

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
1281-1283 GREENWICH ST. PROPERTY LLC,)
Appellant(s))
vs.)
ZONING ADMINISTRATOR,)
Respondent)

Appeal No. **23-017**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on April 20, 2023, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on April 6, 2023, of a Notice of Violation & Penalty Decision to 1281-1283 Greenwich Street Property LLC (Planning Department records indicate that the subject property is currently authorized for two-family dwelling unit use and the violation pertains to the unauthorized merger of the dwelling units in violation of Planning Code Section 317. Additionally, work was conducted without the required permits in violation of Planning Code Section 175) at 1281-1283 Greenwich Street.

APPLICATION NO. 2022-007739ENF

FOR HEARING ON May 31, 2023

Address of Appellant(s):

Address of Other Parties:

1281-1283 Greenwich St. Property LLC, Appellant(s) c/o Alexander Merritt, Attorney for Appellant(s) Sheppard, Mullin, Richter & Hampton LLP Four Embarcadero Center, 17th Floor San Francisco, CA 94111	N/A
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Date Filed: April 20, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-017

I / We, **1281-1283 Greenwich Street LLC**, hereby appeal the following departmental action: **ISSUANCE of Notice of Violation & Penalty Decision (Complaint No. 2022-007739ENF)** by the **Zoning Administrator** which was issued or became effective on: **April 6, 2023**, for the property located at: **1281-1283 Greenwich Street**.

BRIEFING SCHEDULE:

Appellant's Brief is due on or before: 4:30 p.m. on **May 11, 2023, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, and tina.tam@sfgov.org.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **May 25, 2023, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org and kkafka@sheppardmullin.com.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, May 31, 2023, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal

Appellant:

Signature: Via Email

Print Name: Kathryn Kafka, Attorney for Appellant

Board of Appeals
49 South Van Ness, Suite 1475 (14th Floor)
San Francisco, CA 94103
boardofappeals@sfgov.org

Re: Notice of Appeal of NOVPD (Complaint No. 2022-007739ENF)

Dear Board of Appeals:

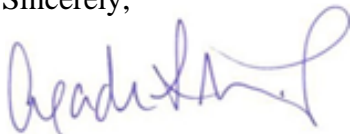
We represent Robert and Katherine Lee, the owners of 1281–1283 Greenwich Street (“Property”). The City issued a Notice of Violation (“NOV”) for the Property, alleging an unauthorized Dwelling Unit Merger. The Lees requested a Zoning Administrator (“ZA”) Hearing to contest the NOV, which was held on Feb. 28, 2023. The ZA issued a Notice of Violation and Penalty Decision (“NOVPD”) on Apr. 6, 2023. The Lees now submit this Notice of Appeal. We ask that the Board rescind the NOVPD and confirm that the Property is a single unit because:

(1) On May 21, 2015, the ZA administratively approved a Dwelling Unit Merger for the Property. The ZA approval complied with the Planning Code provisions in effect at that time.

(2) The ZA approval is final and vested. The appeal deadline ran on June 5, 2015, and no appeal was filed. The Property owners vested the ZA approval under common law principles. And, contrary to the NOVPD, no building permit was required to effectuate the ZA approval.

(3) Later in 2015 and in 2016, the City adopted new interim and permanent zoning controls for Dwelling Unit Mergers. But these controls have no effect in this case because they did not take effect until after the ZA approval became final and they do not apply retroactively.

Sincerely,



Alexander L. Merritt
for SHEPPARD, MULLIN, RICHTER & HAMPTON LLP



VIOLATION AND PENALTY DECISION

April 6, 2023

Property Owner

1281-1283 Greenwich St Property LLC
160 Bovet Road, Suite 101
San Mateo, CA 94402

1281-1283 Greenwich St Property LLC
1301 Shoreway Rd, Suite 160
Belmont, CA 94002

- Site Address:** 1281-1283 Greenwich Street
- Assessor’s Block/Lot:** 0095/024
- Zoning District:** RM-2, Residential- Mixed, Moderate Density
- Complaint Number:** 2022-007739ENF
- Code Violation:** Section 317 (Unauthorized Residential Merger)
Section 175 (Unauthorized Alterations)
- Administrative Penalty:** \$250 Each Day of Violation
- Enforcement T & M Fee:** \$3,588.83 (Current Fee, Additional charges may apply)
- Response Due:** Within 15 days from the date of this Notice
- Staff Contact:** Chaska Berger, (628) 652-7402, chaska.berger@sfgov.org

The Planning Department finds the above referenced property to be in violation of the Planning Code. As the owner of the subject property, you are a ‘responsible’ party to bring the above property into compliance with the Planning Code. Details of the violation are discussed below:

Background

On January 24, 2023, the Planning Department issued you a Notice of Violation (NOV) finding the subject property in violation of the Planning Code. The NOV outlined the violation, how to correct the violation, administrative penalties, and the available appeal processes.

On February 6, 2023, the Planning Department received a request for a Zoning Administrator Hearing to appeal the NOV dated January 24, 2023.

On February 28, 2023, the Zoning Administrator held a public hearing on the matter at the Planning Department. The hearing was attended by the Zoning Administrator, Corey A. Teague; Enforcement Manager, Kelly Wong,

Enforcement Planner, Chaska Berger, and the property owner's legal representative, Alex Merritt, Partner at Sheppard Mullin, and his colleague, Kate Kafka. Details of the violation and hearing are discussed below.

Description of Violation

Our records indicate that the subject property is currently authorized for two-family dwelling unit use. The violation pertains to the unauthorized Dwelling Unit Merger on the subject property.

Pursuant to Planning Code Section 317 (7), a Residential Merger is defined as the following:

“The combining of two or more Residential or Unauthorized Units, resulting in a decrease in the number of Residential Units and Unauthorized Units within a building, or the enlargement of one or more existing units while substantially reducing the size of others by more than 25% of their original floor area, even if the number of units is not reduced.”

The Report of Residential Building Record (3R Report) issued on March 15, 2022, lists the authorized use as a Two-Family Dwelling. According to the Tax Assessor's Report, the property is authorized as two units (“flats and duplex”). A Notice of Special Restrictions (NSR) exists from a permit in 1988 which describes the property as two units. The Certificates of Final Completion list the property as two units.

Related Building Permit Applications:

The following building permits reference the subject property as a two-unit building (in order of completion date):

- On December 26, 2018, Building Permit No. **2017.0815.4893**, was completed with the following scope of work: “Underground sprinkler. Ref app#201704204463. T.I. App#201612064294. N/A for Maher.”

* While the “existing use” and proposed use” is listed as a 2-Family Dwelling, this permit is the only one with plans showing the interior wall removed. Planning did not review or approve this permit.
- On June 14, 2019, Building Permit No. **2017.0420.4463**, was completed with the following scope of work: “Sprinkler per NFPA 13 ref 201612064294.”
- On November 20, 2019, Building Permit No. **2019.0809.8406** was completed with the following scope of work: “Recommendation and completion of work approved under PA 201108182754.”
- On November 20, 2019, Building Permit No. **2016.0816.5118**, was completed with the following scope of work: “Provide temporary hand dug pier to facilitate the excavation and construction of the proposed building addition per approved PA [Permit Application] 2014-1017-9272 s/R3. Maher NA.”
- On November 21, 2019, Building Permit No. **2016.1206.4294**, was completed with the following scope of work: “Permit approved Variance scope at third floor; additional conditioned area of 125 sq ft. Ref to PA#

201410179272.”

- On November 21, 2019, Building Permit No. **2017.0606.8573**, was completed with the following scope of work: “Roof deck within buildable area of lot and spiral stair from 3rd floor terrace & roof deck.”
- On November 22, 2019, Building Permit No. **2014.1017.9272**, was deemed “Complete” by the Department of Building Inspection with the following scope of work: “Interior remodel & seismic upgrade. Expand (e) basement for new elevator. New principle facade.”

The Planning Department specifically noted its approval on this permit that a “Dwelling Unit Merger is not permitted under this permit. Two (2) DU [Dwelling Units] to remain.”

Pursuant to Planning Code Section 171, structures and land in any zoning district shall be used only for the purposes listed in the Planning Code as permitted in that district, and in accordance with the regulations established for that district.

Pursuant to Planning Code Section 175, a Building Permit is required for the construction, reconstruction, enlargement, alteration, relocation, or occupancy of any structure in compliance with the Planning Code. Failure to comply with any Planning Code provisions constitutes a violation of the Planning Code and is subject to an enforcement process under Planning Code Section 176.

Failure to comply with any Planning Code provisions constitutes a violation of the Planning Code and is subject to an enforcement process under Planning Code Section 176.

Timeline of Investigation

On August 11, 2022, the Planning Department sent you a Notice of Complaint. In that notice, you were advised to contact the Planning Department to resolve the complaint.

On August 23, 2022, Planning Staff, Chaska Berger and Heather Samuels, conducted a site visit and confirmed the violation. Staff observed that a solid wall around the interior curved staircase that separated the two dwelling units, did not exist. Additionally, it was confirmed during the site visit that the interior elevator provided unrestricted access to all interior levels of the property.

On August 24, 2022, the Planning Department sent you a Notice of Enforcement informing you about the violation and the abatement process. In that notice, you were advised to take corrective actions and provide evidence of compliance to the Planning Department within fifteen (15) days of the notice.

On September 6, 2022, your legal representative, Mr. Alex Merritt, Partner with Sheppard Mullin, emailed Chaska Berger to confirm receipt of the Notice of Enforcement, discuss the enforcement process, and schedule a phone conversation for September 8, 2022.

On September 14, 2022, Mr. Merritt emailed Ms. Berger to confirm he submitted a records request to the Department of Building Inspection (DBI).

On October 19, 2022, Mr. Merritt sent Ms. Berger via email a copy of a Zoning Administrator's ("ZA") Action memo dated May 21, 2015 where the ZA authorized administrative approval of Building Permit Application No. **2014.1017.9272** proposing the merger of two dwelling units, resulting in a single-family home as the ZA determined the proposed merger "would not result in a loss of any dwelling units that are valued at or under 80% of the combined land and structures of a single-family home in San Francisco" per Planning Code Section 317 at the time of the issued memo.

On December 9, 2022, Mr. Merritt provided Ms. Berger with a Response to the Notice of Enforcement.

On December 14, 2022, Mr. Merritt, Ms. Kathryn Kafka, Associate with Sheppard Mullin, and Ms. Berger discussed the response to the Notice of Enforcement regarding an unauthorized merger of two units without the benefit of a building permit or review by the Planning Department. Ms. Berger provided information regarding how to abate the violation and discussed the violation appeal process.

On December 23, 2022, Mr. Merritt emailed Ms. Berger to request the issuance of a Notice of Violation to provide an opportunity to appeal the alleged violation.

On January 24, 2023, the Planning Department sent you a Notice of Violation to allow you additional fifteen (15) days to abate the violation. That notice also advised you about the appeal process and accrual of penalty for failure to comply by the deadline.

On February 6, 2023, Mr. Merritt, on your behalf, filed a Request for Zoning Administrator Hearing to appeal the Notice of Violation.

Evidence Presented at the Zoning Administrator Hearing

Details of the hearing are discussed below.

The Zoning Administrator called to order the Zoning Administrator enforcement appeal hearing related specifically to a Notice of Violation issued for the subject property at 1281-1283 Greenwich Street.

The property owner's representative, Mr. Merritt, stated property owners Robert and Katherine Lee acquired the property in 2020 and paid about \$18 Million. He said, the home, which was recently renovated, was advertised and sold as one dwelling unit. The disclosure packet reflected that the property was one-unit, and the owners had no reason to believe that there was any issue with the property. He said that any issues with code compliance is not the fault of the current owners as the seller had obtained permits and completed the construction work.

Mr. Merritt referenced a Zoning Administrator (ZA) Action Memo, dated May 2015, which he believes authorized an administrative approval of the merger for the property. He continued that in this memo, the ZA made the findings that were required under the version of the code regarding the affordability of the property with

financial findings. The ZA Action Memo also notes that any aggrieved party can appeal to the Board of Appeals, however no appeal was ever filed. Mr. Merritt said the dwelling unit merger became final in early June 2015 and does not have an expiration date. Therefore, this approval is vested under common law principles. Mr. Merritt continued to refer to a Fort Bragg case, explaining that if one undertakes work in good faith reliance on an approval, and if one incurs hard costs, including consulting costs and construction costs, the approval becomes vested. He said that under this case law in California, the ZA action Memo is a vested approval that is final and no longer subject to challenge.

Mr. Merritt said that the previous owner constructed the property as one unit and the new owners bought it as one unit. He believes there is confusion about what happened with the dwelling unit merger on this property. The Zoning Controls for dwelling unit mergers changed several times. There were the controls that applied in this case, then there were a set of interim controls that were applied shortly after the ZA Action Memo was issued. Later, the permanent controls were adopted. The prior zoning controls were effective through July 2, 2015, and those are the controls that allowed the ZA administrative approval of dwelling unit mergers subject to the financial findings. These were the controls that applied in May 2015 when the ZA issued the Action Memo.

Mr. Merritt continued stating that on July 3, 2015, after the ZA Action Memo became final, the City adopted the Interim Zoning Controls, which require a Conditional Use Authorization for residential mergers and eliminates the pathway for administrative approval with the financial findings. In April 2016, the City adopted these permanent controls and therefore, cannot apply these retroactively. Mr. Merritt said the new controls that are more stringent do not apply to this ZA Action Memo because the approval had already been granted and become final.

Mr. Merritt discussed that around the time the Interim Zoning Controls were proposed, Planning Staff held an internal meeting and determined that the new controls would apply retroactively. He disagreed with this approach and interpretation, and explained that there seemed to be confusion during the permitting process and inconsistent treatment by both Planning and Building Staff, as it pertained to whether the property would be one unit or two units and whether the merger was final or not. He noted that there were inconsistent representations and communication to the owner's representatives. Mr. Merritt discussed that the property is currently a one-unit building, and the final vested dwelling unit merger approval was in effect at that time, so there was a final approval that had been vested and nothing that happened subsequently affects that now.

Mr. Merritt relayed that if there is an issue with the building permit in that it does not accurately reflect what was approved and built, that the answer is not to uphold this violation and require the property owners to revert back to two units, but to allow them to submit an amendment to the building permit to clarify that the property just did not get a valid permit. He asked the ZA to rescind the NOV and confirm the property as an authorized one-unit property.

The ZA asked if the property owners currently live in the building or whether they live elsewhere.

Mr. Merritt stated he was not sure whether the owners currently live in the building. He explained they bought the property with the intent to live there. However, he guessed this issue came up with their neighbors complaining about the property and saying they did not like that the previous developer because it took so long for the renovation and said, "We're going to make your life hell and go to the Planning Department and have your house

taken away.” The owners may be waiting until this issue gets resolved before moving in, but the intent is that this was going to be their residence.

The ZA asked if the owners have any of the original marketing material for when it was on the market pre-sale. Mr. Merritt explained that he would provide that information.

The ZA asked if the owners had their own realtor or representation during the buying process. Mr. Merritt said their realtor was Olivia Decker from Sotheby’s International Real Estate.

The ZA said there is a need to review how the property was marketed, how it was built out, and how it had been approved. The property has been constructed as one unit with two separate kitchens, with no internal disconnection and an open flow through all the floors. While the property was marketed as a single-family home, the ZA asked if the owners received any contradicting information or documentation as part of the disclosures or with their own research. The ZA explained the reason for this inquiry is because a Notice of Special Restrictions (NSR) exists from a permit in 1988, which describes the property as two units. This would have been outlined in the Title Report. The Certificates of Final Completion list the property as two units. This was not an inexpensive property, so it seems legitimate to assume there would have been substantial amount of due diligence on their part to ensure they understood what the legal status of the property was, and it seems that in the public record, there was a decent amount of countervailing information that showed this was a two-unit building.

Mr. Merritt explained that what the owners told him that they thought the property was lawfully one unit that had been merged in the past, and they had no idea there were any potential issues. While, in 1988, there is an NSR, it significantly predates the dwelling unit merger that was approved in June 2015. So, they do not have any reason to think 1988 NSR was still in effect because the seller told them they were approved for the dwelling unit merger, and the property was constructed as a single-family home.

The ZA explained the distinction between the ZA Action Memo and the other approvals. The ZA Action Memo is a determination that the ZA made at that time, per the provision of the code, as it applied, and would be related to a specific building permit. The appeal language in the memo states that if this determination was done incorrectly, one can appeal the building permit once it is issued. The ZA said the memo documented that the eligibility would allow that specific permit to move forward and allow the unit merger without the Conditional Use Authorization (CUA). However, before the permit to merge the units was issued, the code changed. Unless the law has a grandfathering provision that allows existing applications to move forward under older revisions, the code states that no permit can be issued that is not consistent with the current code.

The ZA further explained that the prior property owners had an opportunity to continue pursuing a project to merge the units, however chose to move forward with a renovation that maintained the two-units. The building permits that were issued and completed clearly proposed two units and proposed to construct the separation of the stairwell so that there would be two separate, clear, and distinct units. The permit record is clear that the property is two units. Work was either completed where the wall separating the two units at the stairwell was never built, or this wall was built and then taken out after inspections to convert the building physically into a single dwelling unit. The main issue is that the property was not properly authorized to merge the two units to one unit with a building permit. A permit to propose going from two units to one unit would now be required to proceed through Planning and DBI review process.

Mr. Merritt responded by saying that the Planning Code as it existed at the time they applied for the dwelling unit merger authorizes the ZA to grant administrative approval. It does not stipulate that the administrative approval by the ZA must be further confirmed with a building permit. It says the ZA can grant an administrative approval and the May 2015 ZA Action Memo is the approval of the dwelling unit merger. He pointed to the last paragraph about appeal rights in the context of the decision. The ZA Action Memo includes an appeal paragraph which says one can appeal the administrative approval to the Board of Appeals.

Mr. Merritt said that prior version of the Planning Code for Dwelling Unit Mergers says an appeal under the section shall be taken by filing a written notice of appeal within ten days after the date of the written Variance decision or within fifteen days of any other written determination of ZA. Mr. Merritt said he does not see anything in the prior or the current Planning Code that imposes the additional requirement that the ZA's approval is not effective or cannot be appealed until a future building permit is issued.

The ZA clarified that documents signed directly by the ZA (there are numerous other kinds of administrative waivers, modifications, et cetera), the ZA makes such determinations as part of a building permit application. The actual permit itself must be filed, approved, and issued as the vehicle for vesting such determinations. In this case, there was no such building permit that converted the property from two units to one unit.

Mr. Merritt responded by saying what the code and the permanent controls say is that it does not apply retroactively to anything that has already received administrative approval from the ZA. The ZA Action Memo talks about the written approval of the ZA. He said he understands the ZA's point that a building permit must be obtained. However, he does not think the ZA reviewed the Fort Bragg case which says a building permit is not required and that pre-building permit work is sufficient approval as an entitlement. He provided an example that if one hires a consultant and does any work to make physical improvements, or if one hires an architect to prepare drawings, then this is enough to vest the approval. So, even if the ZA is correct that a permit was never were obtained to legalize a merger, based on the Fort Bragg case, the project was vested because of all the money the project sponsors spent to merge the units.

The ZA confirmed that the ZA Action Memo established that the project met the price-out threshold so that the Dwelling Unit Merger could be approved administratively through the memo. The ZA Action Memo also specified the appeal process was per the issuance of a building permit. The prior property owners purposefully decided not to move forward with the merger and obtained permits to maintain the property as two units. No permits were approved or issued to approve a Dwelling Unit Merger and the property is authorized as a two-unit building.

The ZA took the matter under advisement after hearing from all concerned parties.

Submittals and Consideration After the Hearing

On March 3, 2023, Mr. Merritt submitted additional information and documents including disclosures and other marketing materials that the current owners received prior to purchasing the property demonstrating the current owners did not know of any issues with the property, and that the property was marketed as a single-family home.

The ZA has reviewed all submittals to date and considered statements made at the February 28, 2023 hearing.

Decision

NOTICE OF VIOLATION UPHELD. Pursuant to Planning Code Section 176, the Zoning Administrator has a duty in administration and enforcement of the Planning Code. Accordingly, the Zoning Administrator upholds the Notice of Violation issued on January 24, 2023, based on the fact that work was conducted without the required building permits and the property has merged two units into one unit.

The following steps are required to abate the violation:

Planning Code Section 171 requires that the above property be used only as authorized. Planning Code Section 174 requires compliance with Building Permit Application No. 2014.1017.9272 and all other relevant building permits listed above.

The Planning Department requires a new building permit be filed to reinstate the property to its authorized use as two-dwelling units. Plans must include floor plans and sections of three conditions with accurate 1) legal condition “existing” condition, 2) currently existing/”as-built,” and 3) proposed plans restoring the two unit building.

Please visit DBI website, <https://sf.gov/apply-building-permit> for information on the permit application process. **This permit must be diligently pursued and completed.**

Please be advised that upon review of above applications and plan submittals, if it is determined that additional planning applications and processes are required, the Planning Department will notify you to make such submittals.

The responsible party will need to provide adequate evidence to demonstrate that either no violation exists or that the violation has been abated. Please provide evidence including dimensioned plans and permits, photos, etc.). A site visit may also be required to verify compliance. You may also need to obtain a building permit for any other alterations done at the property. The work approved under any permits to abate violation must commence promptly and be continued diligently to completion with a final inspection and/or issuance of certificate of final completion.

For questions regarding the building permit process, please contact the **Department of Building Inspection (DBI)** at:

49 South Van Ness Avenue, 2nd/5th Floor
San Francisco, CA 94103
Phone: 628.652.3200
Email: dbicustomerservice@sfgov.org
Website: www.sfdbi.org

For questions regarding the planning permit review process, please contact the **Planning Department** at:

49 South Van Ness Avenue, 2nd Floor
San Francisco, CA 94103
Phone: 628.652.7300
Email: pic@sfgov.org
Website: www.sfplanning.org

For questions about this enforcement case, please email the assigned enforcement planner as noted above. For questions about the Building Code or building permit process, please email DBI at the email address noted above.

Timeline to Respond

The responsible party has fifteen (15) days from the date of this notice to either;

- 1) Take steps to correct the violation as noted above; or
- 2) Appeal this Violation and Penalty Decision notice as noted below.

The corrective actions shall be taken as early as possible. Any unreasonable delays in abatement of the violation will result in assessment of administrative penalties at \$250 per day.

Please contact the assigned Enforcement Planner noted above with any questions, to submit evidence of correction, and discuss the corrective steps to abate the violation. Should you need additional time to respond to and/or abate the violation, please discuss this with the assigned Enforcement Planner, who will assist you in developing a reasonable timeline.

Administrative Penalties

If any responsible party does not appeal this notice to the Board of Appeals **within 15-days from the date of this notice**, this Violation and Penalty Decision notice will become final. However, **administrative penalties will not begin to accrue until the 15-day period to respond expires**. Beginning on the following day, administrative penalties of up to \$250 per day to the responsible party will start to accrue for each day the violation continues unabated. If such penalties are assessed, the Planning Department will issue a Notice of Penalty, and the penalty amount shall be paid within 30 days from the issuance date of Notice of Penalty. Additional penalties will continue to accrue until a corrective action is taken to abate the violation. Please be advised that payment of the penalty does not excuse failure to correct the violation or bar further enforcement action.

Enforcement Time and Materials Fee

Pursuant to Planning Code Section 350(g)(1), the Planning Department shall charge for 'Time and Materials' to recover the cost of correcting Planning Code violations. Accordingly, a fee of **\$3,588.83** for 'Time and Materials' cost associated with the Code Enforcement investigation is now due to the Planning Department. **Please submit**

a check payable to 'Planning Department Code Enforcement Fund' within 15 days from the date of this notice. Additional fees will continue to accrue until the violation is abated. This fee is separate from the administrative penalties as described above and is not appealable.

Failure to Pay Penalties and Fees

Any Administrative Penalties and Enforcement Fees not paid within the specified time period noted above may be forwarded to the Bureau of Delinquent Revenue (BDR) for collection pursuant to Article V, Section 10.39 of the San Francisco Administrative Code. The BDR may apply a 25% surcharge for their collection services. Please note that such surcharge will be considered part of the cost of correcting the violation, and you (the responsible party) will be responsible for such charges.

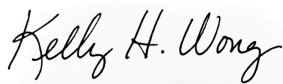
Appeal

This Violation and Penalty Decision notice and any assessed penalties may be appealed to the **Board of Appeals within the 15-day time limit** from the date of this Violation and Penalty Decision notice at:

49 South Van Ness Avenue, Suite 1475
San Francisco, CA 94103
Phone: 628.652.1150
Email: boardofappeals@sfgov.org
Website: www.sfgov.org/bdappeal

The Board of Appeals may not reduce the amount of penalty below \$100 per day for each day that the violation exists, excluding the period of time that the matter has been pending either before the Zoning Administrator or before the Board of Appeals.

Sincerely,



Kelly Wong
Acting Zoning Administrator

Enc.: Notice of Violation dated January 24, 2023

cc: Mr. Alexander L. Merritt, Partner, Sheppard Mullin, Four Embarcadero Center, via email
amerritt@sheppardmullin.com
Ms. Kathryn C. Kafka, Associate Sheppard Mullin, Four Embarcadero Center, via email
kkafka@sheppardmullin.com



NOTICE OF VIOLATION

January 24, 2023

Property Owner

1281-1283 Greenwich St Property LLC
1301 Shoreway Rd Ste 160
Belmont, CA 94002

Site Address: 1281-1283 Greenwich Street
Assessor's Block/Lot: 0095/024
Zoning District: RM-2, Residential- Mixed, Moderate Density
Complaint Number: 2022-007739ENF
Code Violation: Section 317 (Unauthorized Residential Merger)
Administrative Penalty: Up to \$250 Each Day of Violation
Enforcement T & M Fee: \$850.53 (Current Fee for confirmed violations, Additional charges may apply)
Response Due: Within 15 days from the date of this Notice
Staff Contact: Chaska Berger, (628) 652-7402, chaska.berger@sfgov.org

The Planning Department finds the above referenced property to be in violation of the Planning Code. As the owner of the subject property, you are a responsible-party to bring the above property into compliance with the Planning Code. Details of the violation are discussed below:

Description of Violation

Our records indicate that the subject property is currently authorized for two-family dwelling unit use. The violation pertains to the unauthorized Dwelling Unit Merger on the subject property.

Pursuant to Planning Code Section 317 (7), a Residential Merger is defined as the following:

“the combining of two or more Residential or Unauthorized Units, resulting in a decrease in the number of Residential Units and Unauthorized Units within a building, or the enlargement of one or more existing units while substantially reducing the size of others by more than 25% of their original floor area, even if the number of units is not reduced.”

On November 22, 2019, Building Permit No. 201410179272 was deemed “Complete” by the Department of Building Inspection with the following scope of work:

“Interior remodel & seismic upgrade. Expand (e) basement for new elevator. New principle facade.”

The Planning Department specifically noted on the permit approval that a “Dwelling Unit Merger is not permitted under this permit. Two (2) DU to remain.”

Pursuant to Planning Code Section 171 structures and land in any zoning district shall be used only for the purposes listed in the Planning Code as permitted in that district, and in accordance with the regulations established for that district. Pursuant to Planning Code Section 175, a Building Permit is required for the construction, reconstruction, enlargement, alteration, relocation, or occupancy of any structure in compliance with the Planning Code. Failure to comply with any Planning Code provisions constitutes a violation of the Planning Code and is subject to an enforcement process under Planning Code Section 176.

Background

On October 17, 2014, Building Permit Application No. **201410179272** was submitted with the following scope of work: “INTERIOR REMODEL & SEISMIC UPGRADE. EXPAND (E) BASEMENT FOR NEW ELEVATOR. NEW PRINCIPLE FACADE.”

On October 21, and 29, 2014, a Project Application (2014-000145PRJ) and related Mandatory Discretionary Review (2014-000145DRM) were submitted by the project sponsor, Dave Swetz, Butler Armsden Architects representing the prior owner, to propose a unit merger of a 2-family dwelling into a single-family dwelling.

On May 21, 2015, the Zoning Administrator’s (ZA) Action Memo authorized an administrative approval of Building Permit Application No. **201410179272** proposing the merger of two dwelling units within a two-unit building, resulting in a single-family home because the proposed merger would not result in a loss of any dwelling units that are valued at or under 80% of the combined land and structures of a single-family home in San Francisco at the time of approval.

On July 3, 2015, Interim Zoning Controls (2015-008220PCA) took effect, requiring a Conditional Use Authorization for the loss of one to two Residential Units due to the merger. Further, the Interim Controls for the merger of Residential Units that are demonstrably not affordable or financially accessible housing would require a Conditional Use Authorization as well.

On November 12, 2015, Building Permit Application No. **201410179272** with plans showing a 2-unit dwelling project was approved by the Planning Department with the following approval language that specifically notes, “Interior reconfiguration, lightwell infill on west property line, and demo/reconstruction of front facade. NOTE: DWELLING UNIT MERGER IS NOT PERMITTED UNDER THIS PERMIT. TWO (2) DU TO REMAIN.”

On April 10, 2016, Ordinance No. 33-16 took effect, which made the Interim Zoning Controls (2015-008220PCA) permanent and amended Planning Code Section 317 to require a Conditional Use Authorization for any permit that would result in the removal of residential dwelling units through merger, demolition, or conversion, regardless of its affordability.

On August 17, 2016, a Variance was granted (2015-016300VAR) for the proposal to enclose an existing partially-enclosed patio space at the top floor within the required rear yard.

On January 6, 2017, the previously submitted Planning Application No. 2014-000145PRJ and the associated Discretionary Review – Mandatory (Case No. 2014-000145DRM) with a proposal for a “unit merger of 2 family into single family home...” was withdrawn.

On November 22, 2019, Building Permit No. **201410179272** was deemed complete by the Department of Building Inspection.

Timeline of Investigation

On August 11, 2022, the Planning Department sent you a Notice of Complaint. In that notice, you were advised to contact the Planning Department to resolve the complaint.

On August 23, 2022, Planning Staff, Chaska Berger and Heather Samuels, conducted a site visit and confirmed the violation. Staff observed that a solid wall around the interior curved staircase shown under Building Permit No. **201410179272** that separated the two dwelling units, did not exist. Additionally, the elevator during the site visit provided unrestricted access to all interior levels of the property.

On August 24, 2022, the Planning Department sent you a Notice of Enforcement informing you about the violation and the abatement process. In that notice, you were advised to take corrective actions and provide evidence of compliance to the Planning Department within fifteen (15) days of the notice.

On September 6, 2022, your attorney Mr. Alex Merritt, Partner with Sheppard Mullin, emailed Chaska Berger to confirm receipt of the Notice of Enforcement, discuss the enforcement process, and schedule a phone conversation for September 8, 2022.

On September 14, 2022, Mr. Merritt emailed Ms. Berger to confirm he submitted a records request to the Department of Building Inspection (DBI).

On October 19, 2022, Mr. Merritt sent Ms. Berger via email a copy of a Zoning Administrator’s (ZA) Action memo dated May 21, 2015 where the ZA authorized administrative approval of Building Permit Application No. 201410179272 proposing the merger of two dwelling units, resulting in a single-family home because the proposed merger would not result in a loss of any dwelling units that are valued at or under 80% of the combined land and structures of a single-family home in San Francisco at the time of approval.

On November 1, 2022, Mr. Merritt emailed Ms. Berger to confirm he expected to receive records from DBI by December 2022.

On December 9, 2022, Mr. Merritt provided Ms. Berger with a Response to the Notice of Enforcement.

On December 14, 2022, Mr. Merritt, Ms. Kathryn Kafka, Associate with Sheppard Mullin, and Ms. Berger discussed the response to the Notice of Enforcement and Planning’s Enforcement’s team guidance that the property is considered an unauthorized merger of two units without a building permit or review by the Planning Department. Ms. Berger provided information regarding how to abate the violation or the process to appeal.

On December 23, 2022, Mr. Merritt emailed Ms. Berger to request the issuance of a Notice of Violation to provide an opportunity to appeal the alleged violation.

To date, you have not taken the steps necessary to bring the subject property into compliance with the Planning Code.

How to Correct the Violation

The Planning Department requires that you immediately proceed to abate the violation as follows:

File a new Building Permit Application to seek to restore the property to its authorized configuration with two-dwelling units, as approved in Building Permit (BP) No. **201410179272**. The plans associated with the building permit must include site plan, floor plans, exterior elevations, and north/south sections of three conditions, including:

- 1) Existing (per BP No. 201410179272),
- 2) As-built (as the property currently exists), and
- 3) Proposed (to restore the building to the last legal condition with two dwelling units).

This permit must be diligently pursued and completed.

Please submit plans that meet the plan submittal requirements for Planning Department review of Building Permits. https://sfplanning.org/sites/default/files/documents/publications/Guidelines_Plan_Submittal.pdf

Visit DBI website, <https://sf.gov/apply-building-permit> for information on the permit application process.

Please be advised that upon review of above applications and plan submittals, if it is determined that additional planning applications and processes are required, the Planning Department will notify you to make such submittals.

The responsible party will need to provide adequate evidence to demonstrate that either no violation exists or that the violation has been abated. Please provide evidence including Planning approved permits, photos, etc.). A site visit may also be required to verify compliance. You may also need to obtain a building permit for any other alterations done at the property. **The work approved under any permits to abate violation must commence promptly and be continued diligently to completion with a final inspection and/or issuance of certificate of final completion.**

For questions regarding the building permit process, please contact the **Department of Building Inspection (DBI)** at:

49 South Van Ness Avenue, 2nd/5th Floor
San Francisco, CA 94103
Phone: 628.652.3200
Email: dbicustomerservice@sfgov.org
Website: www.sfdbi.org

For questions regarding the planning permit review process, please contact the **Planning Department** at:

49 South Van Ness Avenue, 2nd Floor
San Francisco, CA 94103
Phone: 628.652.7300
Email: pic@sfgov.org
Website: www.sfplanning.org

For questions about this enforcement case, please email the assigned enforcement planner as noted above. For questions about the Building Code or building permit process, please email DBI at the email address noted above.

Timeline to Respond

The responsible party has **fifteen (15) days from the date of this notice** to either;

- 1) Take steps to correct the violation as noted above; or
- 2) Appeal this Notice of Violation as noted below.

The corrective actions shall be taken as early as possible. Any unreasonable delays in abatement of the violation will result in assessment of administrative penalties at \$250 per day.

Please contact the assigned Enforcement Planner noted above with any questions, to submit evidence of correction, and discuss the corrective steps to abate the violation. Should you need additional time to respond to and/or abate the violation, please discuss this with the assigned Enforcement Planner, who will assist you in developing a reasonable timeline.

Appeal Processes

If the responsible party believes that this Notice of Violation of the Planning Code is an abuse of discretion by the Zoning Administrator, the following appeal processes are available **within fifteen (15) days from the date of this notice**:

1. The responsible party may request a Zoning Administrator Hearing under Planning Code Section 176 to show cause why this Notice of Violation is issued in error and should be rescinded by submitting the Request for Zoning Administrator Hearing Form and supporting evidence to the Planning Department. This form is available from the Planning Department's website at <https://sfplanning.org/resources>. The Zoning Administrator shall render a decision on the Notice of Violation within 30 days of such hearing. The responsible party may appeal the Zoning Administrator's decision to the Board of Appeals within 15 days from the date of the decision.
2. The responsible or any interested party may waive the right to a Zoning Administrator Hearing and proceed

directly to appeal the Notice of Violation to the **Board of Appeals** located at:

49 South Van Ness Avenue, Suite 1475
San Francisco, CA 94103
Phone: 628.652.1150
Email: boardofappeals@sfgov.org
Website: www.sfgov.org/bdappeal

If Board of Appeals upholds the Notice of Violation, it may not reduce the amount of penalty below \$100 per day for each day the violation continues unabated, excluding the period of time the matter was pending either before the Zoning Administrator or before the Board of Appeals.

