ground level, incorporate planters into porches, stairways and recessed building entrances.
- At the upper levels, incorporate planters on decks and balconies.
- Install trellises on the front facade.

The use of native vegetation or climate appropriate plantings is encouraged. Consider irrigation and maintenance issues in selecting plant materials. When outdoor lighting is incorporated in the front setback, provide lighting that is energy efficient and is shielded to avoid excess glare.

SIDE SPACING BETWEEN BUILDINGS

Planning Code Section 133 requires setbacks in RH-1(D) Districts only. Planning Code Section 136 limits projections into the side yard to three feet or 1/6 of the required side yard, whichever is less.

GUIDELINE: Respect the existing pattern of side spacing.

Side spacing is the distance between adjacent buildings. In many cases, only a portion of the building is set back from the side. Side spacing helps establish the individual character of each building while creating a rhythm to the composition of a proposed project. Projects must respect the existing pattern of side spacing.



Although the Planning Code allows a three-story addition extending into the rear yard, the addition is substantially out of scale with surrounding buildings and impacts the rear yard open space.



A two-story addition with a pitched roof lessens the impacts of the addition and is more in scale with the rear of the adjacent buildings.



This addition has been scaled back to two stories and is set in from the side property lines to minimize its impact.



This addition extends the full width of the lot but is set back at the second floor so the building steps down to the rear yard.



The rear stairs are setback from the side property line and their projection into the rear yard is minimized, in order to maintain the mid-block open space.

Notice of Pre-Application Meeting

11/2/2020

Date

Dear Neighbor:

You are invited to a neighborhood Pre-Application meeting to review and discuss the development proposal at 1334 12th Avenue, cross street(s) Irving/Judah (Block/Lot#: 1766/038); Zoning: RH2), in accordance with the San Francisco Planning Department's Pre-Application procedures. The Pre-Application meeting is intended as a way for the Project Sponsor(s) to discuss the project and review the proposed plans with adjacent neighbors and neighborhood organizations before the submittal of an application to the City. This provides neighbors an opportunity to raise questions and discuss any concerns about the impacts of the project before it is submitted for the Planning Department's review. Once a Building Permit has been submitted to the City, you may track its status at www.sfgov.org/dbi.

The Pre-Application process is only required for projects subject to Planning Code Section 311 or 312 Notification. It serves as the first step in the process prior to building permit application or entitlement submittal. Those contacted as a result of the Pre-Application process will also receive a formal entitlement notice or 311 or 312 notification when the project is submitted and reviewed by Planning Department staff.

A Pre-Application meeting is required because this project includes (check all that apply):

- New Construction;
- Any vertical addition of 7 feet or more;
- Any horizontal addition of 10 feet or more;
- Decks over 10 feet above grade or within the required rear yard;
- All Formula Retail uses subject to a Conditional Use Authorization.

The development proposal is to:

To an existing single family residence, a rear extension for each of the three levels of the house. A 12 foot pop-out, per Planning Code Section 134.

Existing # of dwelling units: <u>one</u>	Proposed: <u>one</u>	Permitted: <u>two</u>
Existing bldg square footage: <u>1,478 sq.ft</u>	Proposed: <u>3,260 sq.ft.</u>	Permitted: <u>n/a</u>
Existing # of stories: <u>three</u>	Proposed: <u>three</u>	Permitted: <u>three</u>
Existing bldg height: <u>30'-2"</u>	Proposed: <u>30'-2"</u>	Permitted: <u>40-X</u>
Existing bldg depth: <u>51'-6"</u>	Proposed: <u>78'-0"</u>	Permitted: <u>78'-0"</u>

MEETING INFORMATION:

Property Owner(s) name(s): Eric Hall and Helene Favre

Project Sponsor(s): _____

Contact information (email/phone): erichall00@yahoo.com/415-706-0181

Meeting Address*: 1334 12th Ave

Date of meeting: Nov 18th

Time of meeting**: 6-9pm

*The meeting should be conducted at the project site or within a one-mile radius, unless the Project Sponsor has requested a Department Facilitated Pre-Application Meeting, in which case the meeting will be held at the Planning Department offices, at 1650 Mission Street, Suite 400.

**Weeknight meetings shall occur between 6:00 p.m. - 9:00 p.m. Weekend meetings shall be between 10:00 a.m. - 9:00 p.m., unless the Project Sponsor has selected a Department Facilitated Pre-Application Meeting.

If you have any questions about the San Francisco Planning Code, Residential Design Guidelines, or general development process in the City, please call the Public Information Center at 415-558-6378, or contact the Planning Department via email at pic@sfgov.org. You may also find information about the San Francisco Planning Department and on-going planning efforts at www.sfplanning.org.

Pre-Application Meeting Sign-in Sheet

Meeting Date: 11/18/2020
 Meeting Time: 6-9pm
 Meeting Address: 1334 12th Ave, San Francisco, CA 94122
 Project Address: 1334 12th Ave, San Francisco, CA 94122
 Property Owner Name: Eric Hall
 Project Sponsor/Representative: Tim Lorenz

Please print your name below, state your address and/or affiliation with a neighborhood group, and provide your phone number. Providing your name below does not represent support or opposition to the project; it is for documentation purposes only.

NAME/ORGANIZATION	ADDRESS	PHONE #	EMAIL	SEND PLANS
1. <u>Nancy Wang</u>	<u>1338 12th Ave</u>			<input type="checkbox"/>
2. <u>Tason Mitchell</u>	<u>1330 12th Ave</u>	<u>415-385-0923</u>		<input type="checkbox"/>
3. _____				<input type="checkbox"/>
4. _____				<input type="checkbox"/>
5. _____				<input type="checkbox"/>
6. _____				<input type="checkbox"/>
7. _____				<input type="checkbox"/>
8. _____				<input type="checkbox"/>
9. _____				<input type="checkbox"/>
10. _____				<input type="checkbox"/>
11. _____				<input type="checkbox"/>
12. _____				<input type="checkbox"/>
13. _____				<input type="checkbox"/>
14. _____				<input type="checkbox"/>
15. _____				<input type="checkbox"/>
16. _____				<input type="checkbox"/>
17. _____				<input type="checkbox"/>
18. _____				<input type="checkbox"/>

C

May 14, 2022

Hello,

I am Nancy Wong, the owner of the property at 1338 12th Avenue. The new owners of 1334 12th Avenue have filed for a building permit application (#2021 05069906) for alteration and rear addition.

The architectural plans submitted to San Francisco Planning Department for review show a massive expansion from the middle of the current structure extending both in height and depth – increases the structure to the maximum allowed by Code.

The project as submitted does not address the exceptional impact on the adjacent properties creating the following issues:

The rear extension creates a solid wall along the property line at 1338 12th Avenue. Additionally, the height of the addition is a 2-story high wall blocking out the light and air to my kitchen windows will make my kitchen dark and gloomy even on sunny day – as well as my only window in my dining room.

Lack of privacy in my rear bedroom – the 12-foot deck extension on the first floor which is built to the property line – is too close to my rear bedroom windows facing my yard. The plan applicant would be able to look directly into the bedroom.

NAME	ADDRESS	EMAIL	DATE	SIGNATURE
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Nancy Wong	1338-12 th Ave.	utoread@yahoo.com	5/14/22	Nancy Wong
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JOHN LEE	1322 12 th AVE	JOHNLEE3@HOTMAIL.COM	5/16/22	John Lee
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Amy LEE	1322 12 th AVE	AMYLEE8@GMAIL.COM	5/16/22	Amy Lee
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Nancy Hodge	1310 12 th	Nancy Hodge	5/16/22	Nancy Hodge
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Summary of discussion from the Pre-Application Meeting

Meeting Date: 11-18-2020

Meeting Time: 6-9pm

Meeting Address: 1334 12th Ave, San Francisco, CA 94122

Project Address: 1334 12th Ave, San Francisco, CA 94122

Property Owner Name: Eric Hall and Helene Favre

Project Sponsor/Representative: Eric Hall

Please summarize the questions/comments and your response from the Pre-Application meeting in the space below. Please state if/how the project has been modified in response to any concerns.

Question/Concern #1 by (name of concerned neighbor/neighborhood group): Nancy Wang — Owner of 1338 12th Avenue concerned about reduced light in the north facing kitchen window

Project Sponsor Response: Given that the window only has indirect light then paint south wall white such that there will be more reflective light in the kitchen window.

Question/Concern #2: _____

Project Sponsor Response: _____

Question/Concern #3: _____

Project Sponsor Response: _____

Question/Concern #4: _____

Project Sponsor Response: _____

C

Affidavit of Conducting a Pre-Application Meeting, Sign-in Sheet and Issues/Responses submittal

Eric Hall

I, _____, do hereby declare as follows:

- I have conducted a Pre-Application Meeting for the proposed new construction or alteration prior to submitting any entitlement (Building Permit, Variance, Conditional Use, etc.) in accordance with Planning Commission Pre-Application Policy.
- The meeting was conducted at 1334 12th Ave, San Francisco, CA 94122 (location/address) on 11-18-2020 (date) from 6pm-9pm (time).
- I have included the mailing list, meeting initiation, sign-in sheet, issue/response summary, and reduced plans with the entitlement Application. I understand that I am responsible for the accuracy of this information and that erroneous information may lead to suspension or revocation of the permit.
- I have prepared these materials in good faith and to the best of my ability.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, November 19th, 2020 IN SAN FRANCISCO.

 _____
Signature

Eric Hall

Name (type or print)

Owner

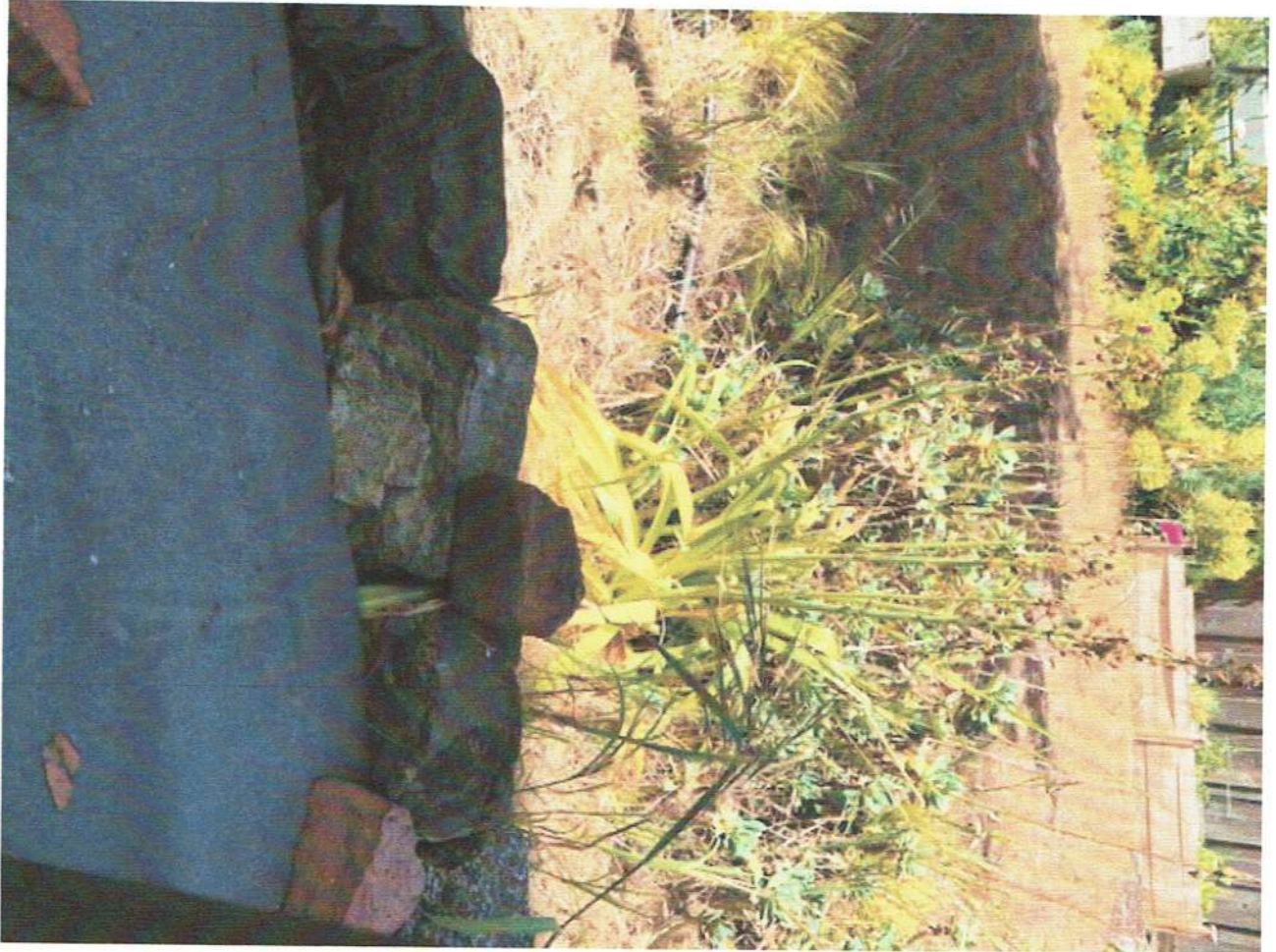
Relationship to Project (e.g. Owner, Agent)

If Agent, give business name & profession

1334 12th Ave, San Francisco, CA 94122

Project Address







H



SECTION 333 PUBLIC HEARING NOTICE

INSTRUCTIONS AND DECLARATION OF POSTING

MAY 2019

For questions, you can call the Planning counter at 628.652.7300 or email pic@sfgov.org where planners are able to assist you.

Español: Si desea ayuda sobre cómo llenar esta solicitud en español, por favor llame al 628.652.7550. Tenga en cuenta que el Departamento de Planificación requerirá al menos un día hábil para responder.

中文：如果您希望獲得使用中文填寫這份申請表的幫助，請致電628.652.7550。請注意，規劃部門需要至少一個工作日來回應。

Filipino: Kung gusto mo ng tulong sa pagkumpleto ng application na ito sa Filipino, paki tawagan ang 628.652.7550. Paki tandaan na mangangailangan ang Planning Department ng hindi kukulangin sa isang araw na pantrabaho para makasagot.

This document contains instructions and declaration of posting for signs required for certain public hearings before the Planning Commission, Historic Preservation Commission and Zoning Administrator.

TYPES OF HEARINGS THAT REQUIRE SIGN POSTING

- 100% Affordable Housing Bonus Program (AHB)
- Certificate of Appropriateness (COA)
- Coastal Zone Permit (CTZ)
- Conditional Use Authorization (CUA)
- Condominium Conversion (5-6 Dwelling Units) (CND)
- Discretionary Review of Building Permits (DRP/DRM)
- Downtown Large Project Authorization Section 309 (DNX)
- Downtown Residential Project Authorization Section 309.1 (DNX)
- Executive Park Special Use District Projects Section 309.2
- Institutional Master Plan (IMP)
- Large Project Authorization in Eastern Neighborhoods (ENX)
- Office Allocation (OFA)
- Permit to Alter (PTA)
- Planned Unit Development (PUD)
- Rear Yard Modifications
- Reclassification of Property (Rezoning One-Half Acre or Less) (MAP)
- Requests for Reasonable Modification – Residential Uses
- Variance (VAR)



DURATION OF POSTING

The poster shall be affixed to the subject property in the manner outlined below at least 20 days before the hearing.

PLACEMENT OF POSTER

The poster shall be affixed to the inside of a window which is no more than six feet back from the property line. The window must be of sufficient size to accommodate the poster. The bottom of the poster shall be no lower than four feet above grade and the top of the poster shall be no higher than eight feet six inches above grade. The poster shall not be obstructed by awnings, landscaping, or other impediment. It shall be clearly visible from a public street, alley or sidewalk.

In the absence of windows meeting the above criteria, where the building facade is no more than nine feet back from the property line, the poster shall be affixed to the building. The bottom of the poster shall be no lower than four feet above grade and the top of the poster shall be no more than seven feet six inches above grade. The poster shall be protected from the weather as necessary. The poster shall not be obstructed by awnings, landscaping, or other impediment, and shall be clearly visible from a public street, alley or sidewalk.

Where the structure is more than nine feet from the property line, the poster shall be posted at the property line with the top of the sign no more than six feet and no less than four feet above grade. Such posters shall be protected from the weather as necessary.

Posters and lettering must be clearly visible from each public street, alley or sidewalk. If the poster is removed or otherwise destroyed during the required posting period, please contact Planning staff immediately to get a new poster. The Zoning Administrator may require that the site be re-posted to satisfy the notification requirements.

During the posting period, it is the applicant's responsibility to ensure that the poster remains visible on the property. The applicant must inspect the posted notice at least two separate times.

NUMBER OF POSTERS REQUIRED

One poster shall be required for each full 25 feet of each street frontage of the subject property. For lots with less than 25 feet of street frontage, at least one poster is required. Multiple posters shall be spread along the subject street frontage as regularly as possible. These requirements may be modified upon a determination by the Zoning Administrator that a different location for the sign would provide better notice or that physical conditions make this requirement impossible or impractical, in which case the sign shall be posted as directed by the Zoning Administrator.

WHERE TO OBTAIN A POSTER

Applicants should contact the project planner to obtain a printed poster.

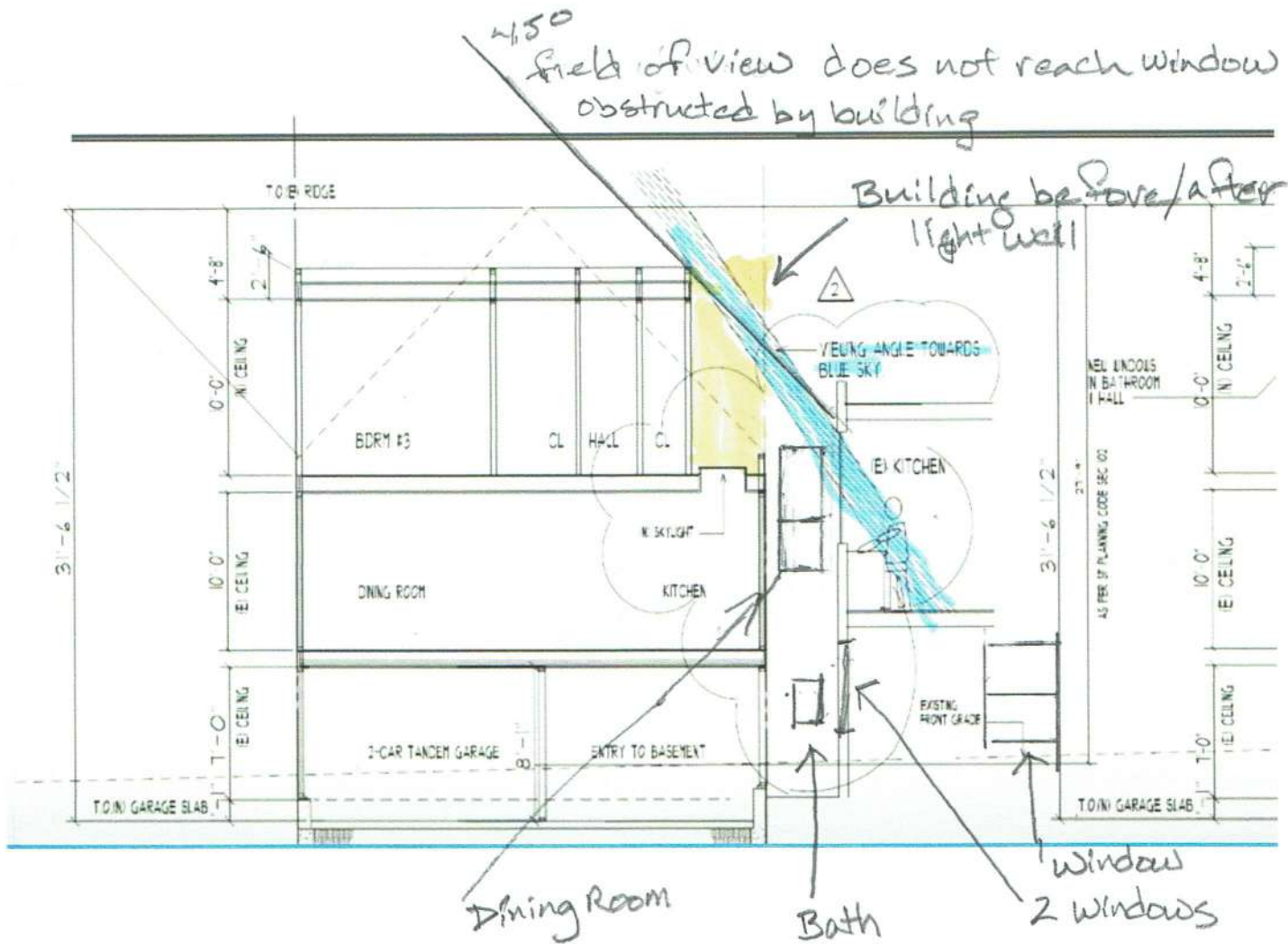
DOCUMENTATION OF POSTING

At the time of the hearing the applicant must submit a declaration, signed under the penalty of perjury, which declares that the applicant has complied with the provisions of the posting ordinance. Photographs must also be submitted showing the sign posted on the site.

QUESTIONS ABOUT SIGN POSTINGS

Questions about sign postings should be directed to the planner handling the application.

Exhibit



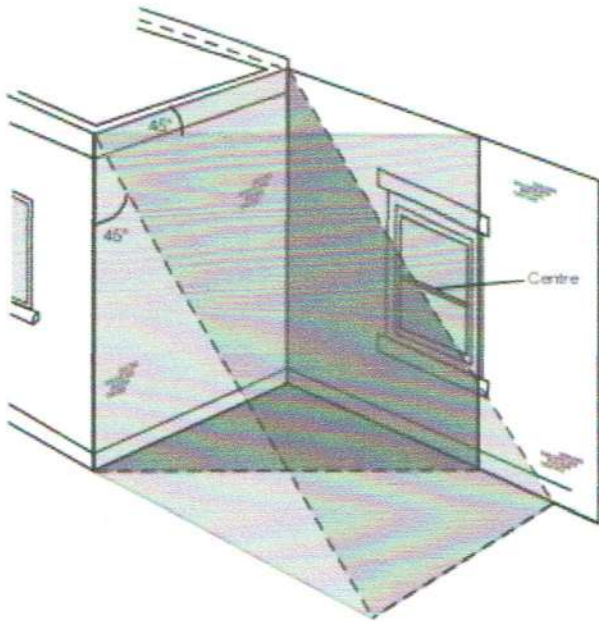


Figure 17: Application of the 45° approach to a domestic extension. A significant amount of light is likely to be blocked if the centre of the window lies within the 45° angle on both plan and elevation. Here the centre of the window lies outside the 45° angle on elevation, so the impact of the extension is likely to be small.

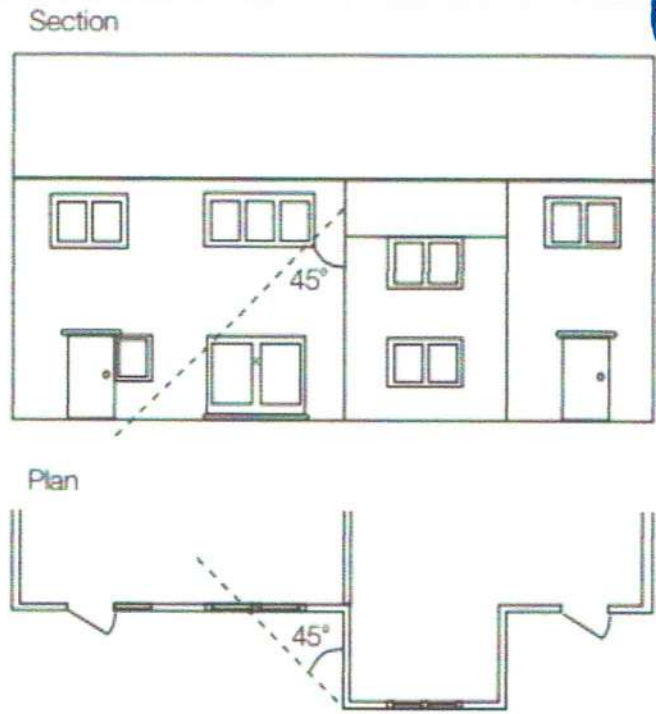


Figure 18: Here the extension has a pitched roof, so a point halfway along the roof slope is used as the start of the 45° line on the elevation. The affected window is a patio door, so a point 1.6 m above the ground has been taken. This point is within the 45° angles on both plan and elevation, so a significant reduction of light is likely.

The guide goes on to clarify that, although this is a rule of thumb, as the guide says is the case with most rules of thumb: "...this one needs to be interpreted flexibly. For example, if the extension has another extension, or a much larger building behind it then the daylight from that direction may be blocked anyway. Special care needs to be taken in cases where an extension already exists on the other side of the window, to avoid a tunnel effect."





TIM LORENZ
ARCHITECT

PO BOX 804
CARMELITE, CA 95008
408.944.0071
ARCHITECT: TIM@MLO.COM

AN ADDITION TO THE
ERIC I. HELBERG HALL RESIDENCE
1324 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 114/038
BLDG. PERMIT NO. : 2025050016
PLANNING RECORD NO. : 202-00003594

PROPERTY INFORMATION

ZONING	NO. 1 - RESIDENTIAL, SINGLE-FAMILY
TRACT	TRACT 14, MERCEDES
PARCEL AREA	1,200 SQ. FT.
AREA	1,200 SQ. FT.
STORYS	1
STREETS	1324 12TH AVE
UTILITY	SEE PLAN

SCOPE OF WORK

TO PROVIDE ARCHITECTURAL SERVICES FOR THE ADDITION TO THE ERIC I. HELBERG HALL RESIDENCE, 1324 12TH AVE., SAN FRANCISCO, CA 94122. THE PROJECT CONSISTS OF THE ADDITION OF A SECOND FLOOR TO THE EXISTING FIRST FLOOR. THE PROJECT ALSO INCLUDES THE REVISION OF THE EXISTING FIRST FLOOR PLAN TO ACCOMMODATE THE ADDITION OF THE SECOND FLOOR. THE PROJECT ALSO INCLUDES THE REVISION OF THE EXISTING FIRST FLOOR PLAN TO ACCOMMODATE THE ADDITION OF THE SECOND FLOOR. THE PROJECT ALSO INCLUDES THE REVISION OF THE EXISTING FIRST FLOOR PLAN TO ACCOMMODATE THE ADDITION OF THE SECOND FLOOR.

NOTES

1. SEE NOTES ON FOLLOWING ARCHITECTURAL SHEETS FOR RELATED INFORMATION.

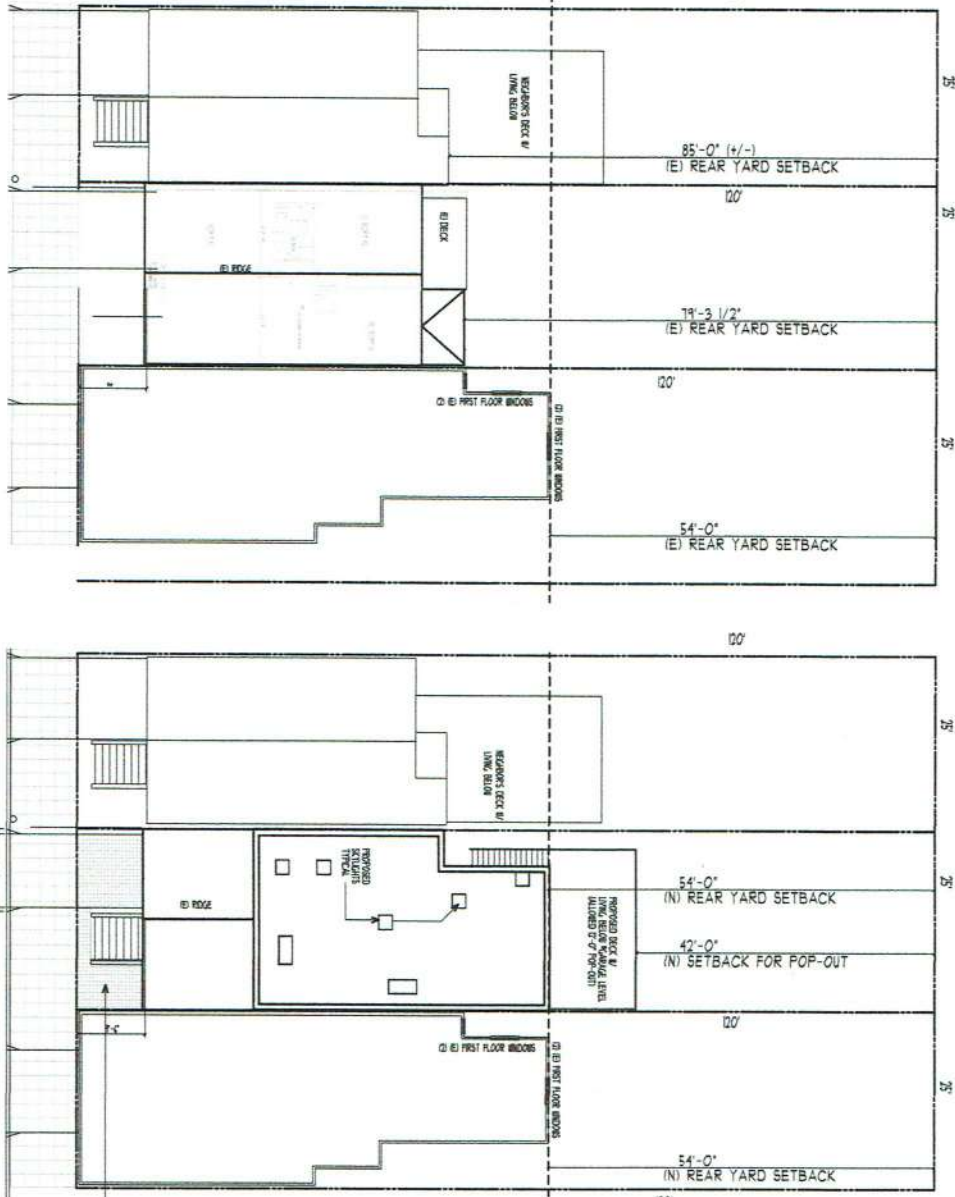
2. SEE PLAN FOR SETBACKS.