Administrative Penalties

If a responsible party does not request any appeal process and does not take corrective action to abate the violation **within 15 days**, this Notice of Violation will become final. However, **administrative penalties will not begin to accrue until the 15-day period to respond expires**, as detailed above. Beginning on the following day, administrative penalties of up to **\$250 per day** to the responsible party will start to accrue for each day the violation continues unabated. If such penalties are assessed, the Planning Department will issue a Notice of Penalty, and the penalty amount shall be paid **within 30 days** from the issuance date of that notice. Please be advised that payment of penalty does not excuse failure to correct the violation or bar further enforcement action. Additional penalties will continue to accrue until a corrective action is taken to abate the violation.

Enforcement Time and Materials Fee

Pursuant to Planning Code Section 350(g)(1), the Planning Department shall charge for 'Time and Materials' to recover the cost of correcting the Planning Code violations. Accordingly, the responsible party is currently subject to a fee of **\$850.53** for "Time and Materials" cost associated with the Code Enforcement investigation. **Please submit a check payable to "Planning Department Code Enforcement Fund" within 15 days from the date of this notice.** Additional fees will continue to accrue until the violation is abated. **This fee is separate from the administrative penalties described above and is not appealable.**

Failure to Pay Penalties and Fees

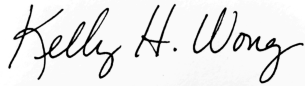
Any Administrative Penalties and Enforcement Fees not paid within the specified time period noted above may be forwarded to the Bureau of Delinquent Revenue (BDR) for collection pursuant to Article V, Section 10.39 of the San Francisco Administrative Code. The BDR may apply a 25% surcharge for their collection services. Please note that such surcharge will be considered part of the cost of correcting the violation, and you (the responsible party) will be responsible for such charges.

Other Applications Under Consideration

The Planning Department requires that any pending violations be resolved prior to the approval and issuance of

any separate applications for work proposed on the same property. Therefore, any applications not related to abatement of the violation on the subject property will be placed on hold until a corrective action is taken to abate the violation. We want to assist you to bring the subject property into full compliance with the Planning Code. You may contact the enforcement planner noted above for any questions on the enforcement and appeal process.

Sincerely,



Kelly Wong
Acting Zoning Administrator

Enc.: Notice of Enforcement dated August 24, 2022

cc: Mr. Alexander L. Merritt, Partner, Sheppard Mullin, Four Embarcadero Center, 17th Floor, San Francisco, CA 94111-4109, via email amerritt@sheppardmullin.com
Ms. Kathryn C. Kafka, Associate Sheppard Mullin, Four Embarcadero Center, 17th Floor, San Francisco, CA 94111-4109, via email kkafka@sheppardmullin.com



NOTICE OF ENFORCEMENT

August 24, 2022

Property Owner

1281-1283 Greenwich St Property LLC
1301 Shoreway Rd Ste 160
Belmont, CA 94002

Site Address: 1281 - 1283 Greenwich Street
Assessor's Block/Lot: 0095/024
Zoning District: RM-2, Residential- Mixed, Moderate Density
Complaint Number: 2022-007739ENF
Code Violation: Section 317 (Unauthorized Residential Merger)
Administrative Penalty: Up to \$250 Each Day of Violation
Enforcement T & M Fee: \$1,542 (Minimum Fee for confirmed violations, Additional charges may apply)
Response Due: Within 15 days from the date of this Notice
Staff Contact: Chaska Berger, (628) 652-7402, chaska.berger@sfgov.org

The Planning Department received a complaint that a Planning Code violation exists on the above referenced property that must be resolved. As the owner of the subject property, you are a responsible party. The purpose of this notice is to inform you about the Planning Code Enforcement process so you can take appropriate action to bring your property into compliance with the Planning Code. Details of the violation are discussed below:

Description of Violation

Our records indicate that the subject property is currently authorized for two-family dwelling unit uses. The violation pertains to the unauthorized Dwelling Unit Merger on the subject property.

Pursuant to Planning Code Section 317 (7), a Residential Merger is defined as the following:

“the combining of two or more Residential or Unauthorized Units, resulting in a decrease in the number of Residential Units and Unauthorized Units within a building, or the enlargement of one or more existing units while substantially reducing the size of others by more than 25% of their original floor area, even if the number of units is not reduced.”

On November 22, 2019, Building Permit No. 201410179272 was deemed “Complete” by the Department of Building Inspection with the following scope of work:

“Interior remodel & seismic upgrade. Expand (e) basement for new elevator. New principle facade.”

The Planning Department specifically noted on the permit approval that a “Dwelling Unit Merger is not permitted under this permit. Two (2) DU to remain.”

Planning Application No. 201.000145PRJ and the associated Discretionary Review – Mandatory (Case No. 2014-000145DRM) with a proposal for a “unit merger of 2 family into single family home...” was withdrawn on January 6, 2017.

On August 11, 2022, the Planning Department sent you a Notice of Complaint to inform you about the complaint.

On August 23, 2022, Planning Staff conducted a site visit and confirmed the violation. A solid wall surrounding the interior curved staircase has been removed or was never constructed. The elevator provides unrestricted access to all interior levels of the property.

Pursuant to Planning Code Section 171 structures and land in any zoning district shall be used only for the purposes listed in the Planning Code as permitted in that district, and in accordance with the regulations established for that district.

Pursuant to Planning Code Section 175, a Building Permit is required for the construction, reconstruction, enlargement, alteration, relocation, or occupancy of any structure in compliance with the Planning Code.

Failure to comply with any Planning Code provisions constitutes a violation of the Planning Code and is subject to an enforcement process under Planning Code Section 176.

How to Correct the Violation

The Planning Department requires that you immediately proceed to abate the violation as follows:

File a new Building Permit Application to seek to restore the property to its authorized configuration with two-dwelling units as approved in the 201410179272 permit. The plans associated with the building permit must include floor plans and north/south sections of three following conditions:

- 1) existing (per BPA No. 201410179272),
- 2) as-built (as the property currently exists), and

3) proposed plans (to restore the building to the last legal condition with two dwelling units).

This permit must be diligently pursued and completed.

Please submit plans that meet the plan submittal requirements for Planning Department review of Building Permits. https://sfplanning.org/sites/default/files/documents/publications/Guidelines_Plan_Submittal.pdf

Visit DBI website, <https://sf.gov/apply-building-permit> for information on the permit application process.

Please be advised that upon review of above applications and plan submittals, if it is determined that additional planning applications and processes are required, the Planning Department will notify you to make such submittals.

The responsible party will need to provide adequate evidence to demonstrate that either no violation exists or that the violation has been abated. Please provide evidence including Planning approved permits, photos, etc.). A site visit may also be required to verify compliance. You may also need to obtain a building permit for any other alterations done at the property. **The work approved under any permits to abate violation must commence promptly and be continued diligently to completion with a final inspection and/or issuance of certificate of final completion.**

For questions regarding the building permit process, please contact the **Department of Building Inspection (DBI)** at:

49 South Van Ness Avenue, 2nd/5th Floor
San Francisco, CA 94103
Phone: 628.652.3200
Email: dbicustomerservice@sfgov.org
Website: www.sfdbi.org

For questions regarding the planning permit review process, please contact the **Planning Department** at:

49 South Van Ness Avenue, 2nd Floor
San Francisco, CA 94103
Phone: 628.652.7300
Email: pic@sfgov.org
Website: www.sfplanning.org

For questions about this enforcement case, please email the assigned enforcement planner as noted above. For questions about the Building Code or building permit process, please email DBI at the email address noted above.

Timeline to Respond

The timeline to respond to this Notice of Enforcement is **fifteen (15) days from the date of this notice**. Delays in abatement of the violation beyond this timeline will result in further enforcement action by the Planning Department, including issuance of Notice of Violation and assessment of administrative penalties at \$250 per day.

Please contact the assigned Enforcement Planner with any questions, to submit evidence of correction, and discuss the corrective steps to abate the violation. Should you need additional time to respond to and/or abate the violation, please discuss this with the assigned Enforcement Planner, who will assist you in developing a reasonable timeline.

Penalties and Appeal Rights

Failure to respond to this notice by abating the violation or demonstrating compliance with the Planning Code **within fifteen (15) days from the date of this notice** will result in issuance of a **Notice of Violation** by the Zoning Administrator. Administrative penalties of up to **\$250 per day** will also be assessed to the responsible party for each day beyond the timeline to respond provided for the Notice of Violation if the violation is not abated. The Notice of Violation provides the following appeal options.

1. Request for Zoning Administrator Hearing. The Zoning Administrator's final decision is then appealable to the Board of Appeals.
2. Appeal of the Notice of Violation to the Board of Appeals. The Board of Appeals may not reduce the amount of penalty below \$100 per day for each day the violation exists, excluding the period of time the matter was pending either before the Zoning Administrator or before the Board of Appeals.

Enforcement Time and Materials Fee

Pursuant to Planning Code Section 350(g)(1), the Planning Department shall charge for 'Time and Materials' to recover the cost of correcting Planning Code violations and violations of Planning Commission and Planning Department's Conditions of Approval. Accordingly, the responsible party is subject to an amount of **\$1,542** or more for "Time and Materials" cost associated with the Code Enforcement investigation. **This fee is separate from the administrative penalties described above and is not appealable.**

Other Applications Under Consideration

The Planning Department requires that any pending violations be resolved prior to the approval and issuance of any separate applications for work proposed on the same property. Therefore, any applications not related to abatement of the violation on the subject property will be placed on hold until a corrective action is taken to abate the violation. We want to assist you to bring the subject property into full compliance with the Planning Code. You may contact the enforcement planner noted above for any questions on the enforcement and appeal process.

BRIEF SUBMITTED BY THE APPELLANT(S)

APPEAL BRIEF

Appeal No.: 23-017
Appeal Title: 1281–1283 Greenwich Street LLC vs. ZA
Subject Property: 1281–1283 Greenwich Street
Determination Type: Notice of Violation & Penalty
Complaint No.: 2022-007739ENF
Hearing Date: May 31, 2023, 5:00 p.m.

I. INTRODUCTION

In 2020, Robert and Katherine Lee spent \$18 million to buy a newly-remodeled single-family home at 1281–1283 Greenwich Street in Russian Hill (“Property”).¹ Two years later, the Planning Department initiated code enforcement proceedings, alleging that the developer who sold them the Property had completed an unauthorized Dwelling Unit Merger. The Lees contested the alleged violation and requested a hearing before the Zoning Administrator (“ZA”). The ZA rejected the Lees’ arguments and issued a Notice of Violation and Penalty Decision (“NOVPD”). The Lees now appeal to this Board. As detailed below, the ZA abused his discretion and committed legal error because:

- In May 2015, the ZA administratively approved a Dwelling Unit Merger for the Property (the “2015 Approval” or “ZA Approval”).² It is undisputed that the 2015 Approval complied with the Planning Code provisions in effect at that time, and that the ZA made the special economic findings required for approval.
- The 2015 Approval remains valid under the Planning Code. The 2015 Approval became final on June 5, 2015, when the 15-day appeal period expired. (Planning Code § 308.2(b).) The 2015 Approval has no expiration date. The City has not

¹ The Lees hold the property through appellant 1281–1283 Greenwich Street, LLC, but for convenience we refer simply to the “Lees”

² See Exhibit 1 (ZA Action Memo, Case No. 2014-000145DRM).

taken any steps to revoke the 2015 Approval. And the City’s new, more restrictive rules on Dwelling Unit Mergers do not apply retroactively to the Property.

- The Lees have a vested right to their single-family home under California law, because they and their predecessor spent significant hard and soft costs in reliance upon the approved Dwelling Unit Merger. (*See Avco Community Developers, Inc. v. South Coast Regional Com.* (1976) 17 Cal.3d 785, 791 and *Cnty. Dev. Comm’n v. City of Fort Bragg* (1988) 204 Cal.App.3d 1124, 1132.)
- The NOVPD is defective on its face because it does not address the evidence and arguments presented at the ZA hearing, and it does not provide any reasoning or analysis for its conclusion.
- The real issue is that the building permit on file for the Property does not accurately reflect the single-family home authorized by the Dwelling Unit Merger. The solution is for the Lees to apply for a corrected building permit, not for the City to take their home.

II. FACTUAL AND PROCEDURAL BACKGROUND

The relevant facts are largely undisputed. For brevity, we summarize only the key facts below. A more detailed presentation is set forth in the Lees’ letter brief submitted for the ZA hearing, which is part of the record and incorporated by reference.³

A. The Previous Owner Applied for a Dwelling Unit Merger and Remodel

The Property historically consisted of two dwelling units. In 2014, a previous owner (“Developer”) undertook a complete remodel of the Property. As part of the remodel, the

³ See Opposition to Notice of Violation (Feb. 21, 2023), submitted to Corey Teague, Zoning Administrator.

Developer applied for a Dwelling Unit Merger to convert the existing two-unit residential building into a single family residence, and for permits to install a new interior, seismic upgrades, an expanded basement, a new elevator, and a new principal façade.⁴

B. The ZA Approved the Dwelling Unit Merger for the Property

On May 21, 2015, the ZA administratively approved the Dwelling Unit Merger for the Property, as reflected in a ZA Action Memo.⁵ The Dwelling Unit Merger was a discretionary land use approval, which required the ZA to evaluate the financial accessibility of the two units and make certain affordability findings. To comply with CEQA, the City issued a Categorical Exemption.⁶ There was a 15-day deadline to appeal the ZA’s decision.⁷ No appeal was filed. Therefore, the ZA Approval became final on June 5, 2015.

It is undisputed that the ZA Approval complied with the Planning Code. In May 2015, the rules for Dwelling Unit Mergers were more permissive than they are today.⁸ Then-effective Section 317(e)(4) permitted the ZA to administratively approve Dwelling Unit Mergers that would result in the loss of one or two units that were “demonstrably not affordable or financially inaccessible housing.” Consistent with this provision, the ZA reviewed appraisals for both units on the Property, found them to be “financially inaccessible,” and granted administrative approval of the Dwelling Unit Merger.⁹

⁴ See, e.g., Exhibit 3 (Notice of Building Permit Application) (describing scope of work).

⁵ See Exhibit 1 (ZA Action Memo).

⁶ See Exhibit 2 (Categorical Exemption Determination, Case No. 2014-000145ENV).

⁷ Planning Code § 308.2(b) (notice of appeal must be filed with the Board of Appeals within 15 days of the ZA’s written determination).

⁸ See Exhibit 6 (applicable version of Planning Code Section 317).

⁹ See Exhibit 1.

C. The City Adopted New Rules for Dwelling Unit Mergers

After the ZA approved the Dwelling Unit Merger for the Property, the City adopted new, more restrictive rules on Dwelling Unit Mergers.

First, the City adopted Interim Zoning Controls, requiring Conditional Use Authorization for all residential mergers, and eliminating the ZA’s administrative approval authority.¹⁰ The Interim Zoning Controls took effect on July 3, 2015, a month after the ZA Approval for the Property became final.

Second, the City adopted a Planning Code Amendment, making the Interim Zoning Controls permanent.¹¹ The permanent legislation took effect on April 10, 2016, almost one year after the ZA Approval for the Property became final.

Crucially, neither the Interim Zoning Controls nor the Planning Code Amendment applied retroactively. Nevertheless, the rule change led to significant confusion about the remodel at the Property. Planning staff apparently believed the new controls on Dwelling Unit Mergers applied retroactively to the Property, when they did not.¹² The Developer’s consultant was somehow persuaded to “withdraw” an application for a Dwelling Unit Merger, even though a final approval had already been granted and no application was pending. And the subsequent permitting documents are inconsistent—some reflect a one-unit home, while others reflect a two-unit building.¹³ It is unclear from the record exactly what transpired during construction, but the

¹⁰ See Exhibit 7 (Interim Zoning Controls) and Exhibit 8 (SFPC Legislative Bulletin).

¹¹ See Exhibit 9 (Ordinance No. 33-16, amending Planning Code Section 317.)

¹² See Exhibit 10 (Planning staff meeting notes, Aug. 19, 2015) (showing erroneous belief that new controls applied retroactively).

¹³ See, e.g., Exhibit 11 (Notice of Building Permit Application, Jun. 26, 2015) (reflecting one unit building); Exhibit 12 (excerpts of permitting history).

single-family home was ultimately built, and the City inspected it multiple times and issued a certificate of occupancy, despite the contradictions about whether it was one unit or two.

D. The Lees Purchased the Property

In January 2020, the Lees purchased the Property from Developer for \$18 million. The Property was marketed and sold as a single-family home. The real estate disclosures explicitly stated that the Property was one unit; that no units had been unlawfully merged; that the Property was “brand new construction”; and that “all permits were pulled legally.”¹⁴ The marketing materials—including the listing photos and a video—all showed a single family home.¹⁵ The real estate press have also consistently reported that the Property is a single-family home.¹⁶ An article in “The Real Deal,” for example, reports that “[t]here was *originally a two-unit* on the property and it took almost 10 years to get the *new four-level single-family home* with roof deck permitted, designed by high-end residential architect Dave Swetz, and constructed.” Thus, the Lees believed in good faith that they were purchasing a single-family home, and they had no reason to suspect there might be any code compliance issues.

E. The City Initiated Code Enforcement Proceedings

In summer 2022, two years after the Lees bought the Property, an anonymous neighbor filed a code complaint. Planning staff made a site inspection, found what they believed was an unauthorized Dwelling Unit Merger, and initiated enforcement proceedings against the Lees.

¹⁴ See Exhibit 4 (Seller Disclosure Form, dated Dec. 20, 2019; Real Estate Transfer Disclosure Statement, dated Jan. 3, 2020.)

¹⁵ See, e.g., video walk-through (available at: <https://vimeo.com/158102618>) and listing photos (available at: https://www.movoto.com/san-francisco-ca/1281-greenwich-st-san-francisco-ca-94109-110_366771/ and https://www.zillow.com/homedetails/1283-Greenwich-St-San-Francisco-CA-94109/2132990369_zpid/).

¹⁶ See, e.g., Exhibit 5 (articles from the *San Francisco Business Times* and *The Real Deal*).

This was the first time the Lees had heard anything about a potential code violation at the Property. They retained us to investigate. After extensive research and records requests, we discovered that Planning staff had overlooked and were not even aware of the 2015 Approval, and that they erroneously applied the new, non-retroactive Planning Code Amendments.

The Lees then pursued all available administrative remedies, including by holding meetings with the enforcement planner, submitting letter briefs and supporting evidence, and requesting a hearing before the ZA. The ZA hearing was held February 28, 2023, and the ZA issued the NOVDP upholding the violation on April 6, 2023. The Lees timely filed an appeal to this Board on April 20, 2023.

III. ISSUE FOR DECISION

The case presents a narrow legal issue: whether the 2015 Approval of the Dwelling Unit Merger remains valid and effective.

IV. STANDARD OF REVIEW

The Board reviews the ZA's decision for abuse of discretion or error in interpretation of the Planning Code.¹⁷

V. ARGUMENT

The ZA does not contest that his 2015 Approval was validly issued. Rather, he argues only that the 2015 Approval is not valid today. The ZA's reasoning is unclear, as the NOVDP does not contain any discussion or analysis of the relevant legal issue. But based on comments made at the hearing, the ZA believes the 2015 Approval was either not fully effectuated or subsequently terminated. For the reasons set forth below, the ZA is wrong as a matter of law and has thus abused his discretion.

¹⁷ City Charter, Art. IV, § 4.106(c)(1); Planning Code § 308.2(e)(2).

A. The Dwelling Unit Merger Remains Valid Under the Planning Code

The 2015 Approval of the Dwelling Unit Merger remains valid and effective—by its own terms and under the Planning Code. The NOVDP does not even attempt to explain the legal mechanism by which the 2015 Approval could have expired or terminated.

1. *The 2015 Approval became effective 15 days after issuance.*

At the ZA hearing, the ZA took the position that his 2015 Approval of the Dwelling Unit Merger never took effect or never became final, because it was not memorialized in a subsequent building permit. But the ZA was unable to identify any legal basis for this requirement in the Planning Code, and indeed the Planning Code does not include any such requirement. To the contrary, Section 308.2 provides that an administrative approval by the ZA may be appealed within 15 days, and if not appealed the approval becomes final.¹⁸ It says nothing about the need for a further building permit to effectuate an administrative approval.

The ZA suggested at the hearing that Section 308.2 did not apply here. That is a code interpretation error. Section 308.2 specifies the appeal procedures for “Administrative Actions” taken by the ZA. This section applies to any “action” of the ZA in “making any order, requirement, decision, or other determination.” That language necessarily encompasses the 2015 Approval, which is a “ZA Action Memo” granting an administrative approval. Section 308.2(b) provides a 15-day appeal period for “any written determination” (other than a variance) made by the ZA. The 15-day appeal period for the 2015 Approval expired on June 5, 2015. No appeal was filed, and the Dwelling Unit Merger became final and beyond challenge on that date.

¹⁸ See Planning Code § 308.2(b).

When the Lees presented this explanation at the hearing, the ZA characterized and rejected it as “a very literal reading” of the code.¹⁹ But, of course, that is exactly how a court will interpret the code. Although courts may give deference to a city’s interpretation of ambiguous provisions in its own code, courts will not ignore the plain language of the code or apply unwritten provisions.²⁰ If the Board of Supervisors does not like the procedures it enacted in Section 308.2, the proper remedy is for the Board of Supervisors to adopt new legislation changing the procedures, not for the Planning Department to apply contradictory and unwritten requirements.

2. *The 2015 Approval does not expire and has not been revoked.*

The ZA has not identified any legal basis on which to conclude that the approved Dwelling Unit Merger has expired. The 2015 Approval itself does not contain an expiration date. Likewise, the Planning Code does not provide an expiration date applicable to administrative approvals granted by the ZA. Nor has the Dwelling Unit Merger been revoked. “A municipality’s power to revoke a permit is limited...[and permits] may not be revoked arbitrarily without cause. Furthermore, notice and hearing must be afforded a permittee prior to revocation”²¹ Here, the City has never taken any action to revoke the Dwelling Unit Merger. Accordingly, the 2015 Dwelling Unit Merger approval remains valid today.

3. *The 2015 Approval has not been withdrawn or abandoned.*

Earlier in the administrative proceedings, the City argued that the application for the Dwelling Unit Merger was “withdrawn” on January 6, 2017. Although the Developer’s

¹⁹ See video of ZA Hearing at 0:28:46, available via <https://sfplanninggis.org/pim/>.

²⁰ See, e.g., *San Diegans for Open Gov’t v. City of San Diego* 245 Cal.App.4th 736, 740–741 (courts independently interpret local ordinances, following their plain language).

²¹ *Cnty. Dev. Comm’n v. City of Fort Bragg* (1988) 204 Cal.App.3d 1124, 1132.

representative did purport to “withdraw” an application in response to Planning staff’s request, the representative’s intent in doing so was unclear. The representative may have agreed to withdraw any pending application because the Dwelling Unit Merger had already been approved. Alternatively, the representative may have been confused about the status of the approval as a result of staff’s earlier misinterpretation. Regardless, any withdrawal was null and ineffective because there was no pending application to withdraw. The Dwelling Unit Merger for the Property had already been approved and vested for several years, and it could not have been affected by the purported withdrawal of an application.

4. *The Planning Code Amendments do not apply retroactively to the 2015 Approval.*

Earlier in the administrative proceedings, the City argued that the new restrictions on Dwelling Unit Mergers applied retroactively to the Property, and rendered the ZA’s 2015 Approval void. It is unclear from the NOVDP whether the ZA maintains this position, but if so he is wrong as a matter of law. As explained in the Section II.C above, neither the Interim Zoning Controls nor the Planning Code Amendments applied retroactively.²² In fact, the Planning Code Amendments expressly state the opposite:

Removal of a Residential Unit that has received approval from the Planning Department through *administrative approval . . . prior to the effective date* of the Conditional Use requirement of Subsection (c)(1) is *not required to apply for additional approval* under Subsection (c)(1).²³

Thus, the new rules on Dwelling Unit Mergers are a red herring and have no applicability in this case.

²² Exhibits 7 & 9.

²³ Exhibit 9 (Planning Code § 317(c)(3) (emphasis added)).

B. The Dwelling Unit Merger is Vested Under Common Law Principles

The ZA also ignores the common law doctrine of vested rights.²⁴ Under the vested rights doctrine, the Dwelling Unit Merger would remain valid even if the Planning Code did otherwise provide for its expiration or termination.

Under the well-known *Avco* rule, a property owner obtains a vested right to complete a development project after (1) obtaining a valid building permit or its functional equivalent, and (2) performing substantial work and incurring substantial liabilities in good faith reliance on the permit.²⁵ Even where a building permit has not been issued, a property owner may establish vested rights based on a preliminary approval that is “sufficiently definitive” and “manifests” all required discretionary approvals.²⁶ Once a property owner has secured a vested right, the City may not, by virtue of a change in zoning laws, prohibit construction authorized by the permit that the property owner relied on. The Lees meet this test for vested rights.

First, the ZA Action Memo is the functional equivalent of a building permit because it explicitly:

“AUTHORIZED ADMINISTRATIVE APPROVAL of Building Permit Application No. 201410179272, proposing the merger of two dwelling-units within a two-unit building, resulting in a single family home.”²⁷

In other words, the ZA approved that part of the building permit application, within his scope of review, proposing the Dwelling Unit Merger. And even if the ZA Approval were not the

²⁴ Although the Lees briefed and argued this issue extensively at the ZA hearing, the NOVDPD does not substantively respond.

²⁵ *Avco Community Developers, Inc. v. South Coast Regional Com.* (1976) 17 Cal.3d 785, 791; *see also Goat Hill Tavern v. City of Costa Mesa* (1992) 6 Cal.App.4th 1519, 1530.

²⁶ *See Pardee Construction Co. v. City of Camarillo* (1984) 37 Cal.3d 465, 475–476 (collecting authorities).

²⁷ *See Exhibit 1*, “Action.”

functional equivalent of a building permit, it is still a qualifying preliminary approval, because it was absolutely definitive (“AUTHORIZED ADMINISTRATIVE APPROVAL”) and it was the sole discretionary approval needed to merge the dwelling units,

Second, there can be no question that the Developer and the Lees performed substantial work and incurred substantial liabilities in good faith reliance on the ZA Approval. The City’s own permit files contain extensive evidence that the Developer hired architects and engineers to design the one-unit single-family home, and that the Developer prepared and submitted plans and materials showing the merger for administrative review. Under the *Fort Bragg* case, these pre-construction “soft costs” are by themselves sufficient to establish vested rights.²⁸ Moreover, the Developer then proceeded to completely remodel the Property and convert it into a single family home, and the Lees paid \$18 million to buy it. Accordingly, the Lees have a vested property right, which the City cannot legally take away.

C. The NOVDP is Defective Because It Includes No Reasoning or Analysis

The ZA also abused his discretion by failing to adequately explain his decision. Although the NOVDP provides a detailed, four-page summary of the evidence and arguments submitted by the Lees at the hearing (including the same arguments raised in this brief),²⁹ the NOVDP completely fails to respond to the arguments and evidence. Instead, it summarily upholds the violation in a single sentence, without any supporting reasoning or analysis.³⁰

²⁸ *Cnty. Dev. Comm’n v. City of Fort Bragg* (1988) 204 Cal.App.3d 1124, 1130–31 (quoting *Morgan v. Cnty. of San Diego* (1971) 19 Cal.App.3d 636, 641).

²⁹ See NOVDP at pp. 4–7.

³⁰ *Id.* at p. 8.

D. The Lees Can Apply for a Corrected Building Permit

The issue in this case is not that the Property has an *unauthorized* Dwelling Unit Merger. Rather, the issue is that the building permit for the Property does not accurately reflect the *authorized* Dwelling Unit Merger. But since the merger is a vested land use approval, there is an easy solution to the problem: The Lees could simply apply for a corrected building permit that reflects the existing single-family home. This would fully resolve the City’s concern that the building permit on file does not accurately reflect the structure as entitled and built, while honoring the Lees vested rights as required by law.

VI. REQUESTED ACTION

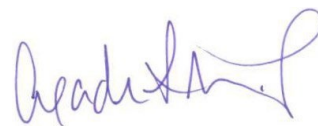
For the reasons above, the Lees request that the Board:

- Overturn the Notice of Violation & Penalty Decision;
- Find that the 2015 Dwelling Unit Merger is effective and vested; and
- If desired by the City, direct the Lees to apply for a corrected building permit that reflects the as-built single-family home.

Dated: May 11, 2023

SHEPPARD, MULLIN, RICHTER & HAMPTON LLP

By



ALEXANDER L. MERRITT

Attorneys for 1281–1283 Greenwich Street LLC

APPEAL EXHIBITS

Appeal No.: 23-017
Appeal Title: 1281–1283 Greenwich Street LLC vs. ZA
Subject Property: 1281–1283 Greenwich Street
Determination Type: Notice of Violation & Penalty
Complaint No.: 2022-007739ENF
Hearing Date: May 31, 2023, 5:00 p.m.

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
1	Zoning Administrator Action Memo
2	CEQA Categorical Exemption Determination
3	Notice of Building Permit Application (4/3/2015)
4	Excerpts of Real Estate Disclosures
5	Press Reports on the Property
6	Previous text of Planning Code Section 317 (Effective until 7/2/2015)
7	Interim Zoning Controls—Reso. No. 247-15 (Effective from 7/3/2015 to 4/9/2016)
8	SFPC Legislative Bulletin on Interim Zoning Controls
9	Amendment to Planning Code Section 317—Ord. No. 33-16 (Effective starting 4/10/2016)
10	Planning Staff Meeting Notes (8/19/2015)

11	Notice of Building Permit Application (6/26/2015)
12	Excerpts of Permitting History

Dated: May 11, 2023

SHEPPARD, MULLIN, RICHTER & HAMPTON LLP

By



ALEXANDER L. MERRITT

Attorneys for 1281-1283 Greenwich Street LLC

EXHIBIT 1



SAN FRANCISCO PLANNING DEPARTMENT

MEMO

Zoning Administrator Action Memo Administrative Review of Dwelling Unit Merger

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Date: May 21, 2015
Case No.: 2014-000145DRM
Project Address: 1281-1283 GREENWICH STREET
Building Permit: 201410179272
Zoning: RM-2 (Residential – Mixed, Moderate Density)
40-X Height and Bulk District
Block/Lot: 0095/024
Project Sponsor: Dave Swetz
c/o Butler Armsden Architects
1420 Sutter Street
San Francisco, CA 94109
Property Owner: Jeremy Ricks
1283 Greenwich Street
San Francisco, CA 94109
Staff Contact: Carly Grob – (415) 575-9138
carly.grob@sfgov.org

PROJECT DESCRIPTION

The proposed merger of two dwelling units in a two-unit building is subject to Planning Code Section 317, which allows the Planning Department to administratively approve dwelling unit mergers that are demonstrably not affordable or financially accessible housing. Neither of the units are demonstrably affordable or financially accessible housing, thus the proposed merger may be approved administratively.

ACTION

Upon review of the Applicant's appraisal for 1281 Greenwich Street, which was appraised at \$1.6M on August 18, 2014 and for 1283 Greenwich Street, which was appraised at \$3.025M on August 18, 2014, the Zoning Administrator **AUTHORIZED ADMINISTRATIVE APPROVAL** of Building Permit Application No. 201410179272, proposing the merger of two dwelling-units within a two-unit building, resulting in a single-family home.

FINDINGS

The Zoning Administrator took the action described above because the proposed merger would not result in the loss of any dwelling-units that are valued at or under 80% of the combined land and structure values of single-family homes in San Francisco (currently \$1.506 million). Based upon the

Memo

appraisals submitted with the application, the two units proposed for merger are financially inaccessible housing. Because a major intent of Planning Code Section 317 is to preserve existing sound housing stock and thus conserve its affordability, the Code exempts the most expensive (least affordable) single-family homes (including condominiums) from the hearing requirements pertaining to this Code Section.

You can appeal the Zoning Administrator's action to the Board of Appeals by appealing the issuance of the above-referenced Building Permit Application. For information regarding the appeals process, please contact the Board of Appeals located at 1650 Mission Street, Room 304, San Francisco, or call (415) 575-6880.

cc: Zoning Administrator Files

EXHIBIT 2



SAN FRANCISCO PLANNING DEPARTMENT

Affidavit of Mailing

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

I, _____ **Monica Huggins** _____ have mailed the attached document

(please print name)

- Notification of Project Receiving Environmental Review (Neighborhood Notice)
- Notice of Availability of Environmental Review Document (NOA)
- Notice of Scoping Meeting for an Environmental Impact Report
- Notice of Preparation of an Environmental Impact Report
- Notice of Availability of Draft Environmental Impact Report
- Preliminary Negative Declaration (PND) and Standard Neg Dec Cover Letter
- Mitigated Negative Declaration (FMND)
- Notice of Availability of Preliminary Negative Declaration
- Notice of Hearing on Appeal After Initial Evaluation of a Project
- Certificate of Determination of Exemption/Exclusion From Environmental Review
- Other : _____

On 5/29/2015 Project File No. & Title 2014-000145ENV-1283 Greenwich Street
(Date)

Also attached is a copy of the mailing list/ mailing labels to which the document was mailed.

Monica Huggins

(Signature)

5/29/2015

(Date)

N:\MEA\Administrative\forms\Affidavit of Mailing.doc

Revised 04/24/07



SAN FRANCISCO PLANNING DEPARTMENT

CEQA Categorical Exemption Determination

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address		Block/Lot(s)	
1283 Greenwich Street		0095/024	
Case No.	Permit No.	Plans Dated	
2014-000145Env			
<input checked="" type="checkbox"/> Addition/ Alteration	<input type="checkbox"/> Demolition (requires HRER if over 45 years old)	<input type="checkbox"/> New Construction	<input type="checkbox"/> Project Modification (GO TO STEP 7)
Project description for Planning Department approval.			
UNIT MERGER OF 2 FAMILY INTO SINGLE FAMILY HOME. INTERIOR REMODEL & SEISMIC UPGRADE. EXPAND (E) BASEMENT FOR NEW ELEVATOR. NEW PRINCIPLE FACADE.			

STEP 1: EXEMPTION CLASS

TO BE COMPLETED BY PROJECT PLANNER

Note: If neither class applies, an <i>Environmental Evaluation Application</i> is required.	
<input checked="" type="checkbox"/>	Class 1 – Existing Facilities. Interior and exterior alterations; additions under 10,000 sq. ft.
<input type="checkbox"/>	Class 3 – New Construction/ Conversion of Small Structures. Up to three (3) new single-family residences or six (6) dwelling units in one building; commercial/office structures; utility extensions; change of use under 10,000 sq. ft. if principally permitted or with a CU.
<input type="checkbox"/>	Class__

STEP 2: CEQA IMPACTS

TO BE COMPLETED BY PROJECT PLANNER

If any box is checked below, an <i>Environmental Evaluation Application</i> is required.	
<input type="checkbox"/>	Transportation: Does the project create six (6) or more net new parking spaces or residential units? Does the project have the potential to adversely affect transit, pedestrian and/or bicycle safety (hazards) or the adequacy of nearby transit, pedestrian and/or bicycle facilities?
<input type="checkbox"/>	Air Quality: Would the project add new sensitive receptors (specifically, schools, day care facilities, hospitals, residential dwellings, and senior-care facilities within an Air Pollution Exposure Zone? Does the project have the potential to emit substantial pollutant concentrations (e.g., backup diesel generators, heavy industry, diesel trucks, etc.)? (refer to EP_ArcMap > CEQA Catex Determination Layers > Air Pollution Exposure Zone)
<input type="checkbox"/>	Hazardous Materials: If the project site is located on the Maher map or is suspected of containing hazardous materials (based on a previous use such as gas station, auto repair, dry cleaners, or heavy manufacturing, or a site with underground storage tanks): Would the project involve 50 cubic yards or more of soil disturbance - or a change of use from industrial to residential? If yes, this box must be checked and the project applicant must submit an Environmental Application with a Phase I Environmental Site Assessment. <i>Exceptions: do not check box if the applicant presents documentation of enrollment in the San Francisco Department of Public Health (DPH) Maher program, a DPH waiver from the</i>

	<i> Maher program, or other documentation from Environmental Planning staff that hazardous material effects would be less than significant (refer to EP_ArcMap > Maher layer).</i>
<input type="checkbox"/>	Soil Disturbance/Modification: Would the project result in soil disturbance/modification greater than two (2) feet below grade in an archeological sensitive area or eight (8) feet in a non-archeological sensitive area? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Archeological Sensitive Area)</i>
<input type="checkbox"/>	Noise: Does the project include new noise-sensitive receptors (schools, day care facilities, hospitals, residential dwellings, and senior-care facilities) fronting roadways located in the noise mitigation area? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Noise Mitigation Area)</i>
<input type="checkbox"/>	Subdivision/Lot Line Adjustment: Does the project site involve a subdivision or lot line adjustment on a lot with a slope average of 20% or more? <i>(refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i>
<input type="checkbox"/>	Slope = or > 20%: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, or grading on a lot with a slope average of 20% or more? <i>Exceptions: do not check box for work performed on a previously developed portion of site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Topography)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Landslide Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1,000 sq. ft., shoring, underpinning, retaining wall work, grading—including excavation and fill on a landslide zone – as identified in the San Francisco General Plan? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report is required and a Certificate or higher level CEQA document required
<input type="checkbox"/>	Seismic: Liquefaction Zone: Does the project involve excavation of 50 cubic yards of soil or more, square footage expansion greater than 1000 sq ft, shoring, underpinning, retaining wall work, or grading on a lot in a liquefaction zone? <i>Exceptions: do not check box for work performed on a previously developed portion of the site, stairs, patio, deck, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Seismic Hazard Zones)</i> If box is checked, a geotechnical report will likely be required
<input type="checkbox"/>	Serpentine Rock: Does the project involve any excavation on a property containing serpentine rock? <i>Exceptions: do not check box for stairs, patio, deck, retaining walls, or fence work. (refer to EP_ArcMap > CEQA Catex Determination Layers > Serpentine)</i>
*If no boxes are checked above, GO TO STEP 3. If one or more boxes are checked above, an <i>Environmental Evaluation Application</i> is required, unless reviewed by an Environmental Planner.	
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project does not trigger any of the CEQA impacts listed above.
Comments and Planner Signature (optional): <u>Laura Lynch</u> _____	
Maher application waiver (SMED:1002).	

**STEP 3: PROPERTY STATUS – HISTORIC RESOURCE
TO BE COMPLETED BY PROJECT PLANNER**

PROPERTY IS ONE OF THE FOLLOWING: <i>(refer to Parcel Information Map)</i>	
<input type="checkbox"/>	Category A: Known Historical Resource. GO TO STEP 5.
<input checked="" type="checkbox"/>	Category B: Potential Historical Resource (over 45 years of age). GO TO STEP 4.
<input type="checkbox"/>	Category C: Not a Historical Resource or Not Age Eligible (under 45 years of age). GO TO STEP 6.

**STEP 4: PROPOSED WORK CHECKLIST
TO BE COMPLETED BY PROJECT PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Change of use and new construction. Tenant improvements not included.
<input type="checkbox"/>	2. Regular maintenance or repair to correct or repair deterioration, decay, or damage to building.
<input type="checkbox"/>	3. Window replacement that meets the Department's <i>Window Replacement Standards</i> . Does not include storefront window alterations.
<input type="checkbox"/>	4. Garage work. A new opening that meets the <i>Guidelines for Adding Garages and Curb Cuts</i> , and/or replacement of a garage door in an existing opening that meets the Residential Design Guidelines.
<input type="checkbox"/>	5. Deck, terrace construction, or fences not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	6. Mechanical equipment installation that is not visible from any immediately adjacent public right-of-way.
<input type="checkbox"/>	7. Dormer installation that meets the requirements for exemption from public notification under <i>Zoning Administrator Bulletin No. 3: Dormer Windows</i> .
<input type="checkbox"/>	8. Addition(s) that are not visible from any immediately adjacent public right-of-way for 150 feet in each direction; does not extend vertically beyond the floor level of the top story of the structure or is only a single story in height; does not have a footprint that is more than 50% larger than that of the original building; and does not cause the removal of architectural significant roofing features.
Note: Project Planner must check box below before proceeding.	
<input checked="" type="checkbox"/>	Project is not listed. GO TO STEP 5.
<input type="checkbox"/>	Project does not conform to the scopes of work. GO TO STEP 5.
<input type="checkbox"/>	Project involves four or more work descriptions. GO TO STEP 5.
<input type="checkbox"/>	Project involves less than four work descriptions. GO TO STEP 6.

**STEP 5: CEQA IMPACTS – ADVANCED HISTORICAL REVIEW
TO BE COMPLETED BY PRESERVATION PLANNER**

Check all that apply to the project.	
<input type="checkbox"/>	1. Project involves a known historical resource (CEQA Category A) as determined by Step 3 and conforms entirely to proposed work checklist in Step 4.
<input type="checkbox"/>	2. Interior alterations to publicly accessible spaces.
<input type="checkbox"/>	3. Window replacement of original/historic windows that are not "in-kind" but are consistent with existing historic character.
<input type="checkbox"/>	4. Façade/storefront alterations that do not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	5. Raising the building in a manner that does not remove, alter, or obscure character-defining features.
<input type="checkbox"/>	6. Restoration based upon documented evidence of a building's historic condition, such as historic photographs, plans, physical evidence, or similar buildings.
<input type="checkbox"/>	7. Addition(s) , including mechanical equipment that are minimally visible from a public right-of-way and meet the <i>Secretary of the Interior's Standards for Rehabilitation</i> .

<input type="checkbox"/>	8. Other work consistent with the Secretary of the Interior Standards for the Treatment of Historic Properties (specify or add comments):
<input type="checkbox"/>	9. Other work that would not materially impair a historic district (specify or add comments): (Requires approval by Senior Preservation Planner/Preservation Coordinator) _____
<input checked="" type="checkbox"/>	10. Reclassification of property status to Category C. (Requires approval by Senior Preservation Planner/Preservation Coordinator) a. Per HRER dated: _____ (attach HRER) b. Other (specify): per PTR Form dated 5/20/2015
Note: If ANY box in STEP 5 above is checked, a Preservation Planner MUST check one box below.	
<input type="checkbox"/>	Further environmental review required. Based on the information provided, the project requires an <i>Environmental Evaluation Application</i> to be submitted. GO TO STEP 6.
<input checked="" type="checkbox"/>	Project can proceed with categorical exemption review. The project has been reviewed by the Preservation Planner and can proceed with categorical exemption review. GO TO STEP 6.
Comments (optional):	
Preservation Planner Signature: Gretchen Hilyard _____	

STEP 6: CATEGORICAL EXEMPTION DETERMINATION
TO BE COMPLETED BY PROJECT PLANNER

<input type="checkbox"/>	Further environmental review required. Proposed project does not meet scopes of work in either (check all that apply): <input type="checkbox"/> Step 2 – CEQA Impacts <input type="checkbox"/> Step 5 – Advanced Historical Review STOP! Must file an <i>Environmental Evaluation Application</i>.	
<input checked="" type="checkbox"/>	No further environmental review is required. The project is categorically exempt under CEQA.	
	Planner Name: Gretchen A. Hilyard	Signature: Gretchen Hilyard <small>Digitally signed by Gretchen Hilyard DN: dc=org, dc=sfgov, dc=cityplanning, ou=CityPlanning, ou=Current Planning, cn=Gretchen Hilyard, email=Gretchen.Hilyard@sfgov.org Date: 2015.05.29 10:54:27 -0700</small>
	Project Approval Action: Building Permit *If Discretionary Review before the Planning Commission is requested, the Discretionary Review hearing is the Approval Action for the project.	
Once signed or stamped and dated, this document constitutes a categorical exemption pursuant to CEQA Guidelines and Chapter 31 of the Administrative Code. In accordance with Chapter 31 of the San Francisco Administrative Code, an appeal of an exemption determination can only be filed within 30 days of the project receiving the first approval action.		

**STEP 7: MODIFICATION OF A CEQA EXEMPT PROJECT
TO BE COMPLETED BY PROJECT PLANNER**

In accordance with Chapter 31 of the San Francisco Administrative Code, when a California Environmental Quality Act (CEQA) exempt project changes after the Approval Action and requires a subsequent approval, the Environmental Review Officer (or his or her designee) must determine whether the proposed change constitutes a substantial modification of that project. This checklist shall be used to determine whether the proposed changes to the approved project would constitute a "substantial modification" and, therefore, be subject to additional environmental review pursuant to CEQA.

PROPERTY INFORMATION/PROJECT DESCRIPTION

Project Address (If different than front page)		Block/Lot(s) (If different than front page)
Case No.	Previous Building Permit No.	New Building Permit No.
Plans Dated	Previous Approval Action	New Approval Action
Modified Project Description:		

DETERMINATION IF PROJECT CONSTITUTES SUBSTANTIAL MODIFICATION

Compared to the approved project, would the modified project:	
<input type="checkbox"/>	Result in expansion of the building envelope, as defined in the Planning Code;
<input type="checkbox"/>	Result in the change of use that would require public notice under Planning Code Sections 311 or 312;
<input type="checkbox"/>	Result in demolition as defined under Planning Code Section 317 or 19005(f)?
<input type="checkbox"/>	Is any information being presented that was not known and could not have been known at the time of the original determination, that shows the originally approved project may no longer qualify for the exemption?
If at least one of the above boxes is checked, further environmental review is required	

CATEX FORM

DETERMINATION OF NO SUBSTANTIAL MODIFICATION

<input type="checkbox"/>	The proposed modification would not result in any of the above changes.
If this box is checked, the proposed modifications are categorically exempt under CEQA, in accordance with prior project approval and no additional environmental review is required. This determination shall be posted on the Planning Department website and office and mailed to the applicant, City approving entities, and anyone requesting written notice.	
Planner Name:	Signature or Stamp:



SAN FRANCISCO PLANNING DEPARTMENT

PRESERVATION TEAM REVIEW FORM

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Preservation Team Meeting Date:		Date of Form Completion	5/7/2015
---------------------------------	--	-------------------------	----------

PROJECT INFORMATION:		
Planner:	Address:	
Gretchen Hilyard	1283 Greenwich Street	
Block/Lot:	Cross Streets:	
0095/024	Larkin Street	
CEQA Category:	Art. 10/11:	BPA/Case No.:
B	n/a	2014-000145ENV

PURPOSE OF REVIEW:			PROJECT DESCRIPTION:	
<input checked="" type="radio"/> CEQA	<input type="radio"/> Article 10/11	<input type="radio"/> Preliminary/PIC	<input checked="" type="radio"/> Alteration	<input type="radio"/> Demo/New Construction

DATE OF PLANS UNDER REVIEW:	10/17/2014
------------------------------------	------------

PROJECT ISSUES:	
<input checked="" type="checkbox"/>	Is the subject Property an eligible historic resource?
<input type="checkbox"/>	If so, are the proposed changes a significant impact?
Additional Notes:	
Submitted: Historic Resource Evaluation for 1283 Greenwich Street prepared by Page & Turnbull, dated April 15, 2015.	
Proposed project: Unit merger of two-family into single family home. Interior remodel of existing 3-story residence and seismic upgrade. Expand existing garage and basement level principal facade to be redesigned and replaced.	

PRESERVATION TEAM REVIEW:				
Historic Resource Present		<input type="radio"/> Yes	<input checked="" type="radio"/> No *	<input type="radio"/> N/A
Individual		Historic District/Context		
Property is individually eligible for inclusion in a California Register under one or more of the following Criteria:		Property is in an eligible California Register Historic District/Context under one or more of the following Criteria:		
Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 1 - Event:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 2 - Persons:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 3 - Architecture:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	Criterion 4 - Info. Potential:	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Period of Significance:	<input type="text"/>	Period of Significance:	<input type="text"/>	
		<input type="radio"/> Contributor <input type="radio"/> Non-Contributor		

Complies with the Secretary's Standards/Art 10/Art 11:	<input type="radio"/> Yes	<input type="radio"/> No	<input checked="" type="radio"/> N/A
CEQA Material Impairment:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Needs More Information:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Requires Design Revisions:	<input type="radio"/> Yes	<input checked="" type="radio"/> No	
Defer to Residential Design Team:	<input checked="" type="radio"/> Yes	<input type="radio"/> No	

* If No is selected for Historic Resource per CEQA, a signature from Senior Preservation Planner or Preservation Coordinator is required.

PRESERVATION TEAM COMMENTS:
See attached sheets.

Signature of a Senior Preservation Planner / Preservation Coordinator:	Date:
<i>Gmada</i>	5/20/2015

EXHIBIT 3



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On October 17, 2014, the Applicant named below filed Building Permit Application No. 2014.1017.9272 with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	1281-1283 Greenwich Street	Applicant:	Dave Swetz, Butler Armsden Architects
Cross Street(s):	Between Larkin and Hyde Streets	Address:	1420 Sutter St.
Block/Lot No.:	0095/024	City, State:	San Francisco, CA 94109
Zoning District(s):	RM-3 / 40-X	Telephone:	(415) 674-5554

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input checked="" type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	None	No Change
Building Depth	59'10"	No Change
Rear Yard	2'8"	No Change
Building Height	43'8.5"	No Change
Number of Stories	3 Stories over basement	No Change
Number of Dwelling Units	2	1
Number of Parking Spaces	2	No Change
PROJECT DESCRIPTION		
<p>The project proposes a Dwelling Unit Merger to convert the existing two-unit residential building into a single family residence. The project includes interior renovations, expansion of the existing basement and a new principal façade, as well as seismic upgrades. The Dwelling Unit Merger was approved administratively by a ZA Action Memo in Case No. 2014-000145DRM.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Carly Grob
 Telephone: (415) 575-9138
 E-mail: carly.grob@sfgov.org

Notice Date:
 Expiration Date:

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued (or denied)** by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision to **exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.



1221 Harrison Street Ste 18
San Francisco CA 94103-4449

415-391-4775 fax 391-4777
Radiusservices © AOL.com

**AFFIDAVIT OF PREPARATION
OF NOTIFICATION MAP, MAILING LIST, & DELIVERY MATERIALS
FOR PUBLIC NOTIFICATION**

RADIUS SERVICES hereby declares as follows:

1. We have prepared the Notification Map, Mailing List, and Delivery Materials for the purpose of Public Notification in accordance with requirements and instructions stipulated by San Francisco City Planning Code / San Francisco Building Code:

Section 311 - labels may be requested by Planning Dept.

Section 312 - labels may be requested by Planning Dept.

Section 106.3.2.3 (Demolition)

Conditional Use Permit for Wireless Antenna Installation

Other _____

2. We understand that we are responsible for the accuracy of this information, and that erroneous information may require re-mailing or lead to suspension or revocation of the permit.

3. We have prepared these materials in good faith and to the best of our ability.

We declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED IN SAN FRANCISCO, ON THIS DAY, 4/3/15

RADIUS SERVICES
Professional Service Provider

Douglas Chuck
Douglas Chuck
Radius Services

009524VV
Radius Services Job Number

1281 Greenwich St
Project Address

BLOCK LOT	OWNER	OADDR	CITY	STATE	ZIP
0001 001	RADIUS SERVICES NO. 009524NU	1281 GREENWICH ST	ARMSDEN	15	0324
0001 002	.....	.....	.....	.....	.....
0001 003	RADIUS SERVICES	1221 HARRISON ST #18	SAN FRANCISCO	CA	94103
0001 004	BUTLER ARMSDEN	1420 SUTTER ST 1ST FL	SAN FRANCISCO	CA	94109
0001 005	.....	.....	.....	.....	.....
0070 001	DEPARTMENT PARKS & REC	501 STANYAN ST	SAN FRANCISCO	CA	94117-1898
0095 007	ETHAN DORR	1355 PACIFIC AV #105	SAN FRANCISCO	CA	94109-2793
0095 007	OCCUPANT	1240 FILBERT ST	SAN FRANCISCO	CA	94109-1714
0095 008	J & E HIRST	1248 FILBERT ST	SAN FRANCISCO	CA	94109-1714
0095 008	OCCUPANT	1246 FILBERT ST	SAN FRANCISCO	CA	94109-1714
0095 009	TOWERS ONE PTNRSH	1033 JACKLING DR	HILLSBOROUGH	CA	94010-6129
0095 009	OCCUPANT	1252 FILBERT ST	SAN FRANCISCO	CA	94109-1714
0095 009	OCCUPANT	1254 FILBERT ST	SAN FRANCISCO	CA	94109-1714
0095 014	OW & CHAN TRS	1296 FILBERT ST	SAN FRANCISCO	CA	94109-1714
0095 014	OCCUPANT	2400 LARKIN ST	SAN FRANCISCO	CA	94109-1714
0095 014	OCCUPANT	2402 LARKIN ST	SAN FRANCISCO	CA	94109-1714
0095 015	MCGILL TRS	341 LANIPO DR	KAILUA	HI	96734-3234
0095 015	OCCUPANT	2406 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 016	LESLIE LUYKEN	2412 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 016	OCCUPANT	2414 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 017	SCOTT PATTERSON TRS	2420 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 019	PRISCILLA WHEELER TRS	2430 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 019	OCCUPANT	2432 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 020	S & G SEVY TRS	2440 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 021	OSBORNE & FULMER	2442 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 021	OCCUPANT	2444 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 022	KENT PENWELL TRS	2450 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 022	OCCUPANT	2448 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095 023	CULDICE PROPERTIES LLC	261 SAN FERNANDO WAY	SAN FRANCISCO	CA	94127-1911
0095 023	OCCUPANT	2460 LARKIN ST #1	SAN FRANCISCO	CA	94109-1792
0095 023	OCCUPANT	2460 LARKIN ST #2	SAN FRANCISCO	CA	94109-1792
0095 023	OCCUPANT	2460 LARKIN ST #3	SAN FRANCISCO	CA	94109-1792
0095 023	OCCUPANT	2460 LARKIN ST #4	SAN FRANCISCO	CA	94109-1792
0095 023	OCCUPANT	2460 LARKIN ST #5	SAN FRANCISCO	CA	94109-1792
0095 023	OCCUPANT	2460 LARKIN ST #6	SAN FRANCISCO	CA	94109-1792
0095 023	OCCUPANT	2460 LARKIN ST #7	SAN FRANCISCO	CA	94109-1792
0095 023	OCCUPANT	2460 LARKIN ST #8	SAN FRANCISCO	CA	94109-1792
0095 023	OCCUPANT	2460 LARKIN ST #9	SAN FRANCISCO	CA	94109-1792
0095 023	OCCUPANT	2460 LARKIN ST #10	SAN FRANCISCO	CA	94109-1792
0095 024	JEREMY RICKS	2226 FILBERT ST	SAN FRANCISCO	CA	94123-3443
0095 024	OCCUPANT	1281 GREENWICH ST	SAN FRANCISCO	CA	94109-1508
0095 024	OCCUPANT	1283 GREENWICH ST	SAN FRANCISCO	CA	94109-1508
0095 025	GREENWICH ST PROPERTY	172 GOLDEN GATE AV	SAN FRANCISCO	CA	94102-3810
0095 025	OCCUPANT	1275 GREENWICH ST # 100	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 101	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 102	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 104	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 202	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 204	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 302	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 402	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 404	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 502	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 504	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 602	SAN FRANCISCO	CA	94109-1558
0095 025	OCCUPANT	1275 GREENWICH ST # 604	SAN FRANCISCO	CA	94109-1558
0095 028	BETTY KNIESCHE TRS	1572 UNION ST	SAN FRANCISCO	CA	94123-4505
0095 028	OCCUPANT	1221 GREENWICH ST #1	SAN FRANCISCO	CA	94109-1555
0095 028	OCCUPANT	1221 GREENWICH ST #2	SAN FRANCISCO	CA	94109-1555
0095 028	OCCUPANT	1221 GREENWICH ST #3	SAN FRANCISCO	CA	94109-1555
0095 028	OCCUPANT	1221 GREENWICH ST #4	SAN FRANCISCO	CA	94109-1555
0095 028	OCCUPANT	1221 GREENWICH ST #5	SAN FRANCISCO	CA	94109-1555
0095 028	OCCUPANT	1221 GREENWICH ST #6	SAN FRANCISCO	CA	94109-1555
0095 028	OCCUPANT	1221 GREENWICH ST #7	SAN FRANCISCO	CA	94109-1555
0095 028	OCCUPANT	1221 GREENWICH ST #8	SAN FRANCISCO	CA	94109-1555

0095	032	A & B VINGIELLO	2424 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095	033	A & B VINGIELLO	2428 LARKIN ST	SAN FRANCISCO	CA	94109-1726
0095	034	DEBORAH MONAGHAN	1215 GREENWICH ST #1A	SAN FRANCISCO	CA	94109-1565
0095	035	TOMMASO BIANCO	1215 GREENWICH ST #1C	SAN FRANCISCO	CA	94109-1585
0095	036	E & F RAZON	1215 GREENWICH ST #1D	SAN FRANCISCO	CA	94109-1585
0095	037	J & H BEARD TRS	1215 GREENWICH ST #2A	SAN FRANCISCO	CA	94109-1585
0095	038	SUZETTE FOLEY TRS	77 RIDGECREST RD	KENTFIELD	CA	94904-2745
0095	038	OCCUPANT	1215 GREENWICH ST #2B	SAN FRANCISCO	CA	94109-1565
0095	039	J & H BEARD TRS	1215 GREENWICH ST #2A	SAN FRANCISCO	CA	94109-1585
0095	039	OCCUPANT	1215 GREENWICH ST #2C	SAN FRANCISCO	CA	94109-1586
0095	040	E & F RAZON	1215 GREENWICH ST #2D	SAN FRANCISCO	CA	94109-1586
0095	041	MASON MYERS	1215 GREENWICH ST #3A	SAN FRANCISCO	CA	94109-1566
0095	042	JAYME MAXWELL TRS	3511 JACKDAW ST	SAN DIEGO	CA	92103-3835
0095	042	OCCUPANT	1215 GREENWICH ST #3B	SAN FRANCISCO	CA	94109-1586
0095	043	PATRICK WYNN	1215 GREENWICH ST #3C	SAN FRANCISCO	CA	94109-1586
0095	044	VICKIE SOULIER	215 LAUREL GROVE AV	KENTFIELD	CA	94904-1539
0095	044	OCCUPANT	1215 GREENWICH ST #3D	SAN FRANCISCO	CA	94109-1586
0095	045	ELLIOT EISENBERG	1215 GREENWICH ST #4A	SAN FRANCISCO	CA	94109-1587
0095	046	TED EUDY FINANCIAL TRS	1215 GREENWICH ST #4B	SAN FRANCISCO	CA	94109-1587
0095	047	VICKIE SOULIER	215 LAUREL GROVE AV	KENTFIELD	CA	94904-1539
0095	047	OCCUPANT	1215 GREENWICH ST #4C	SAN FRANCISCO	CA	94109-1587
0095	048	J & D BARTA	1215 GREENWICH ST #4D	SAN FRANCISCO	CA	94109-1587
0095	049	MATTHEW SCHREIBER TRS	1274 FILBERT ST #1	SAN FRANCISCO	CA	94109-1714
0095	050	PETER DE CASTRO TRS	1274 FILBERT ST #2	SAN FRANCISCO	CA	94109-1714
0095	051	STEVE MALOUF	2150 HYDE ST #10	SAN FRANCISCO	CA	94109-1702
0095	051	OCCUPANT	1274 FILBERT ST #3	SAN FRANCISCO	CA	94109-1714
9999	999	.....	.....	.....	.....	.....

EXHIBIT 4



REAL ESTATE TRANSFER DISCLOSURE STATEMENT
(CALIFORNIA CIVIL CODE §1102, ET SEQ.)
(C.A.R. Form TDS, Revised 4/14)

THIS DISCLOSURE STATEMENT CONCERNS THE REAL PROPERTY SITUATED IN THE CITY OF San Francisco, COUNTY OF San Francisco, STATE OF CALIFORNIA, DESCRIBED AS 1281-1283 Greenwich Street, San Francisco, CA 94109

THIS STATEMENT IS A DISCLOSURE OF THE CONDITION OF THE ABOVE DESCRIBED PROPERTY IN COMPLIANCE WITH SECTION 1102 OF THE CIVIL CODE AS OF (date) 10/14/19. IT IS NOT A WARRANTY OF ANY KIND BY THE SELLER(S) OR ANY AGENT(S) REPRESENTING ANY PRINCIPAL(S) IN THIS TRANSACTION, AND IS NOT A SUBSTITUTE FOR ANY INSPECTIONS OR WARRANTIES THE PRINCIPAL(S) MAY WISH TO OBTAIN.

I. COORDINATION WITH OTHER DISCLOSURE FORMS

This Real Estate Transfer Disclosure Statement is made pursuant to Section 1102 of the Civil Code. Other statutes require disclosures, depending upon the details of the particular real estate transaction (for example: special study zone and purchase-money liens on residential property).

Substituted Disclosures: The following disclosures and other disclosures required by law, including the Natural Hazard Disclosure Report/Statement that may include airport annoyances, earthquake, fire, flood, or special assessment information, have or will be made in connection with this real estate transfer, and are intended to satisfy the disclosure obligations on this form, where the subject matter is the same:

- Inspection reports completed pursuant to the contract of sale or receipt for deposit.
- Additional inspection reports or disclosures: _____

II. SELLER'S INFORMATION

The Seller discloses the following information with the knowledge that even though this is not a warranty, prospective Buyers may rely on this information in deciding whether and on what terms to purchase the subject property. Seller hereby authorizes any agent(s) representing any principal(s) in this transaction to provide a copy of this statement to any person or entity in connection with any actual or anticipated sale of the property.

THE FOLLOWING ARE REPRESENTATIONS MADE BY THE SELLER(S) AND ARE NOT THE REPRESENTATIONS OF THE AGENT(S), IF ANY. THIS INFORMATION IS A DISCLOSURE AND IS NOT INTENDED TO BE PART OF ANY CONTRACT BETWEEN THE BUYER AND SELLER.

Seller is is not occupying the property.

A. The subject property has the items checked below: *

- | | | |
|---|--|--|
| <input checked="" type="checkbox"/> Range | <input type="checkbox"/> Wall/Window Air Conditioning | <input type="checkbox"/> Pool: |
| <input checked="" type="checkbox"/> Oven | <input checked="" type="checkbox"/> Sprinklers | <input type="checkbox"/> Child Resistant Barrier |
| <input checked="" type="checkbox"/> Microwave | <input type="checkbox"/> Public Sewer System | <input type="checkbox"/> Pool/Spa Heater: |
| <input checked="" type="checkbox"/> Dishwasher | <input type="checkbox"/> Septic Tank | <input type="checkbox"/> Gas <input type="checkbox"/> Solar <input type="checkbox"/> Electric |
| <input type="checkbox"/> Trash Compactor | <input type="checkbox"/> Sump Pump | <input type="checkbox"/> Water Heater: |
| <input checked="" type="checkbox"/> Garbage Disposal | <input type="checkbox"/> Water Softener | <input checked="" type="checkbox"/> Gas <input type="checkbox"/> Solar <input type="checkbox"/> Electric |
| <input checked="" type="checkbox"/> Washer/Dryer Hookups | <input checked="" type="checkbox"/> Patio/Decking | <input type="checkbox"/> Water Supply: |
| <input type="checkbox"/> Rain Gutters | <input checked="" type="checkbox"/> Built-in Barbecue | <input checked="" type="checkbox"/> City <input type="checkbox"/> Well |
| <input checked="" type="checkbox"/> Burglar Alarms | <input type="checkbox"/> Gazebo | <input type="checkbox"/> Private Utility or Other _____ |
| <input checked="" type="checkbox"/> Carbon Monoxide Device(s) | <input checked="" type="checkbox"/> Security Gate(s) | <input checked="" type="checkbox"/> Gas Supply: |
| <input checked="" type="checkbox"/> Smoke Detector(s) | <input checked="" type="checkbox"/> Garage: | <input checked="" type="checkbox"/> Utility <input type="checkbox"/> Bottled (Tank) |
| <input checked="" type="checkbox"/> Fire Alarm | <input checked="" type="checkbox"/> Attached <input type="checkbox"/> Not Attached | <input type="checkbox"/> Window Screens |
| <input type="checkbox"/> TV Antenna | <input type="checkbox"/> Carport | <input type="checkbox"/> Window Security Bars |
| <input type="checkbox"/> Satellite Dish | <input checked="" type="checkbox"/> Automatic Garage Door Opener(s) | <input type="checkbox"/> Quick Release Mechanism on Bedroom Windows |
| <input checked="" type="checkbox"/> Intercom | <input checked="" type="checkbox"/> Number Remote Controls <u>3</u> | <input type="checkbox"/> Water-Conserving Plumbing Fixtures |
| <input checked="" type="checkbox"/> Central Heating | <input type="checkbox"/> Sauna | |
| <input checked="" type="checkbox"/> Central Air Conditioning | <input type="checkbox"/> Hot Tub/Spa: | |
| <input type="checkbox"/> Evaporator Cooler(s) | <input type="checkbox"/> Locking Safety Cover | |
- Exhaust Fan(s) in all bathrooms & laundry 220 Volt Wiring in _____ Fireplace(s) in _____
 Gas Starter in stoves, fireplace, firepit Roof(s) Type: _____ Age: _____ (approx.)
 Other: _____

Are there, to the best of your (Seller's) knowledge, any of the above that are not in operating condition? Yes No. If yes, then describe. (Attach additional sheets if necessary): _____

(*see note on page 2)

Buyer's Initials (initials)
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 TDS REVISED 4/14 (PAGE 1 OF 3)

Seller's Initials (initials)



REAL ESTATE TRANSFER DISCLOSURE STATEMENT (TDS PAGE 1 OF 3)

Property Address: 1281-1283 Greenwich Street, San Francisco, CA 94109

Date: 10/14/19

B. Are you (Seller) aware of any significant defects/malfunctions in any of the following? Yes No. If yes, check appropriate space(s) below.

- Interior Walls Ceilings Floors Exterior Walls Insulation Roof(s) Windows Doors Foundation Slab(s)
- Driveways Sidewalks Walls/Fences Electrical Systems Plumbing/Sewers/Septics Other Structural Components

(Describe: _____)

If any of the above is checked, explain. (Attach additional sheets if necessary.): _____

*Installation of a listed appliance, device, or amenity is not a precondition of sale or transfer of the dwelling. The carbon monoxide device, garage door opener, or child-resistant pool barrier may not be in compliance with the safety standards relating to, respectively, carbon monoxide device standards of Chapter 8 (commencing with Section 13260) of Part 2 of Division 12 of, automatic reversing device standards of Chapter 12.5 (commencing with Section 19890) of Part 3 of Division 13 of, or the pool safety standards of Article 2.5 (commencing with Section 115920) of Chapter 5 of Part 10 of Division 104 of, the Health and Safety Code. Window security bars may not have quick-release mechanisms in compliance with the 1995 edition of the California Building Standards Code. Section 1101.4 of the Civil Code requires all single-family residences built on or before January 1, 1994, to be equipped with water-conserving plumbing fixtures after January 1, 2017. Additionally, on and after January 1, 2014, a single-family residence built on or before January 1, 1994, that is altered or improved is required to be equipped with water-conserving plumbing fixtures as a condition of final approval. Fixtures in this dwelling may not comply with section 1101.4 of the Civil Code.

C. Are you (Seller) aware of any the following:

1. Substances, materials, or products which may be an environmental hazard such as, but not limited to, asbestos, formaldehyde, radon gas, lead-based paint, mold, fuel or chemical storage tanks, and contaminated soil or water on the subject property Yes No
2. Features of the property shared in common with adjoining landowners, such as walls, fences, and driveways, whose use or responsibility for maintenance may have an effect on the subject property Yes No
3. Any encroachments, easements or similar matters that may affect your interest in the subject property Yes No
4. Room additions, structural modifications, or other alterations or repairs made without necessary permits. Yes No
5. Room additions, structural modifications, or other alterations or repairs not in compliance with building codes . . Yes No
6. Fill (compacted or otherwise) on the property or any portion thereof Yes No
7. Any settling from any cause, or slippage, sliding, or other soil problems Yes No
8. Flooding, drainage or grading problems Yes No
9. Major damage to the property or any of the structures from fire, earthquake, floods, or landslides Yes No
10. Any zoning violations, nonconforming uses, violations of "setback" requirements Yes No
11. Neighborhood noise problems or other nuisances Yes No
12. CC&R's or other deed restrictions or obligations Yes No
13. Homeowners' Association which has any authority over the subject property Yes No
14. Any "common area" (facilities such as pools, tennis courts, walkways, or other areas co-owned in undivided interest with others) Yes No
15. Any notices of abatement or citations against the property Yes No
16. Any lawsuits by or against the Seller threatening to or affecting this real property, claims for damages by the Seller pursuant to Section 910 or 914 threatening to or affecting this real property, claims for breach of warranty pursuant to Section 900 threatening to or affecting this real property, or claims for breach of an enhanced protection agreement pursuant to Section 903 threatening to or affecting this real property, including any lawsuits or claims for damages pursuant to Section 910 or 914 alleging a defect or deficiency in this real property or "common areas" (facilities such as pools, tennis courts, walkways, or other areas co-owned in undivided interest with others) Yes No

If the answer to any of these is yes, explain. (Attach additional sheets if necessary.): Driveway Easement with the City.

- D. 1. The Seller certifies that the property, as of the close of escrow, will be in compliance with Section 13113.8 of the Health and Safety Code by having operable smoke detector(s) which are approved, listed, and installed in accordance with the State Fire Marshal's regulations and applicable local standards.
2. The Seller certifies that the property, as of the close of escrow, will be in compliance with Section 19211 of the Health and Safety Code by having the water heater tank(s) braced, anchored, or strapped in place in accordance with applicable law.

Buyer's Initials (initials)

Seller's Initials (initials)



Property Address: 1281-1283 Greenwich Street, San Francisco, CA 94109

Date: 10/14/19

Seller certifies that the information herein is true and correct to the best of the Seller's knowledge as of the date signed by the Seller.

Seller *[Signature]*
1283 Greenwich LLC

Date 10/14/19

Seller _____ Date _____

III. AGENT'S INSPECTION DISCLOSURE

(To be completed only if the Seller is represented by an agent in this transaction.)

THE UNDERSIGNED, BASED ON THE ABOVE INQUIRY OF THE SELLER(S) AS TO THE CONDITION OF THE PROPERTY AND BASED ON A REASONABLY COMPETENT AND DILIGENT VISUAL INSPECTION OF THE ACCESSIBLE AREAS OF THE PROPERTY IN CONJUNCTION WITH THAT INQUIRY, STATES THE FOLLOWING:

- See attached Agent Visual Inspection Disclosure (AVID Form)
- Agent notes no items for disclosure.
- Agent notes the following items: _____

Agent (Broker Representing Seller) Compass By *[Signature]* Date 1/3/2020
 (Please Print) (Associate Licensee or Broker Signature)
Richard B. Teed

IV. AGENT'S INSPECTION DISCLOSURE

(To be completed only if the agent who has obtained the offer is other than the agent above.)