3. SEE PLAN FOR SETBACKS.

4. SEE PLAN FOR SETBACKS.

DRIVING INDEX

NO.	DESCRIPTION	DATE	BY
1	ADD SECOND FLOOR	11/15/2024	TL
2	REVISE FIRST FLOOR	11/15/2024	TL
3	REVISE FIRST FLOOR	11/15/2024	TL
4	REVISE FIRST FLOOR	11/15/2024	TL
5	REVISE FIRST FLOOR	11/15/2024	TL
6	REVISE FIRST FLOOR	11/15/2024	TL
7	REVISE FIRST FLOOR	11/15/2024	TL
8	REVISE FIRST FLOOR	11/15/2024	TL
9	REVISE FIRST FLOOR	11/15/2024	TL
10	REVISE FIRST FLOOR	11/15/2024	TL



(E) SITE PLAN

801 12TH AVE
PROJECT ADDRESS

801 12TH AVE
PROJECT ADDRESS

801 12TH AVE
PROJECT ADDRESS

PROPOSED SITE PLAN

801 12TH AVE
PROJECT ADDRESS

801 12TH AVE
PROJECT ADDRESS

801 12TH AVE
PROJECT ADDRESS

SEE NOTES ON FOLLOWING ARCHITECTURAL SHEETS FOR RELATED INFORMATION.

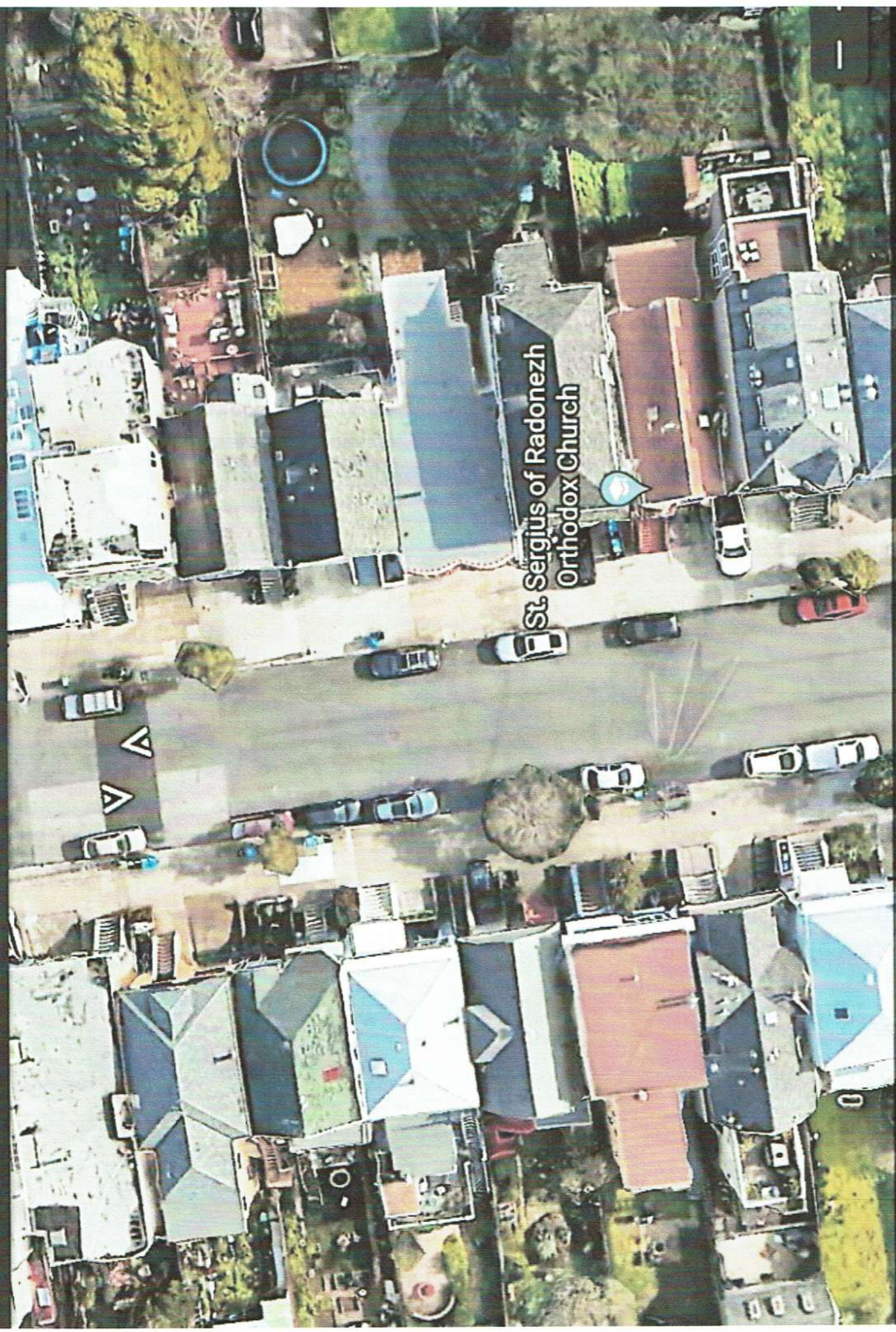
SEE PLAN FOR SETBACKS.

SEE PLAN FOR SETBACKS.

SEE PLAN FOR SETBACKS.

JOB NO. 20250
DRAIN SHEET
CHECK BY: AL
DATE 11/15/2024

SCALE: AS SHOWN



Approved site plans submitted by the permit holder for the hearing on
November 1, 2023

EGREE REQ'D

EGRESS WINDOW REQUIREMENTS:

- 1.) THE BOTTOM OF OPENING SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR
- 2.) THE NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20"
- 3.) MINIMUM NET CLEAR OPENING OF 5.1 SQUARE FEET.

NOTE:
IN ORDER TO MEET THE MIN. CLEAR OPENING OF 5.1 SQ. FT., EITHER THE WIDTH, HEIGHT, OR BOTH NEED TO EXCEED MINIMUM DIMENSIONS.

REQ'D AIR / LIGHT CALCS

HABITABLE SPACE	SQUARE FOOTAGE	8% LIGHT		4% VENTILATION:	
		REQ'D	PROVIDED	REQ'D	PROVIDED
MSTR BDRM	250 SF	20 SF	48 SF	10 SF	28 SF
BDRM #2	230 SF	19 SF	40 SF	10 SF	20 SF
BDRM #3	128 SF	10 SF	24 SF	5 SF	14 SF

SFPUC - Please be advised
Your plans and fixtures count indicate a larger water meter is required. Please apply for a water meter upgrade at SFPUC New Service Installations, 525 Golden Gate Ave, 2nd Floor, San Francisco, CA 94102, Tel: (415) 553-2900.

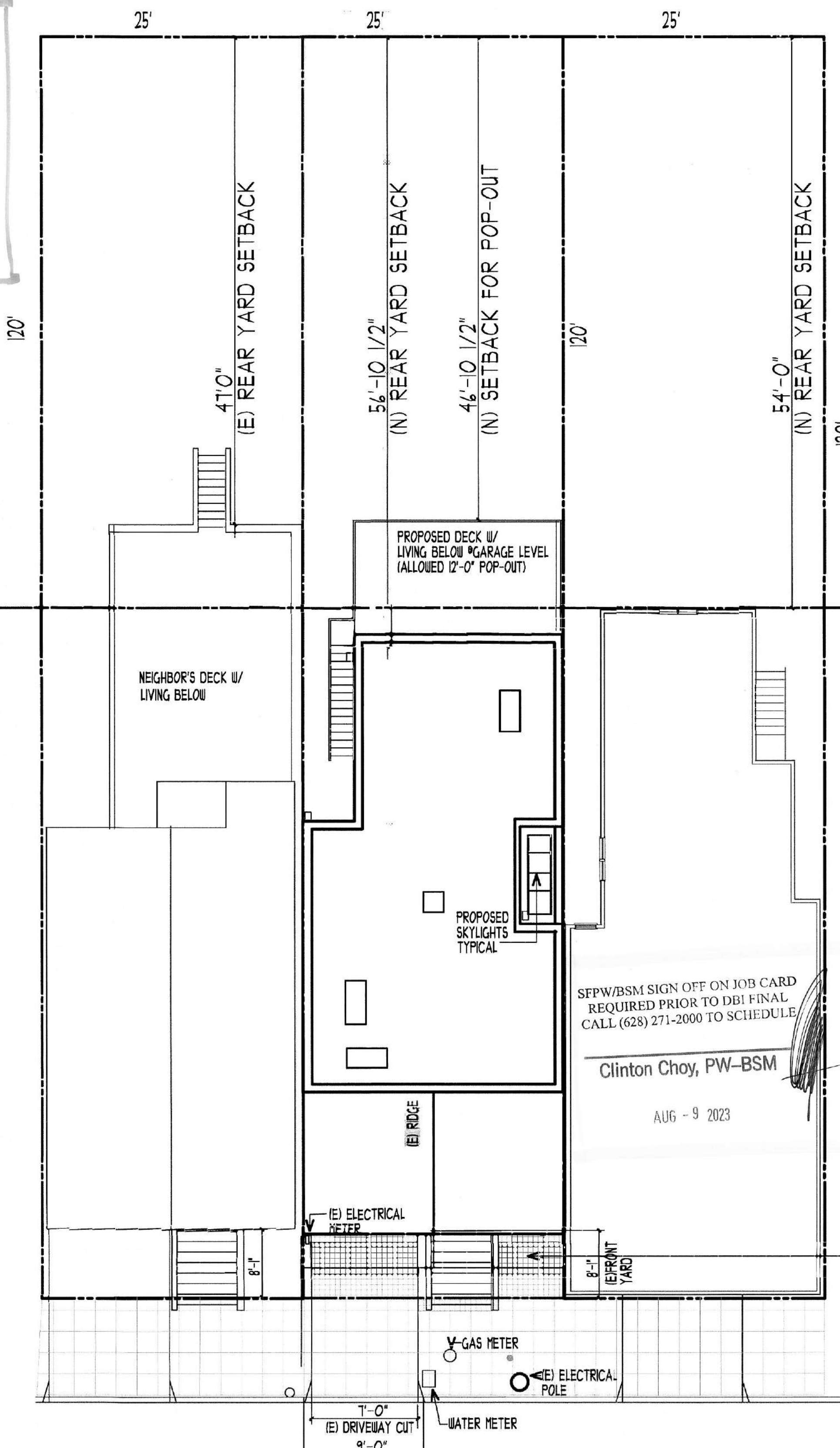
Capacity Charges
Water: 2,100.00
Wastewater: 1,710.00
Total: 3,810.00
08/11/2023
SFPUC

PROJECT SITE



St. Sergius of Radonezh
Orthodox Church
Temporarily closed

GOOGLE EARTH SITE



1330 12th AVE SINGLE FAMILY
1334 12th AVE PROJECT ADDRESS
1338 12th AVE SINGLE FAMILY

PROPOSED SITE PLAN

SCOPE OF WORK

TO AN EXISTING 3 STORY (1 GARAGE LEVEL + 2 LEVELS OF LIVING), SINGLE DWELLING UNIT IN THE RH-2 ZONING DISTRICT THE FOLLOWING ARE PROPOSED:

- 1) AN ALLOWED 12'-0" POP-OUT PER CODE 104 ON THE GARAGE / GROUND FLOOR. SEE SF PLANNING 2_A.B NO. 5, SECTION 104.
- 2) A HORIZONTAL EXTENSION OF THE UPPER TWO LIVING FLOORS, WITHIN THE ALLOWED BUILDING AREA PER RH-2
- 3) THE EXISTING RIDGE, AT THE FRONT ELEVATION, IS MAINTAIN FOR A LENGTH OF 15'-4". THE PROPOSED ADDITION IS A FLAT ROOF AND NOT SEEN FROM 12TH AVE. THE NEW ROOF IS 2'-2" SHORTER THAN THE EXISTING RIDGE.
- 4) THE APPLICATION SUBMITTED ALTERS THE FRONT OF THE HOUSE IN TWO LOCATIONS:
A) REPLACE THE 2ND STORY METAL SLIDER WINDOW WITH TWO NEW WOOD WINDOWS TO MATCH THE SISTER HOUSE AT 1330 12TH AVE.
B) REMOVE THE EXISTING PLANTER AND ADDS A SERVICE DOOR BELOW THE EXISTING FRONT STAIRS (NOT VISIBLE FROM 12 AVE.) PVIOUS PAVERS ARE USED PER CITY'S REQUIREMENTS.

DRAWING INDEX

NO.	DESCRIPTION	STATUS
A0	COVER SHEET, PROJECT INFO & SITE PLAN	APPROVED
A1	SFDR - ABOOS	REMOVED
A2	TITLE 24	REMOVED
A3	EXISTING RESIDENTIAL RENOVEL	REMOVED
A2(E)	(E) BASEMENT & ROOF PLANS	
A2(N)	(N) BASEMENT & ROOF PLANS	
A3(E)	(E) FIRST & SECOND FLOOR PLANS	
A3(N)	(N) FIRST & SECOND FLOOR PLANS	
A4(E)	(E) FRONT ELEVATIONS	
A4(R)	(E) REAR ELEVATIONS	
A4(S)	(E) SIDE ELEVATIONS	
A5	SECTIONS	
A6	WINDOW / DOOR SCHEDULE 1 - HOUR DETAILS	
A6.2	ARCHITECTURAL DETAILS	
S1	STRUCTURAL PLAN	REMOVED
S2	STRUCTURAL PLAN	REMOVED
S3	STRUCTURAL DETAILS	REMOVED
S4	STRUCTURAL DETAILS	REMOVED
S5	STRUCTURAL DETAILS	REMOVED
S6	STRUCTURAL DETAILS	REMOVED
S7	STRUCTURAL DETAILS	REMOVED
S8	STRUCTURAL DETAILS	REMOVED
MF-1	STRONG FRAME DETAILS	
MF-2	STRONG FRAME DETAILS	
MF-3	STRONG FRAME DETAILS	
MF-4	STRONG FRAME DETAILS	

SFPUC SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (628) 271-2000 TO SCHEDULE
Clinton Choy, PW-BSM
AUG - 9 2023

*** SEE NOTES ON FOLLOWING ARCHITECTURAL SHEETS FOR DETAILED INFORMATION. ***

NEW PVIOUS PAVERS AT (E) DRIVEWAY AND ENTRY WALKWAY.

APPROVED
MARY WOODS
PLANNING DEPARTMENT
8/30/2023

Anne Hu, DBI
AUG 08 2023

TIM LORENZ
ARCHITECT

PO BOX 1894
GUERNEVILLE, CA 95446
415.994.6011 CA LIC # 24395
ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1766/038
BLDG PERMIT NO : 2021050499065
PLANNING RECORD NO : 2021-005053PRJ

PROPERTY INFORMATION

ZONING RH2 - RESIDENTIAL HOUSE, TWO FAMILY
DISTRICT 14 INNER SUNSET
MAX HEIGHT : 40-X
TYPE V-B CONSTRUCTION
PARCEL AREA = 2,400 SQ. FT.
UNITS = 1
STORIES = 3
(1) ONE RESIDENCE (2 STORIES) OVER GARAGE

# OF DWELLING UNITS	EXISTING	PROPOSED	PERMITTED
ONE	ONE	ONE	ONE
GROSS BLDG SQ.FT.	192 SQ.FT.	104 SQ.FT.	N/A
GARAGE / STORAGE	0 SQ.FT.	0 SQ.FT.	N/A
LOWER LEVEL LIVING	0 SQ.FT.	0 SQ.FT.	N/A
MAIN FLOOR - LIVING	809 SQ.FT.	104 SQ.FT.	N/A
TOP FLOOR - LIVING	449 SQ.FT.	104 SQ.FT.	N/A
TOTALS (LIVING/GARAGE)	1418/192 SQ.FT.	2351/104 SQ.FT.	N/A
GROSS SQUARE FOOTAGE	2,270 SQ.FT.	3,443 SQ.FT.	N/A
NUMBER OF STORIES	THREE	THREE	THREE
BLDG. HEIGHT PER SECTION SF CODE 102	30'-2" - FRONT	30'-2" - FRONT	40'-X
	32'-4" - REAR	30'-10" - REAR	
BLDG. DEPTH			
FRONT SETBACK	8'-1"	8'-1"	N/A
SIDES	0'-7'-0"	0'-7'-0"	N/A
REAR YARD	19'-3'-1/2"	4'-10'-1/2" * BSNT	4'-10'-1/2" * BSNT
20' DEEP		38'-10'-1/2" * 1ST FLR	34'-0" * 1ST FLR
15% RH-2		34'-10'-1/2" * 2ND FLR	34'-0" * 2ND FLR
54'-0"			12'-0" POP-OUT PER BULLITEN

CODES 2019 EDITIONS OF SAN FRANCISCO BUILDING CODE (SFBIC)

BUILDING : 2019 CA EDITION
GREEN-BUILDING STANDARDS : 2019 CA, MODIFIED BY SF
PLUMBING CODE - 2019 CA EDITION
MECHANICAL CODE 2019 EDITION
PLUMBING CODE 2019 EDITION
FIRE CODE 2019 CALIFORNIA

FIRE SPRINKLER

NOT FIRE SPINKLERED
PER PLAN CHECK COMMENT #3, PATH OF TRAVEL FROM FURTHEST DISTANCE IN MASTER BATHROOM SHOWER TO PUBLIC WAY IS 108', LESS THAN 125' REQUIRED BY CFC/CBC CHAPTER 10 I SFDBI.

APPROVED
Dept. of Building Insp.
San Francisco

SEP 07 2023

RECEIVED
AUG 01 2023

DESCRIPTION DATE DRAWN

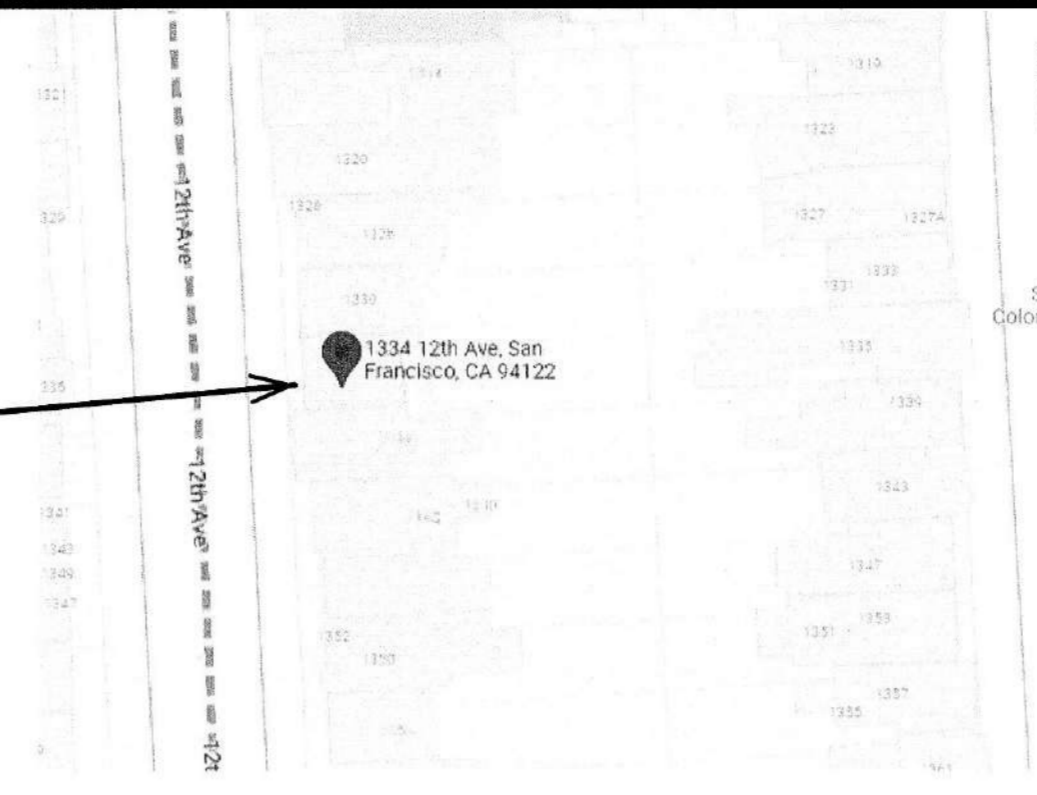
- REVISIONS**
- 1. SUBMITTED FOR PLANNING 8/21/2020
 - 2. RESUBMITTED TO PLANNING 1/3/2022
 - 3. REVISIONS 4/5/2022
 - 4. REVISIONS 9-1-2022 (RESPONSE TO DR)
 - 5. SUBMITTED FOR PERMIT DEPARTMENT REVIEW 2/4/2023
 - 6. FIRE DEPARTMENT PLAN CHECK 4/28/2023

SCALE: AS NOTED
JOB NO. 202105 SHEET
DRAWN TEL
CHECK TEL
DATE 1/11/2020 OF

2021 0506 9906 S/R2



SITE



SCOPE OF WORK

- TO AN EXISTING, 3 STORY (1 GARAGE LEVEL 1 2 LEVELS OF LIVING), SINGLE DWELLING UNIT, IN THE RH-2 ZONING DISTRICT THE FOLLOWING ARE PROPOSED:
- AN ALLOWED 12'-0" POP-OUT PER CODE 134 ON THE GARAGE / GROUND FLOOR. SEE SF PLANNING Z.A.B NO. 5, SECTION 134.
 - A HORIZONTAL EXTENSION OF THE UPPER TWO LIVING FLOORS, WITHIN THE ALLOWED BUILDING AREA PER RH-2
 - THE EXISTING RIDGE, AT THE FRONT ELEVATION, IS MAINTAIN FOR A LENGTH OF 15'-4". THE PROPOSED ADDITION IS A FLAT ROOF AND NOT SEEN FROM 12TH AVE. THE NEW ROOF IS 2'-2" SHORTER THAN THE EXISTING RIDGE.
 - THE APPLICATION SUBMITTED ALTERS THE FRONT OF THE HOUSE IN TWO LOCATIONS:
 - REPLACE THE 2ND STORY METAL SLIDER WINDOW WITH TWO NEW WOOD WINDOWS TO MATCH THE SISTER HOUSE AT 1330 12TH AVE.
 - REMOVE THE EXISTING PLANTER AND ADDS A SERVICE DOOR BELOW THE EXISTING FRONT STAIRS (NOT VISABLE FROM 12 AVE.) PERVIOUS PAVERS ARE USED PER CITY'S REQUIREMENTS.

DRAWING INDEX

A1	COVER SHEET, PROJECT INFO & SITE PLAN
A2(E)	(E) BASEMENT & ROOF PLANS
A2(N)	(N) BASEMENT & ROOF PLANS
A3(E)	(E) FIRST & SECOND FLOOR PLANS
A3(N)	(N) FIRST & SECOND FLOOR PLANS
A4(N)	(N) FRONT & REAR ELEVATIONS. (DEMO'D INFO INCLUDED)
A4.2(N)	(N) SIDE ELEVATIONS. (DEMO'D INFO INCLUDED)
A5	SECTIONS
A6.1	WINDOW / DOOR SCHEDULE 1-HOUR DETAILS
A6.2	ARCHITECTURAL DETAILS
S1	STRUCTURAL PLAN
S2	STRUCTURAL PLAN
S3	STRUCTURAL DETAILS
S4	STRUCTURAL DETAILS
S5	STRUCTURAL DETAILS
S6	STRUCTURAL DETAILS
S7	STRUCTURAL DETAILS
S8	STRUCTURAL DETAILS
MF	STRONG FRAME DETAILS
MF-1	STRONG FRAME DETAILS
SMF	STRONG FRAME DETAILS
SMF-1	STRONG FRAME DETAILS
SMF-2	STRONG FRAME DETAILS
SMF-3	STRONG FRAME DETAILS



TIM LORENZ
ARCHITECT
PO BOX 1894
GUERNEVILLE, CA 95444
415.994.6011 CA LIC # 24395
ARCHITECT.TIM.LORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1766/038
BLDG PERMIT NO : 2021050499065
PLANNING RECORD NO : 2021-005053PRJ

PROPERTY INFORMATION

ZONING RH2 - RESIDENTIAL HOUSE, TWO FAMILY
DISTRICT 14 INNER SUNSET
MAX HEIGHT : 40'-X
TYPE V-B CONSTRUCTION
PARCEL AREA = 2400 SQ. FT.
UNITS = 1
STORIES = 3
(I) ONE RESIDENCE (2 STORIES) OVER GARAGE
NOT FIRE SPINKLERED

	EXISTING	PROPOSED	PERMITTED
# OF DWELLING UNITS	ONE	ONE	TWO
GROSS BLDG SQ.FT.			
GARAGE / STORAGE	792 SQ.FT.	1406 SQ.FT.	N/A
LOWER LEVEL LIVING	0 SQ.FT.	0 SQ.FT.	N/A
MAIN FLOOR- LIVING	809 SQ.FT.	1054 SQ.FT.	N/A
TOP FLOOR- LIVING	449 SQ.FT.	1101 SQ.FT.	N/A
TOTALS (LIVING/GARAGE)	1478/792 SQ.FT.	2257/1406 SQ.FT.	N/A
GROSS SQUARE FOOTAGE	2210 SQ.FT.	3463 SQ.FT.	
NUMBER OF STORIES	THREE	THREE	THREE
BLDG. HEIGHT PER SECTION SF CODE 102	30'-2" - FRONT 32'-4" - REAR	30'-2" - FRONT 30'-10" - REAR	40'-X
BLDG. DEPTH			
FRONT SETBACK	8'-0"	8'-0"	N/A
SIDES	0' / 0'	0' / 0'	N/A
REAR YARD	14'-10" 1ST FLR	44'-4" 1ST BSMT 56'-4" 1ST FLR	42'-0" 1ST BSMT 54'-0" 1ST FLR
120' DEEP 45% RH-2			
54'-0" - REAR SETBACK AREA			
44'-0" BUILDABLE AREA OF LOT			12'-0" POP-OUT (PER BULLETEN #5)

CODES

BUILDING : 2018 CA EDITION
GREEN BUILDING STANDARDS : 2018 CA, MODIFIED BY SF
PLUMBING CODE : 2018 NATIONAL ELECTRICAL CODE
MECHANICAL CODE 2018 EDITION
PLUMBING CODE 2018 EDITION
NFPA 13D



SEP 07 2023

PATEL/ORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

RECEIVED

AUG 01 2023

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR REPRODUCTION
ACCEPTED

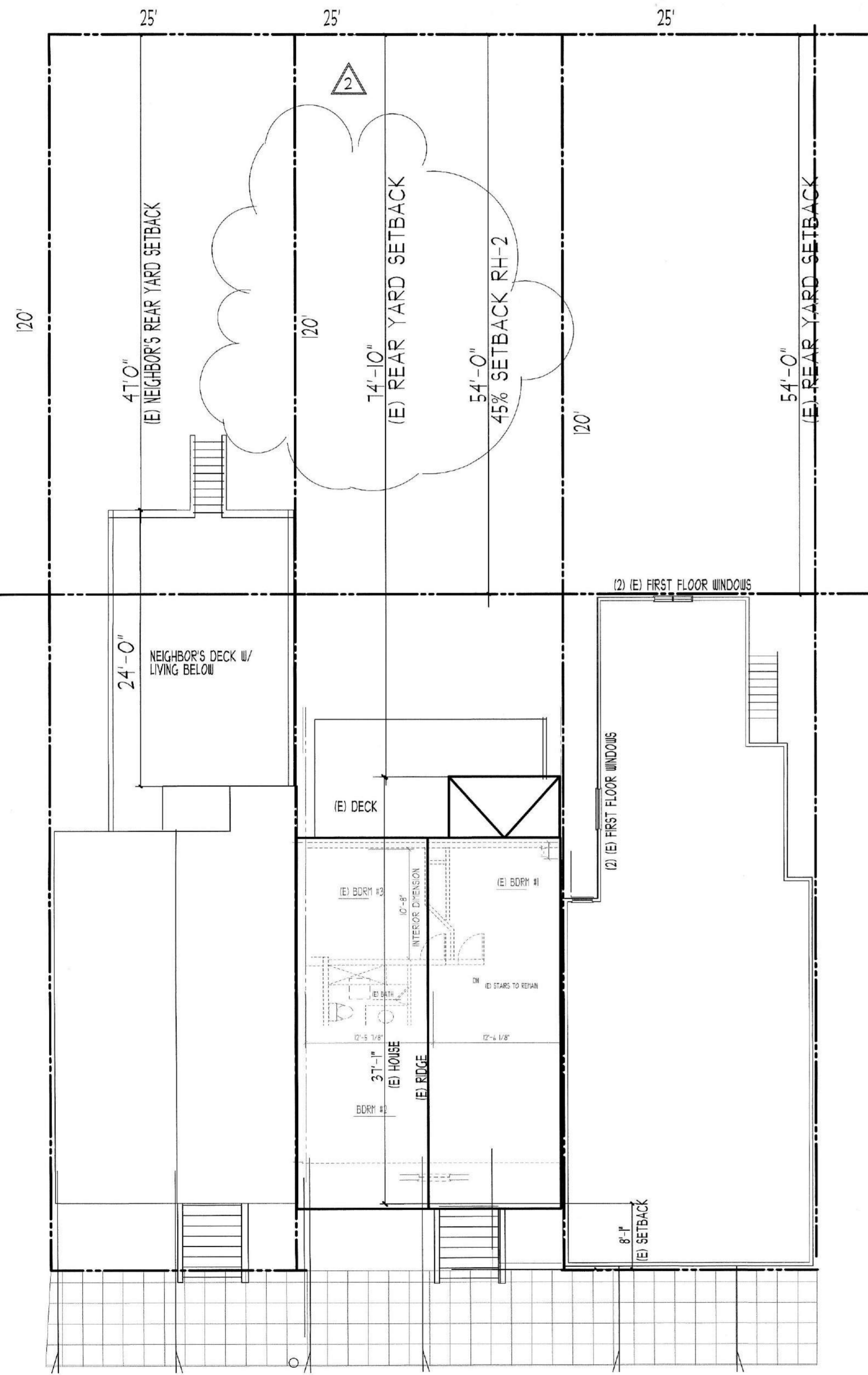
*****FOR REFERENCE
ONLY
REFER TO PREVIOUS
A1 FOR CORRECT
SITE INFO.*****

NEW PERVIOUS PAVERS AT (E) DRIVEWAY AND ENTRY WALKWAY.

Anne Hu, DSI
AUG 08 2023

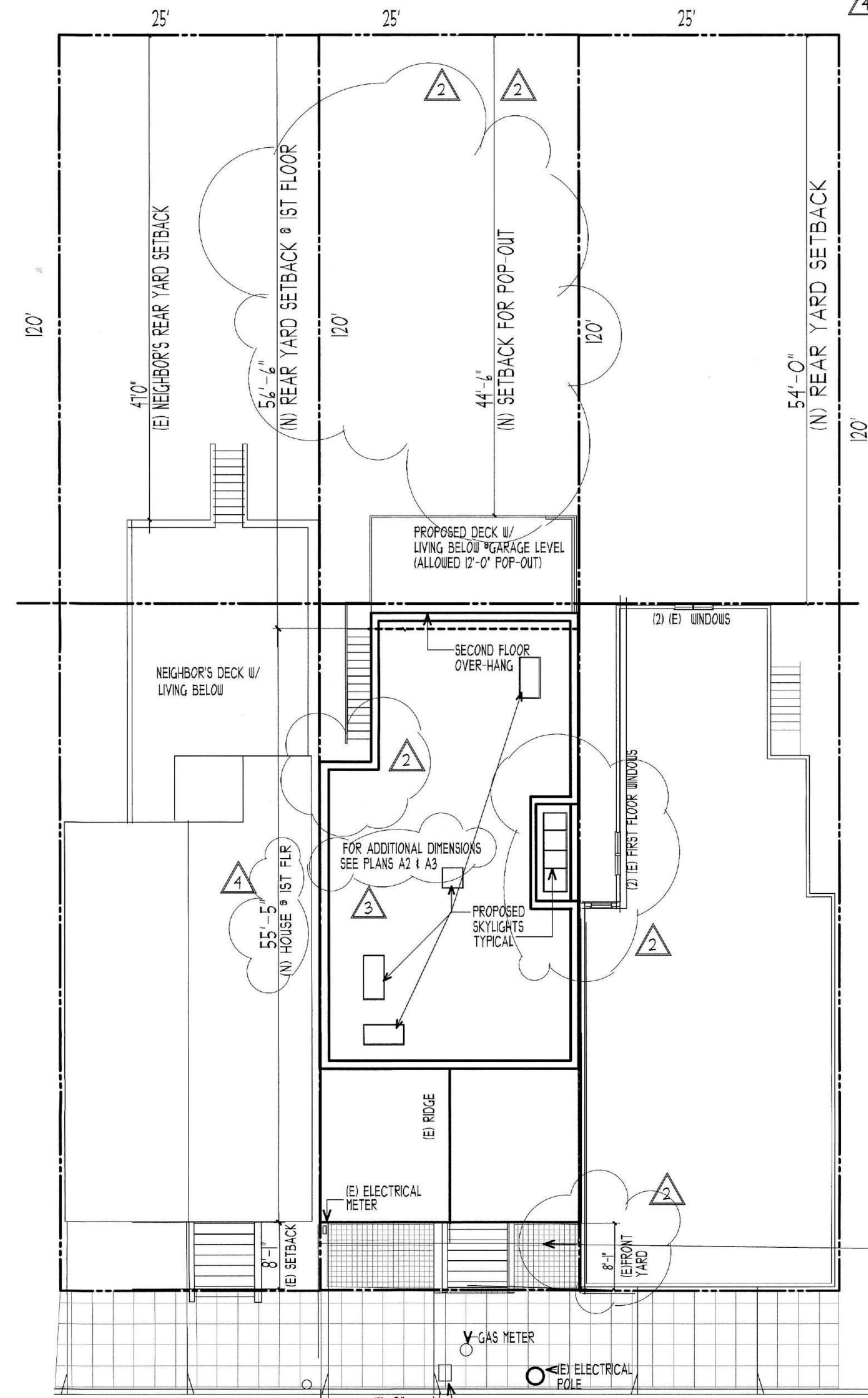
*** SEE NOTES ON FOLLOWING ARCHITECTURAL SHEETS FOR DETAILED INFORMATION. ***

SCALE 1/4" = 1'-0"



1330 12th AVE SINGLE FAMILY
1334 12th AVE PROJECT ADDRESS
1338 12th AVE SINGLE FAMILY

(E) SITE PLAN



1330 12th AVE SINGLE FAMILY
1334 12th AVE PROJECT ADDRESS
1338 12th AVE SINGLE FAMILY

PROPOSED SITE PLAN



ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
49 South Van Ness Ave, 5th Floor, San Francisco, California 94103

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION
OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED May 28, 2023 [Note: This form shall be recorded as part of the permanent construction records of the property]

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0506-9906

Property Address: 1334 12th Avenue

Block and Lot: 1766 / 038 Occupancy Group: R3 Type of Construction: VB No. of Stories: 3

Describe Use of Building Single Family Residence

Under the authority of the San Francisco Building Code, Sections 104A.2.7 and 104A.2.8; the San Francisco Mechanical Code, Section 302.2; the San Francisco Electrical Code, Section 89.117; and the San Francisco Plumbing Code, Section 301.3; the undersigned requests modifications of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirement (specify Code and Sections)
Emergency Escape and Rescue Openings (EERO) into a YARD w/ R-3 Occupancies.

Reference Current Adopted San Francisco Building Code, Section 1030 Emergency Escape & Rescue.
SFBC SECTION 1030 requires escape and rescue openings (EEROs) to open directly into a public way or a courtyard that opens up to a public way.

As per SFDBI information EG-02, EEROs are allowed to open to the project's rear yard since it has a minimum depth of 25'-0". Rear yard provided is 42'-0"

Proposed Modification or Alternate
In order for the SFD to access rear EEROs, they can access via garage door to rear access door and use ladders to access EEROs

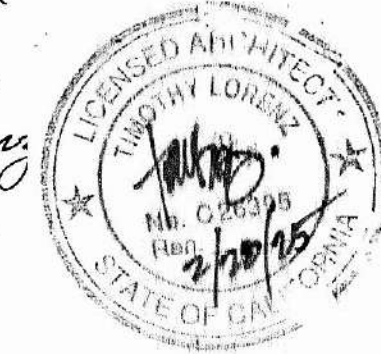
Encl Hall for Tim Lorenz 8-7-2023

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, test reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

The current backyard is closed off to the public way, with no clear access to the street.

Requested by: PROJECT SPONSOR
Print Name: Eric J. Hall
Signature: Eric J. Hall
Telephone: 415-706-0181

ARCHITECT/ENGINEER
Timothy W Lorenz
Signature: Timothy W. Lorenz
Telephone: 415.994.6017



PLAN REVIEWER COMMENTS:
RECOMMENDATIONS: Approve Approve with conditions Disapprove
[signed off/dated by:]
Plan Reviewer: Anne Hu 8/8/23
Division Manager: RICHARD TAYLOR 8/8/23
for Director of Bldg. Inspection:
for Fire Marshal: EL DEE LAU 8/7/23 FIRE DEPT ACCESS ONLY.
CONDITIONS OF APPROVAL or OTHER COMMENTS
2" X 8" LADDER MUST BE ABLE TO GET TO REAR YARD WITHOUT OBSTRUCTION AND BE PLACED AT BEDROOM EERO'S FOR RESCUE.



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AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1766/038
BLDG PERMIT NO : 2021050699065
PLANNING RECORD NO : 2021-005053PRJ

APPROVED
Dept. of Building Insp.
- San Francisco -
SEP 07 2023

PATRICK G. JORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

Rhab Boughn, SFFD
AUG 07 2023

RECEIVED
AUG 01 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR REPRODUCTION
ACCEPTED

DESCRIPTION DATE DRAWN

REVISIONS

- ▲ SUBMITTED FOR PLANNING 8/21/2020
- ▲ RESUBMITTED TO PLANNING 1/3/2022
- ▲ REVISIONS 4/5/2022
- ▲ REVISIONS 1-1-2022 (RESPONSE TO DR)
- ▲ SUBMITTED FOR PERMIT 1 DEPARTMENT REVIEW 2/4/2023

SCALE: AS NOTED

JOB NO. 20716 SHEET
DRAWN TH 11
CHECK TH
DATE 1/21/2020 OF

Anne Hu, DBI
AUG 08 2023



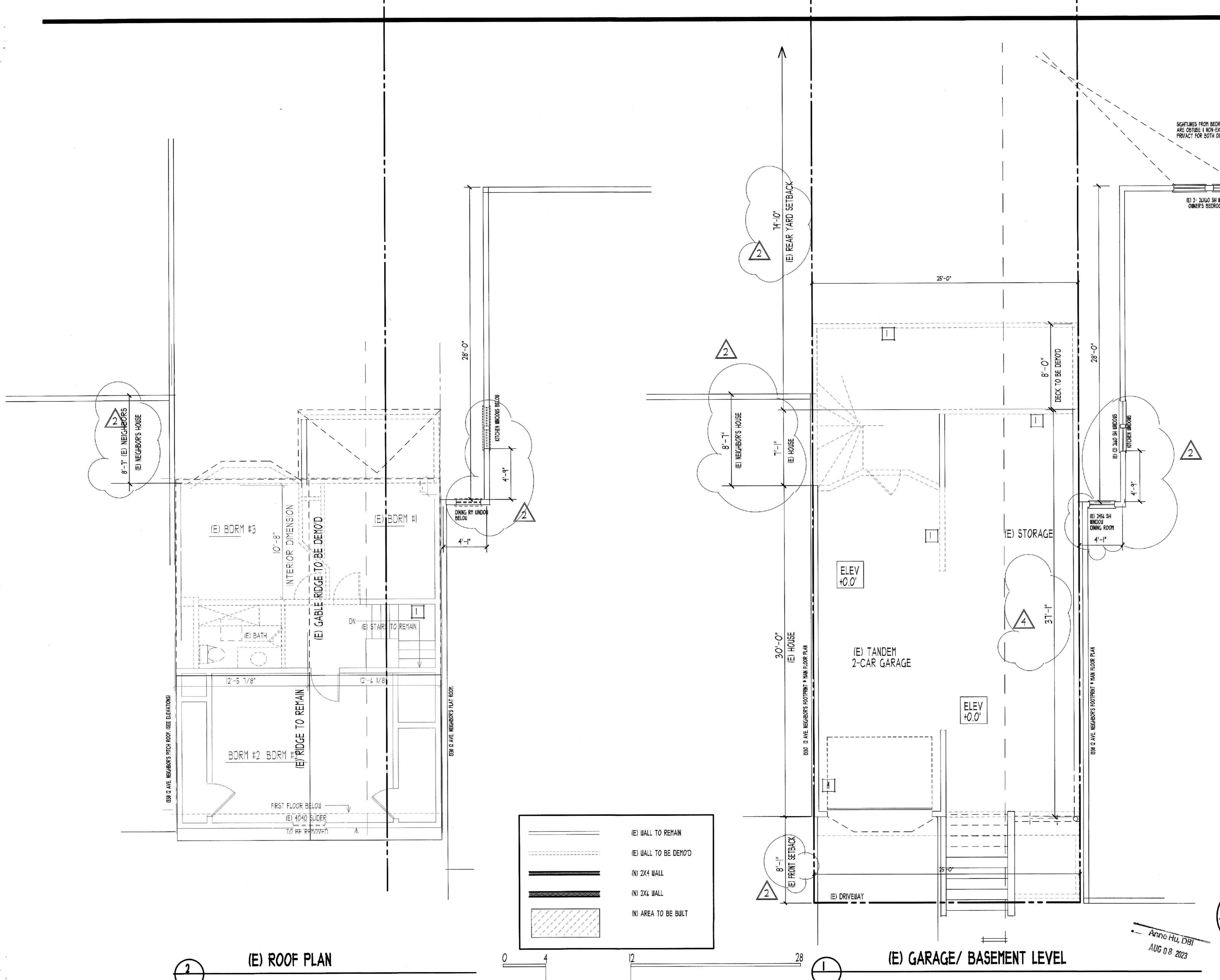
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SIGHTLINES FROM BEDROOM
 ARE OBTUSE & NON-EXISTANT AT BEST.
 PRIVACY FOR BOTH OWNERS ARE RETAINED.

KEYNOTES

- 1 ALL WALLS, WINDOWS, STAIR, DECKS, AND ROOF AREA DASHED ARE TO BE DEMO'D
- 2 FRONT PLANTER, CURB & WALL TO BE DEMO'D FOR A NEW ENTRANCE TO HOUSE. KEEP (E) WINDOW AND USE IN (N) WALL
- 3 DEMO ALL CONCRETE SLABS CAP ALL AND ANY AREA DRAINS, WATER LINES, ECT
- 4 (E) ELECTRICAL PANEL TO BE DEMO'D NEW 400 AMP PANEL PROVIDE (2) NEW CAR CHARGING STATIONS PER OWNER
- 5 SEE STRUCTURAL DRAWINGS FOR PLANS & DETAILS
- 6 PATCH & REPAIR (E) 1-HOUR WALLS AT PROPERTY LINE



	(E) WALL TO REMAIN
	(E) WALL TO BE DEMO'D
	(N) 2X4 WALL
	(N) 2X4 WALL
	(N) AREA TO BE BUILT

2 (E) ROOF PLAN

1 (E) GARAGE/ BASEMENT LEVEL

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 AUG 07 2023

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 San Francisco
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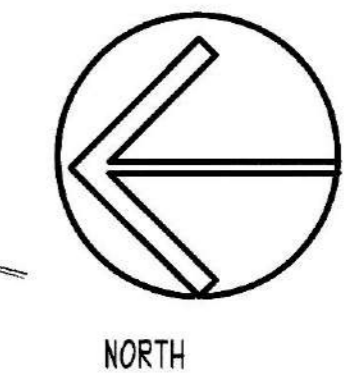
Patrick O'Riordan
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

RECEIVED
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REVISIONS	DESCRIPTION	DATE	DRAWN
1	SUBMITTED FOR PLANNING	8/2/2020	
2	RESUBMITTED TO PLANNING	1/3/2022	
3	REVISIONS	4/5/2022	
4	REVISIONS	3-1-2022 (RESPONSE TO DR)	
5	REVISION	4-1-2022	
6	SUBMITTED FOR PERMIT & DEPARTMENT REVIEW	2/4/2023	

SCALE: AS NOTED	JOB NO. 202105	SHEET
	DRAWN TBL	A2(E)
	CHECK TBL	OF
	DATE 8/21/2020	

Anne Hu, DBI
 AUG 08 2023





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AN ADDITION TO THE
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1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1766/038
BLDG PERMIT NO : 202105049045
PLANNING RECORD NO : 2021-005053PRJ

KEYNOTES

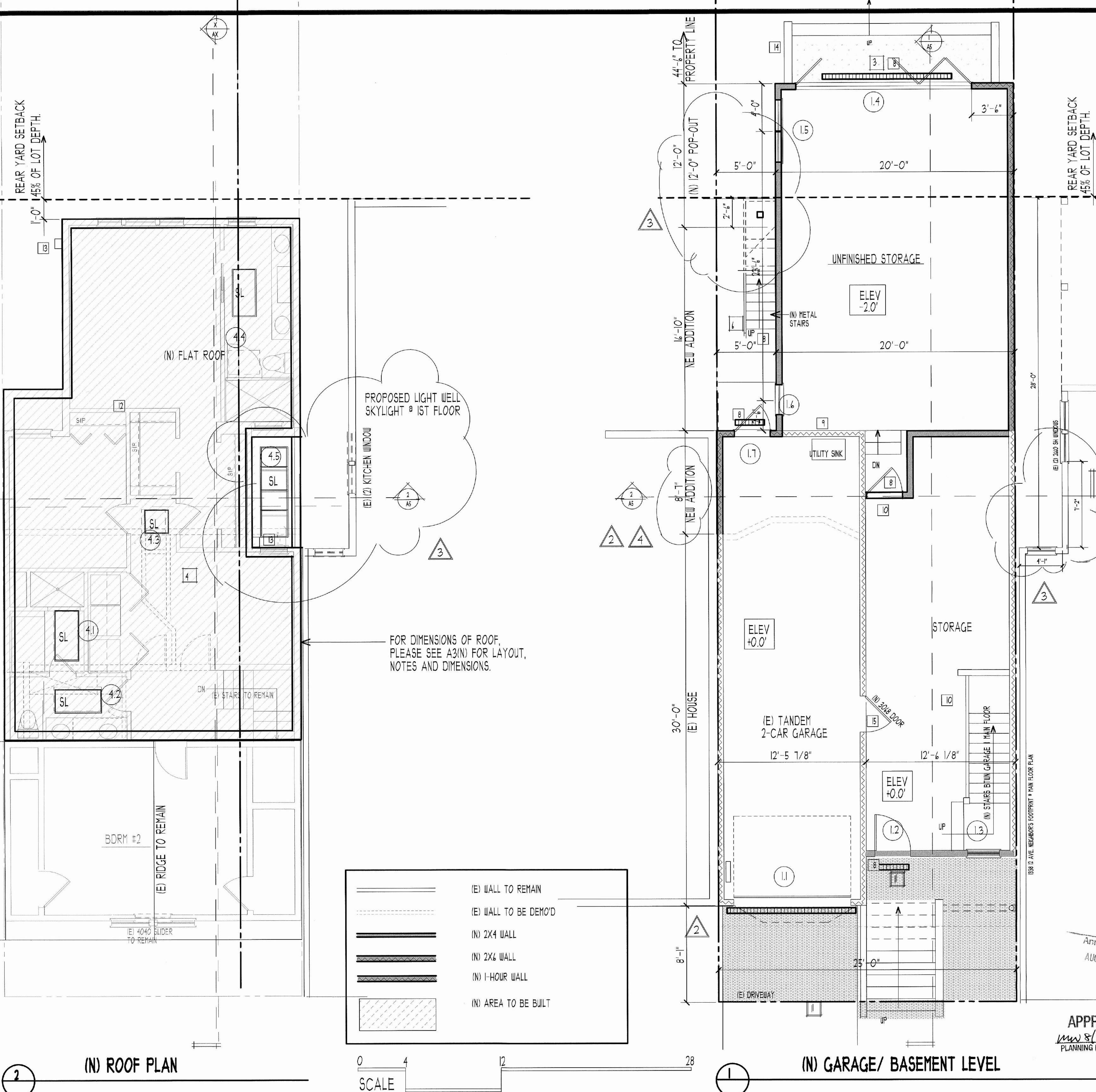
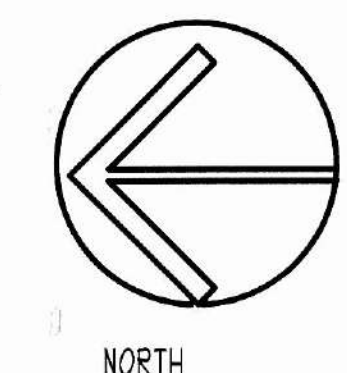
- 1 REMOVE (E) PLANTER. PROVIDE NEW PATH/ENTRY TO BASEMENT. USE IMPERVIOUS SURFACE IN FRONT. AS REQ'D PER CITY'S STANDARDS
- 2 (E) ENTRY PORCH. 4 STEPS TO REMAIN. VERIFY 1-HOUR REQUIREMENT.
- 3 NEW 12'-0" POPO-OUT, WITH SUNKEN STOOP, AND AREA DRAIN. WOOD STEPS UP TO NATURAL GRADE
- 4 NEW FLAT, BUILD-UP ROOFING, WITH PARAPET WALLS AT PROPERTY LINES. PREP FOR SOLAR PANELS.
- 5 NEW SKYLIGHTS ON FLAT ROOF.
- 6 NEW 30" METAL STAIRS. 15" RISER MAX. 1" TREAD. CONTRACTOR TO SUBMIT SEPARATE DESIGN/BUILD DRAWINGS FOR REVIEW/PERMIT. STEPS TO BE A MAXIMUM OF 3 RISERS WITHOUT NEEDING HANDRAILS. RISERS TO BE 4" MIN TO 15" MAX. TREADS TO BE 10 1/2". NO RISER OR TREAD SHALL EXCEED MORE THAN 3/8" FROM THE SMALLEST. THE LARGEST. LANDINGS SHALL BE A MIN. 3'-0" WIDE X 3'-0" LONG. THE STEP FROM THE RESIDENCE TO THE OUTSIDE SHALL HAVE A STEP BETWEEN 1/4" MIN. TO 1" MAX. OR 4 1/2" MIN. TO 1 1/2" MAX. HANDRAILS TO BE 1 1/2" DIA., 33" TO 38" ABOVE THE NOSE OF STAIRS. RETURN HANDRAIL TO POST OR WALL. CONTRACTOR TO PROVIDE 1-HOUR CONSTRUCTION BELOW ALL REQUIRED STAIRS PER CODE.
- 7 PROVIDE (N) AREA DRAIN ALONG (E) 4 (N) FOUNDATION. NEW TRENCH DRAIN AS SHOWN. COLLECT AND CONVEY WITH ROOF DRAIN TO APPROPRIATE 1 APPROVED EXISTING PIPE SYSTEM. 4" MIN.
- 8 PROVIDE NO MORE THAN 1/2" DROP FROM INTERIOR TO EXTERIOR AT EXTERIOR DOORS. PROVIDE A FLAT SURFACE, 3'-0" DEEP AND AS WIDE OF DOOR AT EXTERIOR LANDING.
- 9 PROVIDE HOOK-UP FOR FULL FUTURE BATH, N.I.C. CONTRACTOR TO VERIFY LOCATION AND ELEVATION OF WASTE LINES TO ARCHITECT & OWNER.
- 10 PROVIDE THE REQ'D INSULATION UNDER ENTRY & STORAGE AREAS FOR POSSIBLE FUTURE CONDITIONED SPACE. CONTRACTOR TO PROVIDE VAPOR BARRIER (1 MIL) IN ALL AREA OF CONCRETE.
- 11 VERIFY WITH OWNER FLOORING THROUGH HOUSE. TYPICALLY FINISHED CONCRETE IN GARAGE & STORAGE AREA. NEW WOOD TO MATCH EXISTING IN FIRST & SECOND FLOOR. TILE, THIN SET IN BATHROOMS.
- 12 PRE-WIRE FLAT ROOF FOR SOLAR PANELS. OWNER & CONTRACTOR COORDINATE.
- 13 RAIN WATER DOWNSPOUT. NEW ROOF TO SLOPE TO DRAIN.
- 14 NEW P.T. WOOD RETAINING WALLS. VERIFY W/ OWNER LANDSCAPER FOR ADDITIONAL DETAILS.
- 15 PROVIDE PROPER DOOR BTWN 1-HOUR ASSEMBLY GARAGE & HOUSE. 1-3/4" SOLID CORE DOOR. SELF CLOSING DEVICE, & PROPER SEALS & INSTALLATION
- 16 (N) 400 AMP ELECTRICAL PANEL TO REPLACE (E).



DESCRIPTION	DATE	DRAWN
REVISIONS		
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△ RESUBMITTED TO PLANNING 1/3/2022		
△ REVISIONS 4/5/2022		
△ REVISIONS 9-1-2022 (RESPONSE TO DR)		
△ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 2/4/2023		

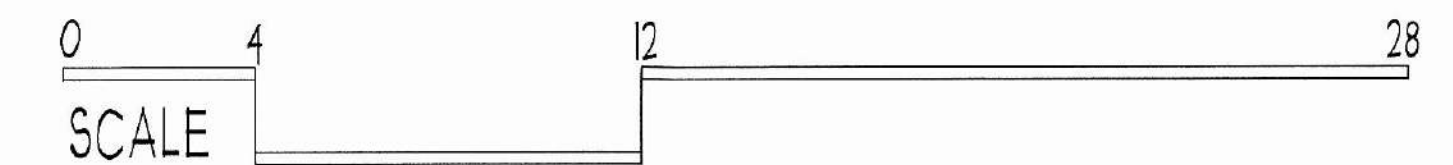
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JOB NO. 202105 SHEET
DRAWN TEL. A2(N)
CHECK TEL.
DATE 8/21/2020 OF

APPROVED
mm 8/30/2023
PLANNING DEPARTMENT



FOR DIMENSIONS OF ROOF, PLEASE SEE A3(N) FOR LAYOUT, NOTES AND DIMENSIONS.

	(E) WALL TO REMAIN
	(E) WALL TO BE DEMO'D
	(N) 2X4 WALL
	(N) 2X6 WALL
	(N) 1-HOUR WALL
	(N) AREA TO BE BUILT



2 (N) ROOF PLAN

1 (N) GARAGE/ BASEMENT LEVEL



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SAN FRANCISCO, CA 94122
BLK/LOT : 1766/038
BLDG PERMIT NO : 202105049065
PLANNING RECORD NO : 2021-005053PRJ

KEYNOTES

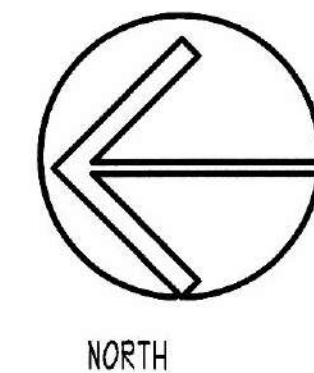
- 1 ALL WALLS, KITCHEN AND BATH FIXTURES, DECK SHOWN DASHED TO BE DEMO'D.
- 2 (E) FRONT ENTRY, PORCH AND STAIRS TO REMAIN.
- 3 2ND FLOOR BEDROOM & WINDOW TO REMAIN UNTOUCHED BY REMODEL

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- San Francisco -
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DEPT. OF BUILDING INSPECTION

Rhab Boughn, SFFD
AUG 07 2023

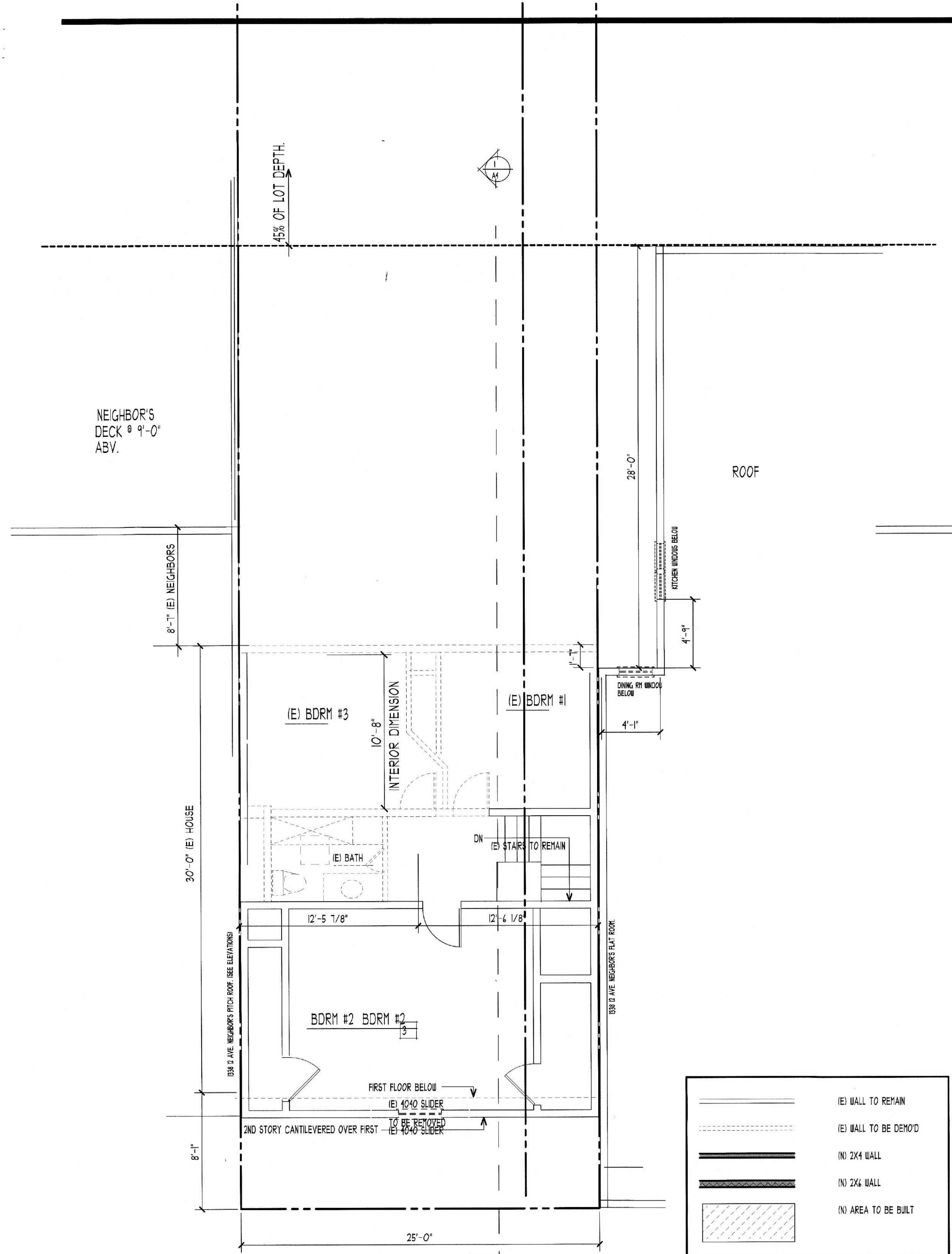
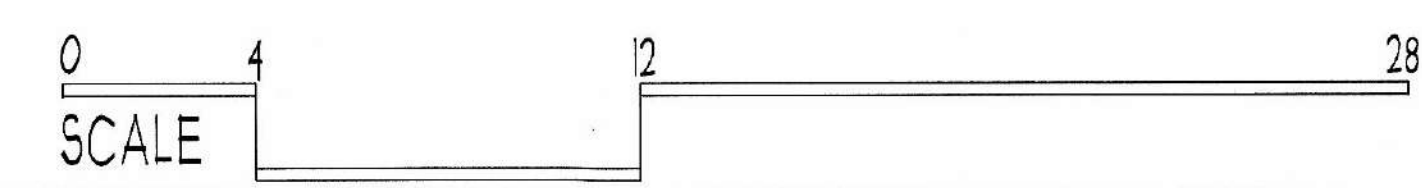
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▲ REVISIONS 1-4-2022 (RESPONSE TO DR)	4/1/2022	
▲ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW	2/4/2023	
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DRAWN	TEL	A3(E)
CHECK	TEL	OF
DATE	8/21/2020	