THE UNDERSIGNED, BASED ON A REASONABLY COMPETENT AND DILIGENT VISUAL INSPECTION OF THE ACCESSIBLE AREAS OF THE PROPERTY, STATES THE FOLLOWING:

- See attached Agent Visual Inspection Disclosure (AVID Form)
- Agent notes no items for disclosure.
- Agent notes the following items: The property is a brand new construction there is no visual problems at the property.

Agent (Broker Obtaining the Offer) Golden Gate Sotheby's International Realty By *[Signature]* Date _____
 (Please Print) (Associate Licensee or Broker Signature)
Olivia Decker

V. BUYER(S) AND SELLER(S) MAY WISH TO OBTAIN PROFESSIONAL ADVICE AND/OR INSPECTIONS OF THE PROPERTY AND TO PROVIDE FOR APPROPRIATE PROVISIONS IN A CONTRACT BETWEEN BUYER AND SELLER(S) WITH RESPECT TO ANY ADVICE/INSPECTIONS/DEFECTS.

I/WE ACKNOWLEDGE RECEIPT OF A COPY OF THIS STATEMENT

Seller *[Signature]* Date 1/3/2020 Buyer *[Signature]* Date _____
1283 Greenwich LLC Narison Properties Inc a California Corporation
 81BE4A37D595476... _____

Agent (Broker Representing Seller) Compass By *[Signature]* Date 1/3/2020
 (Please Print) (Associate Licensee or Broker Signature)
Richard B. Teed

Agent (Broker Obtaining the Offer) Golden Gate Sotheby's International Realty By *[Signature]* Date _____
 (Please Print) (Associate Licensee or Broker Signature)
Olivia Decker

SECTION 1102.3 OF THE CIVIL CODE PROVIDES A BUYER WITH THE RIGHT TO RESCIND A PURCHASE CONTRACT FOR AT LEAST THREE DAYS AFTER THE DELIVERY OF THIS DISCLOSURE IF DELIVERY OCCURS AFTER THE SIGNING OF AN OFFER TO PURCHASE. IF YOU WISH TO RESCIND THE CONTRACT, YOU MUST ACT WITHIN THE PRESCRIBED PERIOD.

A REAL ESTATE BROKER IS QUALIFIED TO ADVISE ON REAL ESTATE. IF YOU DESIRE LEGAL ADVICE, CONSULT YOUR ATTORNEY.

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Property Address: 1281-1283 Greenwich Street, San Francisco, CA 94109

Seller's Name(s): 1283 Greenwich LLC

Sellers are obligated under California law to disclose all material facts affecting the value or desirability of the Property that are actually known to Sellers. Buyers should request clarification of Seller's answers below, particularly any answered "Don't Know". Disclosures are not substitutes for professional inspections to determine the condition of the Property being offered for sale. It is strongly recommended that Buyers have the Property inspected by qualified professional inspectors. Buyers are advised to provide the inspectors with a copy of all disclosures prior to the inspections and to accompany the inspectors during inspection(s). Buyer and Seller are encouraged to carefully review the San Francisco advisory - "General Information for Buyers and Sellers".

The Seller discloses the following information with the knowledge that even though this is not a warranty, prospective Buyers may rely on this information in deciding whether and on what terms to purchase the Property. Seller hereby authorizes Brokers/Agents representing principals in this transaction to provide this statement to any person or entity in connection with the anticipated sale of the Property.

THE FOLLOWING ARE REPRESENTATIONS MADE BY SELLER, NOT THE BROKERS/AGENTS, IF ANY. THIS INFORMATION IS A DISCLOSURE AND IS NOT INTENDED TO BE PART OF ANY CONTRACT BETWEEN BUYER AND SELLER:

A. Statutory and General Disclosures

Table with 3 columns: Yes, No, Don't Know. 22 rows of disclosure questions. 'No' column contains handwritten 'X' marks for questions 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 15, 16, 17, 18, 19, 20, 21, 22. 'Yes' column has a checkmark for question 13. 'Don't Know' column is empty.

If the answer to any of the above questions is Yes, please explain in detail. (Attach additional sheets if necessary.)



B. Neighborhood Conditions

- | | Yes | No | Don't Know |
|---|--------------------------|-------------------------------------|--------------------------|
| 1. Have there been any of the following in the neighborhood: | | | |
| (a) Flooding, drainage or grading problems?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| (b) Settling, slippage, sink holes, landslides or other soil problems?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| (c) Unusual odor problems?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| (d) Contaminated ground water or soil, such as from former PG&E Manufactured Gas Plants?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Is the Property zoned for or affected by, any of the following: | | | |
| (a) Pending real estate developments (e.g., planned unit developments, subdivisions, or property intended for commercial, industrial, sports, educational or religious use)?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| (b) A Special Use District which impacts the expansion, construction or redevelopment of the Property? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| (c) Sewage treatment plants, gravel pits, refuse processing, dump, or disposal sites?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 3. Are there any current or recurring nuisances such as excessive noise, traffic congestion or construction?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Has there been any criminal activity in the neighborhood?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Are there, or have there been, any problems with animals, including wildlife, in the neighborhood?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Are there any existing or anticipated plans or proposals to close, construct or otherwise alter public utilities, roadways, or other public or private facilities?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If the answer to any of the above questions is Yes, please explain in detail. (Attach additional sheets if necessary.)

C. Property Conditions, Past and Present

- | | Yes | No | Don't Know |
|---|-------------------------------------|-------------------------------------|--------------------------|
| 1. Have you made any additions, alterations or repairs to the Property during your ownership?..... | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If Yes, please identify the work below (include repainting in the last 12 months) and provide approximate dates. | | | |
| 2. Have you, or any professionals on your behalf, filed any permit applications for work to the Property?..... | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If Yes, (a) in each case, was the permit issued?..... | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| (b) for permitted work, did a City inspector approve the work in writing after completion?..... | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 3. Was any work done to the Property, prior to your ownership, without permits? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 4. Are there any "non-conforming", "unwarranted" or "illegal" additions or living spaces in the building(s)?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 5. Have any units been added, removed, or combined with others, without City approval?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Are you aware of any issues or defects regarding work done to your Property?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 7. Are there any ongoing maintenance issues or items in the building(s)?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 8. Are the building(s) constructed of unreinforced masonry or on San Francisco's UMB list?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 9. Have the building(s) been designated as "Soft-Story" by the San Francisco Department of Building Inspection?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 10. Are there gutters or downspouts with holes, excessive rust or leakage?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 11. Are there any past, present or seasonal leaks or water intrusion from or through the skylights, windows, roof, siding, basement, foundation, or otherwise? (Please itemize even if leaks have stopped.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 12. Are there any surface or subsurface water or moisture issues on your Property or adjacent ones?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 13. If Yes, are there any sump pumps, underground drains, French drains (i.e. perforated piping), dry wells or surface water disposal systems in the crawl space/subarea or elsewhere?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 14. Are there any past or present sewer problems (e.g., stoppage, leakage, backup, overflow, odor, etc.)?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 15. Are there any water supply problems (e.g., odor, discoloration, sediment, or lack of pressure)?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 16. Is there a low-pressure, water-heating or steam-generating boiler in operation?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 17. Is or was there an Underground Storage Tank (UST) on or immediately adjacent to the Property?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 18. Is there any damage relating to trees or plants on the Property (e.g., disease, weakened root structure)?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 19. Are there any problems with retaining walls (e.g., settlement, movement, leaning, bulging or cracking)?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 20. Are there any squeaking, sloping, or uneven floors?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 21. Are there any concealed hardwood floors? If Yes, please describe the location(s) and condition below..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 22. Are there any problems with existing underground sprinkler systems?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 23. Are there any problems with automatic garage door(s) or automatic reversing device(s)?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

- | | Yes | No | Don't Know |
|--|--------------------------|-------------------------------------|--------------------------|
| 24. Is there any non-tempered glass on shower or sliding doors?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 25. Has there been any criminal activity on the Property?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 26. Were any animals kept on the Property in the past year?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 27. Are there any stains, damage or odor caused by animals?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 28. Have there been any problems with vermin or insects, including bedbugs, fleas, ticks, ants, spiders or bees?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 29. Are there any noise or vibration issues affecting the Property, such as elevators, garage doors or neighbors?..... | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If the answer to any of the above questions is Yes, please explain in detail. (Attach additional sheets if necessary.)

the property was completely remodeled over the past few years with ground up, brand new construction. All permits were pulled legally.

D. Inspections, Reports, Notices, Plans and Disclosures

It is recommended Seller provide Buyer with inspection reports, repair estimates, invoices, and disclosures from prior sales.

- | | | |
|---|---|--|
| 1. Are you aware of any architectural plans or drawings relating to the Property? If Yes, please provide..... | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Are you aware of any inspections, reports, notices or plans that pertain to any neighborhood property or condition which may affect the subject Property? If Yes, please provide. | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Are you aware of any inspections conducted, or reports or repair estimates prepared for you, the Association (if any), any previous owner, or any prospective Buyer regarding any of the following subjects? (Check all that apply.) | | |
| <input type="checkbox"/> Pest Control | <input type="checkbox"/> General Property | <input type="checkbox"/> Structural/Engineering |
| <input type="checkbox"/> Boiler | <input type="checkbox"/> Plumbing | <input type="checkbox"/> Sewer Line |
| <input type="checkbox"/> Heating | <input type="checkbox"/> Air Conditioning | <input type="checkbox"/> Soils/Drainage |
| <input type="checkbox"/> Survey | <input type="checkbox"/> Natural Hazards | <input type="checkbox"/> Environmental Hazards |
| | | <input type="checkbox"/> Roof |
| | | <input type="checkbox"/> Underground Storage Tank |
| | | <input type="checkbox"/> Energy/Water Conservation |
| | | <input type="checkbox"/> Other |
| 4. Are you aware of any "Soft-Story" earthquake retrofit documents, including any of the following? (Check all that apply.) | | |
| <input type="checkbox"/> Notices | <input type="checkbox"/> Reports/Studies | <input type="checkbox"/> Bids/Estimates |
| <input type="checkbox"/> Permits | <input type="checkbox"/> Notice of Completion | <input type="checkbox"/> Other |

Please describe below all items checked in 3 and 4 above and indicate whether copies of the reports are available.

Type of Report	Inspector/Preparer	Date	Available	
			Yes	No
_____	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>
_____	_____	_____	<input type="checkbox"/>	<input type="checkbox"/>

E. Condominiums / Cooperatives / Other HOAs / TICs

If this Property is part of a condominium, cooperative, co-ownership or neighborhood association, please answer the following:

- Type: Condominium Cooperative Tenancy-in-Common (TIC) Other (please specify) _____
- Name of Association: _____
- Who manages the Association? Owners _____ (management company).
Name and phone number of the management contact: _____

FOR CONDOMINIUMS

- | | Yes | No | Don't Know |
|--|--------------------------|--------------------------|--------------------------|
| 4. Are there Bylaws in addition to Covenants, Conditions and Restrictions (CC&Rs)?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 5. Is the HOA incorporated (i.e. are there Articles of Incorporation)?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the sale or the price regulated, such as by an affordable housing program?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 7. Is there a community enhancement fee or other private transfer tax charged upon the sale?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 8. Is a license required (e.g., a business license for a live/work unit)?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 9. Is this the first sale of this particular unit after a condominium conversion of an existing building?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- If Yes, the subdivider must comply with Civil Code §1134 (form CONV-SF is available).

FOR TENANCIES-IN-COMMON

- | | | | |
|---|--------------------------|--------------------------|--------------------------|
| 10. How many separate ownership interests have been, or are being, created? _____ | | | |
| 11. How many of those ownership interests are currently on the market? _____ | | | |
| 12. What percentage ownership interest is being offered with this sale? _____ | | | |
| 13. Is there an existing TIC agreement?..... | Yes | No | Don't Know |
| If Yes, have any amendments been made to it?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 14. If no TIC agreement currently exists, is one in the course of being prepared?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If Yes, who is preparing the agreement? _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 15. For a TIC with five or more dwelling units, has a Public Report been issued? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If Yes, please supply the date the report was issued _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 16. Is there an existing loan on the Property to which a qualified Buyer may be added or substituted? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If Yes, please supply the amount and terms of the loan for this ownership interest below. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 17. Are there any fractional interest loans secured by the Property?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If Yes, please supply below the names of lenders who have made loans and/or approved the TIC agreement. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

FOR ALL

- | | | | |
|--|--------------------------|--------------------------|--------------------------|
| 18. Are there any insurance policies on the building? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| (a) Name of the carrier(s): _____ | | | |
| (b) Name and phone number of the agent or broker: _____ | | | |
| (c) Is earthquake coverage included? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 19. Does the sale require approval by any governing board or group?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 20. Are there house rules in addition to the CC&Rs, Cooperative Bylaws/Proprietary Lease, or TIC agreement?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 21. Is a Reserve Study available for the Property?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 22. Is a budget available for this fiscal year?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 23. Are there any financial and/or bank statements available for the last fiscal year and current year to date? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 24. Are there any minutes available for any meetings held within the last 12 months?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 25. Are there any established websites, Facebook pages or similar online sources for the HOA, Co-op or TIC?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If Yes, please identify each URL or other location reference: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 26. Are regular assessments or dues levied against the Property? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If Yes, please list amounts and frequency: _____ | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 27. Are there any approved or anticipated increases in regular assessments or dues?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 28. Are there any approved or anticipated special assessments?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 29. Are you in violation, or are you aware of others in violation, of the legal documents or house rules?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 30. Are there any pet limitations affecting the Property?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 31. Are there any other restrictions, limitations or rules affecting the use of this Property?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 32. Are there any parking spaces designated for the unit? If Yes, please give locations and any related fees below.... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 33. Are there any limitations on the parking (e.g., tandem, rotational, low clearance, vehicle size)?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 34. Are there any storage spaces designated for the unit? If Yes, please give locations and any related fees below.... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| 35. Are there any other areas (e.g. decks, patios) designated exclusively for the unit? If Yes, please describe below. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
- If the answer to any of the above questions requires a description or further explanation, please provide details and attach all related documents, if not already provided to Buyer. (Attach additional sheets if necessary.)**
-
-
-

F. Eviction History (please answer for all property types)

- | | | | |
|---|--------------------------|--------------------------|--------------------------|
| 1. Has the Property been the subject of an Ellis Act proceeding at any time in the past?..... | Yes | No | Don't Know |
| 2. Has any unit been the subject of an owner or relative move-in eviction since December 18, 1998, or an eviction for demolition or capital improvements or rehabilitation work since May 1, 2005?..... | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| If the answer to either of the preceding questions is Yes, please explain, with dates and documentation where appropriate. | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
-
-

G. Multi-Unit/Tenant-Occupied/Rental Property (also applies to TICs and houses with secondary units)

Yes No Don't Know

- 1. Is this Property currently exempt from San Francisco rent control for any reason?
2. Are there any current code violations for which citations have been issued?
3. Are there any non-conforming or conditional uses of the Property?
4. Are there any units which will be delivered vacant at Close of Escrow?
5. Are there any units in the Property for which a written lease does not exist?
6. Are there any tenants in the Property not covered by a written lease or rental agreement for their units?
7. Are there any occupants residing in the building not named on an original lease?
8. Are you aware of any unapproved subtenants or any occupants whose identity you do not know?
9. Are there any pass-through amounts included in tenant rents as a result of capital improvements?
10. Are there any active or past disputes, anticipated claims or litigation matters by any owners or tenants?
11. Have any agreements been made with tenants to waive any provision of their tenancy?
12. Are there any tenants who are protected from eviction under local law?
13. Are you aware of any attempts to buy out any tenants?
14. Are you aware of any agreements with any current or former tenants to voluntarily vacate a unit?
15. Have any petitions been filed by a tenant regarding their tenancy in the Property?
16. Have any communications been received from a tenant about the condition of their unit?
17. Has any tenant requested an accommodation pursuant to the Americans with Disabilities Act?
18. Are you aware of any unlawful rent increases given to any tenant?
19. Is there any unpaid interest due to tenants on their security deposits?
20. For tenants with written leases, are you aware of any modifications to those leases which are not in writing (e.g., regarding parking, storage spaces, roommates or pets)?

If the answer to any of the above questions is Yes, please explain in detail. Attach documentation where appropriate.

H. Common Law Disclosure - Are There Other Material Facts or Defects Not Described Above?

As the Seller of the Property described herein, I have answered the foregoing questions in an effort to fully disclose all material facts relating to the Property and hereby certify that the information provided is true and correct to the best of my knowledge.

Seller 1283 Greenwich LLC Date 10/14/19

As the Buyer, I hereby certify that I have read and understood all pages of this San Francisco Seller Disclosure and any additional sheets attached to it.

Buyer Nanson Properties Inc a California Corporation Date

BROKERS/AGENTS CAN ADVISE ON REAL ESTATE TRANSACTIONS ONLY. FOR LEGAL OR TAX ADVICE, CONSULT A QUALIFIED ATTORNEY OR CPA.

EXHIBIT 5

Bay Area real estate agents share their landmark deals of the past year

Jun 18, 2021, 5:00am PDT



Olivia Hsu Decker

1283 Greenwich, San Francisco, was one of the blue chip sales for Golden Gate Sotheby's International Realty agent Olivia Hsu Decker in a year full of them.

With scores of incoming offers coming in at hundreds of thousands over asking prices, many of the Bay Area's top-selling residential real estate agents say they haven't seen a more robust housing market than they have in the past year.

"Thirty-three years in the business and I have never seen the volume of buyers, sense of urgency and unprecedented prices on some of the transactions, nor have we ever experienced the volume of

relocating to so many different areas,” said Shana Rohde-Lynch, broker associate with Compass. And that’s been a common refrain.

In a blockbuster residential real estate year, we connected with some of the city’s top agents about their most notable sales in recent months.

Olivia Hsu Decker, Golden Gate Sotheby’s International Realty

Property: 1283 Greenwich St., San Francisco

Asking price: \$28 million

Sale price: \$18 million

Details: “This was a newly built home for the seller with views of the Golden Gate Bridge. My buyer backed out of a \$22 million offer on my listing at 2820 Scott to buy this home because it is more of their style and size. I ended up selling 2820 Scott to another buyer in March for \$17.5 million. This is another case of a recent trend of buyers favoring new built contemporary style homes in San Francisco and paying premium price.”

Neal Ward, Compass

Property: 190 Sea Cliff Ave., San Francisco

Listing price: \$25 million

Sale price: \$24 million

Details: “190 Sea Cliff was a record-breaking price for the Sea Cliff neighborhood by over \$6 million, and was the highest-priced sale in San Francisco in 2020 per the MLS. We received multiple offers and closed at \$24 million.”

Jessica Branson, Compass

Property: 170 Valley St., San Francisco

Asking price: \$3.3 million

Sale price: \$3.8 million

Details: “A Noe Valley owner renovation that sold for \$500K over the list price. It was an incredible renovation that really created that special Northern California indoor-outdoor feeling everyone was craving during the middle of the pandemic.”

Joujou Chawla, Compass

Property: 3118 Blackhawk Meadow Ln., Danville

Listing price: \$6.5 million

Sale price: \$5.9 million

Details: “7 bedrooms, 8 full plus 2 half bathrooms, 5-car garage/8,000 square feet. This property was listed for \$6.5 million. To sell this property, we had to find a buyer who loved opulence to the nth degree. We patiently waited for a couple who fit the level of appreciation for the estate that we were seeking. Eventually one emerged and fell totally in love with the property at first sight.”

MJ St. Jean, Compass

Property: 71 Eagle Ridge Place in Blackhawk

Listing price: \$4.39 million

Sale price: \$4.1 million

Details: “This was a legacy Blackhawk home built by one of the original builders in Blackhawk with spectacular views and amazing sunsets. Many features of the home were imported from Italy. It had incredible volume with floor to ceiling windows, travertine flooring and beautiful finishes. Sold for \$4.1 million. The deal came together with several visits by the potential buyers at different times of the day. They fell in love with it.”

Shana Rohde-Lynch, Compass

Property: 1960 Straits View Dr., Tiburon

Asking price: \$16.7 million

Sale price: \$15.04 million

Details: “We had two offers. One of the highest sales ever in Tiburon. With all my listings including my ‘lucky 7,’ this also sold in July (seventh month) on the 17th. One of the most prestigious locations, resort living with the best views in Tiburon and Belvedere.”



Julia Cooper

Researcher - *San Francisco Business Times*

\$21M Russian Hill manse steps from the “crooked” part of Lombard has its own twisty “miniature Lombard” driveway

TRD therealdeal.com/sanfrancisco/2022/06/15/mansion-with-miniature-lombard-street-aims-for-sfs-priciest-resi-sale-at-21m

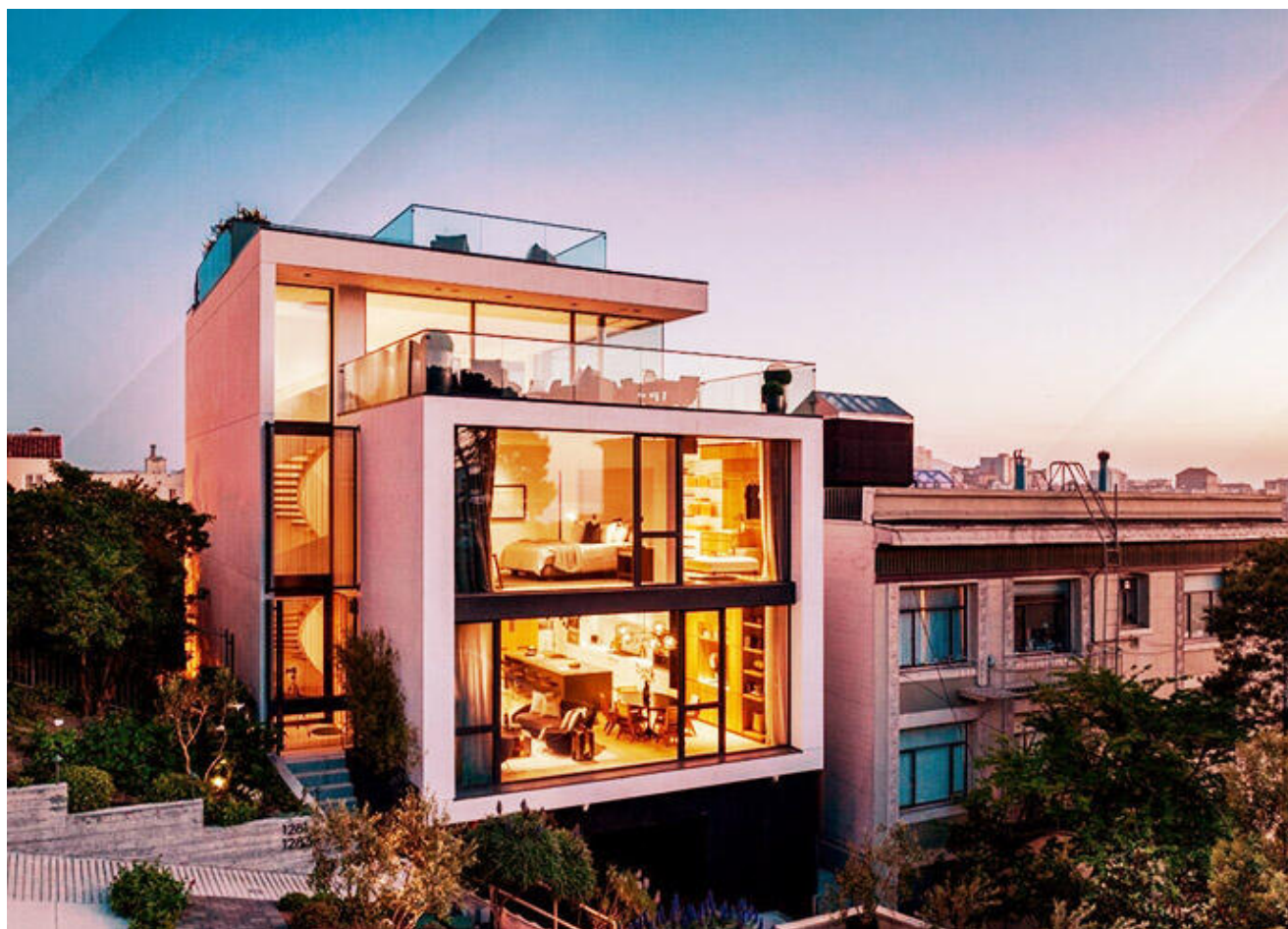
June 15, 2022

Residential

San Francisco

Mansion with ‘miniature Lombard Street’ aims for SF’s priciest resi sale at \$21M

6,600-square-foot home on Russian Hill poised to surpass this year’s benchmark of \$16.5M on Pacific Heights sale



1281 - 1283 Greenwich St, San Francisco (Redfin, Philippe Newman, iStock)

A newly built home around the corner from the “crooked” part of Lombard Street offers its own miniature version of the world-famous San Francisco attraction as part of a \$21 million listing that looks poised to bring the priciest single-family sale in the city’s residential market so far this year.

There are pricier homes on the market in the city, including Sharon Stone’s old Seacliff home, which came to market last month asking \$39 million. But the listing at 1281-1283 Greenwich Street, overlooking George Sterling Park, sold less than three years ago for \$18 million, making it the most likely to quickly break the \$16.5-million 2022 record set by a Pacific Heights home at the end of March—especially with the city’s sellers feeling pricing vulnerability for the first time in years due to rising interest rates and a declining stock market.

Listing agent Andy Ardila said via email he was not concerned about possible headwinds in the market, or the usual summer sales slowdown, given the unique features of the 2019 new-build home in Russian Hill, one of the city’s most sought-after view neighborhoods.

“This home is not like the other homes in the market,” said Ardila, who is co-listing with fellow Compass agents David Costello, Rita Schmid and Roxana Melgarejo. “This is very specific to that one right buyer who wants this and [does] not need it.”

Ardila called the home a “modern architectural masterpiece,” citing the “striking polished plaster spiral staircase” that is the centerpiece of the 6,600-square-foot five bedroom with five full and three half baths. There is also an elevator and a four-car turntable garage, as well as a “gated porte-cochere,” otherwise known as a driveway, albeit a twisty one “landscaped in sync with the neighborhood and inspired to be a miniature Lombard St.”

The property was purchased by developer Jeremy Ricks for \$3.2 million in 2010, according to public record. There was originally a two-unit on the property and it took almost 10 years to get the new four-level single-family home with roof deck permitted, designed by high-end residential architect Dave Swetz, and constructed. In 2015 and 2016 Ricks tried to sell the “shovel-ready project” for \$9.5 million, according to listing notes from the time, but ended up holding on until the \$18-million sale of the completed property in 2020.

The owners are hidden behind an LLC, but Ardila said they loved the home’s Golden Gate to Bay Bridge views, architecture and the attention to detail in the construction and finishes. It is not their primary residence and, though Ardila said they have “enjoyed this beautiful space,” they have purchased another secondary home.

In the short time the property has been listed, interest has been “steady and positive,” Ardila said, adding that one very interested buyer has “fallen in love with every detail of the home.” Until there is an accepted offer, he and his co-listers will continue to show the property to “agents and their high-net-worth buyers.”



1281 – 1283 Greenwich St, San Francisco (Redfin, Philippe Newman, iStock)

Weekly

Daily

Industry

EXHIBIT 6

1 [Planning Code - ~~Conversion~~, Demolition, Merger, Conversion and Conformity of Residential
2 Units]

3 **Ordinance amending the Planning Code to revise the criteria for residential demolition,**
4 **~~conversion, and merger~~ and conversion, and to standardize those definitions across**
5 **use districts and prohibit residential mergers where certain evictions of tenants have**
6 **occurred; establish a strong presumption in favor of preserving dwelling units in**
7 **enforcement of Code requirements; and making environmental findings and findings of**
8 **consistency with the General Plan and the eight priority policies of Planning Code**
9 **Section 101.1.**

10 NOTE: **Unchanged Code text and uncodified text** are in plain Arial font.
11 **Additions to Codes** are in *single-underline italics Times New Roman font*.
12 **Deletions to Codes** are in *strikethrough italics Times New Roman font*.
13 **Board amendment additions** are in double-underlined Arial font.
14 **Board amendment deletions** are in ~~strikethrough Arial font~~.
15 **Asterisks (* * * *)** indicate the omission of unchanged Code
16 subsections or parts of tables.

17 Be it ordained by the People of the City and County of San Francisco:

18 Section 1. Findings.

19 (a) The Planning Department has determined that the actions contemplated in this
20 ordinance comply with the California Environmental Quality Act (California Public Resources
21 Code Sections 21000 et seq.). Said determination is on file with the Clerk of the Board of
22 Supervisors in File No. 130041 and is incorporated herein by reference.

23 (b) On July 18, 2013, the Planning Commission, in Resolution No. 18927, adopted
24 findings that the actions contemplated in this ordinance are consistent, on balance, with the
25 City's General Plan and eight priority policies of Planning Code Section 101.1. The Board

SEC. 317. LOSS OF DWELLING UNITS THROUGH DEMOLITION. MERGER AND, CONVERSION, AND DEMOLITION.

1 Section 1005 shall apply to projects subject to review under the requirements of Article 10
2 with regard to the structure itself.

3 (e) ~~Loss of Residential Units Through Merger.~~

4 (1) The Merger of Residential Units not otherwise subject to Conditional Use
5 authorization by this Code, shall be prohibited, unless the Planning Commission approves the
6 building permit application at a Mandatory Discretionary Review hearing, applying the criteria
7 in subsection (2) below, or the project qualifies for administrative approval and the Planning
8 Department approves the project administratively in accordance with subsections (3) ~~or (4)~~
9 below.

10 (2) The Planning Commission shall consider ~~these~~ the following criteria in the
11 review of applications to merge Residential Units:

12 (i) ~~(A)~~ whether removal of the unit(s) would eliminate only owner occupied
13 housing, and if so, for how long the unit(s) proposed to be removed have been owner
14 occupied;

15 (ii) ~~(B)~~ whether removal of the unit(s) and the merger with another is
16 intended for owner occupancy;

17 (iii) ~~(C) whether the removal of the unit(s) will remove an affordable housing~~
18 unit as defined in Section 415 of this Code or housing subject to the Rent Stabilization and Arbitration
19 Ordinance; ~~whether removal of the unit(s) will bring the building closer into conformance with the~~
20 ~~prevailing density in its immediate area and in the same zoning district;~~

21 (iv) ~~(D)~~ whether removal of the unit(s) will bring the building closer into
22 conformance with prescribed zoning;

23 (E) if removal of the unit(s) removes an affordable housing unit as defined in
24 Section 401 of this Code or units subject to the Rent Stabilization and Arbitration Ordinance, whether
25

1 replacement housing will be provided which is equal or greater in size, number of bedrooms,
2 affordability, and suitability to households with children to the units being removed;

3 (F) whether the number of bedrooms provided in the merged unit will be equal to
4 or greater than the number of bedrooms in the separate units;

5 ~~(F)~~ (G) whether removal of the unit(s) is necessary to correct design or
6 functional deficiencies that cannot be corrected through interior alterations.

7 (3) Administrative review criteria shall ensure that only those Residential Units
8 proposed for Merger that are demonstrably not affordable or financially accessible housing
9 are exempt from Mandatory Discretionary Review hearings. Applications for which the least
10 expensive unit proposed for merger has a value greater than at least 80% of the combined
11 land and structure values of single-family homes in San Francisco, as determined by a
12 credible appraisal, made within six months of the application to merge, are not subject to a
13 Mandatory Discretionary Review hearing. The Planning Commission, in the Code
14 Implementation Document, may increase the numerical criterion in this subsection by up to
15 10% of its value should it deem that adjustment is necessary to implement the intent of this
16 Section 317, to conserve existing housing and preserve affordable housing.

17 (4) The Planning Commission shall not approve an application for merger if any
18 tenants have has been evicted pursuant to San Francisco Administrative Code Sections
19 37.9(a)(8) 37.9(a)(9) through 37.9(a)(14) where the tenant was served with a notice of eviction
20 after October 24, 2013 December 10, 2013 and if the notice was served within ten (10) years
21 prior to filing the application for merger. Additionally, the Planning Commission shall not
22 approve an application for merger if any tenant has been evicted pursuant to Administrative
23 Code Section 37.9(a)(8) where the tenant was served with a notice of eviction after December
24 10, 2013 if the notice was served within five (5) years prior to filing the application for merger.
25 This Subsection (e)(4) shall not apply provided that if an eviction has taken place if the tenant

1 was evicted under Section 37.9(a)(11), 37.9(a)(12) or 37.9(a)(14), then and the applicant(s)
2 shall certify that either (A) have certified that the original tenant reoccupied the unit after the
3 temporary eviction or (B) have submitted to the Planning Commission a declaration from the
4 property owner or the tenant certifying that the property owner or the Rent Board notified the
5 tenant of the tenant's right to reoccupy the unit after the temporary eviction and that the tenant
6 chose not to reoccupy it.

7 *(4) Projects that meet a supermajority of the merger criteria, in subsection (d)(2) above,*
8 *may be approved administratively by the Planning Department, consistent with this Section 317.*

9 ***(f) Loss of Residential Units Through Conversion.***

10 (1) *Conversion of Residential Conversion Units* not otherwise *prohibited or* subject
11 to Conditional Use authorization by this Code, shall be prohibited, unless the Planning
12 Commission approves the building permit application at a Mandatory Discretionary Review
13 hearing. The conversion of *#Residential #Units* to Student Housing is prohibited. For the
14 purposes of this subsection, *#Residential #Units* that have been defined as such by the time a
15 First Certificate of Occupancy has been issued by the Department of Building Inspection for
16 new construction shall not be converted to Student Housing.

17 (2) The Planning Commission shall consider ~~these~~ *the following* criteria in the
18 review of applications for *Residential Conversion ~~Conversion of Residential Units~~*;

19 *(i) (A) whether conversion of the unit(s) would eliminate only owner*
20 *occupied housing, and if so, for how long the unit(s) proposed to be removed were owner*
21 *occupied;*

22 *(ii) (B) whether Residential Conversion ~~conversion of the unit(s)~~ would*
23 *provide desirable new non-residential use(s) appropriate for the neighborhood and adjoining*
24 *district(s);*

1 *(iii) (C) in districts where Residential Uses are not permitted, whether*
2 *Residential Conversion ~~conversion of the unit(s)~~ will bring the building closer into conformance*
3 *with the uses permitted prevailing character of its immediate area and in the same zoning district;*

4 *(iv) (D) whether conversion of the unit(s) will be detrimental to the City's*
5 *housing stock;*

6 *(v) (E) whether conversion of the unit(s) is necessary to eliminate design,*
7 *functional, or habitability deficiencies that cannot otherwise be corrected;*

8 *(F) whether the Residential Conversion will remove Affordable Housing, or units*
9 *subject to the Rent Stabilization and Arbitration Ordinance;*

10 (g) **Exemptions.** This Section 317 Shall Not Apply to Property:

11 (1) Owned by the United States or any of its agencies;

12 (2) Owned by the State of California or any of its agencies, with the exception of
13 such property not used exclusively for a governmental purpose;

14 (3) Under the jurisdiction of the Port of San Francisco or the Successor Agency to
15 the San Francisco Redevelopment Agency of the City and County of where the application of this
16 ordinance Section is prohibited by State or local law; or

17 (4) Where demolition of the building or Removal of a Residential Unit is
18 necessary to comply with a court order or City order that directs the owner to demolish the
19 building or remove the unit, due to conditions that present an imminent threat to life safety.