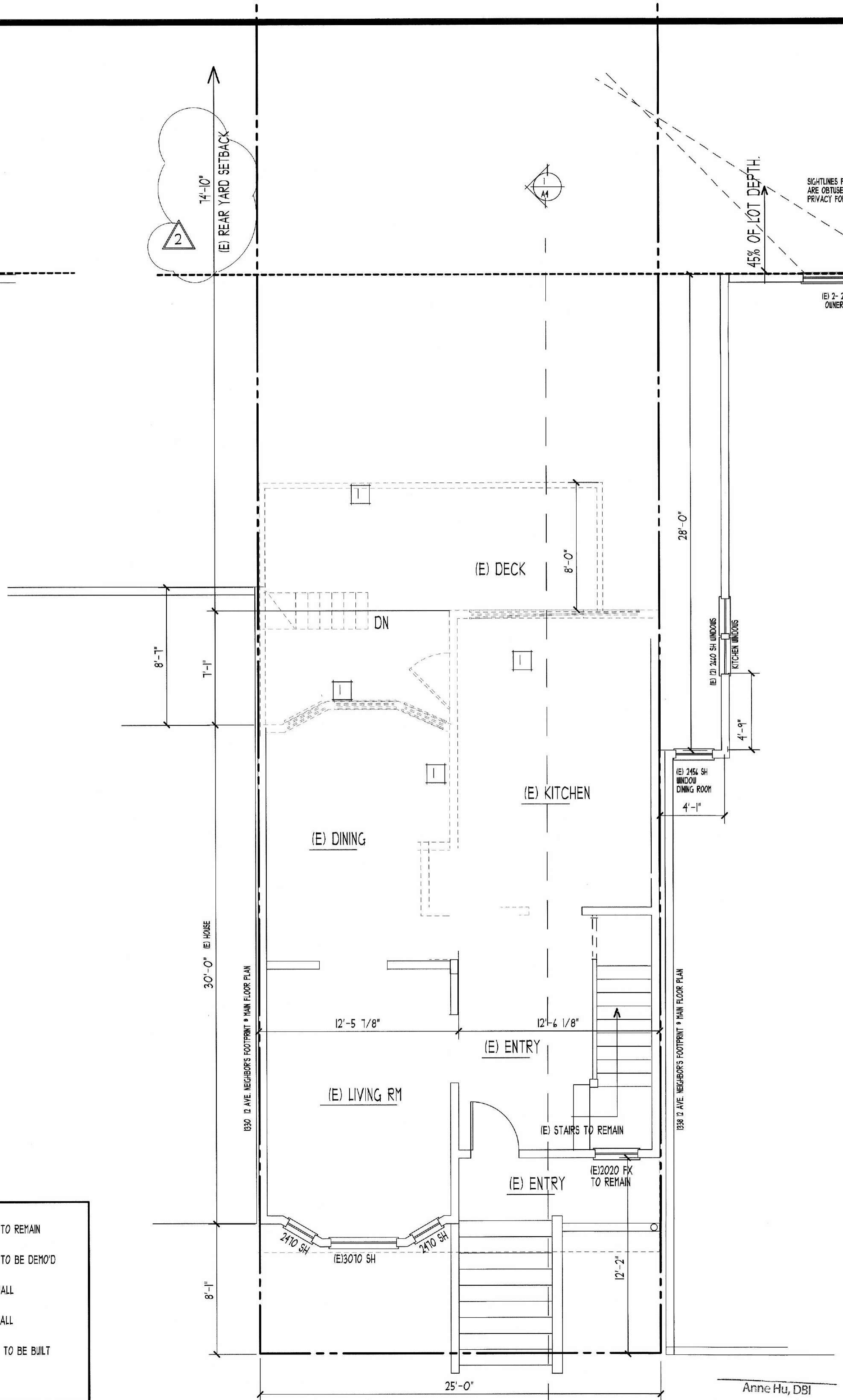


Anne Hu, DBI
AUG 08 2023

	(E) WALL TO REMAIN
	(E) WALL TO BE DEMO'D
	(N) 2X4 WALL
	(N) 2X6 WALL
	(N) AREA TO BE BUILT



EXISTING SECOND FLOOR



EXISTING FIRST FLOOR

NEIGHBOR'S DECK @ 9'-0" ABV.



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AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK/LOT : 1766/038
 BLDG PERMIT NO : 2021050699045
 PLANNING RECORD NO : 2021-005053PRJ

KEYNOTES

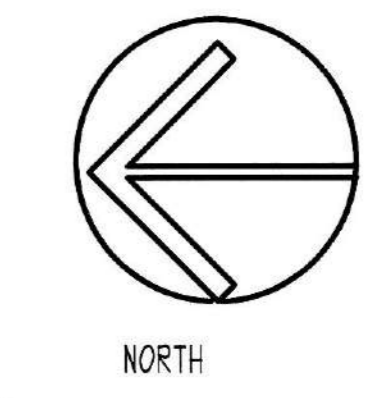
- 1 PROPOSED PRIVACY WALL. SOLID WALL UP TO 43'-6" ABOVE DECK. LATTICE UP TO 6'-0" ABOVE DECK. COUNTER TOP @ 3'-0" WITH STORAGE CABINETS BELOW.
 - 2 GLASS & METAL GUARDRAIL @ 42" ABV DECK. METAL STAIRS TO GROUND TO MATCH.
 - 3 4'-0" X 10'-0" LIGHT WELL @ SECOND FLOOR W/ 2'-0" X 8'-0" SKYLIGHT, FLAT LENS. 4" PARAPET AND AREA DRAIN.
 - 4 PROVIDE NO MORE THAN 1/2" DROP FROM INTERIOR TO EXTERIOR AT EXTERIOR DOORS. PROVIDE A FLAT SURFACE, 3'-0" DEEP AND AS WIDE OF DOOR AT EXTERIOR LANDING.
 - 5 SEE STRUCTURAL FOR STEEL FRAME LOCATION ECT.
 - 6 WASHER & DRYER W/ CABINETS. PROVIDE PAN UNDER WASHER W/ DRAIN TO WASTE SYSTEM. PROVIDE 4" SMOOTH DRYER DUCT TO ROOF.
 - 7 SEE KITCHEN DESIGNER FOR CABINET AND APPLIANCE LAYOUT. CONTRACTOR TO VERIFY W/ OWNER.
 - 8 PROVIDE 1-HOUR CONSTRUCTION FOR STAIR WALLS & CEILINGS.
 - 9 REQUIRED 24" X 30" CLEARANCE IN FRONT OF TOILET AREA, SHOWN DASHED.
 - 10 CONTRACTOR/OWNER TO VERIFY IF ANY BATHROOMS FLOOR TO BE THICK SET 2" BELOW FINISH FLOOR.
 - 11 COMBO SHOWER/STEAM. ENCLOSED W/ TEMPERED GLASS WALL & DOOR. SHOWER TO HAVE LINEAR DRAIN.
 - 12 CONTRACTOR TO VERIFY WITH OWNER LOCATION OF BATHROOM FLOOR RADIANT MATTS. THERMO SOFT OR EQUAL. WWW.THERMO SOFT.COM 800-308-8051
- (E) 24.56 SQ FT WINDOW @ DINING ROOM
- (E) 24.56 SQ FT WINDOW @ DINING ROOM
- 13 STEPS TO BE A MAXIMUM OF 3 RISERS WITHOUT NEEDING HANDRAILS. RISERS TO BE 4" MIN TO 15" MAX. TREADS TO BE 10 1/2". NO RISER OR TREAD SHALL EXCEED MORE THAN 3/8" FROM THE SMALLEST THE LARGEST. LANDINGS SHALL BE A MIN. 3'-0" WIDE X 3'-0" LONG. THE STEP FROM THE RESIDENCE TO THE OUTSIDE SHALL HAVE A STEP BETWEEN 1/4" MIN. TO 1" MAX, OR 4 1/2" MIN. TO 1 1/2" MAX.
- HANDRAILS TO BE 1-1/2" DIA., 33" TO 38" ABOVE THE NOSE OF STAIRS. RETURN HANDRAIL TO POST OR WALL.
- 2X SEE WINDOW & DOOR SCHEDULE ON SHEET XX

APPROVED
 Dept. of Building Insp.
 San Francisco
 SEP 07 2023
 Rhab Boughn, SFPD
 AUG 07 2023
 PATRICK W. BORDAN
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 DEPT. OF BUILDING INSPECTION

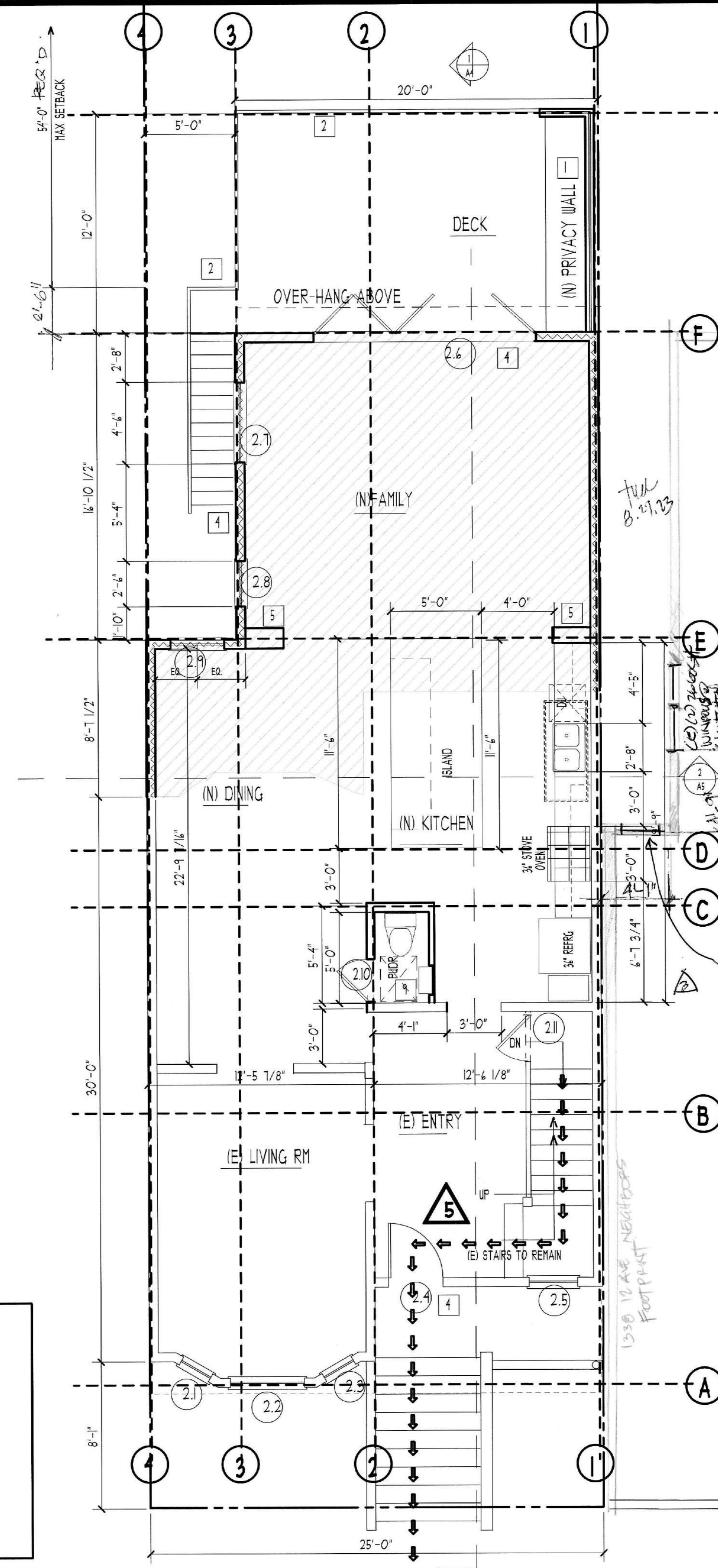
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△ RESUBMITTED TO PLANNING	1/3/2022	
△ REVISIONS	4/5/2022	
△ REVISIONS	9-1-2022 (RESPONSE TO DR)	
△ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW	2/4/2023	
△ REVISION 1-1-2022		
△ FIRE DEPARTMENT PLAN CHECK	4/28/2023	

SCALE: AS NOTED

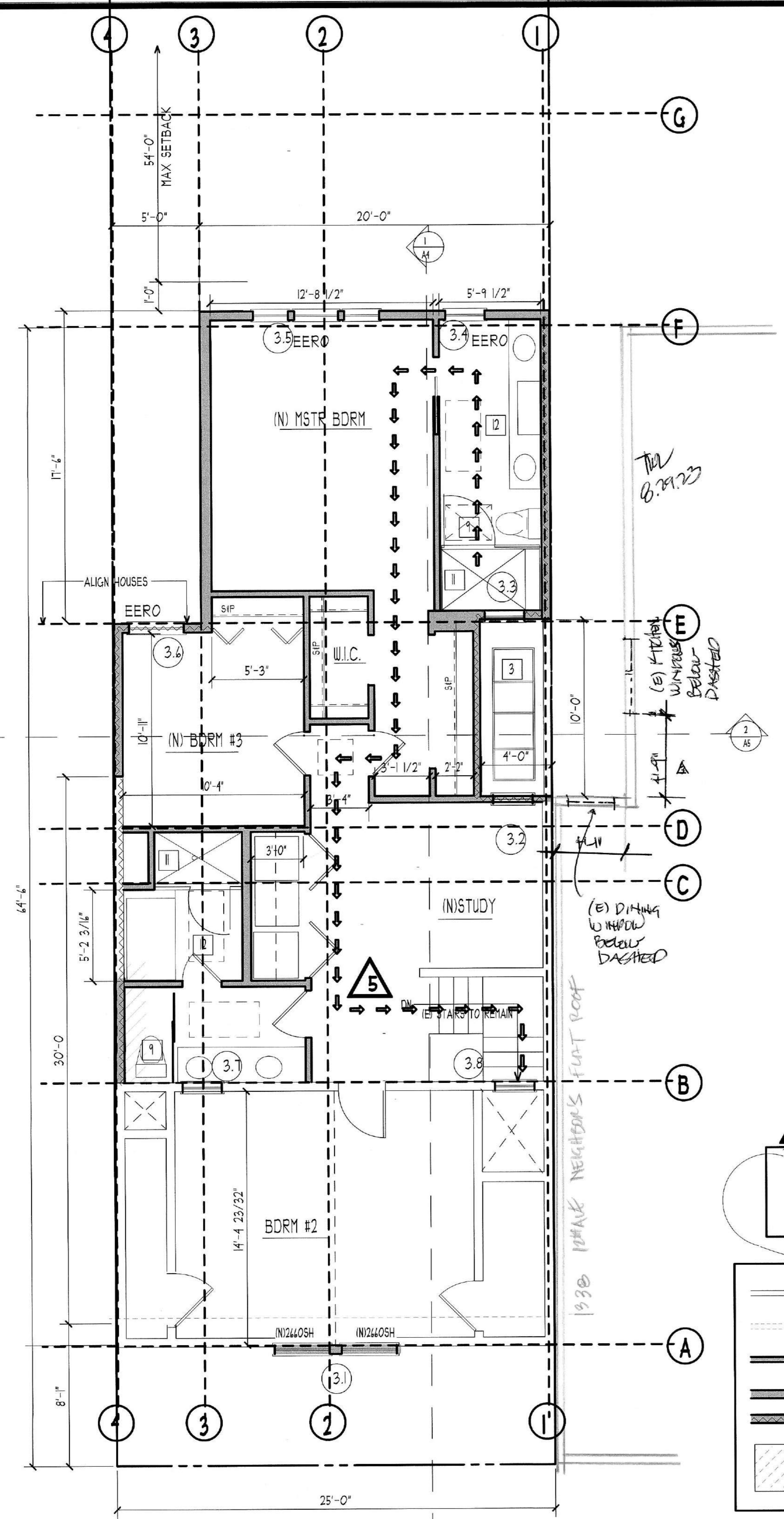
JOB NO.	DATE	SHEET
202105	1/21/2020	A3(N)



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 AUG 08 2023



NEW FIRST FLOOR



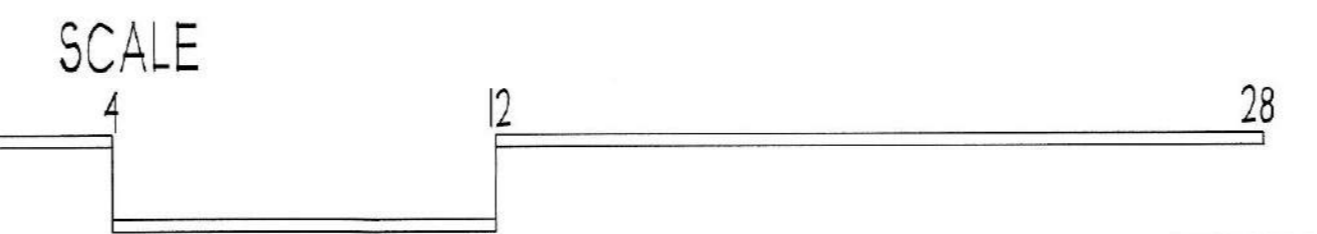
NEW SECOND FLOOR- REVISED 1/15/22

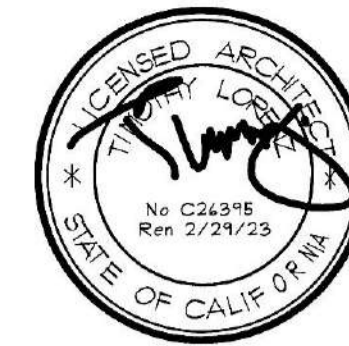
5

← ← ← **PATH OF EGRESS TRAVEL**

104 FEET

	(E) WALL TO REMAIN
	(E) WALL TO BE DEMO'D
	(N) 2X4 WALL
	(N) 2X6 WALL
	(N) 1-HOUR WALL
	(N) AREA TO BE BUILT



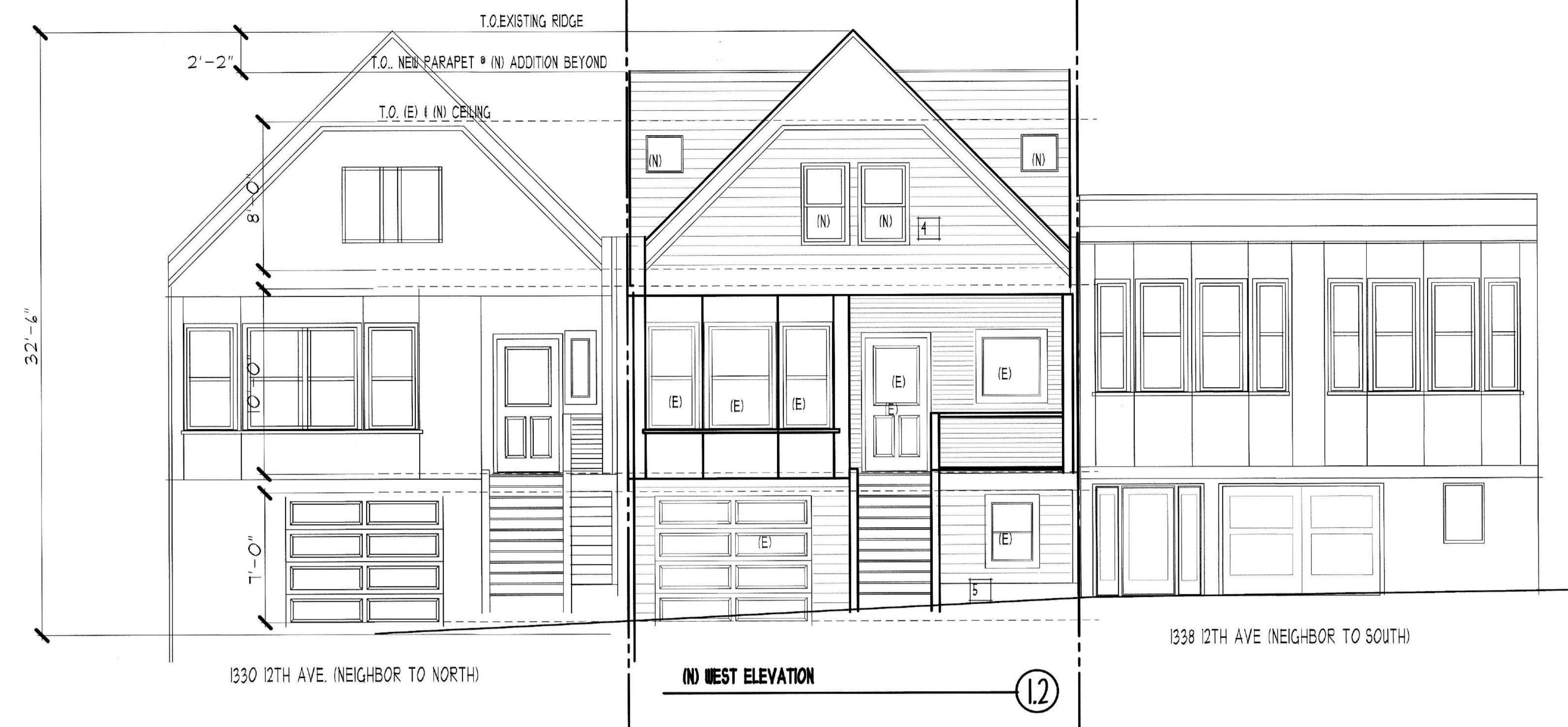


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KEYNOTES

- 1 (E) STUCCO EXTERIOR 2-STORY NEIGHBOR, FLAT ROOF
- 2 (E) 3 STORY WOOD EXTERIOR NEIGHBOR. IHOUSE HAS SIMILAR FORM AND SLIGHTLY DIFFERENT DETAILS.
- 3 NEW METAL & GLASS RAILING AT NEW DECK @ #42
- 4 NEW (2) 2460 DH WOOD WINDOWS IN FRONT ELEVATION
- 5 NEW WALKWAY TO DOOR TO GARAGE (NOT SEEN BEHIND GARAGE)
- 6 NEW 5'-0" 1-HOUR WALL AT DECK & PROPERTY LINE. SOLID PRIVACY WALL
- 7 (E) LATTICE FENCE BTWN NORTH NEIGHBOR.
- 8 NEW METAL STAIRS FROM DECK TO (E) GRADE (SHOWN DASHED)



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SCALE: AS NOTED

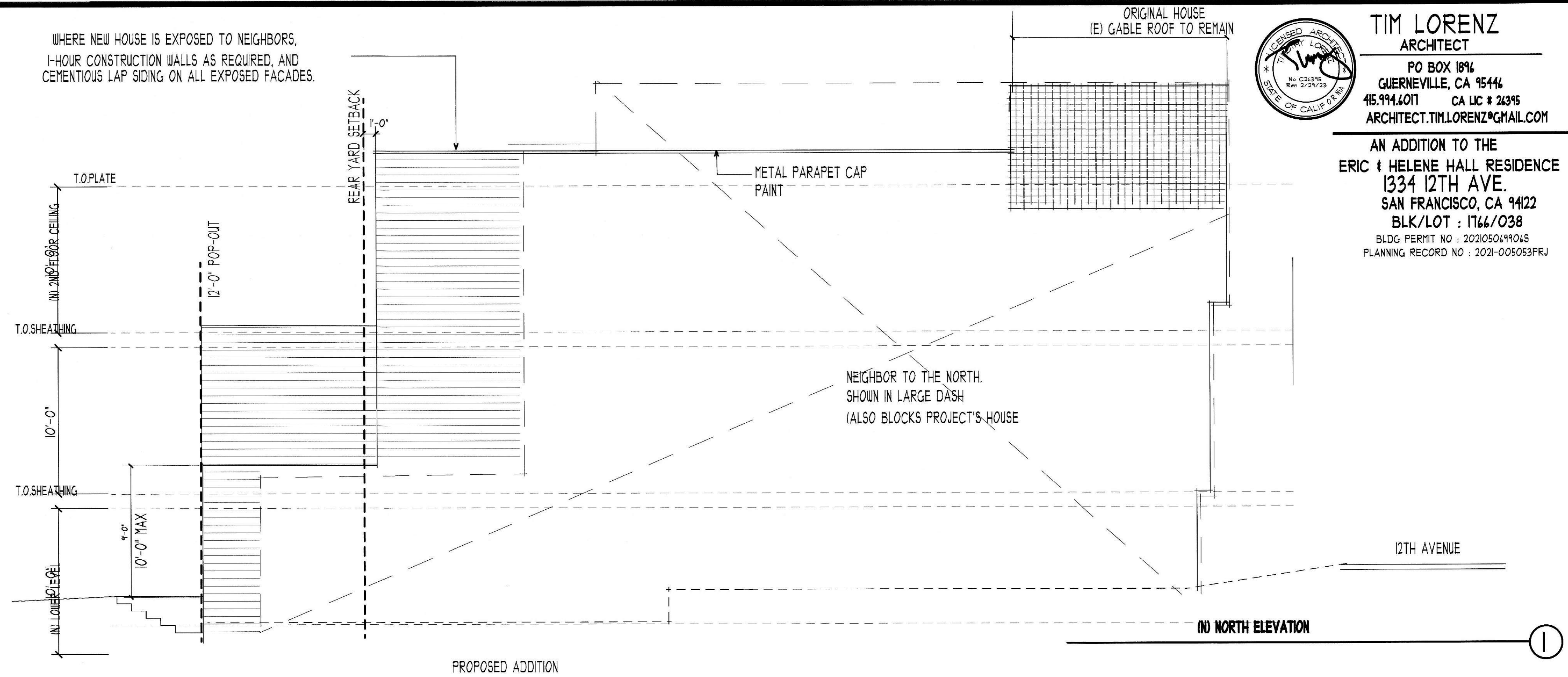
JOB NO.	20216	SHEET	
DRAWN	TH	A4.1(N)	
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DATE	8/21/2020	OF	

WHERE NEW HOUSE IS EXPOSED TO NEIGHBORS,
1-HOUR CONSTRUCTION WALLS AS REQUIRED, AND
CEMENTIOUS LAP SIDING ON ALL EXPOSED FACADES.