20 **SEC. 703.2. USES PERMITTED IN NEIGHBORHOOD COMMERCIAL DISTRICTS.**

21 A use is the specific purpose for which a property or building is used, occupied,
22 maintained, or leased. Whether or not a use is permitted in a specific district is set forth or
23 summarized and cross-referenced in Article 7 of this Code for each district class.

EXHIBIT 7

1 [Interim Zoning Controls - Conditional Use Requirement for Residential Mergers]

2
3 **Resolution imposing interim zoning controls to require conditional use authorization**
4 **for any residential merger, including mergers of existing units; and making**
5 **environmental findings, including findings of consistency with the eight priority**
6 **policies of Planning Code, Section 101.1.**
7

8 WHEREAS, Planning Code, Section 306.7 provides for the imposition of interim zoning
9 controls to accomplish several objectives, including preservation of residential and mixed
10 residential and commercial areas in order to preserve the existing character of such
11 neighborhoods and areas; development and conservation of the commerce and industry of
12 the City in order to maintain the economic vitality of the City, provide its citizens with adequate
13 jobs and business opportunities, and maintain adequate services for its residents, visitors,
14 businesses and institutions; control of uses that have an adverse impact on open space and
15 other recreational areas and facilities; control of uses that generate an adverse impact on
16 pedestrian and vehicular traffic; and control of uses that generate an adverse impact on public
17 transit; and

18 WHEREAS, Policy 2.2 of the City's 2009 Housing Element states that "all proposals to
19 merge units should be carefully considered within the local context and housing trends to
20 assure that the resulting unit responds to identified housing needs, rather than creating fewer,
21 larger and more expensive units;" and

22 WHEREAS, In California Government Code, Section 65852.150, the Legislature
23 declared that second units are a valuable form of housing in California because they "provide
24 housing for family members, students, the elderly, in-home health care providers, the
25 disabled, and others, at below market prices within existing neighborhoods" and that

1 “homeowners who create second units benefit from added income, and an increased sense of
2 security;” and

3 WHEREAS, Policy 1.5 of the City’s 2009 Housing Element states that secondary units
4 in existing residential buildings “represent a simple and cost-effective method of expanding
5 the City’s housing supply;” and

6 WHEREAS, Mayor Lee’s Executive Directive 13-01, “Housing Production and
7 Preservation of Rental Stock” created a Working Group to make recommendations “to
8 preserve and promote rental housing in San Francisco;” and

9 WHEREAS, Policy 3 of the eight priority policies of the City’s General Plan and
10 Planning Code, Section 101.1 establishes a policy “That the City’s supply of affordable
11 housing be preserved and enhanced;” and

12 WHEREAS, Adoption of these interim controls will allow the Board of Supervisors time
13 to consider whether to adopt permanent controls for Residential Mergers; and

14 WHEREAS, The Board has considered the impact on the public health, safety, peace,
15 and general welfare if the interim controls proposed herein are not imposed; and

16 WHEREAS, The Board has determined that the public interest will be best served by
17 imposition of these interim controls at this time, to ensure that the legislative scheme that may
18 be ultimately adopted is not undermined during the planning and legislative process for
19 permanent controls; and

20 WHEREAS, Planning Code, Section 306.7 requires consideration of the following
21 objectives when determining whether to impose interim controls:

22 (1) Preservation of historic and architecturally significant buildings and areas;

23 (2) Preservation of residential neighborhoods;

24 (3) Preservation of neighborhoods and areas of mixed residential and commercial
25 uses in order to preserve the existing character of such neighborhoods and areas;

1 (4) Preservation of the City's rental housing stock;

2 (5) Development and conservation of the commerce and industry of the City in order
3 to maintain the economic vitality of the City, to provide its citizens with adequate jobs and
4 business opportunities, and to maintain adequate services for its residents, visitors,
5 businesses and institutions;

6 (6) Control of uses which have an adverse impact on open space and other
7 recreational areas and facilities;

8 (7) Control of uses which generate an adverse impact on pedestrian and vehicular
9 traffic; and

10 (8) Control of uses which generate an adverse impact on public transit; and

11 WHEREAS, Adoption of these interim controls will ensure that objectives 2, 3, 4 and 5
12 above are met by considering the loss of potentially important housing stock—including
13 smaller units, rent controlled units and unconventional units that are more affordable by their
14 nature that could have an adverse effect on the cultural and economic diversity that is
15 essential to the character of San Francisco's neighborhoods and commercial corridors; and

16 WHEREAS, The Planning Department has determined that the actions contemplated in
17 this Resolution are in compliance with the California Environmental Quality Act (California
18 Public Resources Code, Section 21000 et. seq.). Said determination is on file with the Clerk
19 of the Board of Supervisors in File No. 150532 and is hereby affirmed and incorporated by
20 reference as though fully set forth; now, therefore, be it

21 RESOLVED, That a conditional use permit shall be required for all residential mergers,
22 as defined in Planning Code, Section 317, for existing residential units; and, be it

23 FURTHER RESOLVED, That these interim controls shall remain in effect for eighteen
24 months from the effective date of this Resolution, or until the adoption of permanent legislation
25

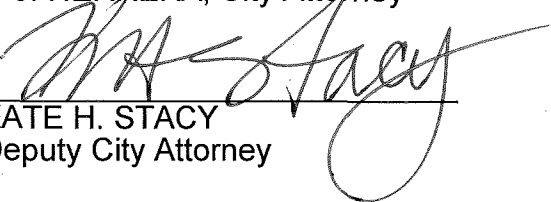
1 requiring conditional use authorization for residential mergers, whichever first occurs; and, be
2 it

3 FURTHER RESOLVED, That these interim zoning controls advance and are consistent
4 with Policies 2 and 3 of the Priority Policies set forth in Planning Code, Section 101.1, in that
5 they require the Planning Commission to consider the merits of any proposed residential
6 mergers and any potential adverse impact on the cultural and economic diversity of San
7 Francisco neighborhoods—in particular through the elimination of rent controlled housing
8 units or unconventional housing units that are affordable by nature; and, be it

9 FURTHER RESOLVED, With respect to Priority Policies 1, 4, 5, 6, 7 and 8, the Board
10 finds that these interim zoning controls do not, at this time, have an effect upon these policies,
11 and thus will not conflict with said policies.

12 APPROVED AS TO FORM:
13 DENNIS J. HERRERA, City Attorney

14 By:

15 
16 KATE H. STACY
Deputy City Attorney

17 n:\egana\as2015\1500751\01024245.docx

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25



City and County of San Francisco

Tails
Resolution

City Hall
1 Dr. Carlton B. Goodlett Place
San Francisco, CA 94102-4689

File Number: 150532

Date Passed: June 23, 2015

Resolution imposing interim zoning controls to require conditional use authorization for any residential merger, including mergers of existing units; and making environmental findings, including findings of consistency with the eight priority policies of Planning Code, Section 101.1.

June 15, 2015 Land Use and Transportation Committee - DUPLICATED

June 15, 2015 Land Use and Transportation Committee - AMENDED, AN AMENDMENT OF THE WHOLE BEARING SAME TITLE

June 15, 2015 Land Use and Transportation Committee - RECOMMENDED AS AMENDED

June 23, 2015 Board of Supervisors - ADOPTED

Ayes: 11 - Avalos, Breed, Campos, Christensen, Cohen, Farrell, Kim, Mar, Tang, Wiener and Yee

File No. 150532

I hereby certify that the foregoing Resolution was ADOPTED on 6/23/2015 by the Board of Supervisors of the City and County of San Francisco.

Angela Calvillo
Clerk of the Board

Mayor

7/2/2015

Date Approved

EXHIBIT 8



SAN FRANCISCO PLANNING DEPARTMENT

New Planning Code Summary: Interim Zoning Controls CU Requirement for All Residential Mergers

Amended Sections: 317
Case Number: 2015-008220PCA
Board File/Enactment #: 150532/TBD
Initiated by: Supervisors Avalos
Effective Date: July 3, 2015
Expiration Date: January 3, 2017

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
415.558.6378

Fax:
415.558.6409

Planning
Information:
415.558.6377

Summary of Interim Control

Conditional Use authorization is now required for ALL residential mergers as defined in Planning Code Section 317. This control is in effect for 18 months (until January 3, 2017) or until the adoption of permanent legislation requiring Conditional Use authorization for residential mergers, whichever comes first.

The Way It Was:

1. The loss of one or more Residential Units required Conditional Use authorization in the RTO, RTO-M, NCT, and Upper Market NCD Zoning Districts, as well as the loss of any residential unit above the ground floor in C-3 zoning districts.
2. In all other zoning districts, the loss or removal of three or more Residential Units required Conditional Use authorization.
3. In all other Districts, the loss or removal of one to two Residential Units required Mandatory Discretionary Review.
4. Mergers that were demonstrably not affordable or financially accessible housing were exempt from Mandatory Discretionary Review hearings.

The Way It Is Now:

1. The loss of one or more Residential Units still requires Conditional Use authorization in the RTO, RTO-M, NCT, and Upper Market NCD Zoning Districts, as well as the loss of any residential unit above the ground floor in the C-3 Zoning District; however, the loss of any Residential Unit through merger at the ground floor in C-3 Districts now requires Conditional Use authorization.
2. In all other districts, the loss or removal of three or more Residential Units still requires Conditional Use authorization.

3. In all other Districts, the loss or removal of one to two Residential Units due to demolition or conversion requires Mandatory Discretionary Review; however, the merger of one to two dwelling units requires Conditional Use authorization.
4. Mergers of Residential Units that are demonstrably not affordable or financially accessible housing require CU authorization.

Link to Sign Resolution:

<https://sfgov.legistar.com/LegislationDetail.aspx?ID=2321199&GUID=5997EA0B-9670-4052-93AD-102BD0AE8EED&Options=ID|Text|&Search=150532>

EXHIBIT 9

1 [Planning, Building Codes - Conditional Use Required to Remove Any Residential Unit,
including an ~~illegal~~ Unauthorized Unit]

2
3 **Ordinance amending the Planning Code to require Conditional Use authorization for**
4 **the removal of any residential unit (whether authorized legal or unauthorized illegal)**
5 **and to exempt from the Conditional Use application requirement unauthorized illegal**
6 **units where there is no legal path for legalization, and residential units that have**
7 **received prior Planning approval, and single-family homes that are demonstrably**
8 **unaffordable or unsound; amending the Building Code to require that notices of**
9 **violation ~~mandate~~ order the filing of an application to legalize ~~legalization of an~~**
10 **unauthorized illegal unit unless infeasible under the Building Code, ~~or the Planning~~**
11 **Commission approves its removal, or a serious and imminent hazard exists on the**
12 **property and requiring re-issuance of unabated notices of violation to include the new**
13 **requirement; affirming the Planning Department's determination under the California**
14 **Environmental Quality Act; and making findings of consistency with the General Plan,**
15 **Planning Code Section 302, and the eight priority policies of Planning Code Section**
16 **101.1.**

17
18 NOTE: **Unchanged Code text and uncodified text** are in plain Arial font.
19 **Additions to Codes** are in *single-underline italics Times New Roman font*.
20 **Deletions to Codes** are in *strikethrough italics Times New Roman font*.
21 **Board amendment additions** are in double-underlined Arial font.
22 **Board amendment deletions** are in ~~strikethrough Arial font~~.
23 **Asterisks (* * * *)** indicate the omission of unchanged Code
24 subsections or parts of tables.
25

Be it ordained by the People of the City and County of San Francisco:

Section 1. Findings.

SEC. 317. LOSS OF RESIDENTIAL AND UNAUTHORIZED UNITS THROUGH DEMOLITION, MERGER AND CONVERSION.

1 (14) "Vertical Envelope Elements" shall mean all exterior walls that provide
2 weather and thermal barriers between the interior and exterior of the building, or that provide
3 structural support to other elements of the building envelope.

4 * * * *

5 (c) **Applicability; Exemptions.**

6 (1) ~~An Any application for a permit that would result in the loss Removal of one~~
7 ~~or more Residential Units or Unauthorized Units is required to obtain Conditional Use~~
8 ~~authorization; provided, however, that in the RTO, RTO-M, NCT, and Upper Market NCD Zoning~~
9 ~~Districts, as well as the loss of any residential unit above the ground floor in the C-3 Zoning District,~~
10 ~~only the Removal of a Residential Unit or Unauthorized Unit above the ground floor requires a~~
11 ~~Conditional Use authorization. The application for a replacement building or alteration permit~~
12 ~~shall also be subject to Conditional Use requirements. When considering whether to grant~~
13 ~~Conditional Use authorization for the loss of dwelling unit(s) in the C-3 districts, in lieu of the criteria~~
14 ~~set forth in Planning Code Section 303, consideration shall be given to the adverse impact on the~~
15 ~~public health, safety, and general welfare of the loss of housing stock in the district and to any~~
16 ~~unreasonable hardship to the applicant if the permit is denied. Any application for a permit that would~~
17 ~~result in the loss or Removal of three or more Residential Units, notwithstanding any other sections of~~
18 ~~this Code, shall require a Conditional Use authorization for the Removal and replacement of the units.~~
19 ~~Approval of any other application that would result in the loss or Removal of up to two Residential~~
20 ~~Units is prohibited unless the Planning Commission approves such permit application and the~~
21 ~~replacement structure permit application at a Mandatory Discretionary Review hearing, with certain~~
22 ~~exceptions specified below.~~

23 (2) The Conditional Use requirement of Subsection (c)(1) shall apply to (A)
24 any building or site permit issued for Removal of an Unauthorized Unit on or after March 1,
25

1 2016, and (B) any permit issued for Removal of an Unauthorized Unit prior to March 1, 2016
2 that has been suspended by the City or in which the applicant's rights have not vested.

3 (23) The Removal of a Residential or Unauthorized Unit that has received approval
4 from the Planning Department through administrative approval or the Planning Commission through a
5 Discretionary Review or Conditional Use authorization prior to the effective date of the Conditional
6 Use requirement of Subsection (c)(1) is not required to apply for an additional approval under
7 Subsection (c)(1).

8 (34) The Removal of an Unauthorized Unit does not require a Conditional Use
9 authorization pursuant to Subsection (c)(1) if the Department of Building Inspection has determined
10 that there is no legal path for legalization under Section 106A.3.1.3 of the Building Code.

11 (5) The Demolition of a Single-Family Residential Building that meets the
12 requirements of Subsection (d)(3) below may be approved by the Department without
13 requiring a Conditional Use authorization.

14 (d) **Demolition.**

15 (1) No permit to Demolish a Residential Building in any zoning district shall
16 be issued until a building permit for the replacement structure is finally approved, unless the
17 building is determined to pose a serious and imminent hazard as defined in the Building Code.
18 A building permit is finally approved if the Board of Appeals has taken final action for approval
19 on an appeal of the issuance or denial of the permit or if the permit has been issued and the
20 time for filing an appeal with the Board of Appeals has lapsed with no appeal filed.

21 (2) ~~If~~ Conditional Use authorization is required for approval of the permit for
22 Residential Demolition *by other sections of this Code, and* the Commission shall consider the
23 replacement structure as part of its decision on the Conditional Use application. If Conditional
24 Use authorization is required for the replacement structure by other sections of this Code, the
25 Commission shall consider the demolition as part of its decision on the Conditional Use

1 Implementation Document with regard to Residential Demolition, the criteria of Section 1005
2 shall apply to projects subject to review under the requirements of Article 10 with regard to the
3 structure itself.

4 (e) **Conversion to Student Housing.** The conversion of Residential Units to Student
5 Housing is prohibited. For the purposes of this subsection, Residential Units that have been defined as
6 such by the time a First Certificate of Occupancy has been issued by the Department of Building
7 Inspection for new construction shall not be converted to Student Housing.

8 (f) **Residential Merger.** The Merger of Residential Units, not otherwise subject to
9 Conditional Use authorization by this Code, shall be prohibited.

10 (g) **Conditional Use Criteria.**

11 (1) **C-3 Districts.** When considering whether to grant Conditional Use authorization
12 for the loss or Removal of Residential or Unauthorized Unit(s) in the C-3 districts, in lieu of the criteria
13 set forth in Planning Code Section 303, consideration shall be given to the adverse impact on the
14 public health, safety, and general welfare of the loss of housing stock in the district and to any
15 unreasonable hardship to the applicant if the permit is denied.

16 * * * *

17 ~~(e)~~ (2) **Residential Merger.**

18 ~~(1) The Merger of Residential Units, not otherwise subject to Conditional Use~~
19 ~~authorization by this Code., shall be prohibited, unless the Planning Commission approves the building~~
20 ~~permit application at a Mandatory Discretionary Review hearing, applying the criteria in subsection~~
21 ~~(2) below, or the project qualifies for administrative approval and the Planning Department approves~~
22 ~~the project administratively in accordance with subsection (3) below.~~

23 (2) The Planning Commission shall consider the following criteria in the
24 review of applications to merge Residential Units or Unauthorized Units:

1 (A) whether removal of the unit(s) would eliminate only owner
2 occupied housing, and if so, for how long the unit(s) proposed to be removed have been
3 owner occupied;

4 (B) whether removal of the unit(s) and the merger with another is
5 intended for owner occupancy;

6 (C) whether ~~the~~ removal of the unit(s) will remove an affordable
7 housing unit as defined in Section ~~401 415~~ of this Code or housing subject to the Residential
8 Rent Stabilization and Arbitration Ordinance;

9 ~~(D) whether removal of the unit(s) will bring the building closer into~~
10 ~~conformance with prescribed zoning;~~

11 ~~(E)~~ (D) if removal of the unit(s) removes an affordable housing unit as
12 defined in Section 401 of this Code or units subject to the Residential Rent Stabilization and
13 Arbitration Ordinance, whether replacement housing will be provided which is equal or greater
14 in size, number of bedrooms, affordability, and suitability to households with children to the
15 units being removed;

16 ~~(E)~~ how recently the unit being removed was occupied by a tenant or tenants;

17 (F) whether the number of bedrooms provided in the merged unit will
18 be equal to or greater than the number of bedrooms in the separate units;

19 (G) whether removal of the unit(s) is necessary to correct design or
20 functional deficiencies that cannot be corrected through interior alterations;

21 ~~(H) the appraised value of the least expensive Residential Unit proposed for~~
22 ~~merger only when the merger does not involve an Unauthorized Unit.~~

23 ~~(3) Administrative review criteria shall ensure that only those Residential Units~~
24 ~~proposed for Merger that are demonstrably not affordable or financially accessible housing are exempt~~
25 ~~from Mandatory Discretionary Review hearings. Applications for which the least expensive unit~~

1 ~~proposed for merger has a value greater than at least 80% of the combined land and structure values~~
2 ~~of single family homes in San Francisco, as determined by a credible appraisal, made within six~~
3 ~~months of the application to merge, are not subject to a Mandatory Discretionary Review hearing. The~~
4 ~~Planning Commission, in the Code Implementation Document, may increase the numerical criterion in~~
5 ~~this subsection by up to 10% of its value should it deem that adjustment is necessary to implement the~~
6 ~~intent of this Section 317, to conserve existing housing and preserve affordable housing.~~

7 (4) The Planning Commission shall not approve an application for Residential
8 ~~m~~Merger if any tenant has been evicted pursuant to Administrative Code Sections 37.9(a)(9)
9 through 37.9(a)(14) where the tenant was served with a notice of eviction after December 10,
10 2013 if the notice was served within ~~ten (10)~~ years prior to filing the application for merger.
11 Additionally, the Planning Commission shall not approve an application for Residential
12 ~~m~~Merger if any tenant has been evicted pursuant to Administrative Code Section 37.9(a)(8)
13 where the tenant was served with a notice of eviction after December 10, 2013 if the notice
14 was served within five (5) years prior to filing the application for merger. This Subsection ~~(e)(4)~~
15 ~~(g)(2)(H)~~ shall not apply if the tenant was evicted under Section 37.9(a)(11) or 37.9(a)(14) and
16 the applicant(s) either (A) have certified that the original tenant reoccupied the unit after the
17 temporary eviction or (B) have submitted to the Planning Commission a declaration from the
18 property owner or the tenant certifying that the property owner or the Rent Board notified the
19 tenant of the tenant's right to reoccupy the unit after the temporary eviction and that the tenant
20 chose not to reoccupy it.

21 ~~(f)~~ (3) **Residential Conversion.**

22 (1) ~~Residential Conversion not otherwise prohibited or subject to Conditional Use~~
23 ~~authorization by this Code, shall be prohibited, unless the Planning Commission approves the building~~
24 ~~permit application at a Mandatory Discretionary Review hearing, or is exempted from such approval~~
25 ~~as provided in subsections (f)(3) or (4) below. The conversion of Residential Units to Student Housing~~

EXHIBIT 10

Time: 15 Minutes

Rahaim/Joslin/Luellen/Grob

Address: **1281-1283 Greenwich Street**
Cross St(s): Hyde and Larkin Streets
Block/Lot: 0095/024
Zoning/Ht Dist: RM-2/40-X

(Grob)

- NOT SUPPORTABLE

4. **Background:** The project proposes a Dwelling Unit Merger to convert the existing two-unit residential building into a single family residence. The project includes interior renovations, expansion of the existing basement and a new principal façade, as well as seismic upgrades. The Dwelling Unit Merger was approved administratively by a ZA Action Memo in Case No. 2014-000145DRM, however, the Interim Controls for Residential Mergers took effect during the 311 notification period, and the proposed merger now requires a CU. 1281 Greenwich is 2,331 sf and was appraised at \$1.6M on August 18, 2014. 1283 Greenwich is 2,729 sf and was appraised at \$3.025M on August 18, 2014. The building also has a 1,080 sf garage with two off-street parking spaces. The proposal would reduce the number of total bedrooms from 5 to 4, and would result in a 6,414 sf single family home (including the garage).

Case Issues: Is the merger consistent with general plan policies? Do we support the dwelling unit merger considering the size and affordability of the units.

Recommendations: To be discussed.

Time: 15 Minutes

Rahaim/Joslin/Lindsay/Woods/Bollinger/Small

Address: **1001 Van Ness Avenue**
Cross St(s): O'Farrell Street
Block/Lot: 0714/016
Zoning/Ht Dist: RC-4

(Bollinger)

5. **Background:** PPA Project Description: The proposal is to demolish the existing four-story, 113,404 sf commercial building on the 31,646 sf subject lot was constructed in 1967. The proposed new building would include 205 dwelling units, 205 parking spaces, and 6,000 sf of retail space along Van Ness Avenue.

Case Issues: Discuss UDAT feedback that results in a loss of approximately 30 units from what was outlined in the PPA letter.

Recommendations: None.

EXHIBIT 11



SAN FRANCISCO PLANNING DEPARTMENT

1650 Mission Street Suite 400 San Francisco, CA 94103

NOTICE OF BUILDING PERMIT APPLICATION (SECTION 311)

On **October 17, 2014**, the Applicant named below filed Building Permit Application No. **2014.1017.9272** with the City and County of San Francisco.

PROPERTY INFORMATION		APPLICANT INFORMATION	
Project Address:	1281-1283 Greenwich Street	Applicant:	Dave Swetz, Butler Armsden Architects
Cross Street(s):	Between Larkin and Hyde Streets	Address:	1420 Sutter St.
Block/Lot No.:	0095/024	City, State:	San Francisco, CA 94109
Zoning District(s):	RM-3 / 40-X	Telephone:	(415) 674-5554

You are receiving this notice as a property owner or resident within 150 feet of the proposed project. You are not required to take any action. For more information about the proposed project, or to express concerns about the project, please contact the Applicant listed above or the Planner named below as soon as possible. If you believe that there are exceptional or extraordinary circumstances associated with the project, you may request the Planning Commission to use its discretionary powers to review this application at a public hearing. Applications requesting a Discretionary Review hearing must be filed during the 30-day review period, prior to the close of business on the Expiration Date shown below, or the next business day if that date is on a week-end or a legal holiday. If no Requests for Discretionary Review are filed, this project will be approved by the Planning Department after the Expiration Date.

Members of the public are not required to provide personal identifying information when they communicate with the Commission or the Department. All written or oral communications, including submitted personal contact information, may be made available to the public for inspection and copying upon request and may appear on the Department's website or in other public documents.

PROJECT SCOPE		
<input type="checkbox"/> Demolition	<input type="checkbox"/> New Construction	<input type="checkbox"/> Alteration
<input checked="" type="checkbox"/> Change of Use	<input checked="" type="checkbox"/> Façade Alteration(s)	<input type="checkbox"/> Front Addition
<input type="checkbox"/> Rear Addition	<input type="checkbox"/> Side Addition	<input type="checkbox"/> Vertical Addition
PROJECT FEATURES	EXISTING	PROPOSED
Building Use	Residential	No Change
Front Setback	None	No Change
Building Depth	59'10"	No Change
Rear Yard	2'8"	No Change
Building Height	43'8.5"	No Change
Number of Stories	3 Stories over basement	No Change
Number of Dwelling Units	2	1
Number of Parking Spaces	2	No Change
PROJECT DESCRIPTION		
<p>The project proposes a Dwelling Unit Merger to convert the existing two-unit residential building into a single family residence. The project includes interior renovations, expansion of the existing basement and a new principal façade, as well as seismic upgrades. The Dwelling Unit Merger was approved administratively by a ZA Action Memo in Case No. 2014-000145DRM.</p> <p>The issuance of the building permit by the Department of Building Inspection or the Planning Commission project approval at a discretionary review hearing would constitute as the Approval Action for the project for the purposes of CEQA, pursuant to Section 31.04(h) of the San Francisco Administrative Code.</p>		

For more information, please contact Planning Department staff:

Planner: Carly Grob

Telephone: (415) 575-9138

E-mail: carly.grob@sfgov.org

Notice Date: 6/26/2015

Expiration Date: 7/26/2015

中文詢問請電: (415) 575-9010

Para información en Español llamar al: (415) 575-9010

GENERAL INFORMATION ABOUT PROCEDURES

Reduced copies of the proposed project plans have been included in this mailing for your information. If you have questions about the plans, please contact the project Applicant listed on the front of this notice. You may wish to discuss the plans with your neighbors or neighborhood association, as they may already be aware of the project. If you have general questions about the Planning Department's review process, please contact the Planning Information Center at 1660 Mission Street, 1st Floor (415/ 558-6377) between 8:00am - 5:00pm Monday-Friday. If you have specific questions about the proposed project, you should contact the planner listed on the front of this notice.

If you believe that the impact on you from the proposed project is significant and you wish to seek to change the project, there are several procedures you may use. **We strongly urge that steps 1 and 2 be taken.**

1. Request a meeting with the project Applicant to get more information and to explain the project's impact on you.
2. Contact the nonprofit organization Community Boards at (415) 920-3820, or online at www.communityboards.org for a facilitated discussion in a safe and collaborative environment. Community Boards acts as a neutral third party and has, on many occasions, helped reach mutually agreeable solutions.
3. Where you have attempted, through the use of the above steps or other means, to address potential problems without success, please contact the planner listed on the front of this notice to discuss your concerns.

If, after exhausting the procedures outlined above, you still believe that exceptional and extraordinary circumstances exist, you have the option to request that the Planning Commission exercise its discretionary powers to review the project. These powers are reserved for use in exceptional and extraordinary circumstances for projects which generally conflict with the City's General Plan and the Priority Policies of the Planning Code; therefore the Commission exercises its discretion with utmost restraint. This procedure is called Discretionary Review. If you believe the project warrants Discretionary Review by the Planning Commission, **you must file a Discretionary Review application prior to the Expiration Date shown on the front of this notice.** Discretionary Review applications are available at the Planning Information Center (PIC), 1660 Mission Street, 1st Floor, or online at www.sfplanning.org. You must submit the application in person at the Planning Information Center (PIC) between 8:00am - 5:00pm Monday-Friday, with all required materials and a check payable to the Planning Department. To determine the fee for a Discretionary Review, please refer to the Planning Department Fee Schedule available at www.sfplanning.org. If the project includes multiple building permits, i.e. demolition and new construction, a **separate request for Discretionary Review must be submitted, with all required materials and fee, for each permit that you feel will have an impact on you.**

Incomplete applications will not be accepted.

If no Discretionary Review Applications have been filed within the Notification Period, the Planning Department will approve the application and forward it to the Department of Building Inspection for its review.

BOARD OF APPEALS

An appeal of the Planning Commission's decision on a Discretionary Review case may be made to the **Board of Appeals within 15 calendar days after the building permit is issued** (or denied) by the Department of Building Inspection. Appeals must be submitted in person at the Board's office at 1650 Mission Street, 3rd Floor, Room 304. For further information about appeals to the Board of Appeals, including current fees, contact the Board of Appeals at (415) 575-6880.

ENVIRONMENTAL REVIEW

This project has undergone preliminary review pursuant to California Environmental Quality Act (CEQA). If, as part of this process, the Department's Environmental Review Officer has deemed this project to be exempt from further environmental review, an exemption determination has been prepared and can be obtained through the Exemption Map, on-line, at www.sfplanning.org. An appeal of the decision **to exempt the proposed project from CEQA may be made to the Board of Supervisors within 30 calendar days** after the project approval action identified on the determination. The procedures for filing an appeal of an exemption determination are available from the Clerk of the Board at City Hall, Room 244, or by calling (415) 554-5184.

Under CEQA, in a later court challenge, a litigant may be limited to raising only those issues previously raised at a hearing on the project or in written correspondence delivered to the Board of Supervisors, Planning Commission, Planning Department or other City board, commission or department at, or prior to, such hearing, or as part of the appeal hearing process on the CEQA decision.

EXHIBIT 12



City and County of San Francisco
 Department of Building Inspection

CERTIFICATE OF FINAL COMPLETION AND OCCUPANCY

LOCATION: 1281-83 GREENWICH 0095/024
 (number) (street) (block and lot)

Permit Application No: 201311222594 Type of Construction: SB Stories: 3 Dwelling Units: 2

Basements: 1 Occupancy Classification: R3 No. of Guestrooms: 0 with cooking facilities: 0

Description of Construction: EXCAVATE FOR (N) GARAGE WITH STORAGE ROOMS AT REAR

To the best of our knowledge, the construction described above has been completed and, effective as of the date the building permit application was filed, conforms both to the Ordinances of the City and County of San Francisco and to the Laws of the State of California. The above referenced occupancy classification is approved pursuant to Section 109A of the *San Francisco Building Code*.

Any change in the use or occupancy of these premises--or any change to the building or premises--could cause the property to be in violation of the *Municipal Codes* of the City and County of San Francisco and, thereby, would invalidate this *Certificate of Final Completion and Occupancy*. A copy of this *Certificate* shall be maintained on the premises and shall be available at all times. Another copy of this *Certificate* should be kept with your important property documents.

Before making any changes to the structure in the future, please contact the Department of Building Inspection, which will provide advice regarding any change that you wish to make and will assist you in making the change in accordance with the *Municipal Codes* of the City and County of San Francisco.

This certificate issued on: 11/19/19

Tom C. Hui
 Tom C. Hui, S.E., C.B.O., Acting Director

by: Robert J Power
 (Signature) Building Inspector
ROBERT POWER
 Printed Name



City and County of San Francisco
 Department of Building Inspection

CERTIFICATE OF FINAL COMPLETION AND OCCUPANCY

LOCATION: 1281-83 GREENWICH ST 0095/024
 (number) (street) (block and lot)

Permit Application No: 20141079272 Type of Construction: SB Stories: 3 Dwelling Units: 2

Basements: 1 Occupancy Classification: R-3 No. of Guestrooms: 0 with cooking facilities: 0

Description of Construction: NEW ENTRY STAIR (N) STAIRS FROM GARAGE LEVEL (N) WIPER ROOM + 1/2 BATH AT BACK OF GARAGE. AT TOP LEVEL INFILL PART OF DECK AT REAR. COMPLETE REMODEL ENTIRE STRUCTURE. REFERENCE # 20170815482 201704204463, 201612064294, + 201608165118

To the best of our knowledge, the construction described above has been completed and, effective as of the date the building permit application was filed, conforms both to the Ordinances of the City and County of San Francisco and to the Laws of the State of California. The above referenced occupancy classification is approved pursuant to Section 109A of the *San Francisco Building Code*.

Any change in the use or occupancy of these premises--or any change to the building or premises--could cause the property to be in violation of the *Municipal Codes* of the City and County of San Francisco and, thereby, would invalidate this *Certificate of Final Completion and Occupancy*. A copy of this *Certificate* shall be maintained on the premises and shall be available at all times. Another copy of this *Certificate* should be kept with your important property documents.

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This certificate issued on: 11/19/19

Tom C. Hui
 Tom C. Hui, S.E., C.B.O., Director

by: Robert J Power
 (Signature) Building Inspector
ROBERT POWER
 Printed Name

Copies: White (original to microfilm); Blue (to property owner); Yellow (to Building Inspector); Pink (to Housing Inspector)



City and County of San Francisco
 Department of Building Inspection

CERTIFICATE OF FINAL COMPLETION AND OCCUPANCY

LOCATION: 1281-83 GREENWICH 0095/024
 (number) (street) (block and lot)

Permit Application No: 20170606.8523 Type of Construction: 5A Stories: 3 Dwelling Units: 2

Basements: 1 Occupancy Classification: R-3 No. of Guestrooms: 0 with cooking facilities: 0

Description of Construction: (N) ROOF DECK (N) SPIRAL STAIRS TO ROOF DECK

To the best of our knowledge, the construction described above has been completed and, effective as of the date the building permit application was filed, conforms both to the Ordinances of the City and County of San Francisco and to the Laws of the State of California. The above referenced occupancy classification is approved pursuant to Section 109A of the *San Francisco Building Code*.

Any change in the use or occupancy of these premises--or any change to the building or premises--could cause the property to be in violation of the *Municipal Codes* of the City and County of San Francisco and, thereby, would invalidate this *Certificate of Final Completion and Occupancy*. A copy of this *Certificate* shall be maintained on the premises and shall be available at all times. Another copy of this *Certificate* should be kept with your important property documents.