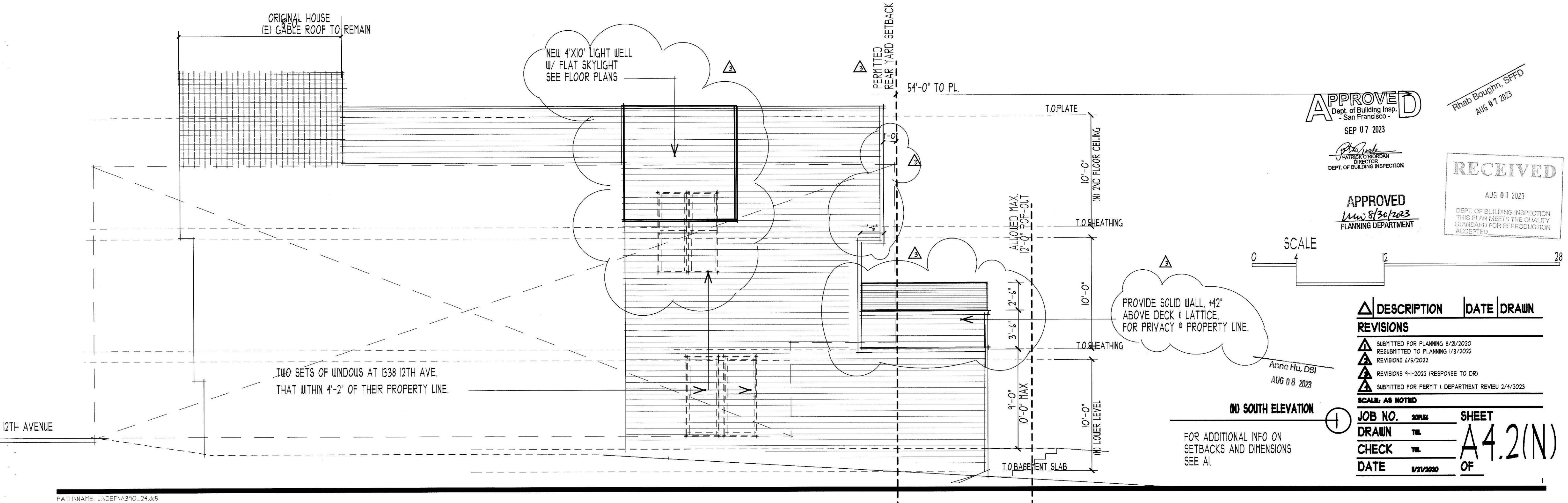


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PROPOSED ADDITION



APPROVED
Dept. of Building Insp.
- San Francisco -
SEP 07 2023

Patrick O'Riordan
PATRICK O'RIORDAN
DIRECTOR
DEPT. OF BUILDING INSPECTION

Rhab Boughtn, SFFD
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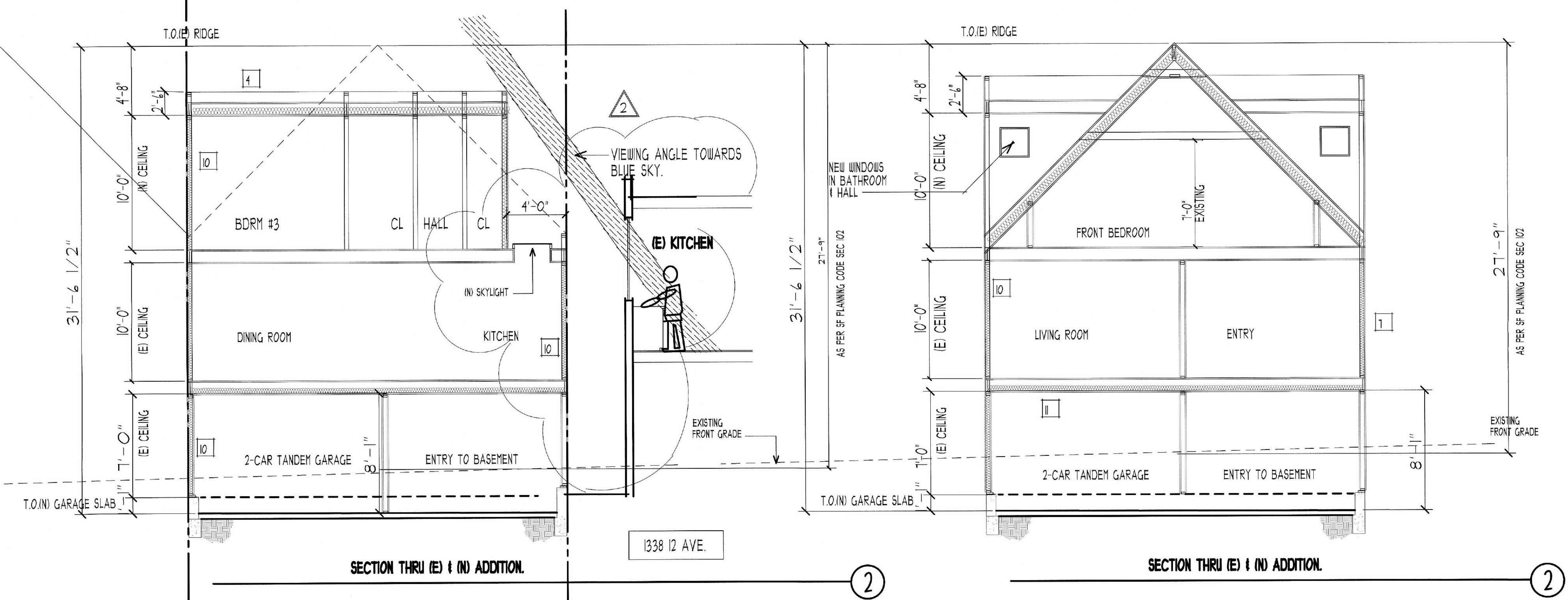
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JOB NO.	20186	SHEET
DRAWN	TL	A4.2(N)
CHECK	TL	
DATE	8/21/2020	OF

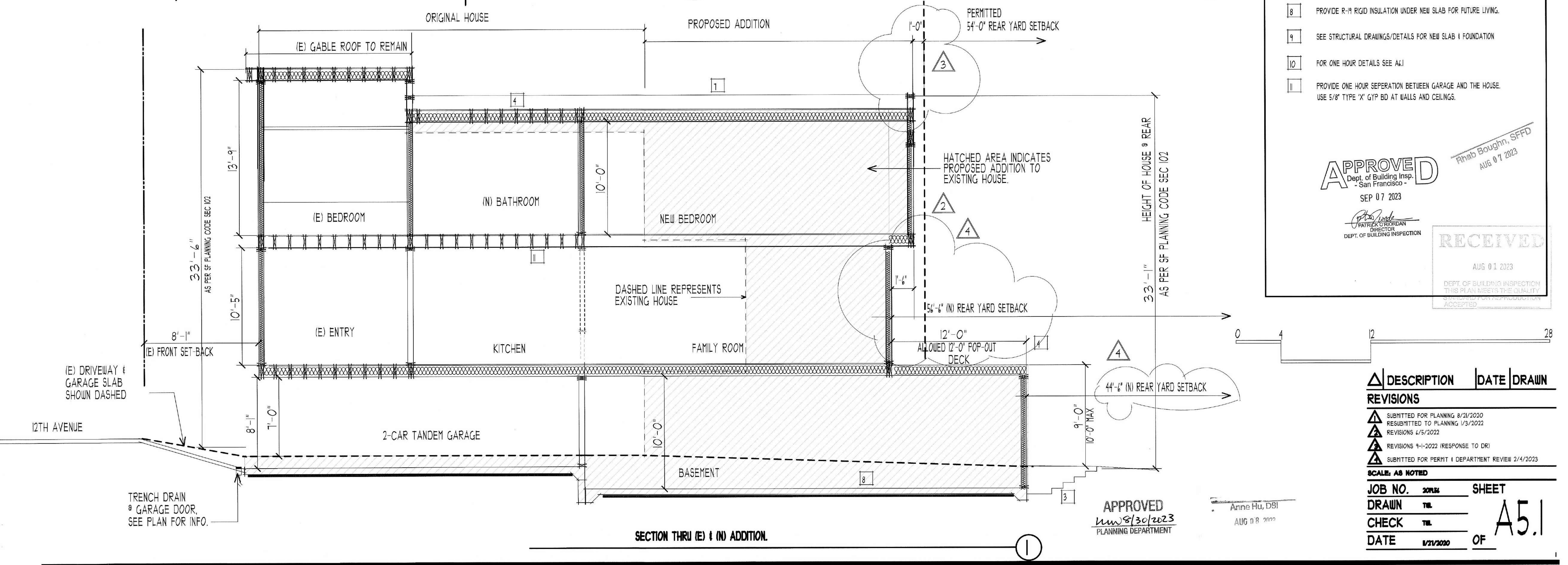


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 415.994.6011 CA LIC # 24395
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AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK/LOT : 1166/038
 BLDG PERMIT NO. : 20210504906S
 PLANNING RECORD NO. : 2021-005053FRJ



- ### KEYNOTES
- 1 REMOVE (E) PLANTER, PROVIDE NEW PATH/ENTRY TO BASEMENT & GARAGE. USE PVIOUS SURFACE IN FRONT. AS REQ'D PER CITY'S STANDARDS
 - 2 (E) ENTRY, PORCH, & STEPS TO REMAIN. NO CHANGES PLANNED.
 - 3 NEW 12'-0" POP-OUT, WITH SUNKEN STOOP, AND AREA DRAIN. WOOD STEPS UP TO NATURAL GRADE
 - 4 NEW FLAT, BUILD-UP ROOFING, WITH PARAPET WALLS AT PROPERTY LINES. SKYLIGHTS AS SHOWN. PREP FOR SOLAR PANELS.
 - 5 EXISTING GRADE SHOWN DASHED FOR CLARITY.
 - 6 PROVIDE 1-HOUR RATED WALLS AND CEILINGS BETWEEN GARAGE & RESIDENTIAL LIVING AREA.
 - 7 SEE TITLE 24 FOR INSULATION VALUES
 - 8 PROVIDE R-19 RIGID INSULATION UNDER NEW SLAB FOR FUTURE LIVING.
 - 9 SEE STRUCTURAL DRAWINGS/DETAILS FOR NEW SLAB & FOUNDATION
 - 10 FOR ONE HOUR DETAILS SEE A-1
 - 11 PROVIDE ONE HOUR SEPERATION BETWEEN GARAGE AND THE HOUSE. USE 5/8" TYPE 'X' GYP BD AT WALLS AND CEILINGS.



APPROVED
 Dept. of Building Insp.
 - San Francisco -
 SEP 07 2023
 Patrick O'Riordan
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

RECEIVED
 AUG 01 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 REQUIREMENTS FOR REPRODUCTION
 ACCEPTED

Rhoda Boughn, SFFD
 AUG 07 2023

DESCRIPTION	DATE	DRAWN
REVISIONS		
△ SUBMITTED FOR PLANNING 8/21/2020		
△ RESUBMITTED TO PLANNING 1/3/2022		
△ REVISIONS 4/5/2022		
△ REVISIONS 9-1-2022 (RESPONSE TO DR)		
△ SUBMITTED FOR PERMIT 1 DEPARTMENT REVIEW 2/4/2023		
SCALE: AS NOTED		
JOB NO. 20124	SHEET	
DRAWN TBL		A5.1
CHECK TBL		
DATE 8/21/2020	OF	

APPROVED
 8/30/2023
 PLANNING DEPARTMENT

Anne Hu, DBI
 AUG 18 2023

	<ul style="list-style-type: none"> 5/8" SHEETROCK Firecode Core panels, or 5/8" SHEETROCK UltraLight panels Firecode X or 5/8" Firecode panels 2 x 4 wood stud 16" or 24" o.c. optional insulation 	UL Des U305, U314	32	RAL-TL11-129 Based on 5/8" SHEETROCK Firecode core panels, no sound bat	A-59
			33	RAL-TL11-172 Based on 5/8" SHEETROCK UltraLight Panels Firecode X, no sound bat	
			34	RAL-TL11-173, RAL-TL11-130 Based on 5/8" SHEETROCK Firecode core panels or 5/8" SHEETROCK UltraLight Panels Firecode X with R-11 fiberglass sound bat	
			37	RAL-TL11-081, RAL-TL11-084 Based on double layer one side 5/8" SHEETROCK Firecode core panels or 5/8" SHEETROCK UltraLight Panels Firecode X with R-11 fiberglass sound bat	
	<ul style="list-style-type: none"> 1/2" SHEETROCK Firecode C Core gypsum panels 2 x 4 18" o.c. 	GA-WP-3341	45	RAL-TL-69-52	A-60
			53	USG-221-ST-G-H	

1-HOUR RATED INTERIOR PARTITION-LOAD BEARING
PAGE 18, USG FIRE RATED ASSEMBLIES

	<ul style="list-style-type: none"> 1/2" IMPERIAL Firecode C Core gypsum Base, veneer finish only (not drywall) 2 x 4 stud 16" o.c. — joints finished 1/16" veneer finish 	U of C 10-27-64			A-58		
			<ul style="list-style-type: none"> 5/8" SHEETROCK Firecode Core panels, or 5/8" SHEETROCK UltraLight panels Firecode X or 5/8" Firecode panels 2 x 4 wood stud 16" or 24" o.c. optional insulation 	UL Des U305, U314		32	RAL-TL11-129 Based on 5/8" SHEETROCK Firecode core panels, no sound bat
						33	RAL-TL11-172 Based on 5/8" SHEETROCK UltraLight Panels Firecode X, no sound bat
						34	RAL-TL11-173, RAL-TL11-130 Based on 5/8" SHEETROCK Firecode core panels or 5/8" SHEETROCK UltraLight Panels Firecode X with R-11 fiberglass sound bat
	37	RAL-TL11-081, RAL-TL11-084 Based on double layer one side 5/8" SHEETROCK Firecode core panels or 5/8" SHEETROCK UltraLight Panels Firecode X with R-11 fiberglass sound bat					

1-HOUR RATED FLOOR/CEILING ASSEMBLY
PAGE 36, USG FIRE RATED ASSEMBLIES

	<ul style="list-style-type: none"> 5/8" SHEETROCK® brand Type X exterior sheathing or 5/8" Firecode Aqua-Tough exterior sheathing or Sheetrock glass-mat sheathing 5/8" SHEETROCK Firecode Core gypsum panels or SHEETROCK Mold-Tough Firecode Core gypsum panels, interior side 2 x 4 wood studs 16" o.c. — joints exposed or finished 	UL Des U305, U314			F-15
--	---	--------------------------	--	--	-------------

1-HOUR RATED EXTERIOR WALL ASSEMBLY
PAGE 36, USG FIRE RATED ASSEMBLIES

ROOF SKYLIGHT SCHEDULE

	NEW OR EXISTING	LOCATION	SIZE	MATERIAL EXT / INT	NOTES
4.1	NEW	BATHROOM #2	2' X 4'	METAL	VELUX OR EQ., OPERABLE (VERIFY W/ OWNER)
4.2	NEW	BATHROOM #2	2' X 4'	METAL	VELUX OR EQ., OPERABLE (VERIFY W/ OWNER)
4.3	NEW	HALLWAY	2' X 2'	METAL	VELUX OR EQ., OPERABLE (VERIFY W/ OWNER)
4.4	NEW	MSTR BATH	2' X 4'	METAL	VELUX OR EQ., OPERABLE (VERIFY W/ OWNER)
4.5	NEW	KITCHEN	2' X 8'	METAL	VELUX OR EQ., OPERABLE (VERIFY W/ OWNER)

GARAGE FLOOR WINDOW/DOOR SCHEDULE

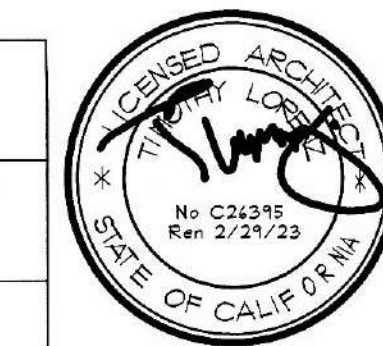
	NEW OR EXISTING	LOCATION	SIZE	MATERIAL EXT / INT	NOTES
11	NEW	GARAGE	9'-0" X 7'-0" GARAGE DOOR	WOOD/WOOD	EXISTING, NON-CONDITIONAL
12	NEW	GARAGE ENTRY	3'-0" X 7'-0" DOOR	WOOD/WOOD	CONDITIONED
13	NEW	GARAGE ENTRY	3'-0" X 3'-0" FX	MTL/MTL	CONDITIONED
14	NEW	GARDEN	14'-0" X 8'-0" BI-FOLD	MTL/MTL	CONDITIONED
15	NEW	GARDEN	(2) 3'-0" X 4'-0" SH	MTL/MTL	CONDITIONED
16	NEW	GARDEN	3'-0" X 4'-0" SH	MTL/MTL	CONDITIONED
17	NEW	GARAGE	3'-0" X 7'-0" DOOR	MTL/MTL	NON-CONDITIONAL

FIRST FLOOR WINDOW & DOOR SCHEDULE

	NEW OR EXISTING	LOCATION	SIZE	MATERIAL EXT / INT	NOTES
21	EXISTING	LIVING RM	2'-4" X 4'-0" DH	WOOD/WOOD	
22	EXISTING	LIVING RM	3'-4" X 4'-0" DH	WOOD/WOOD	
23	EXISTING	LIVING RM	2'-4" X 4'-0" DH	WOOD/WOOD	
24	EXISTING	ENTRY	3'-0" X 7'-0" DOOR	WOOD/WOOD	
25	EXISTING	ENTRY	2'-4" X 3'-0" FX	WOOD/WOOD	
26	NEW	(N) FAMILY RM	15'-0" X 8'-0" BI-FOLD	MTL / MTL	
27	NEW	(N) FAMILY RM	(2) 3'-0" X 4'-0" SH	MTL / MTL	
28	NEW	(N) FAMILY RM	3'-0" X 4'-0" SH	MTL / MTL	
29	NEW	(N) FAMILY RM	3'-0" X 8'-0" WNDW	MTL / MTL	
210	NEW	PUDR	2'-4" X 4'-8" INT. DOOR	WOOD	
211	NEW	STAIRS DN	3'-0" X 4'-8" INT. DOOR	WOOD	

SECOND FLOOR WINDOW & DOOR SCHEDULE

	NEW OR EXISTING	LOCATION	SIZE	MATERIAL EXT / INT	NOTES
31	NEW	BDRM #2	(2) 2'-8" X 5'-4" DH	WOOD	EGRESS REQ'D, MATCH NEIGHBORS FRONT WINDOWS
32	NEW	STUDY	2'-0" X 4'-0" DH	MTL/MTL	1-HOUR RATED WINDOW
33	NEW	MSTR BATH	3'-0" X 2'-0" SLIDER	MTL / MTL	1-HOUR RATED WINDOW, TEMP
34	NEW	MSTR BATH	2'-0" X 8'-0"	MTL / MTL	1-HOUR RATED WINDOW, TEMP
35	NEW	MSTR BDRM	8'-0" X 8'-0"	MTL / MTL	EGRESS REQ'D, SEE ELEVATION
36	NEW	BDRM #3	2'-4" X 8'-0"	MTL / MTL	EGRESS REQ'D, SEE ELEVATION, 1-H RATED
37	NEW	BATH #2	2'-0" X 2'-0" FX	MTL / MTL	FX
38	NEW	STAIRS	2'-0" X 2'-0" FX	MTL / MTL	FX



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AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1766/038
BLDG PERMIT NO : 2021050699065
PLANNING RECORD NO : 2021-005053FRJ

APPROVED
Dept. of Building Insp.
- San Francisco -

SEP 07 2023

Patrick Jordan
DIRECTOR
DEPT. OF BUILDING INSPECTION

Rhab Boughtn, SFFD
AUG 07 2023

RECEIVED
AUG 01 2023
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR REPRODUCTION
ACCEPTED

DESCRIPTION | DATE | DRAWN
REVISIONS

- ▲ SUBMITTED FOR PLANNING 8/21/2020
- ▲ RESUBMITTED TO PLANNING 1/3/2022
- ▲ REVISIONS 4/5/2022
- ▲ REVISIONS 9-1-2022 (RESPONSE TO DR)
- ▲ SUBMITTED FOR PERMIT DEPARTMENT REVIEW 2/4/2023

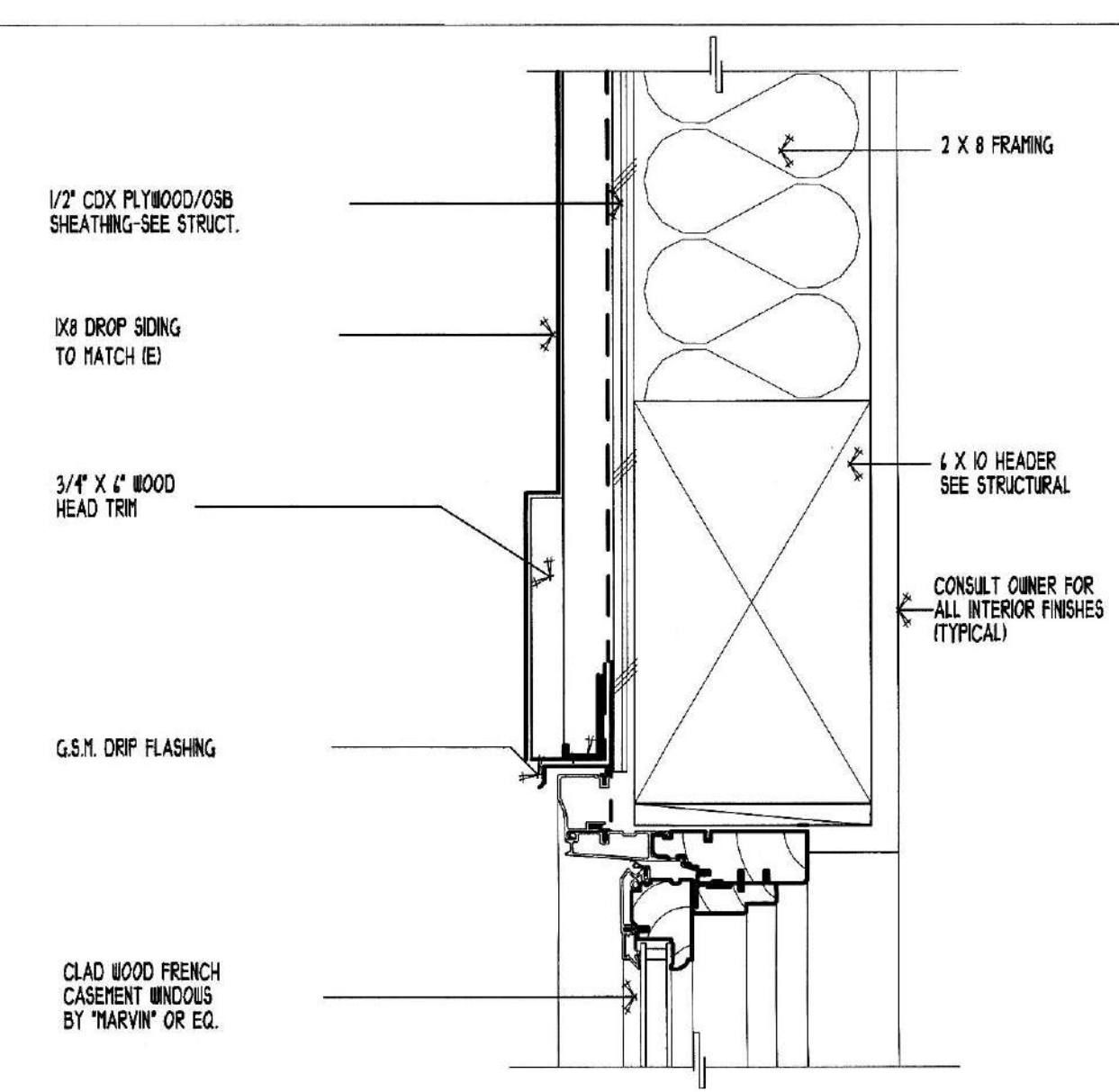
SCALE: AS NOTED
JOB NO. 202105 SHEET
DRAWN TBL
CHECK TBL
DATE 1/21/2020 OF
A6.1

Anne Hu, DBI
AUG 08 2023



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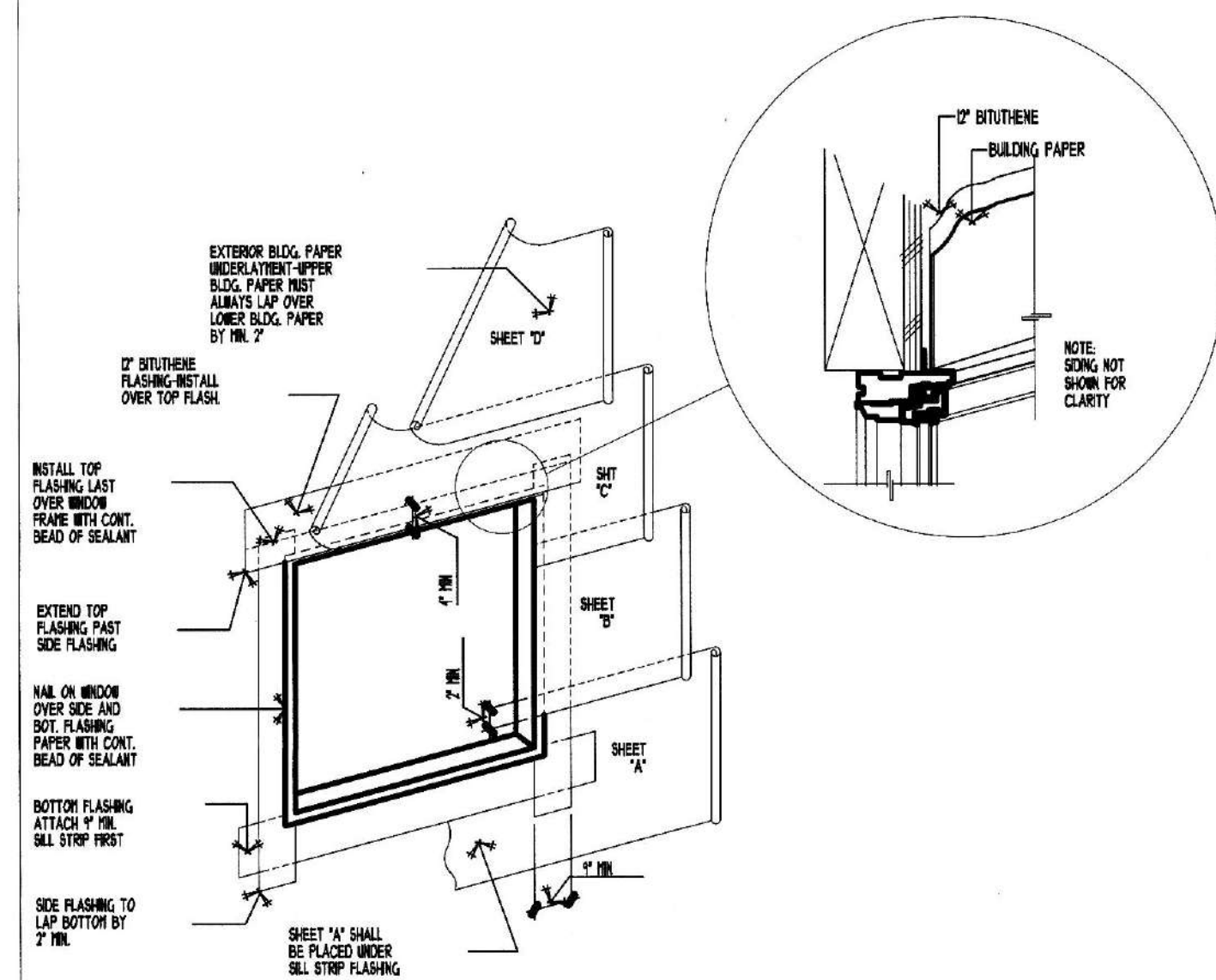
AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK/LOT : 1766/038
 BLDG PERMIT NO : 2021050699045
 PLANNING RECORD NO : 2021-005053PRJ



HEAD DETAIL • PLASTER

SCALE: 3" = 1'-0"

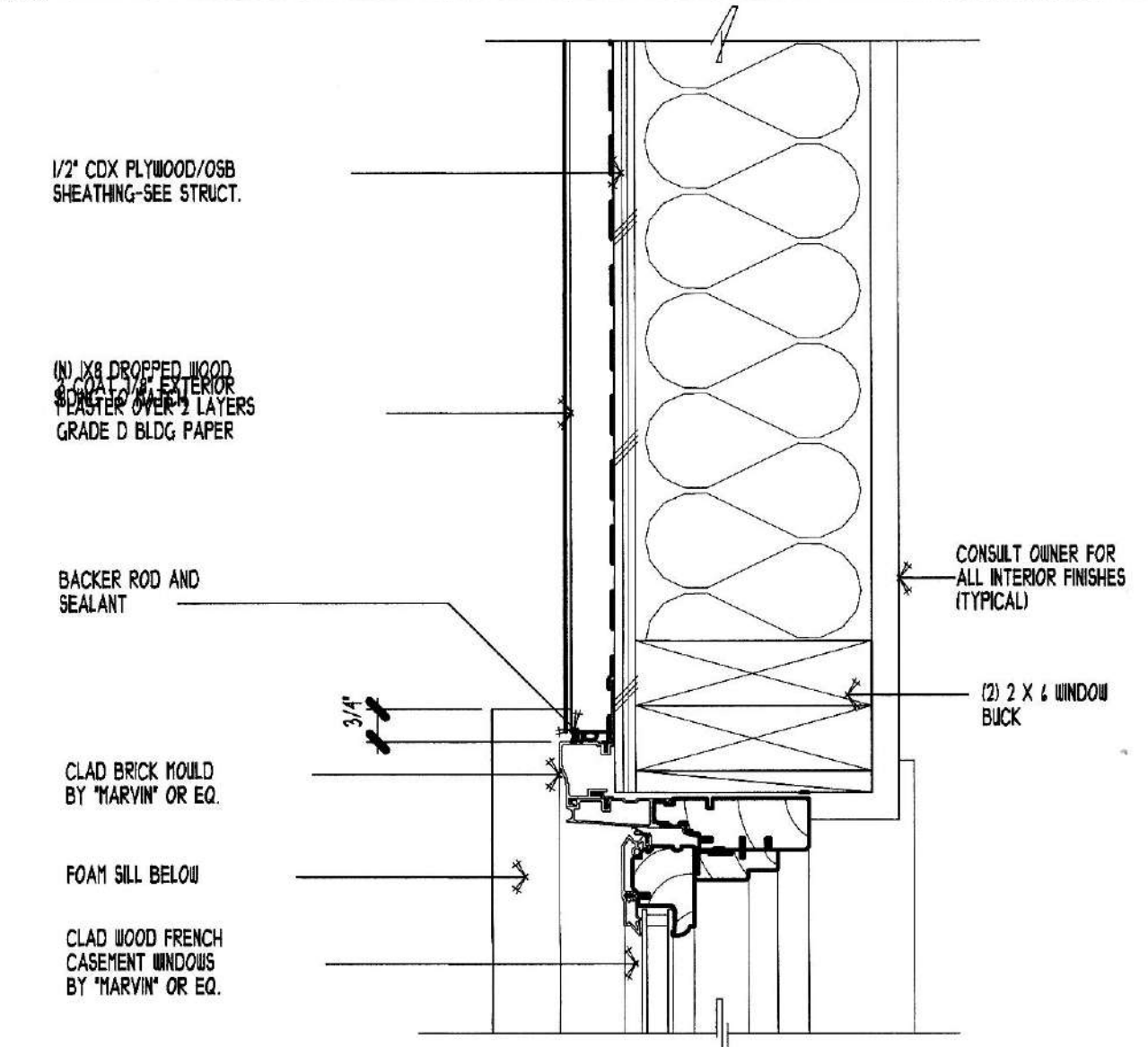
3



WINDOW FLASHING DET.