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This certificate issued on: 11/19/19

Tom C. Hui
 Tom C. Hui, S.E., C.B.O., Director

by: Robert J Power
 (Signature) **Building Inspector**
ROBERT POWER
 Printed Name

Copies: White (original to microfilm); Blue (to property owner); Yellow (to Building Inspector); Pink (to Housing Inspector)



Department of Building Inspection

City & County of San Francisco
 49 South Van Ness Ave, Suite 400 San Francisco, CA 94103-1226



Building Inspection History

Application Number **201410179272** Block/Lot **0095 / 024** Address **1281 GREENWICH ST**

Description **INTERIOR REMODEL & SEISMIC UPGRADE. EXPAND (E) BASEMENT FOR NEW ELEVATOR. NEW PRINCIPLE FACADE.**

Owner Name	Form #	Job Cost	Disposition	Disposition Date
1281-1283 GREENWICH ST PROPERT	3	\$1,500,000.00	COMPLETE	11/22/2019

Owner Phone	# of Plans	# of Units	# of Stories	Occupancy	Bldg Use	Expiration Date	Penalty
(858) 752-3375	2	2	3	R-3	28	05/12/2018	0

Inspector Name	Activity Date	Status Code	Status Description	Comments
Power, Robert	11/22/2019	107	CFC ISSUED	107
Power, Robert	07/08/2019	142	PRE-FINAL	Ok to final pend s.i, bsm and smoke gaskets at elevator doors
Power, Robert	01/30/2019	122	REINFORCING STEEL	Ok to pour exterior steps and side walks
Power, Robert	09/26/2018	133	LATH, EXTERIOR	133
Birmingham, Sean	01/16/2018	135	SHEETROCK NAILING	except behind elevator need to block at floors or make shaft protection
Birmingham, Sean	12/27/2017	127	INSULATION	127
Birmingham, Sean	12/05/2017	126	ROUGH FRAME	ok need fire protection on recessed lights ,see during insulation inspection
Birmingham, Sean	11/21/2017	103	REINSPECT REQUIRED	called and cancelled
Birmingham, Sean	10/30/2017	125	ROUGH FRAME, PARTIAL	ok to shear
Hernandez, Hector	09/06/2017	125	ROUGH FRAME, PARTIAL	X2 shearwall one at g.floor level, mud sill bolting, hd's a35, drag strap s - document field changes along line 1 in this area. 2nd shearwall 1st floor along line b in front ok to proceed pending si



Department of Building Inspection

City & County of San Francisco
 49 South Van Ness Ave, Suite 400 San Francisco, CA 94103-1226



Building Inspection History

Application Number **201612064294** Block/Lot **0095 / 024** Address **1281 GREENWICH ST**

Description **PERMIT APPROVED VARIANCE SCOPE AT THIRD FLOOR; ADDITIONAL CONDITIONED AREA OF 125 SQ FT. REF TO PA# 201410179272**

Owner Name	Form #	Job Cost	Disposition	Disposition Date
1281-1283 GREENWICH ST PROPERT	3	\$20,000.00	COMPLETE	11/21/2019

Owner Phone	# of Plans	# of Units	# of Stories	Occupancy	Bldg Use	Expiration Date	Penalty
(858) 752-3375	2	2	3	R-3	28	09/24/2017	0

Inspector Name	Activity Date	Status Code	Status Description	Comments
Power, Robert	11/21/2019	106	FINAL INSPECT/APPRVD	106
Birmingham, Sean	06/16/2017	122	REINFORCING STEEL	slab on grade



Department of Building Inspection

City & County of San Francisco
49 South Van Ness Ave, Suite 400 San Francisco, CA 94103-1226



Building Inspection History

Application Number **201706068573** Block/Lot **0095 / 024** Address **1281 GREENWICH ST**

Description **ROOF DECK WITHIN BUILDABLE AREA OF LOT AND SPIRAL STAIR FROM 3RD FLOOR TERRACE & ROOF DECK**

Owner Name	Form #	Job Cost	Disposition	Disposition Date
1281-1283 GREENWICH ST PROPERT	3	\$45,000.00	COMPLETE	11/21/2019

Owner Phone	# of Plans	# of Units	# of Stories	Occupancy	Bldg Use	Expiration Date	Penalty
(858) 752-3375	2	2	3	R-3	28	04/11/2019	0

Inspector Name	Activity Date	Status Code	Status Description	Comments
Power, Robert	11/21/2019	107	CFC ISSUED	107

Welcome to our Permit / Complaint Tracking System!

Permit Details Report

Application Number: 201410179272
 Form Number: 3
 Address(es): 0095 /024 /0 1281 GREENWICH ST
 0095 /024 /0 1283 GREENWICH ST
 Description: INTERIOR REMODEL & SEISMIC UPGRADE. EXPAND (E) BASEMENT FOR NEW ELEVATOR. NEW PRINCIPLE FACADE.
 Cost: \$1,500,000.00
 Occupancy Code: R-3
 Building Use: 28 - 2 FAMILY DWELLING

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
11/22/2019	Robert Power	FINAL INSPECT/APPRVD	CFC ISSUED
7/8/2019	Robert Power	PRE-FINAL	PRE-FINAL
1/30/2019	Robert Power	OK TO POUR	REINFORCING STEEL
1 2 3 4			

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
9/26/2018	Robert Power	LATH, EXTERIOR	LATH, EXTERIOR
1/16/2018	Sean Birmingham	SHEETROCK NAILING	SHEETROCK NAILING
12/27/2017	Sean Birmingham	INSULATION	INSULATION
1 2 3 4			

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
12/5/2017	Sean Birmingham	ROUGH FRAME	ROUGH FRAME
11/21/2017	Sean Birmingham	ROUGH FRAME	REINSPECT REQUIRED
10/30/2017	Sean Birmingham	ROUGH FRAME	ROUGH FRAME, PARTIAL
1 2 3 4			

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
9/6/2017	Hector Hernandez	ROUGH FRAME, PARTIAL	ROUGH FRAME, PARTIAL
1 2 3 4			

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
1	11/18/2019	SHAJNAL	IE1	CF2R-LTG-01-E - LIGHTING - SINGLE FAMILY DWELLINGS	N/A per HERS rater letter dated 11/15/19
1	11/18/2019	SHAJNAL	VP3	CF2R-PLB-22-H - HERS VERIFIED SINGLE DWELLING UNIT HOT WATER SYSTEM DISTRIBUTION	N/A per HERS rater letter dated 11/15/19
1	11/15/2019	SHAJNAL	IP5	CF2R-PLB-02-E - SINGLE DWELLING UNIT HOT WATER SYSTEM DISTRIBUTION	
1	11/15/2019	SHAJNAL	IB1	CF2R-ENV-01-E - FENESTRATION INSTALLATION	
1	11/15/2019	SHAJNAL	13	SPECIAL GRADING, EXCAVATION AND FILLING (GEO. ENGINEERED)	
1	10/24/2019	MGREENE	24E	WOOD FRAMING	
1	10/24/2019	MGREENE	19	SHEAR WALLS AND FLOOR SYSTEMS USED AS SHEAR DIAPHRAGMS	
1	10/24/2019	MGREENE	24C	CONCRETE CONSTRUCTION	
1	10/24/2019	MGREENE	18A	BOLTS INSTALLED IN EXISTING CONCRETE	
1	10/24/2019	MGREENE	6	HIGH-STRENGTH BOLTING	
1 2 3					

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
1	10/24/2019	MGREENE	24B	STEEL FRAMING	
1	10/24/2019	MGREENE	5A6	REINFORCING STEEL	

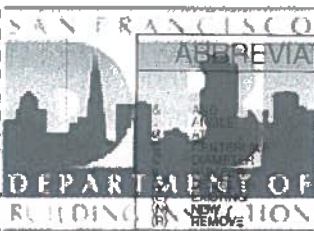
1	10/24/2019	MGREENE	3	SPECIAL MOMENT- RESISTING CONCRETE FRAME	
1	10/24/2019	MGREENE	5B5	MOMENT-RESISTING FRAMES	
1	8/28/2019	SHAJNAL	VB22	CF3R-MCH-27A-H - HERS MECH VENTILATION - CONTINUOUS WHOLE BUILDING FAN VENT METHOD	
1	8/28/2019	SHAJNAL	VB40	CF3R-MCH-23D-H - HERS SPACE CONDITIONING SYSTEM AIRFLOW RATE, MEASUREMENT	
1	8/28/2019	SHAJNAL	IB46	CF2R-MCH-23D-H - HERS SPACE CONDITIONING SYSTEM AIRFLOW RATE, MEASUREMENT	
1	8/28/2019	SHAJNAL	IB28	CF2R-MCH-27A-H - HERS MECH VENTILATION - CONTINUOUS WHOLE BUILDING FAN VENT METHOD	
1	6/28/2019	MGREENE	1	CONCRETE (PLACEMENT & SAMPLING)	
1	6/28/2019	MGREENE	4	REINFORCING STEEL AND PRESTRESSING TENDONS	
1 2 3					

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
1	6/28/2019	MGREENE	2	BOLTS INSTALLED IN CONCRETE	
1	6/28/2019	MGREENE	5A1	SINGLE PASS FILLET WELDS < 5/16"	
1	6/28/2019	MGREENE	18C	PULL/TORQUE TESTS PER SFBC SEC.1607C & 1615C	
1	6/28/2019	MGREENE	20	HOLDOWNS	
1 2 3					

PERMIT HOLDER'S PLAN SETS

Plan Set for Permit No. 2011/08/18/2754S1



ABBREVIATIONS

Table of abbreviations for building materials and components, including F.D. FLOOR DRAIN, FF & E. FURNITURE, FIXTURES & EQUIP, etc.

SYMBOLS

Table of symbols for drawing elements, including DRAWING/DETAIL REFERENCE TAG, SECTION REFERENCE TAG, INTERIOR ELEVATION REFERENCE TAG, etc.

GENERAL NOTES

- 1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS...
2. CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID...

PROJECT TEAM

ARCHITECT
BUTLER ARMSDEN ARCHITECTS
2849 CALIFORNIA STREET
SAN FRANCISCO, CA 94115
T. 415. 674. 5554
F. 415. 674. 5558

VICINITY MAP



1283 GREENWICH DATA

Table with project data: BLOCK: 0095, ZONED: RM-2, LOT: 024, HEIGHT LIMIT: 08, LOT SIZE: 2,343.75 sq.Ft., OCCUPANCY: R-3

CODES

- 2010 CA BLDG. CODE
2010 S.F. BLDG. CODE
2010 CA ENERGY CODE
2010 S.F. ELECTRICAL CODE
2010 S.F. MECHANICAL CODE
2010 S.F. PLUMBING CODE
2010 S.F. FIRE CODE

SCOPE OF WORK

NEW DRIVEWAY OFF OF GREENWICH STREET TO ACCESS SUBJECT PROPERTY VIA MAJOR SIDEWALK ENCROACHMENT PERMEABLE PAVED DRIVEWAY THROUGH VEGETATED TERRACES WITH PARK BENCHES AND PATHS RELATING TO LARGER CONTEXT REFERENCE DPW PERMIT #11ME-0001 AND #13IE-0185.

SHEET INDEX

Table listing sheets: ARCHITECTURAL (A0.0-TITLE SHEET, A0.1-SITE PHOTOS, etc.), CIVIL (EC-1-EROSION CONTROL PLAN, etc.), SITE PERMIT (1/20/2012), ADDENDUM (1/25/2019)

20

Butler Armsden

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San Francisco CA 94115
t. 415-674-5554
f. 415-674-5558
e. butler@butlerarmsden.com
www.butlerarmsden.com

1283 GREENWICH STREET
1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

2011-0818-2754 S1

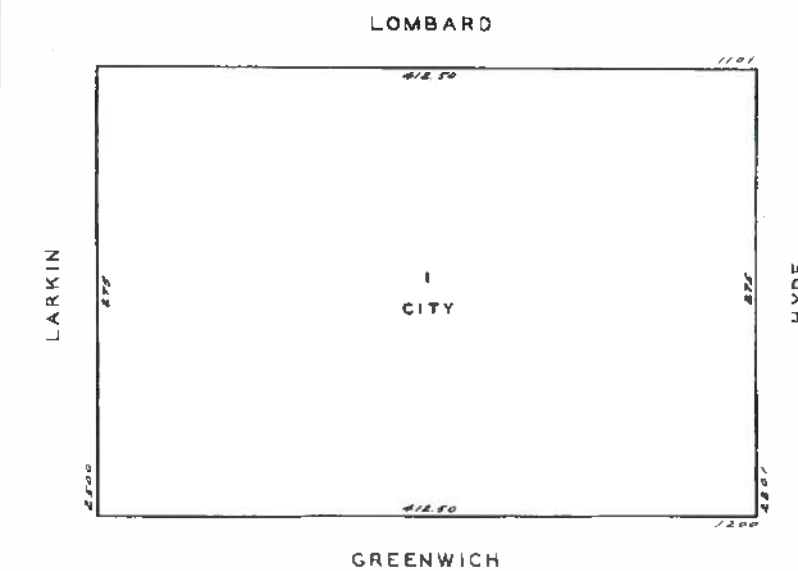
PERMIT SET

revisions
APPROVED
NOV 04 2019
Tom C. He...
DIRECTOR
DEPT. OF BUILDING INSPECTION

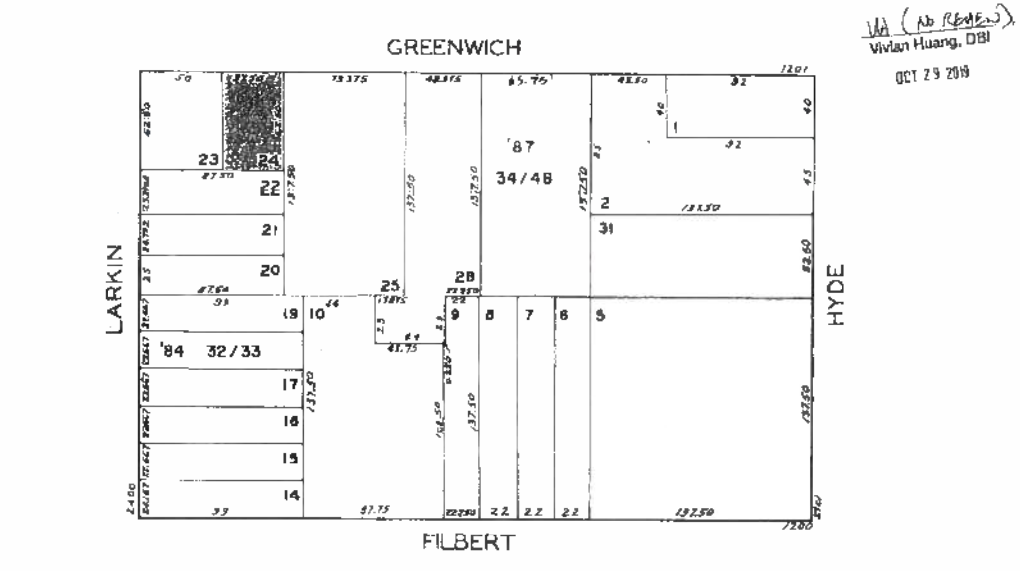


TITLE SHEET

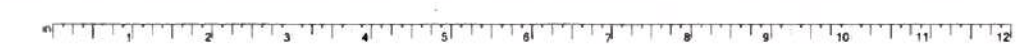
A0.0

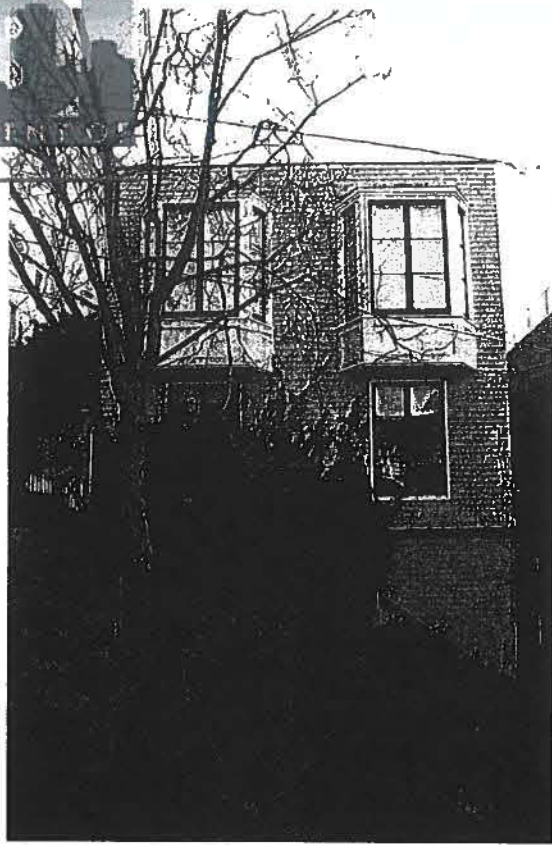


2 BLOCK MAP - 0070 / 001 NOT TO SCALE



1 BLOCK MAP - 0095 / 024 NOT TO SCALE





3 FACADE OF SUBJECT PROPERTY



2 EXISTING SIDEWALK JOG



1 EXISTING PARK FROM ROOF OF SUBJECT PROPERTY

Butler Armadon
ARCHITECTS

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PERMIT SET

revisions	by:
ADDITIONAL 12/2/2009	CSOS

job#:	1201
date:	JUL 20, 2012
drawn:	DS
checked:	LB
scale:	AS NOTED



SITE PHOTOS



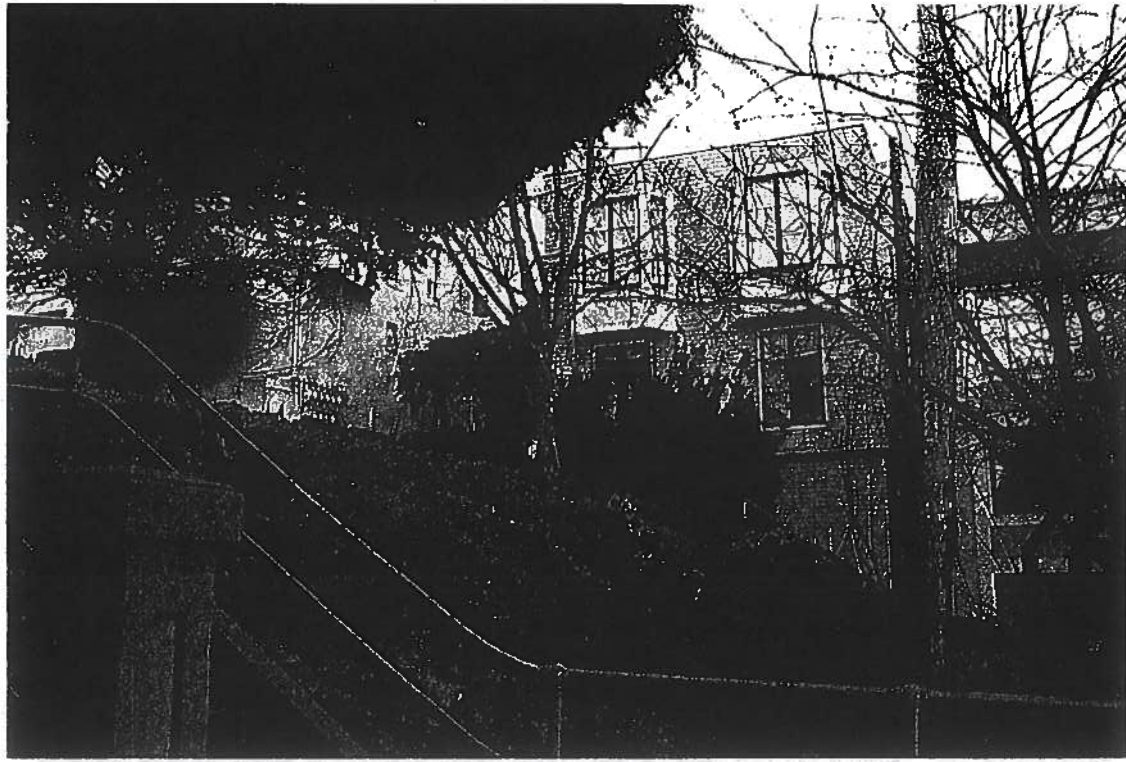
4 SUBJECT PROPERTY AND TERMINATION OF GREENWICH STREET



2 SUBJECT PROPERTY FROM GREENWICH STREET

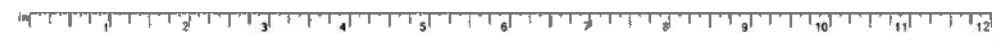


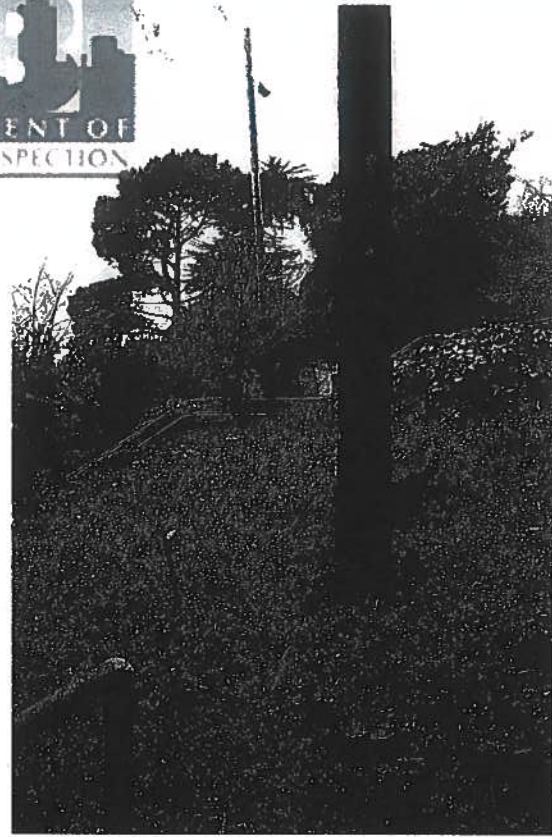
3 EXISTING PATHWAY FROM NEIGHBORING PARK



1 SUBJECT PROPERTY FROM EXISTING SIDEWALK

ADDENDUM #
AUG 09 2012
SITE PERMIT ADDENDUM
FOR CONSTRUCTION OF:

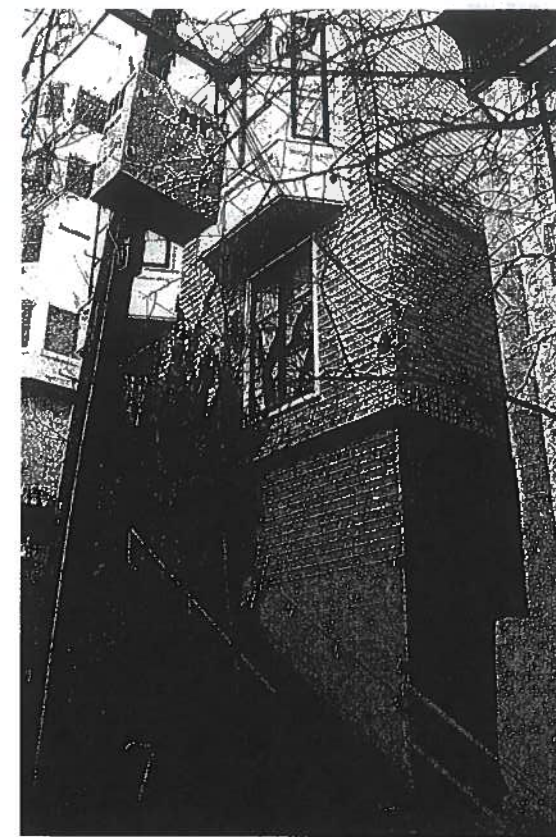




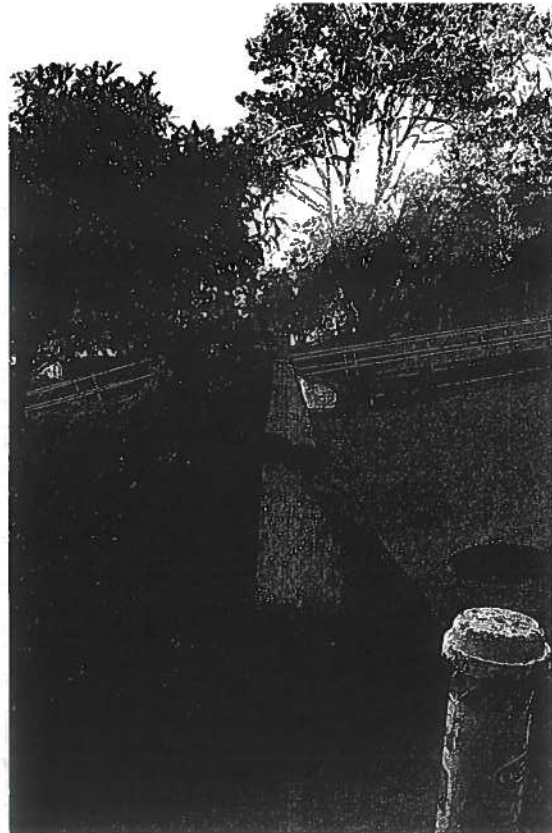
6 (E) UTILITY POLES TO REMAIN



4 (E) CONCRETE WALL AT GREENWICH STREET (TO BE MODIFIED)



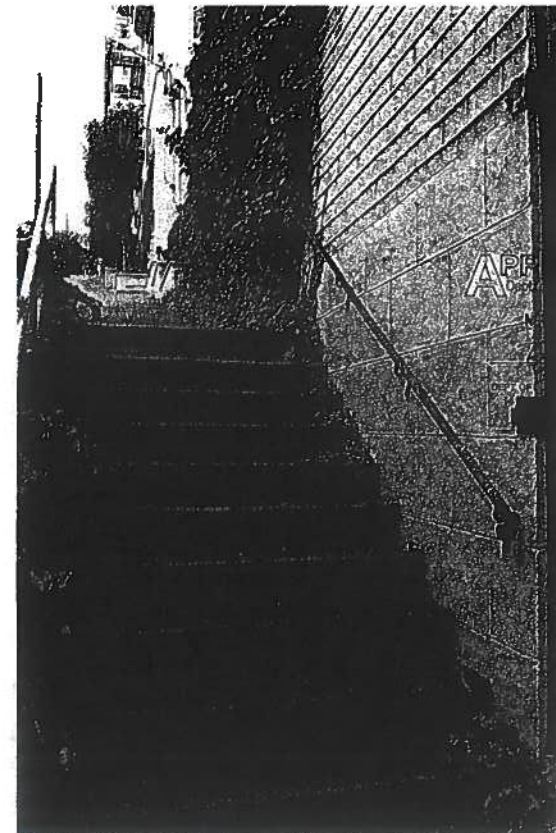
2 (E) CONCRETE STAIR (TO BE MODIFIED)



5 (E) CONCRETE WALL AND BOLLARD



3 (E) ADJACENT SIDEWALK ENCROACHMENT AND SIDEWALK BOLLARD



1 (E) CONCRETE STAIR (TO BE MODIFIED)

ADDENDUM #
AUG 09 2012
SITE PERMIT ADDENDUM
FOR CONSTRUCTION OF:

APPROVED PERMIT SET

Revisions	by
2019	ADDENDUM 375(019)
	CS/DS

job#:	1201
date:	JUL 20, 2012
drawn:	DS
checked:	LB
scale:	AS NOTED



SITE PHOTOS

TASC MINUTES

TRANSPORTATION ADVISORY STAFF
TRANSPORTATION ADVISORY STAFF COMMITTEE
Thursday, September 13, 2012 at 10:45 AM
One South Van Ness Avenue, 7th Floor, Room #7080

SFMTA Sustainable Streets:		Harvey Quan
SFMTA Transit Operations:		
SFMTA Parking Enforcement:		Curtis Smith
Department of Public Works:		Clinton Choy
Port of San Francisco:	Absent	
San Francisco Police Department:		Bernie Curry
SFMTA Taxi Services:	Absent	
San Francisco Fire Department:		Janice Hayes
San Francisco Planning Department:		Bill Wycko
Guests:		Pat Pecker
		Megan McDewitt
		Dan Ber
		Norman Wong
		Nataly Perez
		Josh Headley
		Dan Fratkin
		Jeremy Richs
		Lewis Duffer
		Reba Jones
		Stacey Lee
		Steve Calcagno
		Natalie Mattel
		Andrea Contreras
		David Valle-Schwenk

San Francisco Municipal Transportation Agency
One South Van Ness Avenue, Seventh Floor, San Francisco, CA 94103 | Tel: 415/771-1591 | Fax: 415/771-4133 | www.sfmta.com

6. **1281-1283 Greenwich Street - Major Encroachment Permit**
A Major Encroachment Permit is requested to construct a driveway in public right-of-way to provide access to a new garage at 1281-1283 Greenwich Street, situated between Hyde Street and Larkin Street. The proposed project will modify and repair the existing stairs and sidewalks, install a new retaining wall, provide lighting, and create a new public seating/viewing area.
Norman Wong, 701-4600 / Theo Lim, 701-4559

Approved.



SAN FRANCISCO PLANNING DEPARTMENT

General Plan Referral

Date: July 10, 2012
Case No: Case No. 2011.0579R
1281-83 Greenwich Street
Greenwich Street Extension & Open Space Improvements
Block/Lot No.: 0095.023, 0095.024, & 0095.025
Project Sponsor: Daniel Fratkin
Rauben & Janias, LLP
One Bush Street, Suite 800
San Francisco, CA 94108
Applicant: Stacey Lee
San Francisco Department of Public Works
875 Stevenson Street, Room 410
San Francisco, CA 94103
Staff Contact: Jon Swarc - (415) 575-9069
jswarc@sfplanning.org
Recommendation: Finding the project, on balance, in conformity with the General Plan, as described further in this Case Report.
Recommended By: [Signature] Norman Wong, Director of Planning

MSB 000000
San Francisco
CA 94103 249
Mapcar
415.558.6370
Fax:
415.558.8449
Planning Information:
415.694.8277

PROJECT DESCRIPTION

On May 24, 2011, the Department received a request for a General Plan Referral as required by Section 4.105 of the Charter and Section 2A.33 of the Administrative Code. The proposed Project seeks to extend Greenwich Street to provide vehicular access to a new garage at 1281-83 Greenwich and make corresponding landscaping and public access improvements.

The Project involves alterations to the unimproved public right-of-way located along Greenwich Street between Hyde and Larkin Streets adjacent to George Sterling Park. An open green space is located here bordered on either side by pedestrian sidewalks that extend down to Larkin Street. A north-south pedestrian pathway bisects the space connecting the stairways with an entrance to Sterling Park.

www.sfplanning.org

**GENERAL PLAN REFERRAL CASE NO. 2011.0579R
1281-83 GREENWICH ST. GREENWICH STREET EXTENSION & OPEN SPACE IMPROVEMENTS**

The Project would create landscaping improvements, expand public access, and create pedestrian amenities and a curving residential driveway to 1281-83 Greenwich Street (see Attachment A). Landscape improvements would reflect the outstanding surroundings of the site. The large mature tree in front of 1281 Greenwich will be preserved. Public access improvements include the creation of new seating/viewing area located along the north-south pedestrian pathway. The Project Sponsor agrees to make repairs to surrounding stairways and sidewalks as requested by the Department of Public Works. The Project requires a Major Encroachment Permit. Any proposed tree removal will also require a permit through the Department of Public Works. Support for this project has been voiced by adjacent neighbors, District 2 Supervisor Mark Farrell and the Friends of Sterling Park.

The project has been reviewed for consistency with General Plan policies and with the Eight Priority Policies of the Planning Code Section 101.1 and the findings are attached.

ENVIRONMENTAL REVIEW

The project has received a Categorical Exemption under CEQA Guidelines Section 15301, Class 1-Existing Facilities; Minor Alterations of Existing Public or Private Facilities Involving Negligible or No Expansion of Use.

GENERAL PLAN COMPLIANCE AND BASIS FOR RECOMMENDATION

The Project is consistent with the Eight Priority Policies of Planning Code Section 101.1 as described in the body of this letter and is, on balance, in conformity with the following Objectives and Policies of the General Plan. Note that General Plan Objectives and Policies appear in Bold Face. General Plan text is shown in regular font, and staff comments appear in italic font.

RECREATION & OPEN SPACE ELEMENT

POLICY 2.2

Preserve existing public open space. Despite general agreement on the need to preserve public open space, over the years developments may indeed be proposed on public land designated as open space in this plan. It is anticipated that the most persuasive arguments in favor of development will be based on the "public value" of the proposed developments.

Comment: The proposed project increases the public value of the site with pedestrian access improvements including a seating and viewing area along the pedestrian pathway. A landscaping plan will improve the appearance of the site.

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CA 94103 249

**GENERAL PLAN REFERRAL CASE NO. 2011.0579R
1281-83 GREENWICH ST. GREENWICH STREET EXTENSION & OPEN SPACE IMPROVEMENTS**

URBAN DESIGN ELEMENT

POLICY 2.2

Limit improvements in other open space having an established sense of nature to those that are necessary, and unlikely to detract from the primary values of the open space.

Comment: The project would respect the naturalistic setting of the site by preserving the large mature tree outside 1281-83 Greenwich and implementing an appropriate landscape plan.

POLICY 2.9

Review proposals for the giving up of street areas in terms of all the public values that streets afford.

Comment: The project increases the public value of the site with pedestrian access improvements including a seating and viewing area along the pedestrian pathway. A landscaping plan will improve the appearance of the site.

PROPOSITION INFORMATION - PLANNING CODE SECTION 101.1

Planning Code Section 101.1 establishes Eight Priority Policies and requires review of discretionary approval and permits for consistency with said policies. The Project is found to be consistent with the Eight Priority Policies as set forth in Planning Code Section 101.1 for the following reasons:

Eight Priority Policies Findings

The subject project is found to be consistent with the Eight Priority Policies of Planning Code Section 101.1 in that:

1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for resident employment in and ownership of such businesses enhanced.
The Project is limited to open space improvements and would have no effect on neighborhood serving retail uses or opportunities for employment in or ownership of such businesses.
2. That existing housing and neighborhood character be preserved and protected in order to preserve the cultural and economic diversity of our neighborhood.
The proposed project would conserve and protect the residential character of the neighborhood.
3. That the City's supply of affordable housing be preserved and enhanced.
The Project would not affect as the City's supply of affordable housing.
4. That commuter traffic not impede MUNI transit service or overburden our streets or neighborhood parking.
The proposed project would not increase commuter traffic, nor cause it to impede MUNI transit service. The project would create new off-street parking spaces reducing the burden on street parking.

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CA 94103 249

**GENERAL PLAN REFERRAL CASE NO. 2011.0579R
1281-83 GREENWICH ST. GREENWICH STREET EXTENSION & OPEN SPACE IMPROVEMENTS**

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for residential employment and ownership in these sectors be enhanced.
The Project would not affect the existing economic base in this area.
6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.
The Project would not impact emergency vehicle access and thus would not adversely affect achieving the greatest possible preparedness against injury and loss of life in an earthquake.
7. That landmarks and historic buildings be preserved.
The project would have no effect on landmarks or historic buildings.
8. That our parks and open space and their access to sunlight and vistas be protected from development.
Vistas would remain accessible to the public through improvement of the existing walkways and stairways within and adjacent to the open space. Access to sunlight would not be affected.

RECOMMENDATION:

Finding the Project, on balance, in conformity with the General Plan.

APPROVED
Dept. of Building Insp.

NOV 04 2012

[Signature]
JON SWARC
DIRECTOR
DEPT. OF BUILDING INSPECTION

ATTACHMENTS

Attachment A: Existing and Proposed Site Plan

CC: Jon Swarc, Planning Department
Cheron Calcagno, Planning Department
Sarah Dennis Phillips, Planning Department
Supervisor Mark Farrell, Board of Supervisors
Catherine Stefani, Office of Supervisor Mark Farrell

MSB 000000
San Francisco
CA 94103 249



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f 415-674-5588
e info@butlerarnsden.com
www.butlerarnsden.com

1281-1283 GREENWICH STREET
1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

ADDENDUM #

AUG 13 2012

SITE PERMIT ADDENDUM FOR CONSTRUCTION OF:

PERMIT SET

revisions	by:
ADDENDUM #250719	C605

job #:	1201
date:	JUN 20, 2012
drawn:	DS
checked:	LB
scale:	AS NOTED



REGULATORY REFERRAL

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GREENWICH STREET
 GREENWICH STREET, SAN FRANCISCO, CA 94109

APPROVED
 NOV 04 2015
 DIRECTOR
 DEPT. OF BUILDING

ADDENDUM #
 AUG 09 2015
 SITE PERMIT ADDENDUM
 FOR CONSTRUCTION OF
 1281 GREENWICH STREET
 SAN FRANCISCO, CA 94109

PERMIT SET

revisions	by:
ADDENDUM 10252015	CETS

job:	1261
date:	JUL 20, 2012
drawn:	DS
checked:	LB
scale:	AS NOTED



SITE SURVEY

DATE: 2-5-12
 SCALE: 1"=40'
 SHEET: CP...