NO SCALE

5

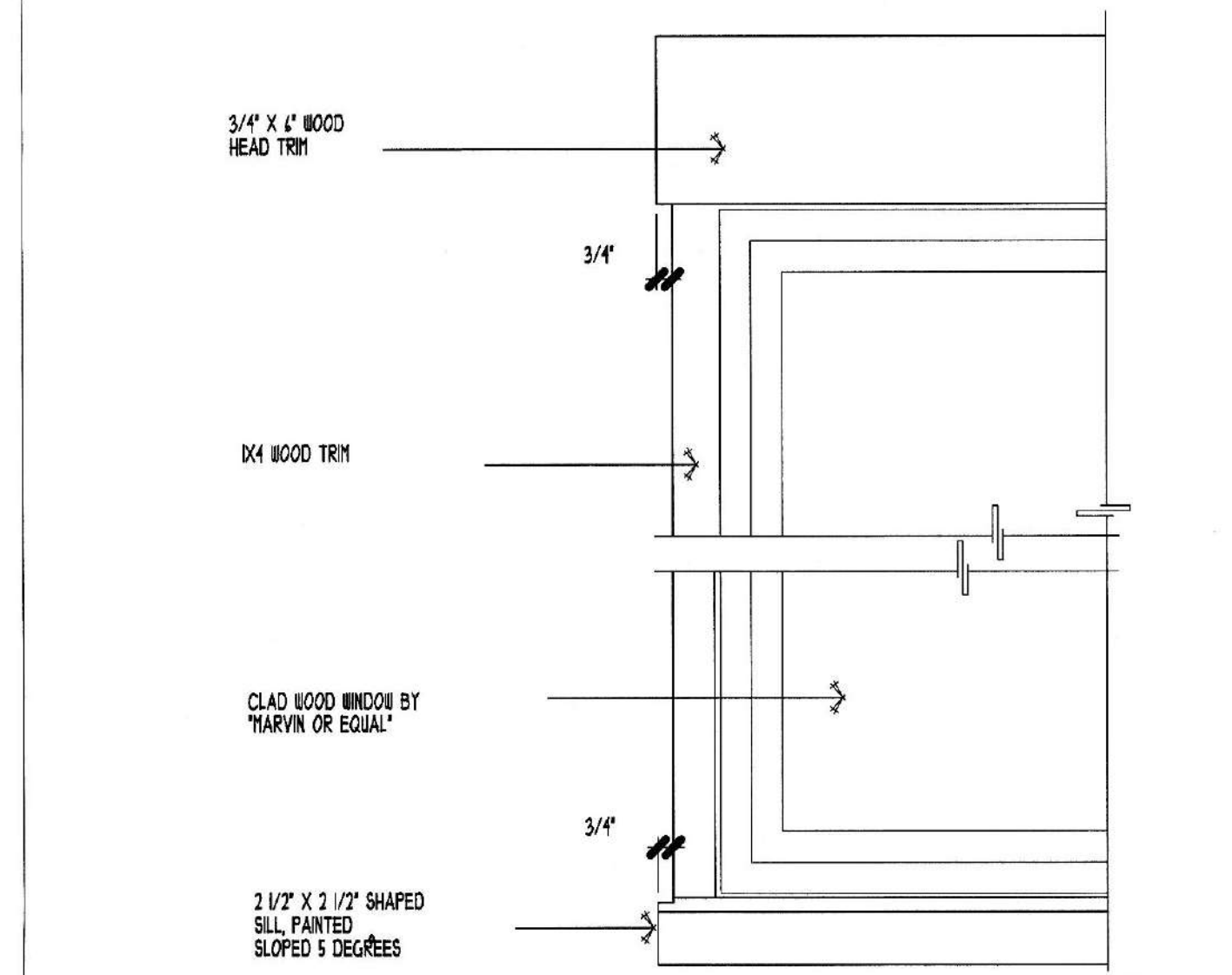


TYP WINDOW JAMB.

SCALE: 3" = 1'-0"

2

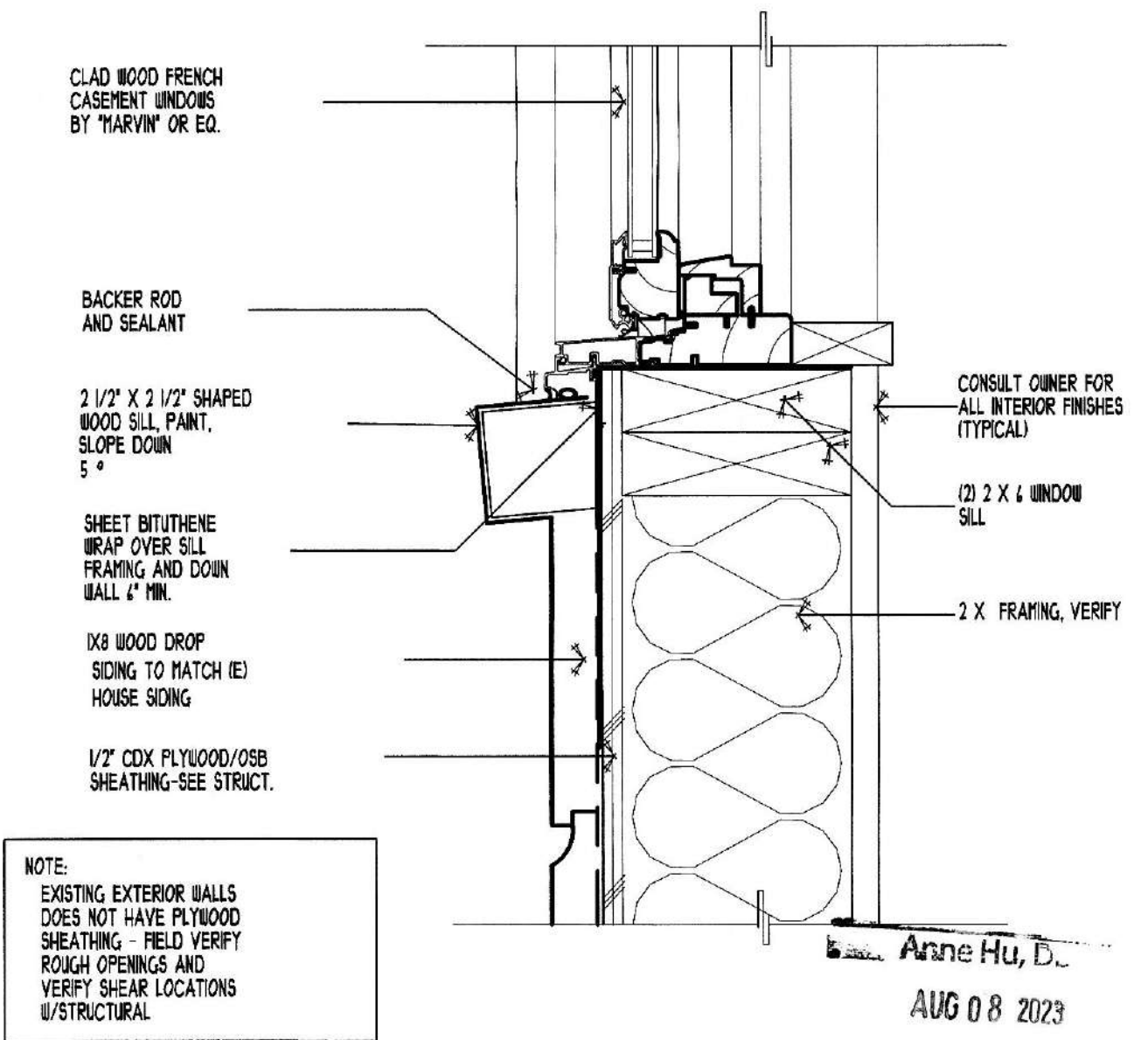
Rhab Boughn, SFFD
 AUG 07 2023



WINDOW ELEVATION

SCALE: 1/2" = 1'-0"

4



SILL DETAIL • WOOD SIDING

SCALE: 3" = 1'-0"

1

APPROVED
 Dept. of Building Insp. - San Francisco
 SEP 07 2023

Patrick O'Riordan
 PATRICK O'RIRDAN
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

RECEIVED
 AUG 01 2023
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY STANDARD FOR REPRODUCTION ACCEPTED

REVISIONS	DESCRIPTION	DATE	DRAWN
▲	SUBMITTED FOR PLANNING 8/21/2020		
▲	RESUBMITTED TO PLANNING 1/3/2022		
▲	REVISIONS 4/5/2022		
▲	REVISIONS 9-1-2022 (RESPONSE TO DR)		
▲	SUBMITTED FOR PERMIT 1 DEPARTMENT REVIEW 2/4/2023		

SCALE: AS NOTED

JOB NO.	2021E	SHEET	
DRAWN	TH		A6.2
CHECK	TH		
DATE	8/21/2020	OF	

DOCUMENTS SUBMITTED FOR THE HEARING ON OCTOBER 25, 2023

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
JOHN WONG,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **23-043**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on September 21, 2023, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the issuance on September 7, 2023 of a site permit (horizontal addition to the rear on three levels and a 12 foot pop-out) at 1334 12th Avenue.

APPLICATION NO. 2021/05/06/9906

FOR HEARING ON October 25, 2023

Address of Appellant(s):

Address of Other Parties:

John Wong, Appellant(s) 280 Drake Street San Francisco, CA 94112	Eric Hall and Helene Favre, Permit Holder(s) 1334 12th Avenue San Francisco, CA 94122
--	---



Date Filed: September 21, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-043

I / We, **John Wong**, hereby appeal the following departmental action: **ISSUANCE** of **Site Permit No. 2021/05/06/9906** by the **Department of Building Inspection** which was issued or became effective on: **September 7, 2023**, to: **Eric Hall and Helene Favre**, for the property located at: **1334 12th Avenue**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **October 5, 2023, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org and erichall00@yahoo.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **October 19, 2023, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, matthew.greene@sfgov.org and john_m_wong@yahoo.com.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, October 25, 2023, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant or Agent:

Signature: Via Email

Print Name: John Wong, appellant

John Wong's Reasons for Appeal: The plans for 1334 12th Ave. have an incorrect footprint of over 6" of its adjacent neighbors and do not adhere to the Residential design guidelines of maintaining light and air for 1338 12th Ave. The plans display the North side's single dining room and bathroom windows equivalent with the back of 1334 as 19'7" from the back of 1338. The length of that setback is 28' and is mirrored on the South side. That's an error of 8'5" downplaying the severity of the expansion. I brought this up to Planning prior to filing the DR! The deck at 1330 displays larger because it's measured from the base of the stairs and not the end of the deck. The walkway on the North side appears to be 5' wide but is 2'6" at most. If this project is built on the property line, 1338's window would look out at a wall 40' long including the deck and lattice on the 2nd story with a 28' stagnant tunnel 3' wide, and additional 13'+ over 1338 2nd story and 23'+ over the bathroom and 3 other windows on the ground, dramatically blocking off light and restricting air flow. The only 2 kitchen windows on the second story facing North begin at 2'9" before the back of 1334 and extend 2'4" past. The plans mislocated these windows and would create a wall 26'9" past the existing building and 13'+ over 1338. The 4'x10' lightwell on 1334's 3rd story, a story above 1338. Because 1338 faces Northward, it receives abundant light from morning to dawn. The plans will block all that light except only when the sun is directly above the lightwell for an hour or two at noon during summer! The loss of that amount of natural light is massive and will force 1338's retired senior resident to turn on lights during the day to equate the light loss. The owners of 1334 have shown us only lies, deceit, neglect, dismissive, unavailability, uncompromising, uncooperative, withholding info., forged and omitted signatures and concerns, and disregarded during this entire process. Plans were never provided after repeated requests for 1 ½ years or meet until the 311 mailing. Mr. Hall insisted the plans were wrong. Stating the expansion would not go past 11'4" from the existing building. The architect only contacted me after filing the DR and did not email the revision from his laptop at the zoom meeting with David Winslow for a week! The owners at the pre-app meeting were not prepared, no direction, no sign in sheet, no plans, no architect, did not note concerns. The addition and a deck 3' away from our back bedroom there will be noise and smoke! I was only allowed 15 seconds to speak at the Commission hearing.

Permit Details Report

Report Date: 9/21/2023 12:29:33 PM

Application Number: 202105069906
 Form Number: 3
 Address(es): 1766 / 038 / 0 1334 12TH AV
 Description: HORIZONTAL ADDITION TO THE REAR ON 3 LEVELS AND A 12' POP-OUT
 Cost: \$573,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
5/6/2021	TRIAGE	
5/6/2021	FILING	
5/6/2021	FILED	
9/7/2023	APPROVED	
9/7/2023	ISSUED	

Contact Details:

Contractor Details:

License Number: OWNER
 Name: OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description:

SITE.

Step	Station	Rev#	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Review Result	Hold Description
1	CPB		5/6/21	5/6/21			5/10/21	CHEUNG DEREK		5/10: MISSING SIGNAL APPLICATION & PLAN;
2	CP-ZOC		5/10/21	8/17/21	8/17/21	2/23/23	2/23/23	WOODS MARY		2/23/2023 APPROVAL received on 2/16/2023, 1 Review Action (DRA-797 Commission. 12/30/22 & revised plans. 12/12/22 architect on vacation. 12 architect and owner re: 1 revisions to DBI per DR DRA-797 Action Memo & Secretary. 9/29/22 CPC taken; to approve revised 8/17/21 pending review. owner and architect re: 1 materials & incomplete 1 complete review; pending
3	CP-NP		4/6/22	4/6/22	4/8/22	10/20/22	10/20/22	WOODS MARY		4/6/22: Emailed the 311 4/8/22: Mailed the 311 r expires on 5/19/22. (JL) Review (DR) application 9/29/22: DR hearing; N Commission; pending D David Winslow.
4	BLDG		2/27/23	4/27/23	4/27/23		8/8/23	HU QI (ANNE)		4/27/23: Issued comme
5	DPW-BSM		4/28/23	5/1/23			5/1/23	DENNIS RASSENDYLL		5.1.23 Approved SITE P requirement(s) for sign (Encroachment (existing Conformity (final inspec applications and plans M Download sidewalk appl http://www.sfpublishwor Your application will be necessary PUBLIC WOR completed or plan check sign off to the satellite of
5	SFFD		5/26/23	6/22/23	6/23/23		8/1/23	RHAB BOUGHN		6/23/23: not approved; via email to owner/arch; to ppc Assigned to Boug and ABoo5

6	SFFD		8/1/23	8/1/23			8/4/23	RHAB BOUGHN	Issued Comments	8/4/23: received R2 plan approved; issued outstar via email; plans with ins
7	SFFD	1	8/7/23	8/7/23			8/7/23	RHAB BOUGHN	Approved	8/7/23: recheck; hand-e ABO05 signed by officer; entered; R2 approved; n
8	SFPUC		5/2/23	5/23/23			5/23/23	IMSON GRACE		05/23/2023 - Permit ha Capacity Charge. DBI wi attached to application.
9	PERMIT-CTR		1/19/23	1/19/23			1/19/23	PERMIT CENTER USER		02/16/2023: Project rec Team and transferred to review (CP-ZOC). Applic pic@sfgov.org for furthe - 02/07/2023: Project r Team and transferred to review (CP-ZOC). Applic pic@sfgov.org for furthe 01/19/2023: Project rec Team and transferred to review (CP-ZOC). Applic pic@sfgov.org for furthe
10	DPW-BSM	1	8/8/23	8/9/23			8/9/23	CHOY CLINTON	Approved-Stipulated	ADDENDA requirement Sidewalk Encroachment Inspection Conformity (sidewalk applications an applied online. Downloa at http://www.sfpUBLICWOR Your application will be necessary BSM permits ; checker(s) could recomn satellite office via email. (clinton.choy@sfdpw.or;
11	SFPUC		8/10/23	8/11/23			8/11/23	IMSON GRACE	Approved	08/11/2023 - RESTAMF has been assessed a Cap: collect. See Invoice attac Route to PPC.
12	CP-ZOC		8/14/23	8/14/23			8/30/23	WOODS MARY	Approved	Approval by MWoods or residential child care fee with architect on 8/29/2
13	PPC		5/10/21	8/31/23			8/31/23	WAI CHUNG WONG	Administrative	8/31/23: To CPB; kw 8/ restamp; kw 8/10/23: To ZOC) for restamp; kw 8/ (then to SFPUC & CP-ZC 8/7/23: To BLDG for rev on 8/1/23; kw 8/1/23: S Boughn; kw 6/23/23: To BLDG & SFFD approval; kw 5/23/23: To hold bin approval; kw 5/2/23: To To DPW-BSM; kw 3/15/ #6. TW 2/27/23: Route to screen for review time eligibility; HP 05/10/21:
14	CPB		8/31/23	9/7/23			9/7/23	VICTORIO CHRISTOPHER	Administrative	SITE PERMIT ISSUED

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

Online Permit and Complaint Tracking home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Contact SFGov Accessibility Policies
City and County of San Francisco © 2023

PROVE
 Dept. of Building Insp.
 - San Francisco -
 SEP 07 2023

SITE PERMIT

Water: \$1033
 Wastewater: \$2910
 City Charges
 5/24/23-7/20/23
 5/24/23-7/20/23

THIS APPLICATION APPROVED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

BUILDING ENLARGEMENT DESCRIPTION VERTICAL HORIZONTAL

APPROVED FOR ISSUANCE
 M 3/8
 APPLICATION NUMBER
 OSHA APPROVAL REQ'D

APPLICATION FOR BUILDING PERMIT ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO DEPARTMENT OF BUILDING INSPECTION
 APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF BUILDING INSPECTION OF SAN FRANCISCO FOR PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS SUBMITTED HERewith AND ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE HEREINAFTER SET FORTH.

FORM 3 OTHER AGENCIES REVIEW REQUIRED
 FORM 8 OVER-THE-COUNTER ISSUANCE
 2 NUMBER OF PLAN SETS

DATE FILED 3/17/2021	FILING FEE RECEIPT NO.	(1) STREET ADDRESS OF JOB 1334 12th Ave	BLOCK & LOT 1766/038
PERMIT NO.	ISSUED SEP 07 2023	(2A) ESTIMATED COST OF JOB 400K	(2B) REVISED COST: \$573,000.00 DATE: 4/27/23

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING					
(4A) TYPE OF CONSTRUCTION Fiber Optic	(5A) NO. OF STORIES OF OCCUPANCY: 2	(6A) NO. OF BASEMENTS AND CELLARS: 0	(7A) PRESENT USE: Single Family Home	(8A) OCCUP. CLASS RH-2	(9A) NO. OF DWELLING UNITS: 1
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION					
(4) TYPE OF CONSTRUCTION Fiber Optic	(5) NO. OF STORIES OF OCCUPANCY: 2	(6) NO. OF BASEMENTS AND CELLARS: 0	(7) PROPOSED USE (LEGAL USE) Single Family Home	(8) OCCUP. CLASS RH-2	(9) NO. OF DWELLING UNITS: 1
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED? NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION? NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED? NO <input checked="" type="checkbox"/>		
(14) CONTRACTOR	ADDRESS	ZIP	PHONE	CALIF. LIC. NO.	EXPIRATION DATE
(15) OWNER - LESSEE (CROSS OUT ONE) Eric Hall	ADDRESS 1334 12th Ave.	ZIP 94122	BTRC#	PHONE (FOR CONTACT BY DEPT.) 4157060181	
(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)					
An addition to the rear on 3 levels, and a 12' pop-out					
ADDITIONAL INFORMATION					
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING? NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING? NO <input checked="" type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA	SQ. FT.	
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED? NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE? NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN) NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY? NO <input checked="" type="checkbox"/>	CALIF. CERTIFICATE NO. C26395	
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> Tim Lorenz PO Box 1896 Guerneville, CA 95446			ADDRESS		
(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")					

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.
 No portion of building or structure or scaffolding used during construction is to be closer than 6"0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.
 Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.
 Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.
 ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.
 BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.
 APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).
 THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.
 In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX
 OWNER
 LESSEE
 CONTRACTOR
 ARCHITECT
 AGENT
 ENGINEER

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

I. I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

II. I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:
 Carrier
 Policy Number

III. The cost of the work to be done is \$100 or less.

IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws

CONDITIONS AND STIPULATIONS

1334 12th Ave

REFER TO: <input type="checkbox"/>	APPROVED: <i>OH</i> Anne Hu, DBI AUG 08 2023 PLAN REVIEW SERVICES, DEPT. OF BLDG. INSP.	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <i>per Discretionary Review Action/DRA-797 and revised plans for a three-story read addition</i> CATEGORICALLY EXEMPT FROM ENVIRONMENTAL REVIEW CLASS <u>one</u> MARY WOODS / MW 2/23/2023 DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <i>REVIEWED BY FIRE DEPT. FIRE DEPT. INSPECTIONS NOT REQUIRED</i> SAN FRANCISCO FIRE DEPARTMENT AUG 07 2023	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: N/A MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: N/A CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (628) 271-2000 TO SCHEDULE DEPT. OF PUBLIC WORKS Clinton Choy, PW-BSM Rassendyll Dennis, PW-BSM AUG - 9 2023	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: SFPUC Capacity Charges See attached SFPUC Capacity Charge Invoice for total amount due. DBI will collect charges. PUBLIC UTILITIES COMMISSION MAY 01 2023 Grace Timson	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: N/A DEPT. OF PUBLIC HEALTH / OCII (CROSS ONE OUT)	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: N/A HOUSING INSPECTION DIVISION, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

APPELLANT'S BRIEF WAS REJECTED FOR BEING UNTIMELY

BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

Brief Eric Hall

My name is Eric Hall. Helene Favre, my wife and I live with our two kids at 1334 12th Ave. We moved into our house in 2019. While there is 3 bedroom and 1 bath upstairs, we realized that the upstairs kids' rooms are shoebox size rooms with pitched ceiling such that it is impossible to have a dresser, desk and bed in each of the rooms. In addition, the bathroom is so small that only one person can be in the bathroom at the same time. After settling in, we came to conclusion that the bedrooms and bathroom were too small to raise a family and live comfortably. It was importantly to me that we have 3 bedrooms, two baths and an office upstairs. This house was built in 1901 and the footprint had not been extended. It might be the smallest house on the block. Tim Lorenz, my architect, provided plans that met my requirements upstairs as well as expansion on the main floor and garage level that follow all San Francisco planning code and architecture design principals. These are modest expansion where I have extended the main floor less than 45% max limit. In comparison, Nancy and John whose home starts on the property line in the front and has an extension to the 45% max limit. They have been able to enjoy full expansion of their house, which cast shadows across my garden and house, yet they continue to slow down my permit process by two years, hoping that I will give up.

While I have an opportunity, I would like to mention a point about Mark Benjamin, a friend of John Wong, who was an active participant at the Planning Commission DR. Mark has been verbally abusive, using profanity and offensive remarks in front my house and in front of my kids. This is unacceptable behavior hence I would like it to be documented. I wasn't the only one to receive derogatory comments, but also David Winslow, SF Planning Department, had a similar incident in the hallway during the first hearing at the Discretionary Review with the Planning Department. Please follow up with David Winslow for additional comment.

I worked with Mary Woods from the planning department to ensure that I was following all architecture and planning requirements of San Francisco. David Wislow was our negotiator, who setup meetings with my neighbors. During these meetings, I compromised and offered to add a very large light well (10ft by 4ft) on the second floor, given that their first floor sits higher than mine. In addition, I reduced my first floor by 2'-6" and the second floor by 1'-0" foot from the 45%

max limit. These are substantial accommodations that I thought my neighbors would appreciate as I made a genuine effort to remedy their concerns. John and Nancy didn't think that this was adequate and refused to agree. David Wislow thoughts are:

“The Planning Department’s review confirms support of this proposal as it conforms to the Residential Design Guidelines and Planning Code. The project sponsor has modified the original design (see plans dated 9.1.22) by incorporating a lightwell immediately adjacent to the windows on the neighbor’s side setback to provide adequate light; reducing the extension of first floor by 2’-6” and the second floor by 1’-0” ; and incorporating a lattice privacy screen at the side of the second-floor deck. Because the second-floor deck is screened, has a 2’ deep storage cabinet / counter, and extends only a few feet beyond the rear wall of the neighbor and is separated by a 3’ setback on the DR requestors’ side, the sight lines from the proposed deck do not impose undue privacy concerns and therefore do not warrant additional setback. Therefore, staff deems there are no exceptional and extraordinary circumstances and recommends not taking Discretionary Review and approving.”

During the discretionary review, the planning commission UNANIMOUSLY agreed to take no action. I also worked with Mary Woods to ensure that my planning documents match exactly my Site plan documents. There are no variances or any changes from my planning documents that was approved at the DR and my Site plan documents. The reality is that John and Nancy have no interest that I make any addition to my house so there's no plan that would satisfy their requirement. Therefore, I recommend rejecting this appeal so that I can move forward on my addition and hopefully enjoy a comfortable home with my family.

Thank you.

Eric Hall & Helene Favre

Shows view from my backyard facing my neighbor's addition on the back.



In front of my house viewing South



EGRE REQ'D

EGRESS WINDOW REQUIREMENTS

- THE BOTTOM OF OPENING SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.
- THE NET CLEAR OPENING HEIGHT OF 24" AND WIDTH OF 20"
- MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET.

NOTE:
IN ORDER TO MEET THE MIN CLEAR OPENING OF 5.7 SQ FT, EITHER THE WIDTH HEIGHT, OR BOTH NEED TO EXCEED THINER DIMENSIONS

REQ'D AIR / LIGHT CALCS

LIGHT TABLE SPACE	SQUARE FOOTAGE	IN LIGHT REQ'D	PROVIDED	IN VENTILATION REQ'D	PROVIDED
FIRST FLOOR	250 SF	30 SF	48 SF	10 SF	28 SF
SECOND FLOOR	250 SF	11 SF	40 SF	10 SF	30 SF
ROOF	18 SF	10 SF	24 SF	8 SF	11 SF



SCOPE OF WORK

- TO BE DESIGN & DRAW A GARAGE LEVEL 1.1 LEVEL OF LIVING, (LOCAL DESIGN) IN THE CITY OF SAN FRANCISCO, THE FOLLOWING ARE PROVIDED:
- AN ALIGNED 2" OF POP-OUT PER CODE 54
- A WORKING EXTENSION OF THE UPPER TWO LIVING FLOOR, WITH THE ALLOWED BUILDING AREA PER 5.1
- THE EXISTING REAR AT THE FRONT ELEVATION, 8 PARTIAL FOR A CORNER OF 6"
- THE PROPOSED ADDITION IS A SLAT ROOF AND NOT BEEN FROM 12TH AVE. THE NEW ROOF IS 7' 2" HIGHER THAN THE EXISTING ROOF.
- IF ANY APPLICABLE SCHEDULES ALTERS THE FRONT OF THE HOUSE IN TWO LOCATIONS:
 - REPLACE THE 2ND FLOOR VENTILATION SLAT UNDER THE NEW ROOF SHOULD TO MATCH THE EXISTING ROOF AT 12TH AVE.
 - REPLACE THE EXISTING PLASTER AND ADD A SERVICE DOOR BELOW THE EXISTING FRONT STAIRS AND REAR ROOF TO 12TH. REPAIRS PLASTER AND ADD FOR CITY REQUIREMENTS.

TIM LORENZ ARCHITECT

PO BOX 876
GARDENVILLE, CA 95144
415.944.0271 CA LIC # 32316
ARCHITECT.TIMLORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC I HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1744/038
PLC PERMIT NO : 20230000043
PLANNING RECORD NO : 222-091029P2

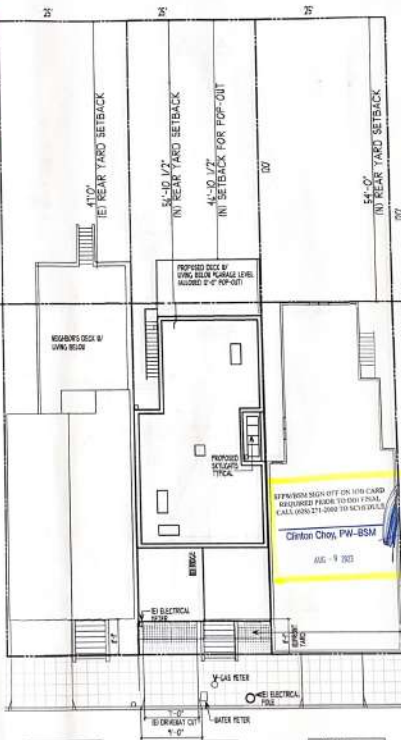
PROPERTY INFORMATION

ZONING: RES-1 (RESIDENTIAL SINGLE-FAMILY)
DISTRICT: H (NEIGHBORHOOD)
FLOOR HEIGHT: 40'-0"
TYPE: 1.5 CONSTRUCTION
PARCEL AREA: 2,800 SQ. FT.
UNITS: 1
EXISTING: 1
EXISTING RESIDENCE IS STORED: 2 FOR GARAGE

DRAWING INDEX

COVER SHEET, PROJECT INFO & SITE PLAN

NO.	DESCRIPTION	STATUS
01	COVER SHEET, PROJECT INFO & SITE PLAN	REMOVED
02	FOUNDATION PLAN	REMOVED
03	FIRST FLOOR PLAN	REMOVED
04	SECOND FLOOR PLAN	REMOVED
05	ROOF PLAN	REMOVED
06	SECTION	REMOVED
07	SECTION	REMOVED
08	SECTION	REMOVED
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GOOGLE EARTH SITE



PROPOSED SITE PLAN

APPROVED
MARTIN LORENZ ARCHITECT
PLANNING DEPARTMENT
8/15/2023

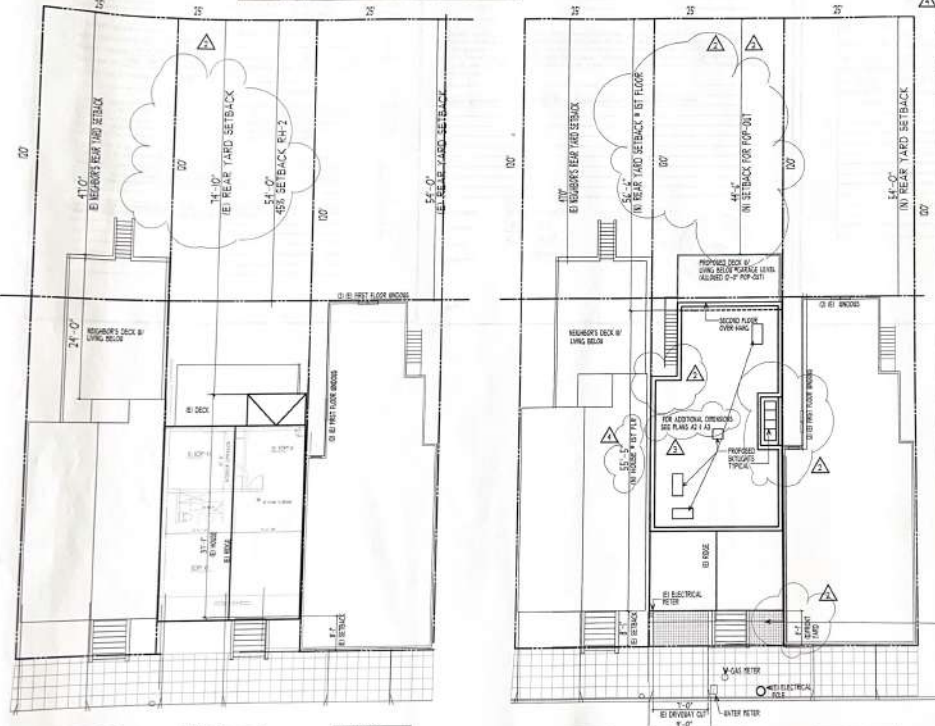
RECEIVED
AUG 09 2023

REVISIONS

NO.	DESCRIPTION	DATE	DRAWN
1	REVISION FOR PLANNING 8/2/2023	8/2/2023	
2	REVISION FOR PLANNING 8/3/2023	8/3/2023	
3	REVISION 8/9/2023	8/9/2023	
4	REVISION 8/23/2023 RESPONSE TO DRG	8/23/2023	
5	REVISION FOR PERMIT & DEPARTMENT REVIEW 8/23/2023	8/23/2023	
6	PER DEPARTMENT PLAN CHECK 8/28/2023	8/28/2023	

JOB NO. 1334 SHEET
DRAIN 16 SHEET
CHECK 16 SHEET
DATE 8/28/2023 OF 16

2023 08 28 09 06 51 R2
 2023 08 28 09 06 51 R2



PROPOSED SITE PLAN

SCOPE OF WORK
 TO AN EXISTING 1 STORY 1 GARAGE LEVEL 1 LEVEL UP LIVABLE SPACE INCLUDING BUT NOT LIMITED TO THE FOLLOWING ARE PROPOSED:
 1. AN ALIGNED 2" POP-OUT FOR CEILING ON THE GARAGE - GRASS FLOOR SEE OF PLANNING, L.A. 8.10.1 SECTION 8.4
 2. A HORIZONTAL EXTENSION OF THE UPPER TWO LIVING FLOORS WITH THE ADJACENT BUILDING AREA PER FIG. 1
 3. THE EXISTING ROOF AT THE FRONT ELEVATION IS SHARPER FOR A SLOPE OF 6:12.
 THE PROPOSED ADDITION IS A FLAT ROOF AND NOT BEEN FROM 6TH AVE. THE ROOF IS 2' SHORTER THAN THE EXISTING ROOF.
 4. THE APPLICATION SUBMITTED ALIGNS THE FRONT OF THE HOUSE IN TWO LOCATIONS:
 A) BEHIND THE 2ND STORY RETAIL SLIPPER BRICK BY THE NEW WOOD WINDOWS TO MATCH THE EXISTING HOUSE AT 6TH AVE.
 B) REMOVE THE EXISTING PLANTER AND ADD A SERVICE DOOR BELOW THE EXISTING FRONT STAIRS NOT BEHIND FRONT YARD PERVIOUS PARKING ARE USED FOR CITY'S REQUIREMENTS.