FORESIGHT
 LAND SURVEYING
 524 UNION STREET, SUITE #225
 SAN FRANCISCO, CA 94133
 415-759-0616

SITE SURVEY
 1283 GREENWICH STREET
 AND A PORTION OF THE GREENWICH
 AND A STREET RIGHT OF WAY
 SAN FRANCISCO
 CALIFORNIA

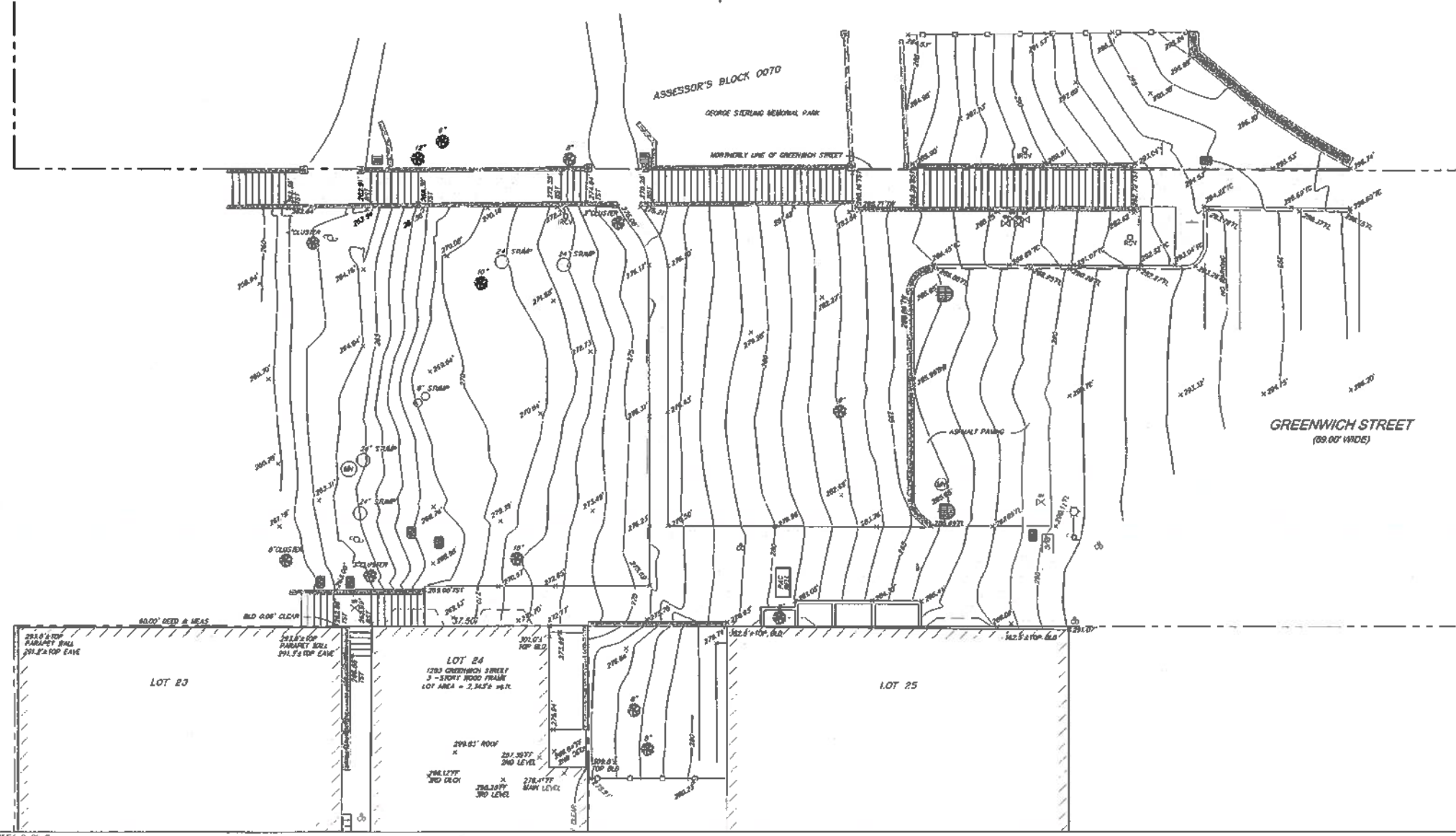
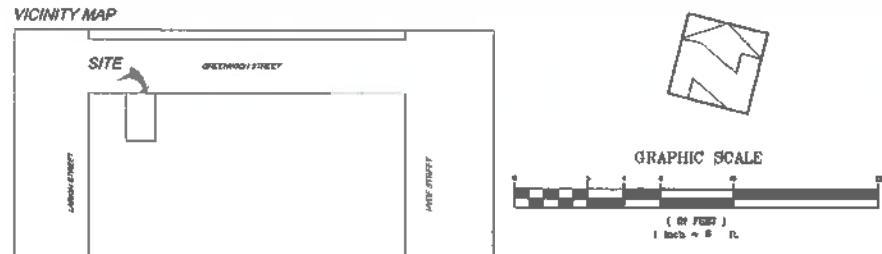
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 OF
 2 SHEETS
 JOB No.
 #13004

BASIS OF SURVEY
 GRANT DEED RECORDED AUGUST 31, 2012 IN REEL K723 IMAGE 0830. OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.

BASIS OF ELEVATION
 FOUND CROWN CUT OUTER RIM SIB AT THE SOUTH WEST CORNER OF GREENWICH AND HIDE STREETS. ELEVATION = 206.204' CITY AND COUNTY OF SAN FRANCISCO VERTICAL DATUM.

MAP REFERENCES
 (A) GRANT DEED RECORDED IN REEL K723 IMAGE 0830
 (B) BLOCK DIAGRAM OF 50 WARA BLOCK 294, ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.
 (C) BLOCK DIAGRAM OF 50 WARA BLOCK 295, ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.
 (D) CITY AND COUNTY OF SAN FRANCISCO MONUMENT MAP NO. 11 ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.

- LEGEND**
- FL FLOWLINE
 - TC TOP OF CURB
 - FF FINISHED FLOOR
 - TW TOP OF WALL
 - BW BOTTOM OF WALL
 - BLD BUILDING
 - TS1 TOP OF STEP
 - BS1 BOTTOM OF STEP
 - CO CLEANOUT
 - MM MANHOLE
 - PAC PAC BELL
 - OH OVERHEAD
 - PROPERTY LINE
 - OVERHANG
 - FLOWLINE
 - FENCE
 - DRAIN INLET
 - WATER VALVE
 - | STREET SIGN
 - TREE (DIAMETER IN INCHES)
 - JOINT POLE
 - LIGHT



(1) ALL DIMENSIONS (RECORD) - MEASURED, UNLESS OTHERWISE NOTED.
 (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
 (3) PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-842-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
 (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
 (5) ENCROACHMENT UPON AND BY THE ADJOINING PRIVATE PROPERTY(IES) ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY SOLELY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.
 (6) SINCE A CURRENT POLICY OF TITLE INSURANCE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY, THE CONSULTANT IS NOT RESPONSIBLE FOR THE OMISSION HEREON OF ANY FACTS WHICH WOULD NORMALLY BE DISCLOSED BY SUCH A POLICY.
 (7) THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF JEREMY ROCKS. USE BY ANY OTHER PARTY FOR ANY PURPOSE WHATSOEVER IS PROHIBITED.
 (8) ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
 (9) THIS IS A BOUNDARY SURVEY.
 (10) A RECORD OF SURVEY IS IN PROCESS IN ACCORDANCE WITH SECTION 8762 OF THE PROFESSIONAL LAND SURVEYORS' ACT, BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA AND LOCAL ORDINANCES.
 (11) TREES WERE LOCATED BY ESTIMATING THE CENTER OF THE TREE WHERE IT ENTERS THE GROUND & IDENTIFYING THE DIAMETER AT BREAST HEIGHT. TREE TYPES MAY BE VERIFIED BY A CERTIFIED ARBORIST, IF NECESSARY.
 (12) ONLY ACCESSIBLE SURFACE UTILITIES VISIBLE ON THE DATE OF THIS SURVEY ARE SHOWN. THIS SURVEY DOES NOT SHOW THE LOCATION OF, OR ENCROACHMENTS BY, SUBSURFACE UTILITIES, FOOTING, FOUNDATIONS AND/OR BASEMENTS OF BUILDINGS.
 ALL USERS ARE ADVISED TO CONTRACT SEPARATELY WITH AN UNDERGROUND UTILITY LOCATION COMPANY AND TO REVIEW PUBLIC OWNED-PUBLIC AND GS UTILITY DATA SOURCES IF THEY WANT MORE INFORMATION.

SEE SHEET 2 OF 2

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f 415-398-5558
e arch@butlerarnsden.com
www.butlerarnsden.com

1275 GREENWICH
ADJACENT PROPERTY
0095 / 025

1281-1283 GREENWICH
SUBJECT PROPERTY
0095 / 024

2460 LARKIN
ADJACENT PROPERTY
0095 / 023

APPROVED
Dept. of Building Insp.

NOV 04 2010

Tom C. H.
Inspector
DEPT. OF BUILDING INSPECTION

ADDENDUM #
AUG 03 2010
SITE PERMIT ADDENDUM
FOR CONSTRUCTION OF:

1281-1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

PERMIT SET

revisions	by
ADDENDUM #252009	0505

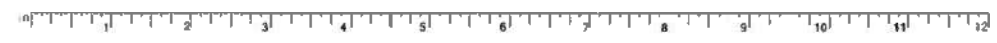
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drawn:	DS
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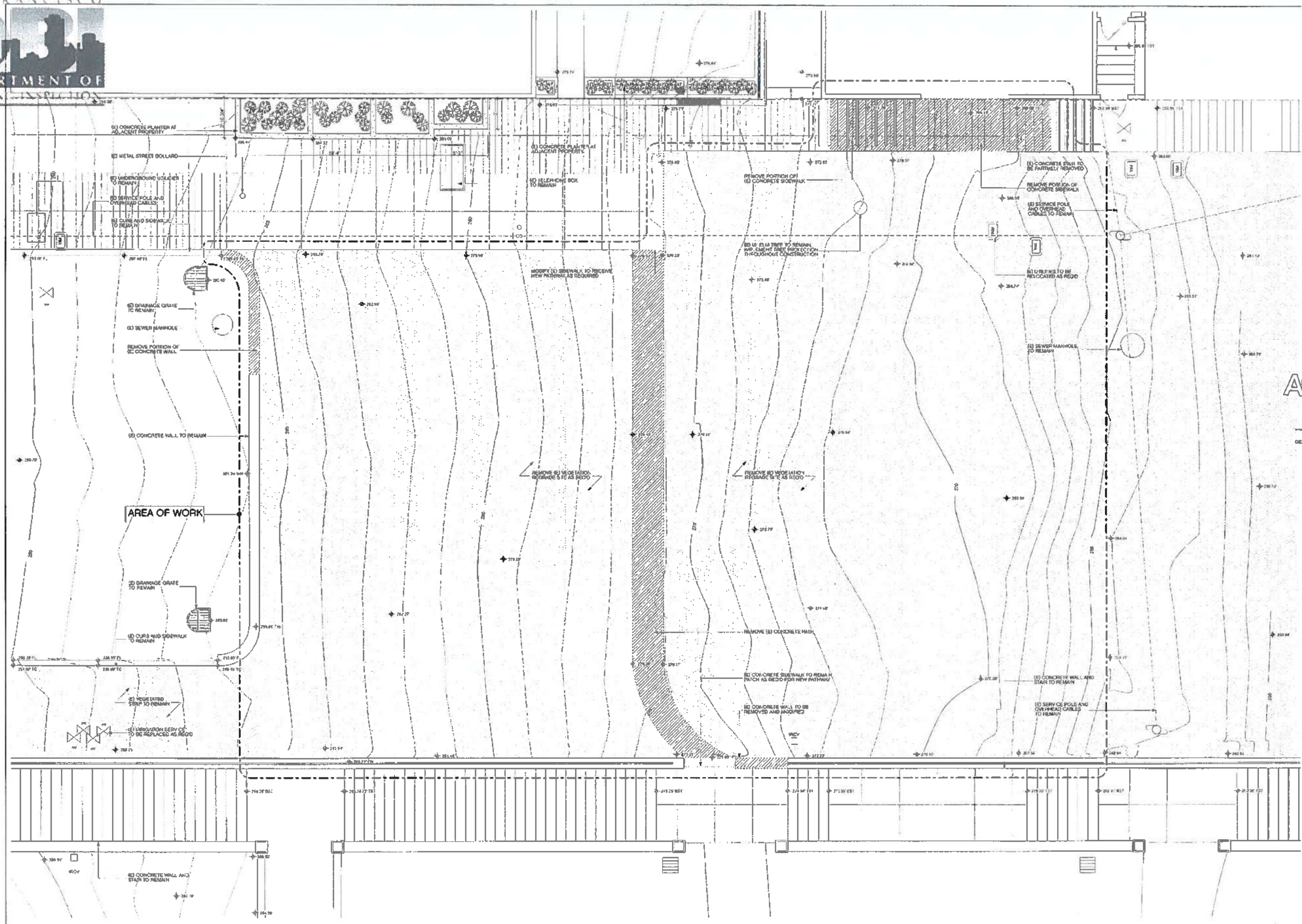


EXISTING SITE
PLAN

1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

A1.1





APPROVED
 Dept. of Building Insp.

NOV 04 2010

Tom C. Lee
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

ADDENDUM #
 AUG 09 2010
 SITE PERMIT ADDENDUM
 FOR CONSTRUCTION OF:

1281
 1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

PERMIT SET

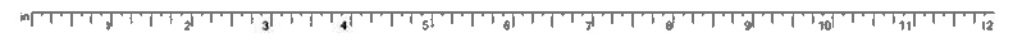
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ADDENDUM 125/2010	CEOS

job:	1201
date:	JUL 20, 2012
drawn:	DS
checked:	LB
scale:	AS NOTED



EXISTING
 GROUND PLAN

1 EXISTING GROUND LEVEL
 SCALE: 1/8" = 1'-0"



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San Francisco CA 94115
415-674-5554
415-674-5556
architects@butlerarmaden.com
www.butlerarmaden.com

1275 GREENWICH
ADJACENT PROPERTY
0095 / 025

1281-1283 GREENWICH
SUBJECT PROPERTY
0095 / 024

2460 LARKIN
ADJACENT PROPERTY
0095 / 023

APPROVE
Dept. of Building Insp.

NOV 04 2019

1281-1283 GREENWICH
DEPT. OF BUILDING INSPECTION

ADDENDUM #
AUG 09 2019
SITE PERMIT, ADDENDUM # 1
FOR CONSTRUCTION OF

1281-1283 GREENWICH STREET
1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

LARKIN STREET

PERMIT SET

revisions	by:
ADDENDUM #202019	CEBB

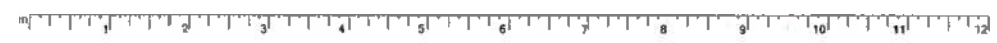
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date: JUL 20, 2012
drawn: OS
checked: LB
scale: AS NOTED



PROPOSED SITE PLAN

1 PROPOSED SITE PLAN
SCALE 1/8" = 1'-0"

A2.0





200 California Street
 San Francisco, CA 94102
 T: 415-398-3333
 F: 415-398-3333
 www.bellelarchitects.com

1283 GREENWICH STREET
 1283 GREENWICH STREET, SAN FRANCISCO, CA 94109



ADDENDUM #
 AUG 09 2019
 SITE PERMIT ADDENDUM
 FOR CONSTRUCTION OF:
APPROVED
 Dept. of Building Insp.
 MAY 04 2019
 [Signature]
 LEAD INSPECTOR
 DEPT. OF BUILDING INSPECTION

PERMIT SET

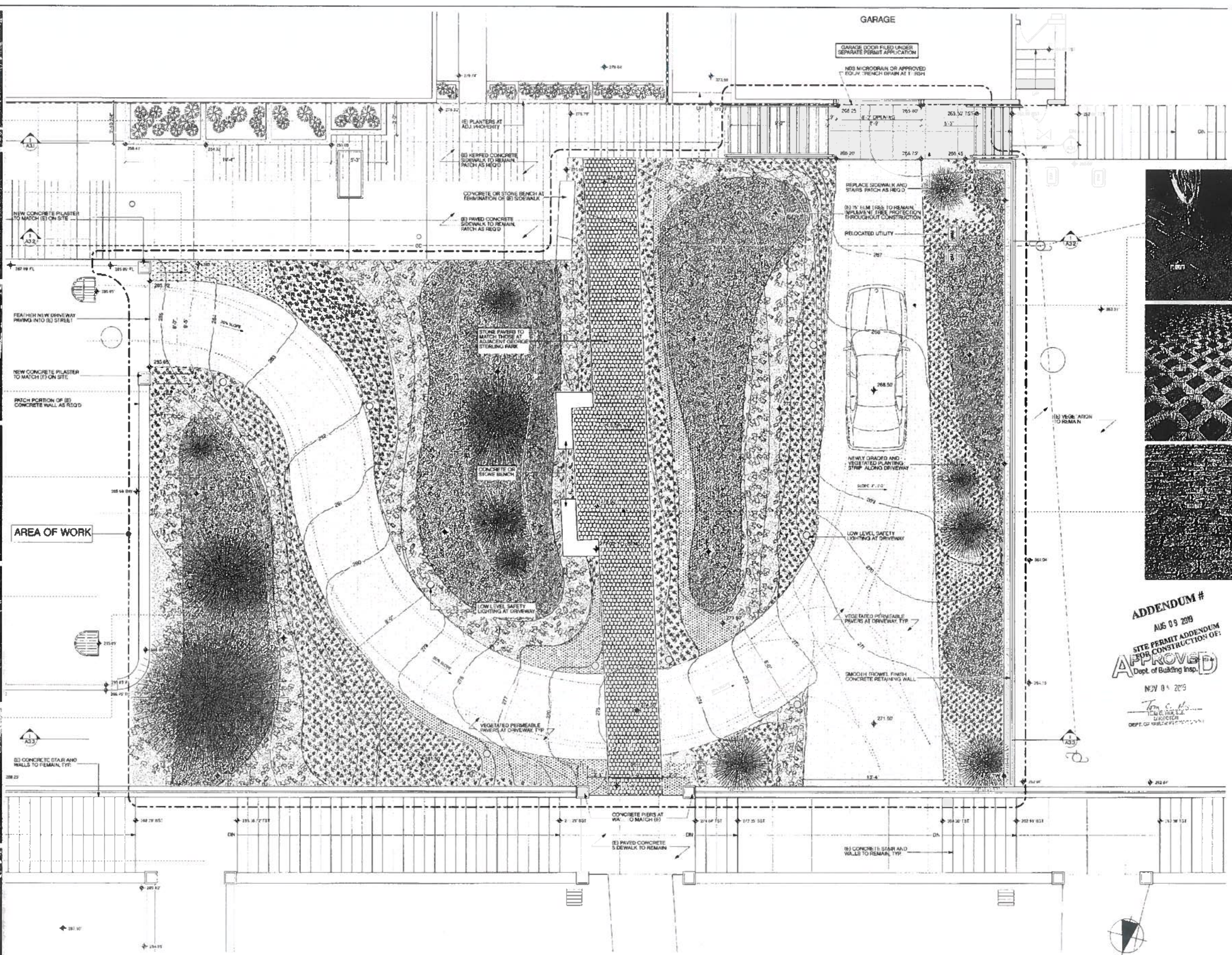
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ADDENDUM	

job#:	1201
date:	JUL 20, 2012
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checked:	LB
scale:	AS NOTED



PROPOSED
 GROUND PLAN

A2.1



1 PROPOSED GROUND LEVEL
 SCALE 1/4" = 1'-0"



INDIAN RICE
 BLUE FESCUE
 HUMBOLT LILLY
 SILVER LUPINE
 WESTERN YARROW
 SERVICEBERRY
 CALIFORNIA REDBUD

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1283 GREENWICH STREET
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APPROVED
Dept. of Building Insp.
NOV 01 2012
Tom C. He...
DIRECTOR
DEPT. OF BUILDING INSPECTION

ADDENDUM #
AUG 13 2012
SITE PERMIT ADDENDUM
FOR CONSTRUCTION OF

PERMIT SET

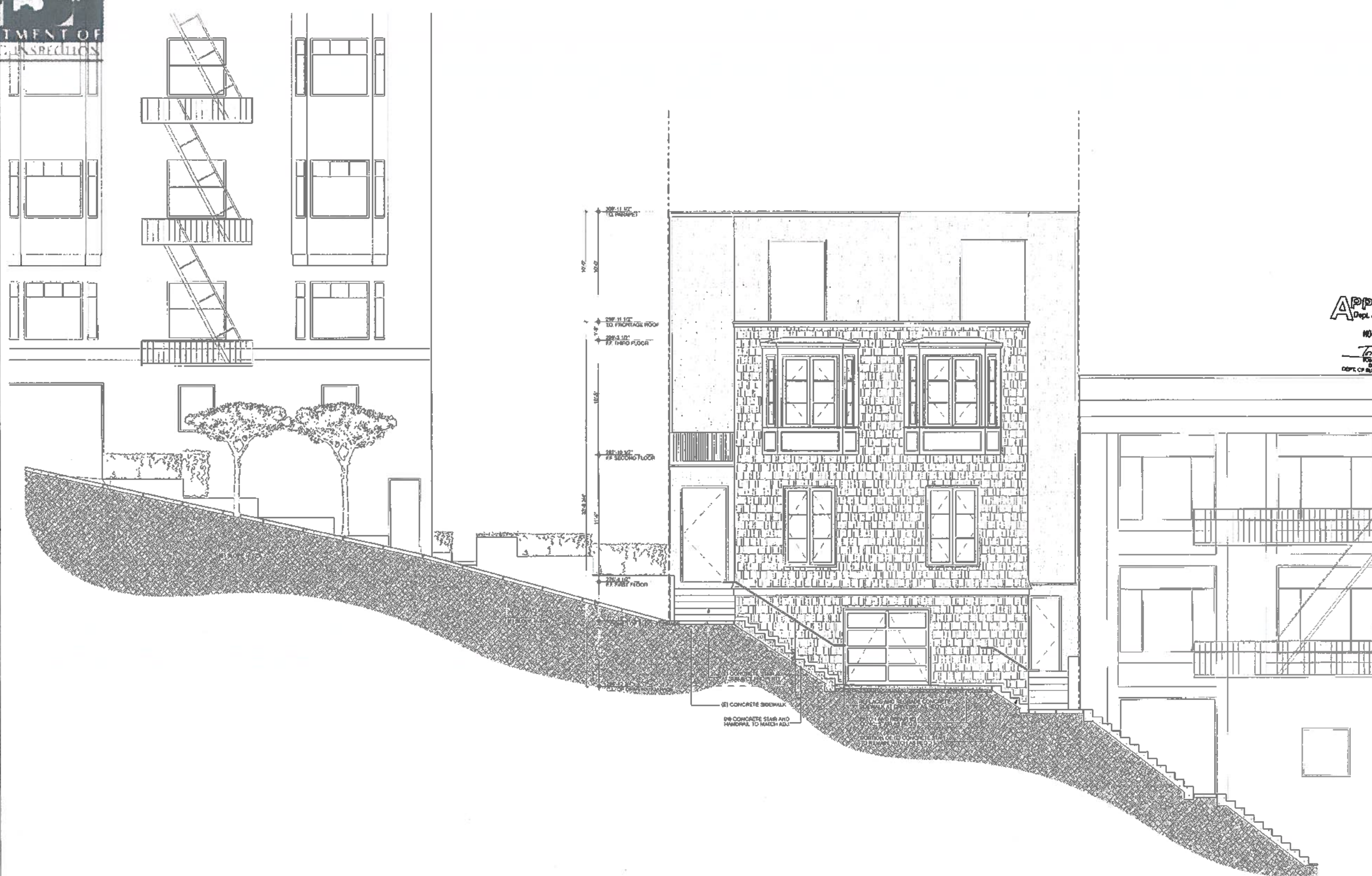
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ADDENDUM 12252012	CE/DB

job #:	1201
date:	JUL 20, 2012
drawn:	DS
checked:	LB
scale:	AS NOTED

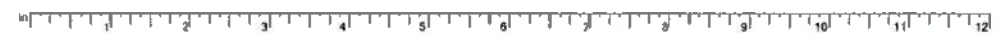


PROPOSED SECTION

A3.1



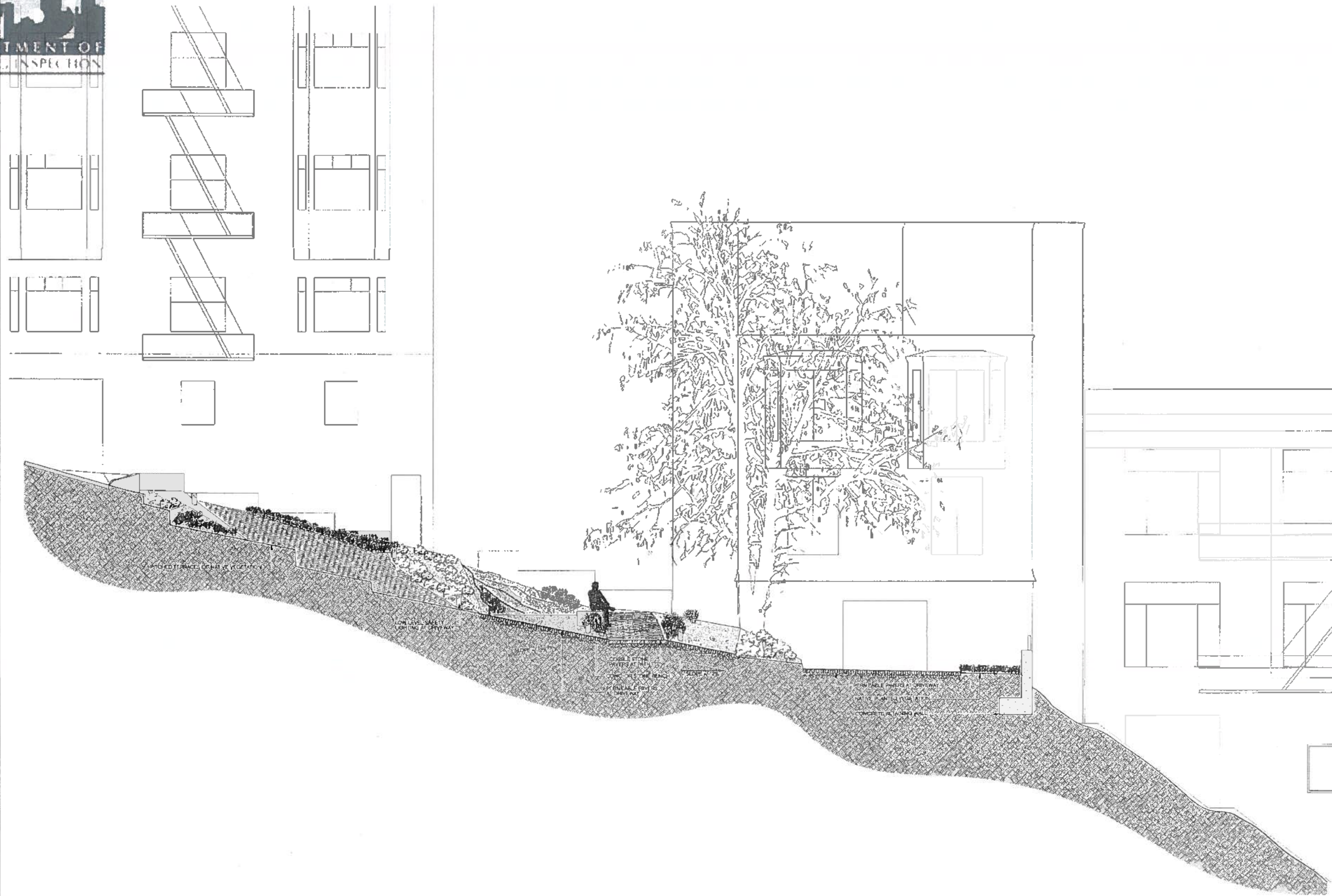
1 PROPOSED SECTION AT SIDEWALK
SCALE 1/4" = 1'-0"



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APPROVED
Dept. of Building Ins.
NOV 04 2019
Tom C. Lee
DIRECTOR
DEPT. OF BUILDING INSPECTION

ADDENDUM #
AUG 29 2019
SITE PERMIT ADDENDUM
FOR CONSTRUCTION OF:
1283 GREENWICH STREET

PERMIT SET

revisions	by
ADDENDUM RESUBMIT	CESS

job #:	1281
date:	JUL 20 2012
drawn:	DS
checked:	LB
scale:	AS NOTED

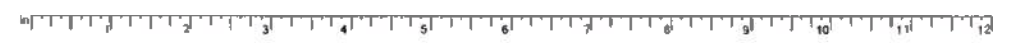


PROPOSED SECTION

1 PROPOSED SECTION AT TERRACES
SCALE: 1/4" = 1'-0"

1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

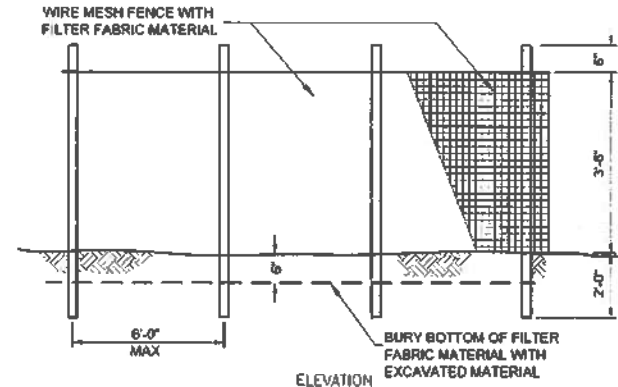
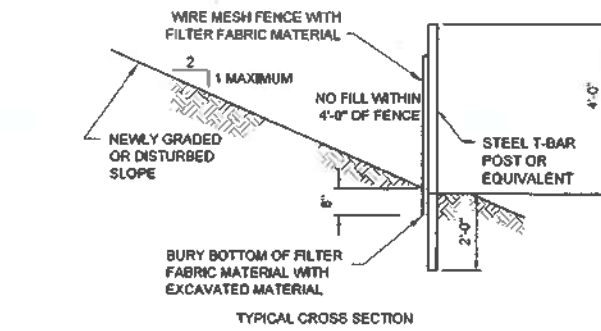
A3.3





EROSION CONTROL NOTES:

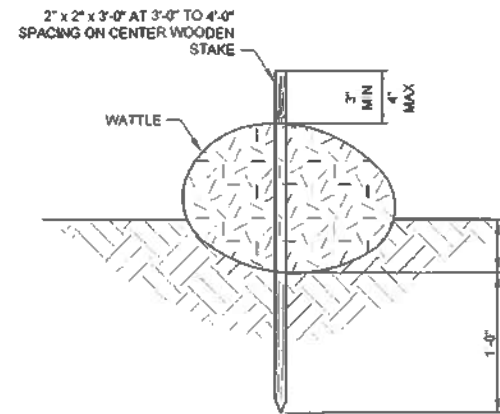
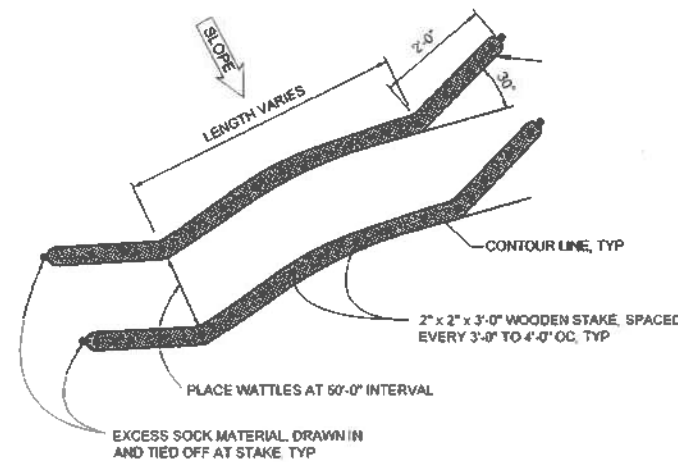
- THE IMPLEMENTATION OF THE EROSION CONTROL PLAN (ECP) AND THE MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC BEST MANAGEMENT PRACTICES (BMPs) IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS STABILIZED AND IS APPROVED BY THE CITY.
- THE ESC BMPs SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR THE SPECIFIC SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC BMPs SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS.
- THE ESC BMPs SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING TO ENSURE THAT NO TRANSPORT OF SEDIMENT TO SURFACE WATERS OCCURS.
- THE CONTRACTOR MUST NOT ALLOW SOILS TO REMAIN EXPOSED AND UNWORKED FOR MORE THAN THE TIME PERIODS SET FORTH BELOW TO PREVENT EROSION.
 - DURING THE DRY SEASON (MAY 1 - SEPT. 30): 7 DAYS
 - DURING THE WET SEASON (OCTOBER 1 - APRIL 30): 2 DAYS
- PRIOR TO THE BEGINNING OF THE WET SEASON, ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON.
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS.
- BEFORE BEGINNING LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, CLEARLY MARK ALL CLEARING LIMITS WITH SURVEY TAPE OR FENCING PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- RETAIN THE DUFF LAYER, NATIVE TOP SOIL, AND NATURAL VEGETATION IN AN UNDISTURBED STATE TO THE MAXIMUM DEGREE PRACTICABLE.
- LIMIT CONSTRUCTION VEHICLE ACCESS AND EXIT TO ONE ROUTE. STABILIZE ACCESS POINTS WITH A PAD OF QUARRY SPALLS, CRUSHED ROCK, OR OTHER EQUIVALENT BMPs, TO MINIMIZE TRACKING SEDIMENT ONTO ROADS.
- IF SEDIMENT IS TRACKED OFF SITE, CLEAN THE AFFECTED ROADWAY THOROUGHLY AT THE END OF EACH DAY, OR MORE FREQUENTLY AS NECESSARY.
- THE CONTRACTOR MUST CONTROL STORMWATER VOLUME AND VELOCITY WITHIN THE SITE TO MINIMIZE SOIL EROSION.
- THE CONTRACTOR MUST MINIMIZE THE DISTURBANCE OF STEEP SLOPES.
- THE CONTRACTOR SHALL CONSTRUCT CUT-AND-FILL SLOPES IN A MANNER TO MINIMIZE EROSION. APPLICABLE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO, REDUCING CONTINUOUS LENGTH OF SLOPE WITH TERRACING AND DIVERSIONS, REDUCING SLOPE STEEPNESS, AND ROUGHENING SLOPE SURFACES.
- THE CONTRACTOR MUST DIVERT OFF-SITE STORMWATER OR GROUND WATER AWAY FROM SLOPES AND DISTURBED AREAS WITH INTERCEPTOR Dikes, PIPES, AND/OR SWALES.
- OFF-SITE STORMWATER SHOULD BE MANAGED SEPARATELY FROM STORMWATER GENERATED ON THE SITE.
- CONDUCT MAINTENANCE, FUELING, AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES USING SPILL PREVENTION AND CONTROL MEASURES. CLEAN CONTAMINATED SURFACES IMMEDIATELY FOLLOWING ANY SPILL INCIDENT.
- APPLY FERTILIZERS IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORMWATER RUNOFF. FOLLOW MANUFACTURERS' LABEL REQUIREMENTS FOR APPLICATION RATES AND PROCEDURES.
- CONTRACTORS MUST MAINTAIN AND REPAIR ALL TEMPORARY AND PERMANENT ESC BMPs AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION IN ACCORDANCE WITH BMP SPECIFICATIONS.
- CONTRACTORS MUST REMOVE ALL TEMPORARY ESC BMPs WITHIN 30 DAYS AFTER ACHIEVING FINAL SITE STABILIZATION OR AFTER THE TEMPORARY BMPs ARE NO LONGER NEEDED.
- INSPECT, MAINTAIN AND REPAIR ALL BMPs AS NEEDED TO ASSURE CONTINUED PERFORMANCE OF THEIR INTENDED FUNCTION.
- THE ESC BMPs SHALL BE INSPECTED DAILY BY THE CONTRACTOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE SWPPP BMPs.
- MULCHING REQUIREMENTS SHALL MEET CALTRANS CONSTRUCTION SITE MANAGEMENT PRACTICES MANUAL, SECTION 3. SS-3.
- REFER TO PLANTING PLAN FOR TOP SOIL SPECIFICATIONS AND REQUIREMENTS.