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 01 COVER SHEET, PROJECT INFO & SITE PLAN
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 03 FLOOR PLAN
 04 EXTERIOR ELEVATIONS
 05 INTERIOR ELEVATIONS
 06 SECTION DRAWINGS
 07 ROOF PLAN
 08 LIGHTING PLAN
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 10 ELECTRICAL PLAN
 11 PLUMBING PLAN
 12 FIRE SAFETY PLAN
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 935 MECHANICAL DETAILS
 936 ELECTRICAL DETAILS
 937 PLUMBING DETAILS
 938 FIRE SAFETY DETAILS
 939 LANDSCAPE DETAILS
 940 SIGNAGE DETAILS
 941 TRAFFIC IMPACT STATEMENT
 942 ENERGY EFFICIENCY DETAILS
 943 COST ESTIMATE
 944 CONSTRUCTION SPECIFICATIONS
 945 SCHEDULE OF WORK
 946 OWNER'S MANUAL
 947 ARCHITECTURAL DETAILS
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 980 FIRE SAFETY DETAILS
 981 LANDSCAPE DETAILS
 982 SIGNAGE DETAILS
 983 TRAFFIC IMPACT STATEMENT
 984 ENERGY EFFICIENCY DETAILS

ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
49 South Van Ness Ave. 5th Floor, San Francisco, California 94103
REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION
OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION
(DATE SUBMITTED: May 26, 2023)

(Note: This form shall be received on site of the
permitted construction activity of the property)

If no permit applications has been filed, a Prequalification Review Fee is required for review of a project for local
equivalency or modification, per SIBC Table 1A-A, Item 2. Additional fees may be required by the Department and
other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2021-0506-9906

Property Address: 1334 12th Avenue Occupancy Group: R3 Type of Construction: NR No. of Stories: 3

Block and Lot: 1796-008

Describe the Use of Building: Single Family Residence

Under the authority of the San Francisco Building Code, Sections 104A.2.7 and 104A.2.8, the San Francisco Mechanical
Code, Sections 102.2; the San Francisco Electrical Code, Section 89.117; and the San Francisco Plumbing Code, Section
301.3, the undersigned requests modification of the provisions of these codes and approval of alternate materials,
designs or methods of construction. Two copies of supporting documents, including plans showing the proposed
modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirements (specify Code and Section):

Emergency Escape and Rescue Openings (BERCO) INTO A YARD w/ R-3 Occupancies

Emergency Escape and Rescue Openings (BERCO) INTO A YARD w/ R-3 Occupancies

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Emergency Escape and Rescue Openings (BERCO) INTO A YARD w/ R-3 Occupancies

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Emergency Escape and Rescue Openings (BERCO) INTO A YARD w/ R-3 Occupancies

Personal Modification or Alternate
Materials, Design or Methods of Construction
To be used in lieu of the provisions of the Building Code
for the purpose of the project described above.
To be used in lieu of the provisions of the Building Code
for the purpose of the project described above.

Clear to Code Means of Egress - Describe the practical difficulties presented in meeting the specific conditions of the
code and how the proposed modification or alternate materials or methods of construction will address these conditions.
Provide a clear explanation of the proposed modification or alternate materials or methods of construction and how it will
provide an equivalent level of safety to the code. Attach copies of any calculations or other supporting documents to
support your application. Do not expect this request to be reviewed in isolation from the Department for
construction.

The number indicated is shown all in the public way, 20% of clear glass to the street

Requested by: PROJECT NUMBER
Name: Emil J. Hall
Signature: Emil J. Hall
Telephone: 415-706-0181

ARCHITECT'S SIGNATURE
TIMOTHY W. LEVING
415-884-0017



RECEIVED
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BY: [Signature]
TITLE: [Signature]
DEPARTMENT: [Signature]
REMARKS: [Signature]



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1000 CALIFORNIA ST. SUITE 1000
SAN FRANCISCO, CA 94109
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WWW.TIMLORENZ.COM

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REMARKS: [Signature]

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TITLE: [Signature]
DEPARTMENT: [Signature]
REMARKS: [Signature]



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 916.744.0101 CA LIC # 3088
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AN ADDITION TO THE
ERIC & HELENE WALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK./LOT : 1144/038
 BLDG. PERMIT NO : 20200201003
 PLANNING RECORD NO : 2001-00008PR2

- KEYNOTES**
- 1 ALL WALLS INCLUDE STAIR, DOORS AND ROOF AREA DAMAGED ARE TO BE DEMO
 - 2 FRONT PLASTER OVER SILL TO BE DEMO FOR A NEW ENTRANCE TO HOUSE. KEEP EX BRICK AND USE IN NEW WALL
 - 3 DEMO ALL CONCRETE SLABS CAP ALL AND SET NEW SPINAL WATER LINES. SET NEW 2" X 4" JOIST
 - 4 EX ELECTRICAL PANELS TO BE DEMO PROVIDE 2 NEW CAR CHARGING STATIONS PER OWNER
 - 5 SEE STRUCTURAL DRAWING FOR FOUNDATION DETAILS
 - 6 PATCH & REPAIR EX 1 HOUR GALLS AT PROPERTY LINE

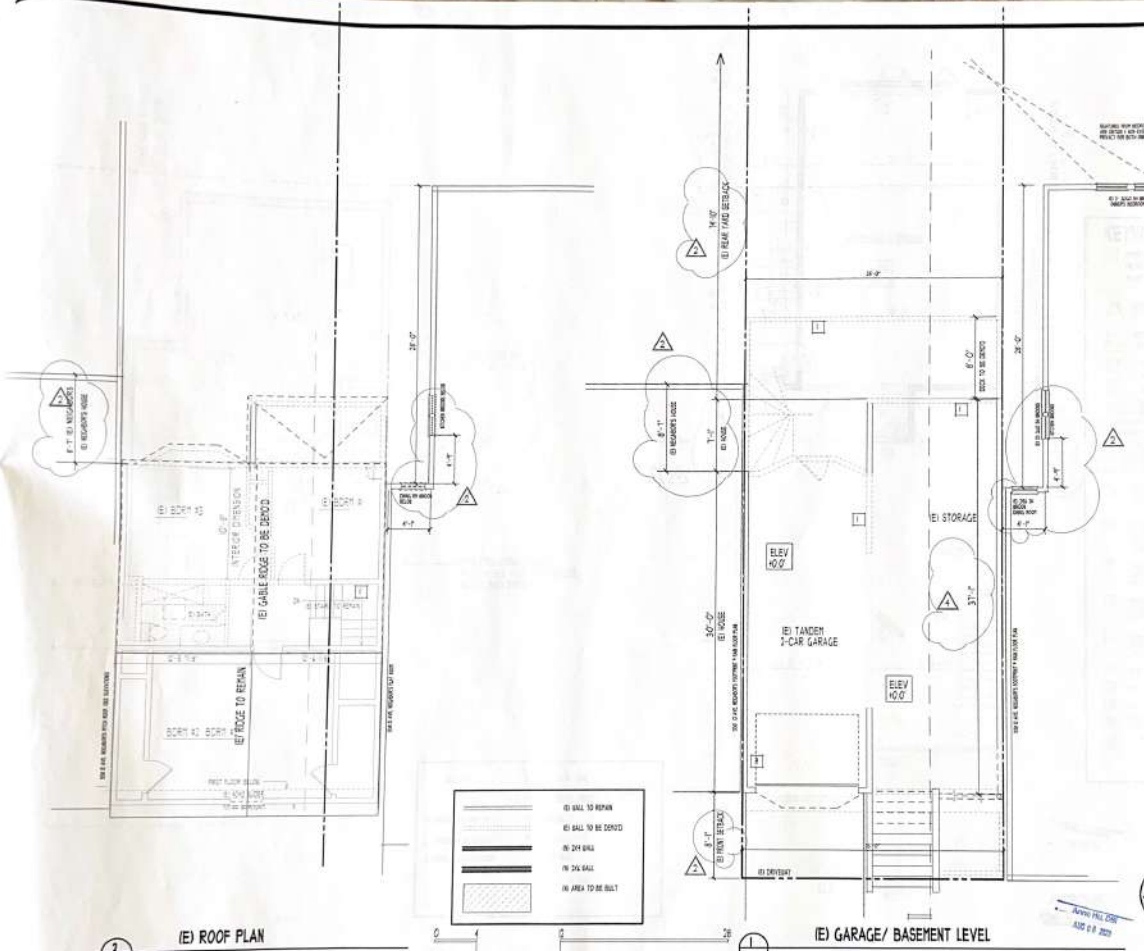
APPROVED
 SEP 27 2023
 City of Building Dept
 DEPT. OF PLANNING & DEVELOPMENT

Prints brought: SFFD
 AUG 27 2023
RECEIVED
 AUG 21 2023
 DEPT. OF PLANNING & DEVELOPMENT

DESCRIPTION	DATE	DRAWN
REVISIONS		
1. SUBMITTED FOR PLANNING 8/23/2023		
2. SUBMITTED TO PLANNING 1/9/2022		
3. REVISIONS 1/8/2022		
4. REVISIONS 1/8/2022		
5. REVISIONS 1/8/2022		
6. SUBMITTED FOR PERMIT 1 DEPARTMENT REVIEW 2-11-2022		

SCALE: AS NOTED

JOB NO.	2023	SHEET
DRAWN	ML	A2(E)
CHECK	ML	OF
DATE	09/27/2023	



(---) WALL TO REMAIN	(---) WALL TO BE DEMO
(---) NEW WALL	(---) NEW WALL
(---) NEW WALL	(---) NEW WALL
(---) AREA TO BE BILT	



APPROVED
 AUG 28 2023



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RE 946.0111 CA LIC # 2336
ARCHITECT TIM.LORENZ@GMAIL.COM

AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1744/038
BLDG PERMIT NO : 20103020408
PLANNING RECORD NO : 2010-05023094

KEYNOTES

- 1) REMOVE DRY PLASTER. PROVIDE NEW FLOUNDER TO EXISTING AS PREVIOUS SERVICES & FINISH AS NOTED PER CITY'S STANDARDS
- 2) REMOVE EXISTING WALLS TO REMAIN EXPOSED CONCRETE
- 3) NEW 2" OF EPS-OC WITH GIBBER STOP AND AREA DRAIN 800 STOPS @ TO NATURAL GRADE
- 4) NEW 1/2" RIGID FOAM WITH 1/2" FIBER GLASS INSULATION BENEATH
- 5) NEW 1/2" RIGID FOAM WITH 1/2" FIBER GLASS INSULATION BENEATH
- 6) NEW 1/2" RIGID FOAM WITH 1/2" FIBER GLASS INSULATION BENEATH
- 7) PROVIDE AN AREA DRAIN ALONG THE EXISTING FOUNDATION AND TRENCH DRAIN AS SHOWN. COLLECT AND CONVEY WITH ROOF DRAIN TO APPROPRIATE A APPROVED DRAINAGE SYSTEM, ET AL.
- 8) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 9) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 10) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 11) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 12) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 13) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 14) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 15) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 16) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 17) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 18) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 19) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.
- 20) PROVIDE A FLAT SURFACE 3'-0" DEEP AND AS SIDE OF DOOR AT EXTERIOR LANDING.



SEP 17 2023
CITY OF SAN FRANCISCO
DEPT OF BUILDINGS & SAFETY

RECEIVED
AUG 17 2023

[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	EXISTING WALL TO BE DEMOLISHED
[Symbol]	NEW 2x4 WALL
[Symbol]	NEW 2x6 WALL
[Symbol]	NEW 1 HOUR WALL
[Symbol]	NEW AREA TO BE BUILT

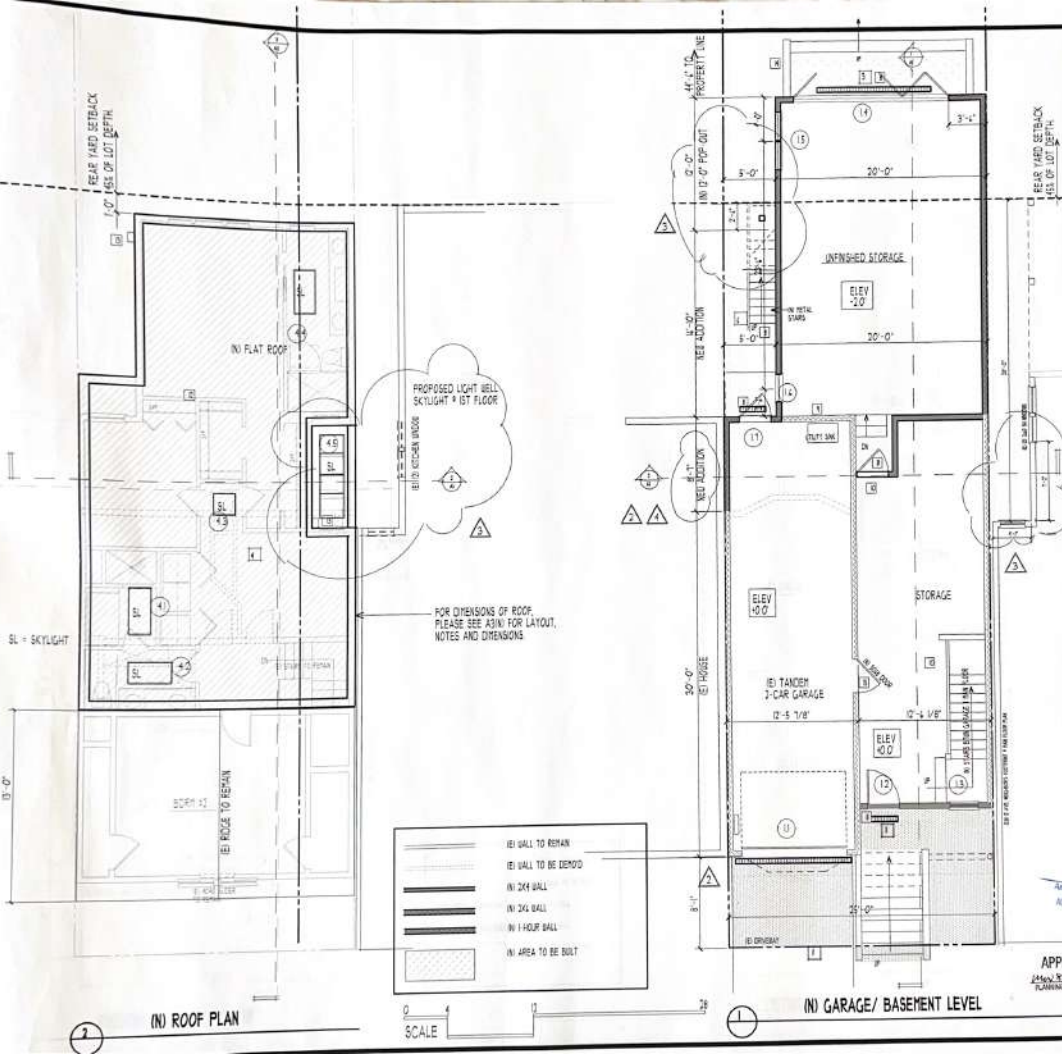
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REVISIONS		
1. SUBMITTED FOR PLANNING 8/21/2023		
2. SUBMITTED FOR PLANNING 10/10/2023		
3. REVISIONS 11/02/2023		
4. REVISIONS 11/02/2023		
5. SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 11/10/2023		



(N) ROOF PLAN

(N) GARAGE/ BASEMENT LEVEL

JOB NO. 2023-010
SHEET A2(N)
CHECKED BY
DATE 8/17/23



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AN ADDITION TO THE
ERIC I HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK./LOT : 1744/038
 BLDG PERMIT NO. 320200170145
 PLANNING RECORDED NO. 200-00028794

KEYNOTES

- 1. ALL WALL, CLOSET AND BATH FIXTURES, DECK SHOWN DAMAGED TO BE DEMO'D
- 2. (E) FRONT ENTRY PORCH AND STAIRS TO REPAIR
- 3. NO FLOOR REDUCED 1" UNLESS TO REPAIR ATTACHED BY REPAIRER.

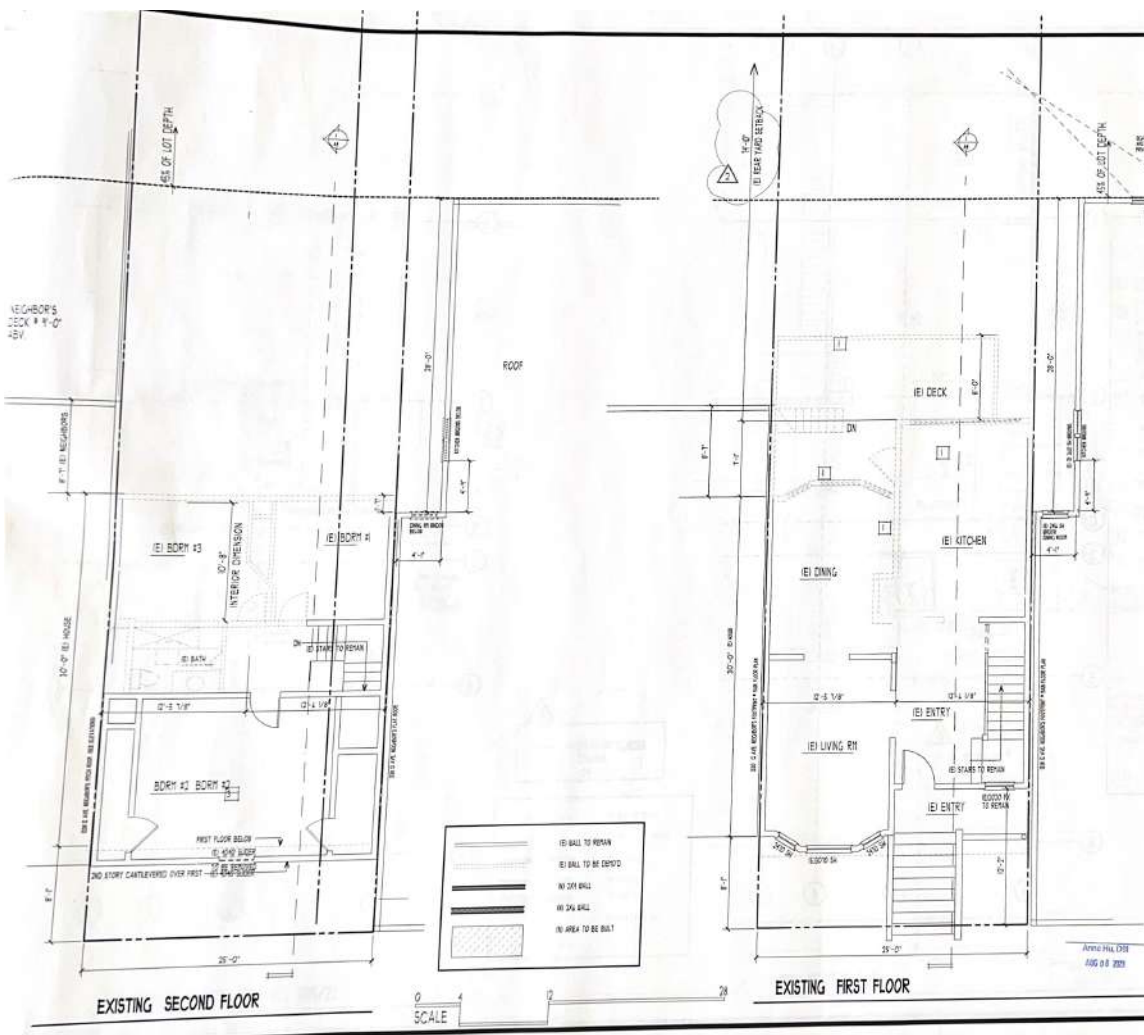
APPROVED
 SEP 07 2023
 City of San Francisco
 DEPT OF BUILDING INSPECTION

Erin Brough, SFPD
 AUG 07 2023

RECEIVED
 AUG 07 2023
 DEPT OF BUILDING INSPECTION

DESCRIPTION	DATE	DRAWN
REVISIONS		
1. SUBMITTED FOR PLANNING 8/2/2023		
2. REVISIONS FOR PLANNING 8/2/2023		
3. REVISIONS 8/9/2023		
4. REVISIONS 8/23/2023 RESPONSE TO DRI		
5. SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 8/23/2023		
6. REVISIONS 8/23/2023		

JOB NO. 23088 SHEET
 DRAWN BY: [Signature] OF A3(E)
 CHECK BY: [Signature]
 DATE 8/23/2023



- (E) WALL TO REMAIN
- (E) WALL TO BE DEMO'D
- (N) 2X4 BRK
- (N) 2X6 BRK
- (N) AREA TO BE BALT

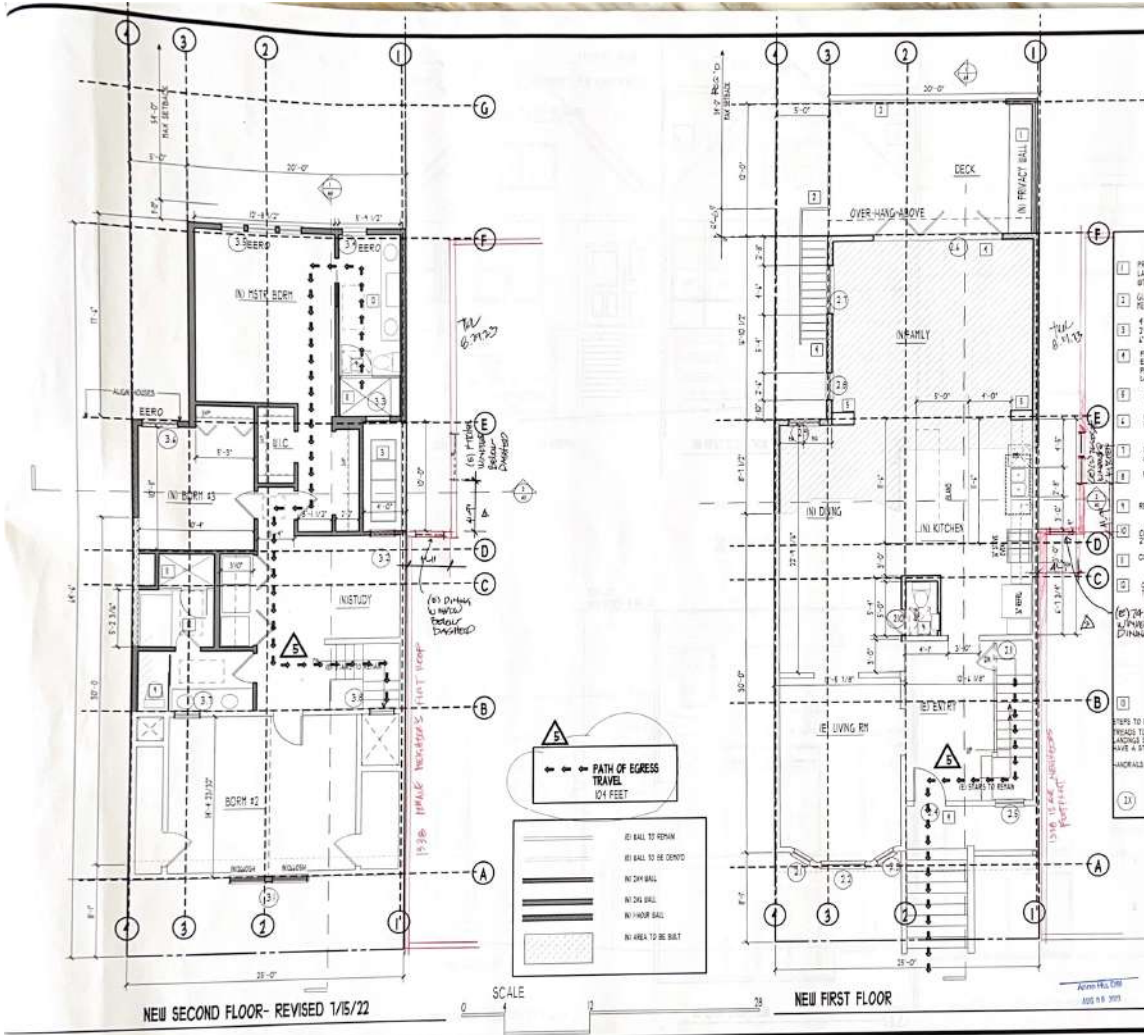


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 45.944.071 CA LIC # 20319
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AN ADDITION TO THE
 ERIC & HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK/LOT 1144/038
 SECC PERMIT NO. 2005054908
 PLANNING RECORD NO. 353-00620894

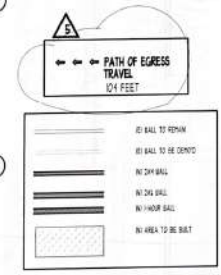
- KEYNOTES**
- 1 PROPOSED PRIVATE WALL SOLID BALL UP TO 4" ABOVE DECK LATTICE OR TO 1" OF ABOVE DECK. CENTER TOP 3" OF WITH STORAGE CABINET'S BELEG.
 - 2 GLASS 4 METAL SUPPORTS 4" HIGHER DECK. METAL STAIRS TO GRAB ON TRACK.
 - 3 4" OF 8" X 8" LIGHT BELL 2 SECOND FLOOR 1/2" 2" BARNETT AND AREA DRAIN.
 - 4 PROVIDE NO MORE THAN 1/2" DROP HIGH RISE TO EXTERIOR AT EXTERIOR DOOR. PROVIDE 4 PLAT SURFACE 1/2" OF DEEP AND AS WIDE OF DOOR AT EXTERIOR LANDING.
 - 5 SEE STRUCTURAL FOR STEEL FRAME LOCATION ETC.
 - 6 BASKET 4 DRYER BY CABINET. PROVIDE PAN UNDER BASKET 4 DRAIN TO WASTE SYSTEM. PROVIDE 4 SMOOTH DRYER DUCT TO ROOF.
 - 7 SEE KITCHEN DESIGNER FOR CABINET AND APPLIANCE LAYOUT. CONTRACTOR TO VERIFY 4 OWNER.
 - 8 PROVIDE 1-HOUR CONSTRUCTION FOR STAIR WALLS 4 CEILING.
 - 9 REQUIRED 34" X 30" CLEARANCE IN FRONT OF TOILET AREA. SHOWN DASHED.
 - 10 CONTRACTOR OWNER TO VERIFY IF ANY BATHROOM FLOOR TO BE THICK SET 2" BENEATH FLOOR.
 - 11 CONDO SHOWER/STEAM ENCLOSED BY TEMPERED GLASS BALL 4 DOOR SHOWER TO HAVE LINEAR DRAIN.
 - 12 CONTRACTOR TO VERIFY WITH OWNER LOCATION OF BATHROOM FLOOR RADIANT TUBES. THERMOSTAT OR EQUAL. SEE 12/18/2012 PERMITS. 800-304-9007.
 - 13 12" X 12" X 8' TITANUM 4 DYNAMIC DYNAMIC.
 - 14 SEE WINDOW 4 DOOR SCHEDULE ON SHEET A-K.

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NEW SECOND FLOOR - REVISED 1/15/22

NEW FIRST FLOOR



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41	11/15/22	T.L.
42	11/15/22	T.L.
43	11/15/22	T.L.
44	11/15/22	T.L.
45	11/15/22	T.L.
46	11/15/22	T.L.
47	11/15/22	T.L.
48	11/15/22	T.L.
49	11/15/22	T.L.
50	11/15/22	T.L.

JOB NO. 2022 SHEET
 DRAWN BY T.L. 11/15/22
 CHECK BY T.L.
 DATE 11/15/22



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AN ADDITION TO THE
ERIC & HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK/LOT : 1744/038
 BLDG PERMIT NO : 202005049045
 PLANNING RECORD NO : 2021-006039PRJ

KEYNOTES

- 1 (E) STUCCO EXTERIOR 3-STORY NEIGHOR. FLAT ROOF
- 2 (E) 3 STORY WOOD EXTERIOR NEIGHOR. HOUSE HAS SIMILAR FORM AND SLIGHTLY DIFFERENT DETAILS.
- 3 NEW METAL 4 GLASS RAILING AT NEW DECK * 4"2
- 4 NEW 12" 2400 OH WOOD WINDOWS IN FRONT ELEVATION
- 5 NEW WALKWAY TO DOOR TO GARAGE (NOT SEEN BEHIND GARAGE)
- 6 NEW 5'-0" 1-HOR BALL AT DECK 4 PROPERTY LINE. SOLID PRIVACY BALL.
- 7 (E) LATTICE FENCE BTWN NORTH NEIGHOR.
- 8 NEW METAL STAIRS FROM DECK TO (E) GRADE (SHOWN DASHED)



00 WEST ELEVATION (12)



00 EAST ELEVATION (12)

APPROVED
 City of San Francisco
 SEP 07 2023
 Planning Department

RECEIVED
 AUG 01 2023
 PLANNING DEPARTMENT

DESCRIPTION	DATE	DRAWN
REVISIONS		
△ SUBMITTED FOR PLANNING 8/10/2023		
△ REVISITED TO PLANNING 9/10/2023		
△ REVISION 4/10/2023		
△ REVISION 4/10/2023 RESPONSE TO DM		
△ SUBMITTED FOR PERMIT & DEPARTMENT REVIEW 8/14/2023		

SCALE AS NOTED

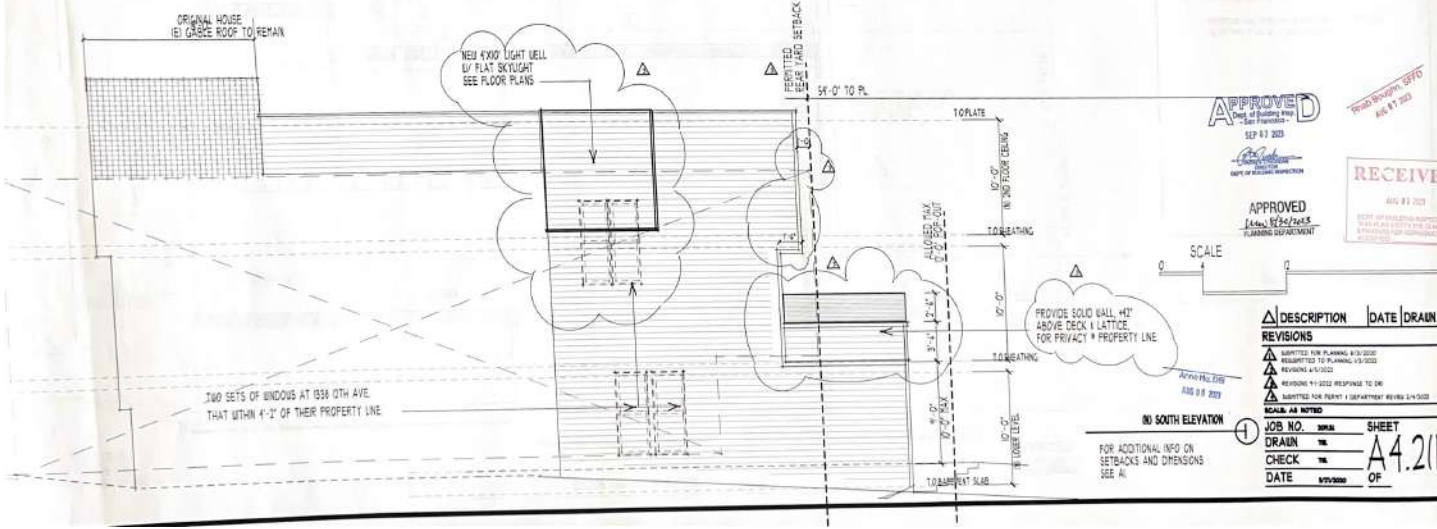
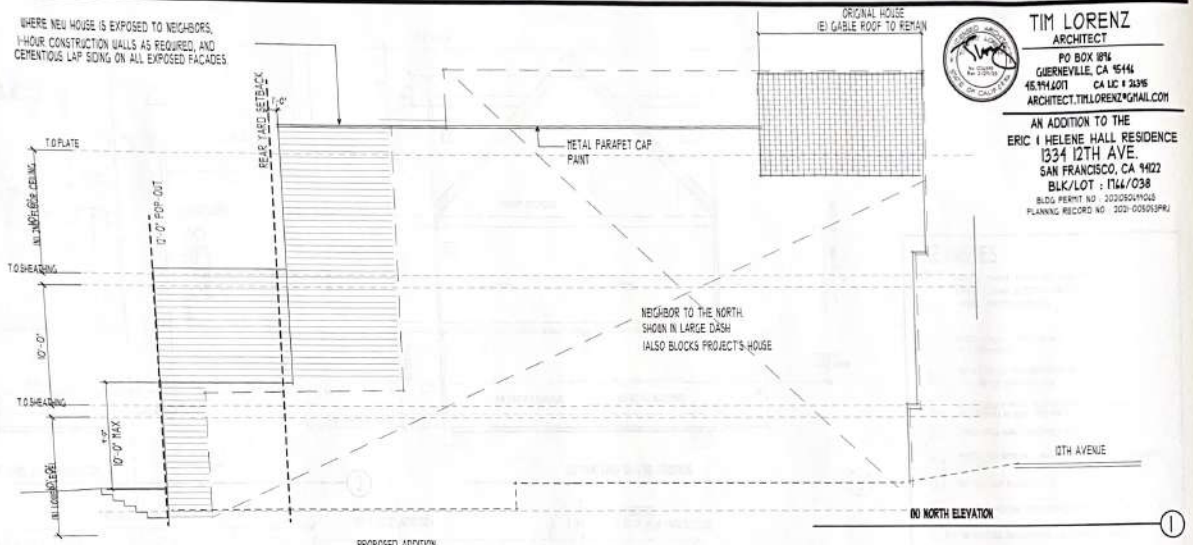
JOB NO.	3094	SHEET	A4.1(N)
DRAWN	TL	DATE	8/29/2023
CHECK	TL		
DATE	8/29/2023		

WHERE NEW HOUSE IS EXPOSED TO NEIGHBORS,
1-HOUR CONSTRUCTION WALLS AS REQUIRED, AND
CEMENTIOUS LAP SIDING ON ALL EXPOSED FACADES



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AN ADDITION TO THE
ERIC I HELENE HALL RESIDENCE
1334 12TH AVE.
SAN FRANCISCO, CA 94122
BLK/LOT : 1144/038
BLDG PERMIT NO: 20202541968
PLANNING RECORD NO: 202-00503PR2

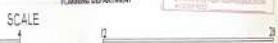


APPROVED
City of San Francisco
SEP 11 2023
DEPT OF BUILDING INSPECTION

Permit Duration: 90 DAYS
AUG 11 2023

RECEIVED
AUG 11 2023
DEPT OF BUILDING INSPECTION
CITY OF SAN FRANCISCO
1500 MARKET STREET, SUITE 400
SAN FRANCISCO, CA 94102

APPROVED
City of San Francisco
AUG 9 2023
PLANNING DEPARTMENT



DESCRIPTION	DATE	DRAWN
REVISIONS		
APPROVED FOR PLANNING #10/2022		
REMITTED TO PLANNING #10/2022		
REVISION #10/2022		
REVISION #1-2023 RESPONSE TO DM		
APPROVED FOR PERMIT / DEPARTMENT REVIEW 6/15/2023		

SCALE AS NOTED

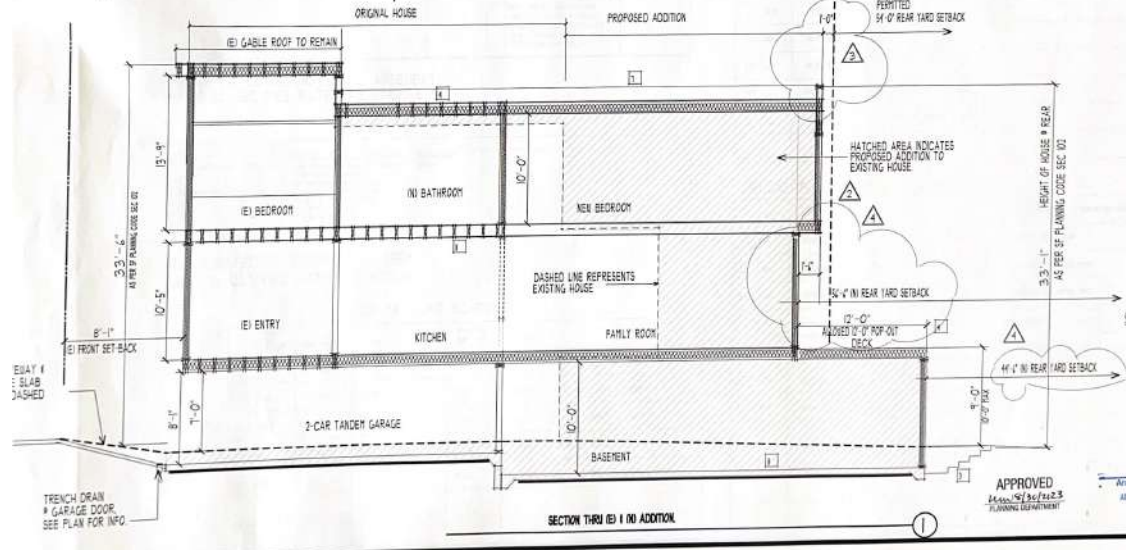
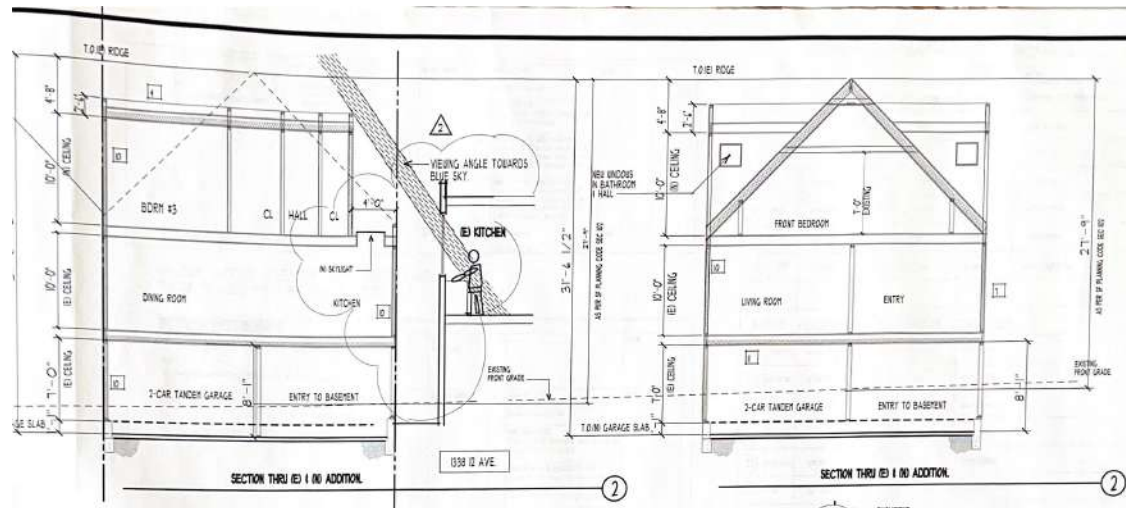
JOB NO.	30018	SHEET	
DRAWN BY	TL	CHECK BY	A4.2(N)
DATE	8/11/2023	OF	

NO SOUTH ELEVATION
FOR ADDITIONAL INFO ON
SETBACKS AND DIMENSIONS
SEE A1



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AN ADDITION TO THE
 ERIC I HELENE HALL RESIDENCE
 1234 12TH AVE
 SAN FRANCISCO, CA 94122
 BLK/LOT : P44/038
 BLDG PERMIT NO : 200205041045
 PLANNING RECORD NO : 2021-00053PRU



- KEYNOTES**
- 1 REMOVE EX. PLASTER. PROVIDE NEW PATH ENTRY TO BASEMENT & GARAGE. USE PERIODIC SERVICE & FRONT AS RULED. PER CITY STANDARDS
 - 2 EX. ENTRY PUNCH & STOPS TO REMAIN. NO CHANGES PLANNED
 - 3 NEW 12" W/ POP-OUT WITH SHOWN STEEP AND AREA DRAIN WOOD STOPS UP TO NATURAL GRADE
 - 4 NEW FLAT BUILD-UP ROOFING WITH PARAPET GABLES AT PROPERTY LINES. SKETCHED AS SHOWN. PREP FOR SOLAR PANELS
 - 5 EXISTING GRADE SHOWN DASHED FOR CLARITY.
 - 6 PROVIDE ONE HOUR RATED GABLES AND CEILING BETWEEN GARAGE & RESIDENTIAL LIVING AREA
 - 7 SEE TITLE 24 FOR INSULATION VALUES
 - 8 PROVIDE #4 W/ HIGH-QUALITY UNDER SLAB FOR FUTURE LIVING
 - 9 SEE STRUCTURAL DRAWINGS DETAILS FOR NEW SLAB & FOUNDATION
 - 10 FOR ONE HOUR DETAILS SEE A4)
 - 11 PROVIDE ONE HOUR SEPARATION BETWEEN GARAGE AND THE HOUSE. USE 5/8" TYPE 'X' GIP 80 AT GABLES AND CEILING

APPROVED
 SEP 17 2021
 CITY OF SAN FRANCISCO
 DEPT. OF PUBLIC WORKS

RECEIVED
 AUG 18 2021
 DEPT. OF BUILDINGS & INSPECTION
 2021-00053PRU

REVISIONS	DESCRIPTION	DATE	DRAWN
1	ADMITTED FOR PLANNING A/D 2020		
2	ADMITTED TO PLANNING 10/2020		
3	REVISED 4/10/2021		
4	REVISED 7/10/2021 RESPONSE TO DR		
5	ADMITTED FOR PERMIT / COMMITMENT REVIEW 8/10/2021		

APPROVED
 AUG 18 2021
 PLANNING DEPARTMENT

JOB NO.	2021	SHEET	
DRAWN	ML	OF	A5.1
CHECK	ML		
DATE	8/18/2021		

NO.	DESCRIPTION	UL OR EBC	UL OR EBC NO.	UL OR EBC TYPE	UL OR EBC CLASS
10	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	2014	1	A-00
11	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	2014	1	A-00
12	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	2014	1	A-00
13	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	2014	1	A-00
14	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	2014	1	A-00
15	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	2014	1	A-00

1-HOUR RATED INTERIOR PARTITION-LOAD BEARING
PAGE 18, USG FIRE RATED ASSEMBLIES

NO.	DESCRIPTION	UL OR EBC	UL OR EBC NO.	UL OR EBC TYPE	UL OR EBC CLASS
16	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	10-27-66	1	A-00
17	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	1014	1	A-00
18	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	1014	1	A-00
19	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	1014	1	A-00
20	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	1014	1	A-00

1-HOUR RATED FLOOR/CEILING ASSEMBLY
PAGE 36, USG FIRE RATED ASSEMBLIES

NO.	DESCRIPTION	UL OR EBC	UL OR EBC NO.	UL OR EBC TYPE	UL OR EBC CLASS
21	1/2" Gypsum Faceboard Core panels, or 5/8" Gypsum (1/2" x 1/2" panels) or 5/8" Fiberglass panels, 2 x 4 wood stud 16" o.c. - 1/2" x 1/2" panels	UL Fire Resistant	1014	1	F-55

1-HOUR RATED EXTERIOR WALL ASSEMBLY
PAGE 36, USG FIRE RATED ASSEMBLIES

ROOF SKYLIGHT SCHEDULE

NO.	DESCRIPTION	UL OR EBC	UL OR EBC NO.	UL OR EBC TYPE	UL OR EBC CLASS
41	BATHROOM #2 2 x 4	RETAL		VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)	
42	BATHROOM #3 2 x 4	RETAL		VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)	
43	HALLBATH 2 x 2	RETAL		VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)	
44	HSTR BATH 2 x 4	RETAL		VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)	
45	HATCHER 2 x 4	RETAL		VELUX OR EQ. OPERABLE (VERIFY W/ OWNER)	

GARAGE FLOOR WINDOW/DOOR SCHEDULE

NO.	DESCRIPTION	LOCATION	SIZE	MATERIAL	EXT / INT	NOTES
10	NEW	GARAGE	1'-0" X 1'-0" GARAGE DOOR	WOOD/WOOD		EXISTING, NON-CONDITIONAL
12	NEW	GARAGE ENTRY	3'-0" X 1'-0" DOOR	WOOD/WOOD		CONDITIONED
13	NEW	GARAGE ENTRY	3'-0" X 3'-0" FX	RTL/RTL		CONDITIONED
14	NEW	GARDEN	4'-0" X 6'-0" B-HOLD	RTL/RTL		CONDITIONED
15	NEW	GARDEN	10'-0" X 4'-0" SH	RTL/RTL		CONDITIONED
16	NEW	GARDEN	3'-0" X 4'-0" SH	RTL/RTL		CONDITIONED
17	NEW	GARAGE	3'-0" X 1'-0" DOOR	RTL/RTL		NON-CONDITIONAL

FIRST FLOOR WINDOW / DOOR SCHEDULE

NO.	DESCRIPTION	LOCATION	SIZE	MATERIAL	EXT / INT	NOTES
21	EXISTING	LIVING RM	2'-0" X 4'-0" SH	WOOD/WOOD		
22	EXISTING	LIVING RM	3'-0" X 4'-0" SH	WOOD/WOOD		
23	EXISTING	LIVING RM	2'-0" X 4'-0" SH	WOOD/WOOD		
24	EXISTING	ENTRY	3'-0" X 1'-0" DOOR	WOOD/WOOD		
25	EXISTING	ENTRY	2'-0" X 3'-0" FX	WOOD/WOOD		
26	NEW	IN FAMILY RM	8'-0" X 8'-0" B-HOLD	RTL / RTL		
27	NEW	IN FAMILY RM	10'-0" X 4'-0" SH	RTL / RTL		
28	NEW	IN FAMILY RM	3'-0" X 4'-0" SH	RTL / RTL		
29	NEW	IN FAMILY RM	3'-0" X 6'-0" WND	RTL / RTL		
30	NEW	PORCH	2'-0" X 4'-0" W/ DOOR	WOOD		
31	NEW	STAIRS DR	3'-0" X 4'-0" W/ DOOR	WOOD		

SECOND FLOOR WINDOW / DOOR SCHEDULE

NO.	DESCRIPTION	LOCATION	SIZE	MATERIAL	EXT / INT	NOTES
32	NEW	EDEN #2	10'-0" X 5'-0" SH	WOOD		EGRESS REQ'D. MATCH NEIGHBORS FRONT WINDOWS
33	NEW	STUDY	2'-0" X 4'-0" SH	RTL/RTL		1-HOUR RATED WINDOW
34	NEW	HSTR BATH	3'-0" X 2'-0" SLIDER	RTL / RTL		1-HOUR RATED WINDOW TEMP
35	NEW	HSTR BATH	2'-0" X 6'-0"	RTL / RTL		1-HOUR RATED WINDOW TEMP
36	NEW	HSTR BDRM	6'-0" X 6'-0"	RTL / RTL		EGRESS REQ'D. SEE ELEVATION
37	NEW	EDEN #3	2'-0" X 8'-0"	RTL / RTL		EGRESS REQ'D. SEE ELEVATION, 1-HOUR RATED
38	NEW	BATH #2	2'-0" X 2'-0" FX	RTL / RTL		FX
39	NEW	STAIRS	2'-0" X 2'-0" FX	RTL / RTL		FX

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 AN ADDITION TO THE
 ERIC I HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94102
 BLDG PERMIT NO: 2005041903
 PLANNING RECORD NO: 200-00003974

APPROVED
 City of Building Dept.
 SEP 17 2023
RECEIVED
 AUG 11 2023

DESCRIPTION | DATE | DRAWN

REVISIONS

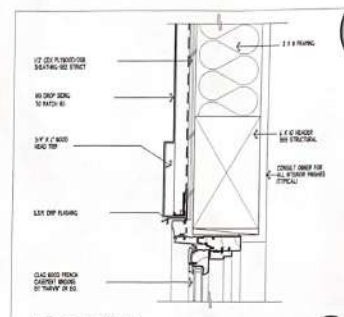
SCALE: AS NOTED

JOB NO. 2024 SHEET
 DRAWN BY: [Signature] NO. A6.1
 CHECK BY: [Signature]
 DATE: 8/17/2023 OF

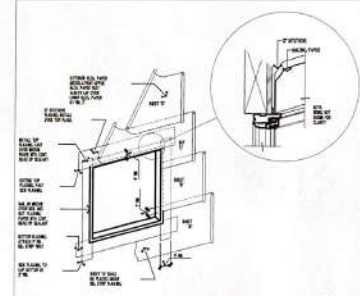


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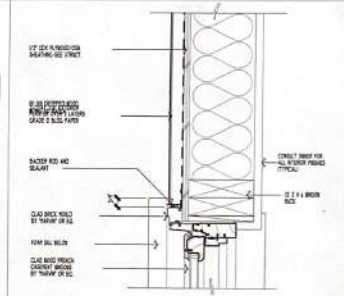
AN ADDITION TO THE
 ERIC I HELENE HALL RESIDENCE
 1334 12TH AVE.
 SAN FRANCISCO, CA 94122
 BLK/LOT : 1744/0338
 BLDG PERMIT NO : 20200609045
 PLANNING RECORD NO : 2021-05093FRJ



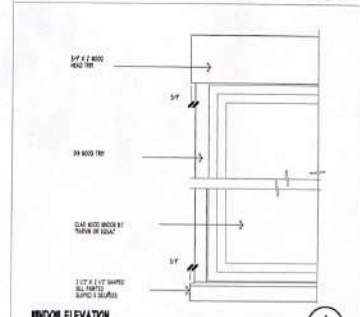
HEAD DETAIL * PLASTER
 SCALE: 3/4" = 1'-0" 3



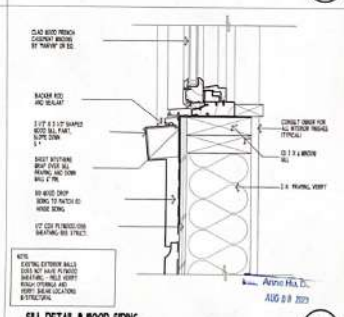
WINDOW FLASHING DET.
 NO SCALE 5



TYP WINDOW JAMB
 SCALE: 3/4" = 1'-0" 2



WINDOW ELEVATION
 SCALE: 1/2" = 1'-0" 4



SILL DETAIL * WOOD SIDING
 SCALE: 3/4" = 1'-0" 1

APPROVED
 Dept of Building Insp.
 - San Francisco -
 SEP 07 2022

Plans Bought, SFDD
 AUG 17 2022

RECEIVED
 AUG 11 2022
 DEPT OF BUILDING INSPECTION
 1334 12TH AVE, SAN FRANCISCO, CA 94122

DESCRIPTION	DATE	DRAWN
REVISIONS		
REVISION 1	8/2/2022	
REVISION 2	8/2/2022	
REVISION 3	8/2/2022	
REVISION 4	8/2/2022	
REVISION 5	8/2/2022	
REVISION 6	8/2/2022	
REVISION 7	8/2/2022	
REVISION 8	8/2/2022	
REVISION 9	8/2/2022	
REVISION 10	8/2/2022	

MOBILE APP NOTED

JOB NO. 20206
 DRAWN BY: [Signature]
 CHECK BY: [Signature]
 DATE: 8/2/2022

SHEET NO. **A6.2**
 OF 2

PUBLIC COMMENT

SENT VIA EMAIL. NO HARDCOPY TO FOLLOW

BoardofAppeals@sfgov.org

October 19, 2023

San Francisco Board of Appeals
49 South Van Ness Avenue
Suite 1475 (14th Floor)
San Francisco, CA 94103

REGARDING

Appeal No.: 23-043
Appeal Title: Wong vs. DBI.PDA
Subject Property: 1334 12th Avenue
Permit Type: Site Permit
Permit No: 2021/05/06/9906

Dear Members of the Board:

My name is Eric Montgomery, and I am writing in support of the appeal noted above. As a matter of full disclosure, for over 20 years I have known both John Wong, the Appellant, and Nancy Wong, his sister and original requestor of the Discretionary Review that is the subject of this matter. I familiarized myself with many of the facts and related issues, as well as attended the September 29, 2022 Planning Commission hearing regarding the Discretionary Review. There are several areas that this Board should consider, including:

1. Incomplete review and presentation by the Staff Architect;

2. Unclear communication by the meeting secretary regarding the allotted time for each presentation that created confusion;
3. The insensitive and unacceptable response by the Committee and its Secretary Mr. John Wong request for accommodation due to his hearing disability; and,
4. The lack of diligence the Planning Committee demonstrated for the issues presented by the discretionary review requestor.

The staff architect began by noting the concerns of the Discretionary Review requestors that the “proposed project does not conform to the Residential Design Guidelines related to the reduction of light, air and privacy to their home.” He further mentions that the department received a petition with 14 signatures supporting the DR and one letter in support of the project.

He explained that the “Planning Department review confirms support of this proposal as it conforms to the Residential Design Guidelines and Planning Code. The project sponsor has modified the original design...by incorporating a light well immediately adjacent to the windows on the neighbors side set back to provide adequate light, reducing the extension of the first floor by 2 feet 6 inches, and the second floor by one foot total, and incorporating a lattice privacy screen at the side of the second floor deck.” Further, he explains that “because the second floor deck is screened, has a two foot

deep storage cabinet counter, and extends only a few feet beyond the rear wall of the neighbor, and is separated by a three foot set back on the DR requestor's side, the sightlines from the proposed deck do not impose undue privacy concerns and therefore do not warrant additional set back."

First, the staff architect states that the modification of adding a lightwell "immediately adjacent" to Ms. Wong's windows plus the setback of Ms. Wong's house will "provide adequate light." The staff architect, and later Mr. Hall's architect, don't mention that the light well is only on the third floor of the proposed addition. It does not extend all the way to the ground, even though two of Ms. Wong's windows are on the ground floor. Additionally, the description of the windows being "immediately adjacent" is mistaken. In fact, the placement of Ms. Wong's windows is off by nearly 2 feet.

Considering the erroneous window placement plus the fact that the light well doesn't extend all the way to the ground, it is clear that Ms. Wong will lose much more light than Mr. Hall's architect and the staff architect are willing to admit. Worse still is the fact that no one addressed Ms. Wong's ground floor windows which will be a full two stories below where the light well ends.

Secondly, the staff architect, and later the entire commission, spend the most time discussing how the project sponsor's modifications protect Ms. Wong's privacy. Ms. Wong has consistently communicated her preference

for light over any concerns about privacy. So much time was focused on the wrong issue.

Finally, there was no follow up about the petition of 14 neighbors in support of the DR by the staff architect during the hearing nor is it referenced at all in any of the Planning Department's DR analyses or deliverables. That is a considerable portion of the neighborhood who were concerned enough about the proposed project to ask that it go through the Design Review. These people should figure into the decision process in some way, but it does not appear to have happened.

Before Ms. Wong made her presentation Mr. Wong asked the meeting secretary that if there were 3 presenters how much time would each have. This can only be heard as mumbles on the meeting video, but it was clearly heard by me in the meeting. The secretary replied "five minutes," which can be heard on the video. Mr. Wong asked to confirm that the secretary meant 5 minutes each, but the secretary would not reply to him. When Mr. Wong's protested that his speaking time was cut short a Commission member broke in to explain what she heard. Her interpretation of what was said was not at all what I heard, which was emphatically 5 minutes each.

Mr. Wong has a hearing disability. Having been to Planning Commission meetings before, he knew that the video feed into the meeting room included closed captioning. He would be able to use this to follow the meeting. However, about halfway through the meeting the video feed was turned off along with the closed captioning. At time 5:46:10 in the DR meeting video, Mr. Wong is attempting to explain that he cannot follow the meeting without the closed captioning and says "I'm hard of hearing," the meeting chair says "she is speaking as loud as I can. I'm speaking with a normal voice like I have throughout the hearing. I haven't gotten any complaints about how loud I speak. Anyway...."

As it is widely known, this situation is covered by the Americans with Disabilities Act. The best outcome for everyone is when the person with a disability requests accommodation beforehand, but in situations where a prior accommodation request is not feasible, the Act still requires the covered entity to make every effort to accommodate the request. They cannot claim that a request must be made ahead of time.

At this meeting no effort was made to accommodate Mr. Wong. The Board Chair should be more sensitive to the needs of those with a disability. The entire Board must understand that by not accommodating Mr. Wong, he was

left at an unfair disadvantage to Mr. Hall. The Chair should have made some effort to remedy the problem, but none was.

During the DR meeting and in publicly available documents, the DR Requestor brought up a number of areas during the Design Review and Notification processes where Mr. Hall did not follow the required procedures, was unprepared for meetings, or submitted forms that contained inaccurate information. There is no record that any of these allegations were investigated by the Planning Department or that they were even documented. Many City and County Departments follow up to ensure compliance with their rules and regulations, the Planning Department should too.

In light of the issues explained above, I urge the Board to accept this appeal.

Sincerely,

Eric Montgomery
280 Drake Stret
San Francisco, CA 94112
Mobile: 415.596.69867