NOTES:

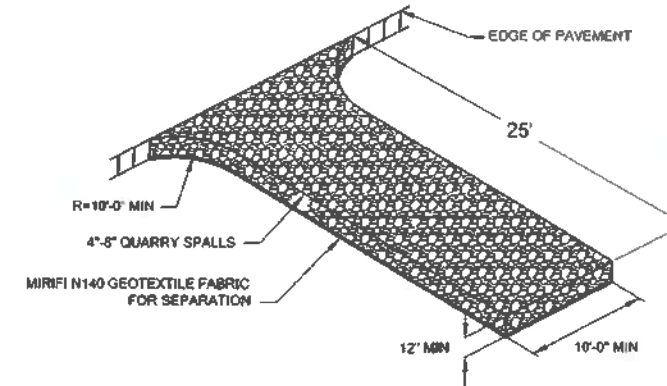
- FENCE SHALL NOT BE INSTALLED ON SLOPES STEEPER THAN 2H:1V.
- JOINTS IN FILTER FABRIC SHALL BE OVERLAPPED 6" AT POST.
- USE STAPLES, WIRE RINGS, OR EQUIVALENT TO ATTACH FABRIC TO WIRE FENCE.
- REMOVE SEDIMENT WHEN IT REACHES 1/3 FENCE HEIGHT.

SILT FENCE
DETAIL
SCALE: NTS



NOTES:

- WATTLE SHALL BE A MINIMUM OF 8" IN DIAMETER AND FILLED WITH CERTIFIED WEED-FREE STRAW.
- ALWAYS INSTALL WATTLE PERPENDICULAR TO DIRECTION OF RUNOFF FLOW ON SLOPE OR IN DITCH, AND ALONG CONTOUR LINES.
- REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE WATTLE WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE WATTLE.

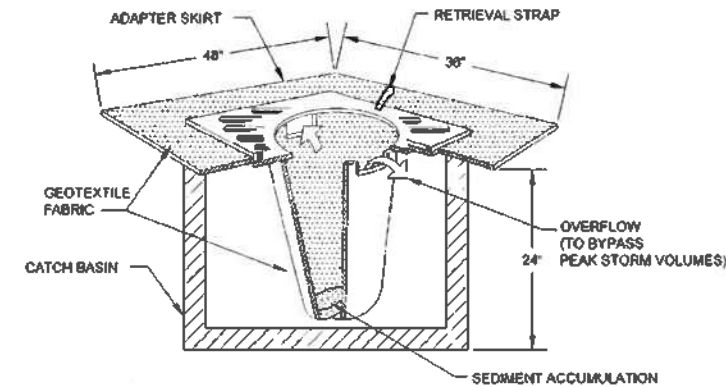


NOTES:

- USE STABILIZED ACCESS IN ALL AREAS OF THE SITE WITH VEHICLE TRAFFIC AND PARKING, INCLUDING PLANTING STRIPS.

STABILIZED CONSTRUCTION ENTRANCE

DETAIL
SCALE: NTS



NOTES:

- INSPECT FILTERS AFTER EACH STORM EVENT AND CLEAR OR REPLACE WHEN 1/3 FULL.

CATCH BASIN PROTECTION

DETAIL
SCALE: NTS



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APPROVED
Dept. of Building Insp.

NOV 04 2019

Tom C. Hill
CONTRACTOR
DEPT. OF BUILDING INSPECTION

APPENDIX #
AUG 04 2019
SITE PERMIT ADDENDUM
FOR CONSTRUCTION OF

1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

PERMIT SET

revisions	by:
ADDENDUM 7/25/2019	CE/DS

job#:	5184.0
date:	JUN 20, 2012
drawn:	DM
checked:	SCM
scale:	AS NOTED



**EROSION CONTROL
DETAILS & NOTES**





SITE GRADING NOTES

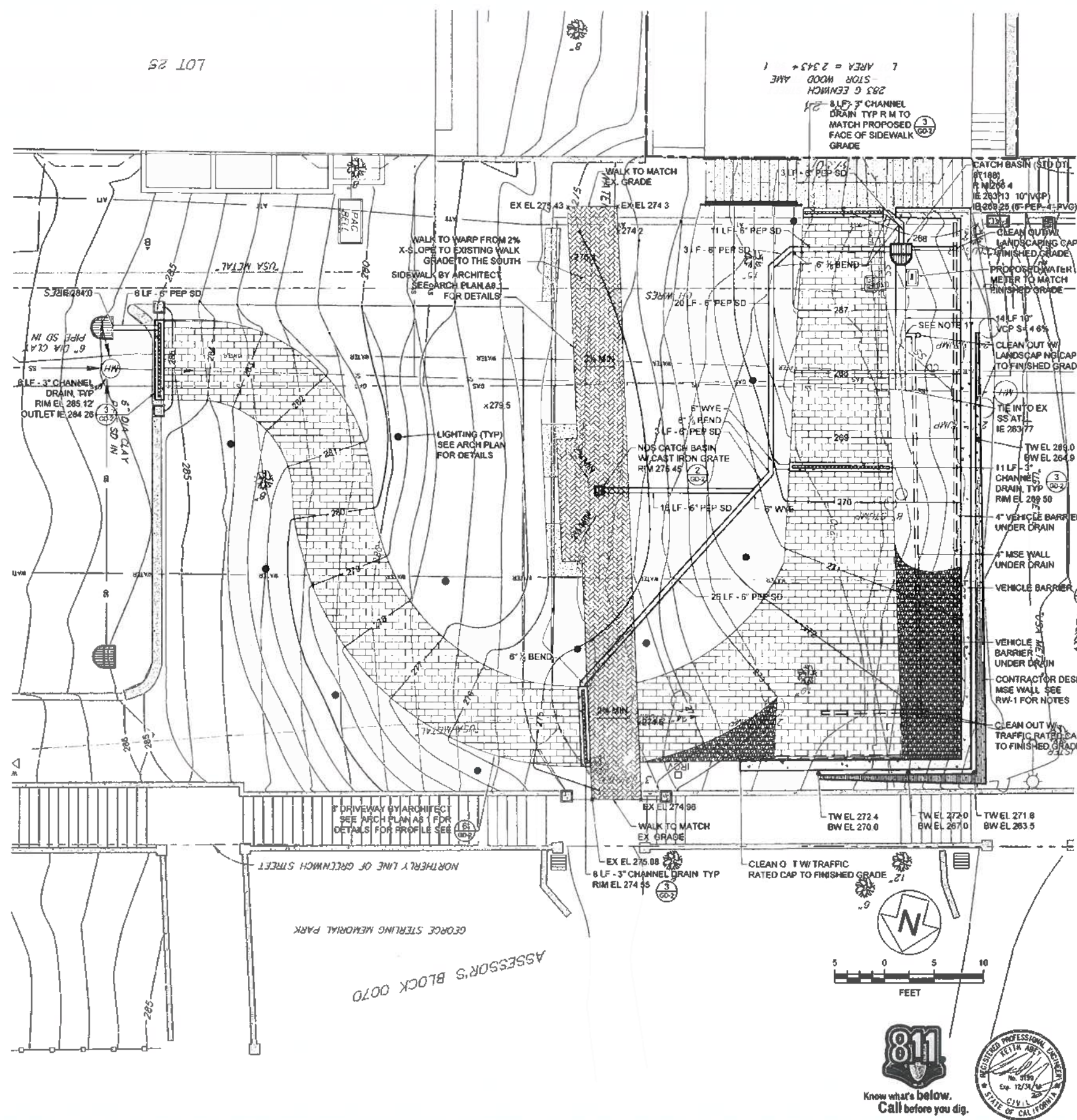
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE EXCAVATION AND BACKFILL CODE OF THE SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS STANDARDS

2. ALL INFORMATION ON THIS DRAWING IS BASED ON THE REPORT PREPARED BY H. ALLEN GRUEN, DATED NOVEMBER 9, 2013, HAVE BEEN REVIEWED AND APPROVED AS A SUPPLEMENT TO THIS DRAWING SET. IN ANY CASES OF CONFLICT, THE MOST RECENT STANDARD SHALL APPLY.

- 3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
4. THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
5. CUT AND FILL SLOPES SHALL BE NO STEEPER THAN 2-FEET HORIZONTAL TO 1-FOOT VERTICAL (2:1).
6. EXPORT SOIL MUST BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE DISTRICT BUILDING INSPECTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES.
8. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
9. THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL.
10. WHEN EXISTING AND NEW ELEVATIONS ARE GIVEN FOR THE SAME POINT, THE CONTRACTOR SHALL CONSTRUCT TO NEW ELEVATIONS UNLESS OTHERWISE DIRECTED BY THE ENGINEER, THE EXISTING ELEVATIONS ARE FOR INFORMATION ONLY.
11. ALL UTILITY VAULT AND PULL BOX COVERS WITHIN THE AREA OF GRADING SHALL BE ADJUSTED TO NEW GRADE.

UTILITY NOTES:

- 1. CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF ALL INSTALLED SEWER AND STORM DRAIN LINES.
2. ALL GROUND SURFACE ELEVATIONS AND INVERT ELEVATIONS TO BE CONFORMED ARE APPROXIMATE.
3. ELEVATIONS ARE IN REFERENCE TO S.F. CITY DATUM.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN EXCAVATION PERMIT FROM SFPD-STREET CONSTRUCTION COORDINATION CENTER LOCATED AT 875 STEVENSON STREET, ROOM 460.
5. MAXIMUM TRENCH WIDTH SHALL BE THE LARGER OUTSIDE DIMENSION OF THE NEW OR EXISTING SEWER/STRUCTURE PLUS 1.5 FEET ON EACH SIDE.
6. INSTALL DETECTABLE WARNING TAPE IN BACKFILL PER THE SPECIFICATIONS.
7. NUMBER AND LOCATIONS OF SIDE SEWER CONNECTIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY SIDE SEWER CONNECTIONS IN THE FIELD.
8. ALL GROUND SURFACE ELEVATIONS AND INVERT ELEVATIONS TO BE CONFORMED ARE APPROXIMATE.
9. REINFORCED CONCRETE PIPE SHALL BE CLASS IV FLUSH BELL TYPE WITH MINIMUM WALL 8" THICKNESS.
10. AFTER SEWER WORK HAS BEEN COMPLETED, THE CONTRACTOR SHALL CLEAN ALL CATCH BASINS AND REPLACE CAST IRON WATER TRAP AS DIRECTED BY THE CITY REPRESENTATIVE.
11. RIM ELEVATIONS OF PROPOSED SEWER MANHOLES AND GRATE ELEVATIONS OF CATCH BASINS AND MODIFIED CATCH BASINS SHALL CONFORM TO FINISHED GRADE ELEVATIONS.
12. ALL DRAINAGE UTILITIES INSTALLED AS A PART OF THIS CONTRACT ARE TO BE MAINTAINED BY THE PRIVATE OWNER OF THE DRIVEWAY. THE CITY OF SAN FRANCISCO IS NOT RESPONSIBLE TO THE MAINTENANCE AND CLEANING OF THE SYSTEM CONNECTING INTO THE EXISTING SEWER SYSTEM.
13. ALL PEP SD PIPES SHALL BE SLOPED AT A MINIMUM OF 2% UNLESS OTHERWISE STATED.
14. PEP SD PIPE AND FITTING MATERIAL SHALL MEET THE REQUIREMENTS FOR TYPE III, CLASS C, CATEGORY 3, GRADE 34 AS DEFINED IN ASTM D1348 AND D 3350.
15. SEWER MAIN SHALL BE CONNECTED TO THE MAIN SEWER BY USING A "T" BRANCH OR "Y" BRANCH, OR BY DRILLING A HOLE IN THE SEWER MAIN AND SECURING THE STUB INLET.
16. SEWER CONNECTION SHALL NOT PROTRUDE IN THE MAIN SEWER.
17. TAP TITE FITTING MANUFACTURED BY TAP-TITE CO. OR SC TEE SEWER CONNECTOR BY FLEX CONNECTIONS, INC. OR OTHER APPROVED EQUAL PRODUCT CAN BE USED FOR MAKING SEWER CONNECTION TO MAIN SEWER 42" Ø AND SMALLER.
18. PIPE SIZE OF EXISTING SEWER MAIN WITHIN GREENWICH ST ROW IS UNKNOWN AND COULD NOT BE FIELD VERIFIED. CONTRACTOR TO VERIFY POTHOLE SEWER LINE TO VERIFY PIPE SIZE AND TYPE TO ENSURE THAT PROPOSED CONNECTION CAN BE MADE. IF EXISTING SEWER PIPE SIZE IS LESS THAN 12" DIA, CONTRACTOR SHALL CONTACT WITH ENGINEER.



LOT 25

1 AREA = 2,345 + 1
285 G. ENINCH
STOR WOOD
ANE

2829
5.2 F
1.445
1.415 A
c arch
www.bim

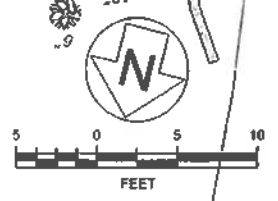
APPROVED stamp with signature, date (NOV 8 2019), and permit information.

Table with 2 columns: revisions, date, and by. Includes entry for ADDENDUM 7/25/2019 by CE/DS.

Table with 2 columns: job#, date, drawn, checked, scale. Includes values like 5144.0, JUN 20, 2012, DM, SCM, AS NOTED.

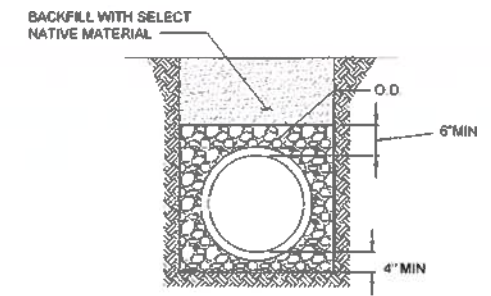
GRADING AND DRAINAGE PLAN

1283 GREENWICH STREET
1283 GREENWICH STREET, SAN FRANCISCO, CA 94109



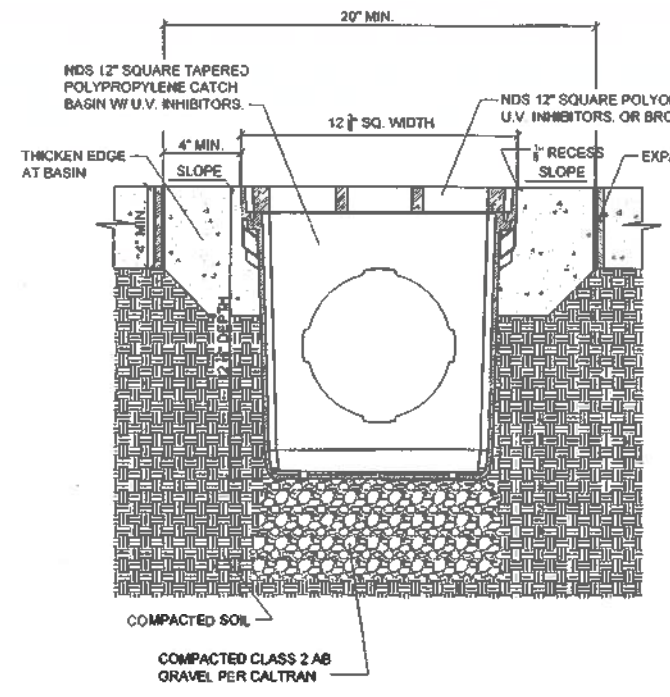
UTILITY NOTES:
 1. CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS OF ALL EXISTING SEWER AND STORM DRAIN LINES.
 2. ALL FINISHED SURFACE ELEVATIONS AND INVERT ELEVATIONS ARE IN REFERENCE TO S.F. CITY DATUM.

4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN EXCAVATION PERMIT FROM SFPD/STREET CONSTRUCTION COORDINATION CENTER LOCATED AT 875 STEVENSON STREET, ROOM 460.
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6. INSTALL DETECTABLE WARNING TAPE IN BACKFILL PER THE SPECIFICATIONS.
7. NUMBER AND LOCATIONS OF SIDE SEWER CONNECTIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY SIDE SEWER CONNECTIONS IN THE FIELD.
8. ALL GROUND SURFACE ELEVATIONS AND INVERT ELEVATIONS TO BE CONFORMED ARE APPROXIMATE.
9. REINFORCED CONCRETE PIPE SHALL BE CLASS IV FLUSH BELL TYPE WITH MINIMUM WALL "B" THICKNESS.
10. AFTER SEWER WORK HAS BEEN COMPLETED, THE CONTRACTOR SHALL CLEAN ALL CATCH BASINS AND REPLACE CAST IRON WATER TRAP AS DIRECTED BY THE CITY REPRESENTATIVE.
11. RIM ELEVATIONS OF PROPOSED SEWER MANHOLES AND GRATE ELEVATIONS OF CATCH BASINS AND MODIFIED CATCHBASINS SHALL CONFORM TO FINISHED GRADE ELEVATIONS.
12. ALL DRAINAGE UTILITIES INSTALLED AS A PART OF THIS CONTRACT ARE TO BE MAINTAINED BY THE PRIVATE OWNER OF THE DRIVEWAY. THE CITY OF SAN FRANCISCO IS NOT RESPONSIBLE TO THE MAINTENANCE AND CLEANING OF THE SYSTEM CONNECTING INTO THE EXISTING SEWER SYSTEM.



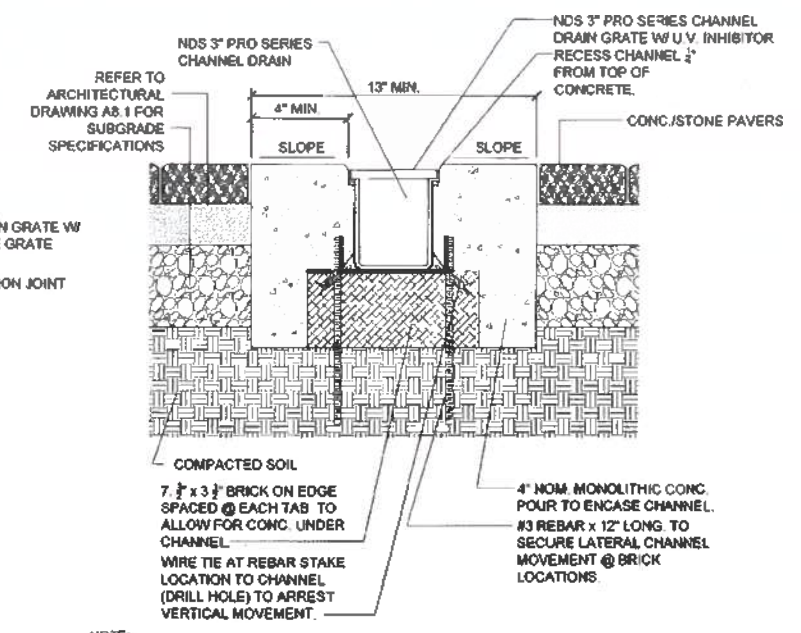
CLASS 2 AB GRAVEL PER CALTRANS
 SELECTED NATIVE MATERIAL

STORM DRAIN PIPE BEDDING
 DETAIL 1



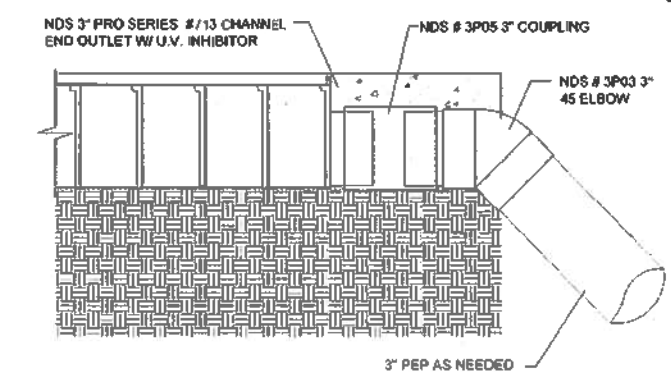
NOTE:
 • GRATE TO BE ATTACHED TO CATCH BASIN WITH SCREW PROVIDED AT TIME OF INSTALLATION.

NDS 12" SQ. CATCH BASIN TYPICAL
 PEDESTRIAN AND LIGHT VEHICLE APPLICATION
 DETAIL 2

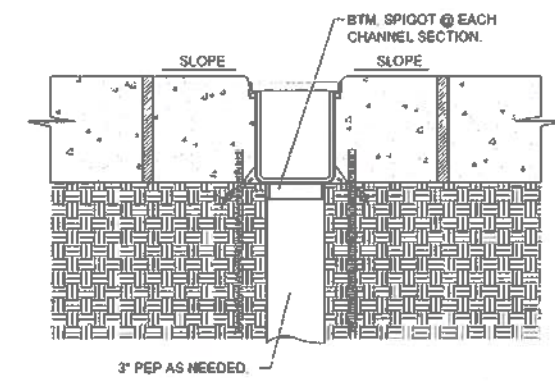


NOTE:
 • CHANNELS TO BE INSTALLED WITH GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR.

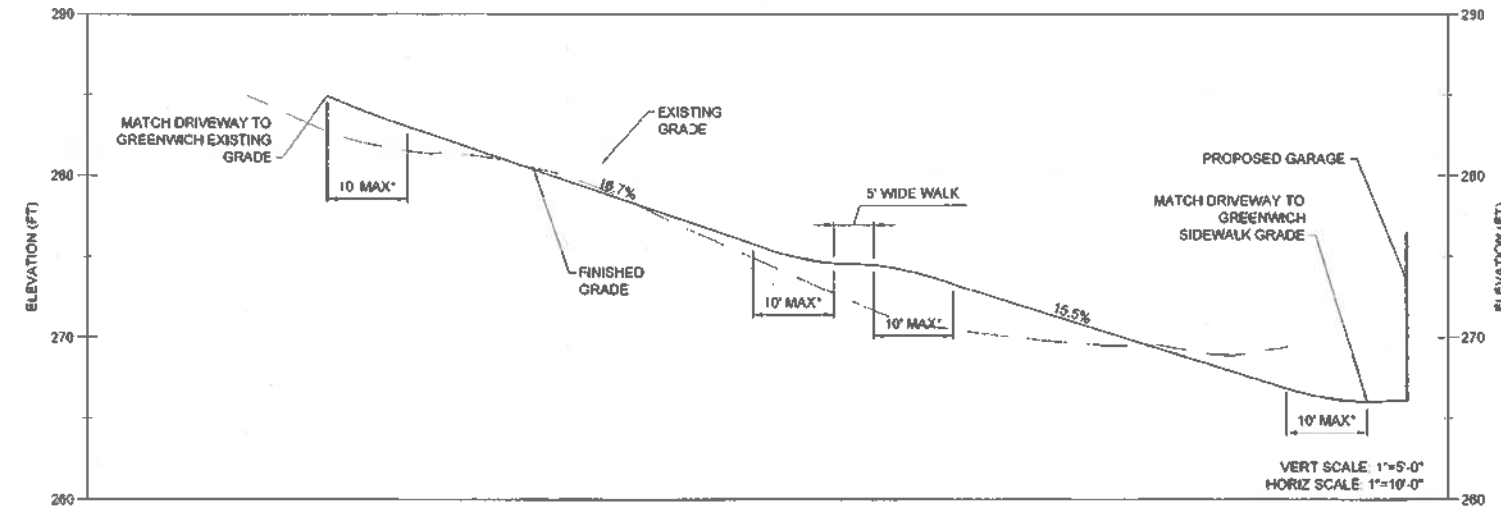
NDS 3" PRO SERIES CHANNEL TYPICAL
 PEDESTRIAN AND LIGHT VEHICLE APPLICATION
 DETAIL 3



NDS 3" PRO SERIES CHANNEL END OUT
 DETAIL 4



NDS 3" PRO SERIES CHANNEL BOTTOM OUT
 DETAIL 5



*HORIZONTAL TRANSITION ZONE VERTICAL DRIVEWAY GRADE SHALL NOT EXCEED MORE THAN 12 INCHES WITHIN A 10 FOOT HORIZONTAL SPAN TO PROVIDE VEHICLE CLEARANCE.

SCHEMATIC PROFILE AT DRIVEWAY CENTERLINE
 DETAIL 6



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 e info@butlerarmsden.com
 www.butlerarmsden.com

1283 GREENWICH STREET
 1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

APPROVED
 Dept. of Building Insp.

NOV 04 2018

ADDENDUM
 415 03 208
 GETS PERMIT, ADDENDUM FOR CONSTRUCTION

PERMIT SET

revisions	by:
ADDENDUM 7/25/2019	CE/DS

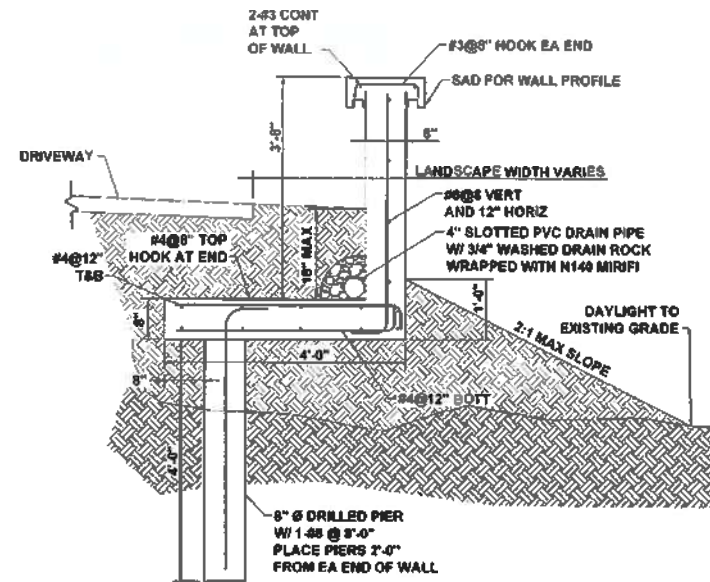
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date:	JUL 20, 2012
drawn:	DH
checked:	SCM
scale:	AS NOTED

DRAINAGE
 DETAILS AND
 NOTES

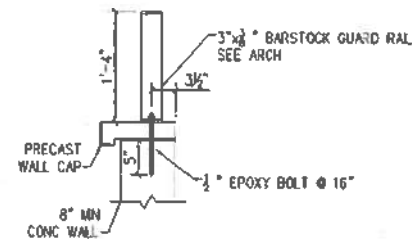


MSE WALL NOTES

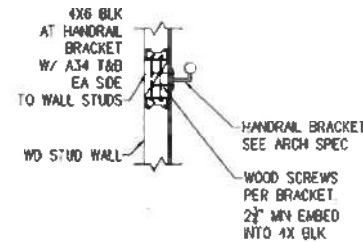
- MSE WALL SHALL BE FACED WITH A PLANTABLE (GREEN) FACADE. VEGETATION SPECIES SHALL BE COMPATIBLE WITH THE VENDORS RECOMMENDATIONS AND COMPATIBLE WITH THE SAN FRANCISCO BAY AREA CLIMATE.
- CONTRACTOR TO DESIGN MSE WALL TO THE CALTRANS BRIDGE DESIGN SPECIFICATION MANUAL, SECTION 5 - RETAINING WALLS, AUGUST 2004. A GEOTECHNICAL REPORT PREPARED BY H. ALLEN GRUEN SHOULD BE REFERENCED FOR GEOTECHNICAL INFORMATION RELATIVE TO THE SITE FOR MSE WALL DESIGN.
- THE MSE WALL PLAN SHOWN ON GD-1 SHOWS A BATTERED FACE OF 7" FOR REFERENCE ONLY. CONTRACTOR TO BATTER FACE AS NEEDED DURING FINAL DESIGN.
- WALL ELEVATIONS TOP AND BOTTOM OF MSE WALL ELEVATIONS SHOWN ON GD-1 ARE AT THE TOP OF THE FINISHED ELEVATION AND TOE OF THE MSE WALL. THESE ELEVATIONS DO NOT ACCOUNT FOR ANY KEYED IN BOTTOM MATS/GEO GRIDS.
- MSE WALL UNDERDRAINS SHOWN ON GD-1 ARE FOR REFERENCE ONLY. CONTRACTOR TO REVISE WALL DRAINAGE AS RECOMMENDED BY THE MSE WALL MANUFACTURER.
- CONTRACTOR TO SUBMIT MANUFACTURER SHOP DRAWINGS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION FOR APPROVAL.
- CONCRETE FOR VEHICLE BARRIER AND PIER SHALL BE 3,000 PSI.



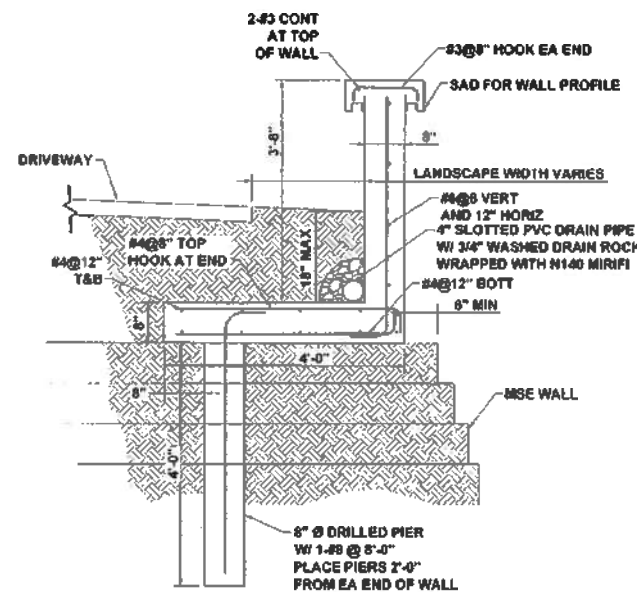
VEHICLE BARRIER ON EMBANKMENT
 DETAIL
 SCALE: 3/4"=1'-0"



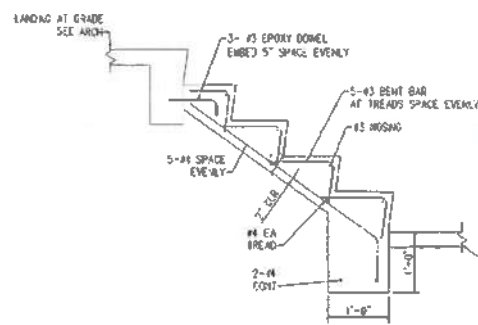
STEEL GUARDRAIL BOLTED ATTACHMENT
 DETAIL
 SCALE: 3/4"=1'-0"



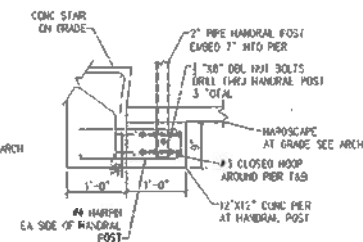
TYPICAL WALL MOUNT HANDRAIL
 DETAIL
 SCALE: 3/4"=1'-0"



VEHICLE BARRIER WITH MSE WALL
 DETAIL
 SCALE: 3/4"=1'-0"



TYPICAL CONC. STAIR REINFORCEMENT
 DETAIL
 SCALE: 3/4"=1'-0"



TYPICAL PIPE RAIL CONCRETE EMBEDMENT
 DETAIL
 SCALE: 3/4"=1'-0"

3/Ad-1

APPROVED
 Dept. of Building Insp.

NOV 04 2018

Director
 DEPT. OF BUILDING INSPECTION

ADDENDUM

AUG 03 2018

SITE PERMIT ADDENDUM FOR CONSTRUCTION OF



PERMIT SET

revisions	by
ADDENDUM 7/25/2019	CE/OS

Job#:	51440
Date:	JUL 20, 2017
Drawn:	DK
Checked:	SCM
Scale:	AS NOTED

RETAINING WALL
 DETAILS AND
 NOTES



Plan Set for Permit No. 2011/08/18/2754 S-R2



ABBREVIATIONS table listing various construction terms and their abbreviations.

SYMBOLS table listing various construction symbols and their corresponding terms.

GENERAL NOTES section containing 22 numbered notes regarding construction requirements and compliance.

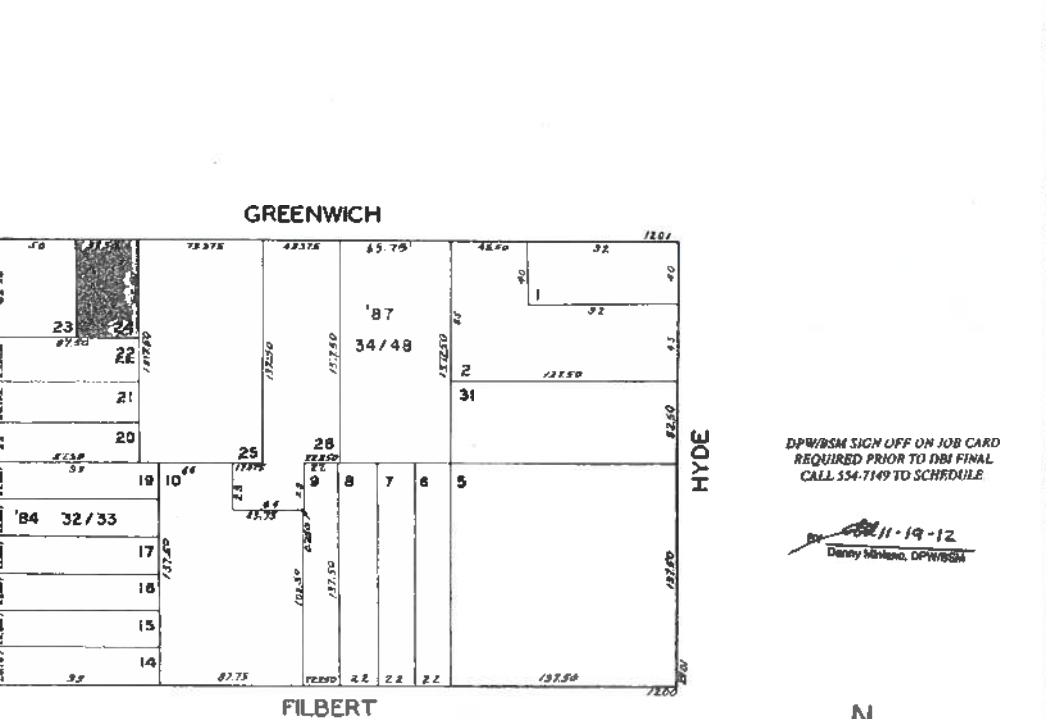
PROJECT TEAM and VICINITY MAP section including architect information and a site map.

PROJECT DATA section containing block, lot, and zoning information.

CODES and SCOPE OF WORK section listing applicable codes and project details.

APPROVED stamp, date (OCT 16 2012), and project address (1281-1283 GREENWICH STREET).

Handwritten vertical text: 2011 0818 2754 S/RZ



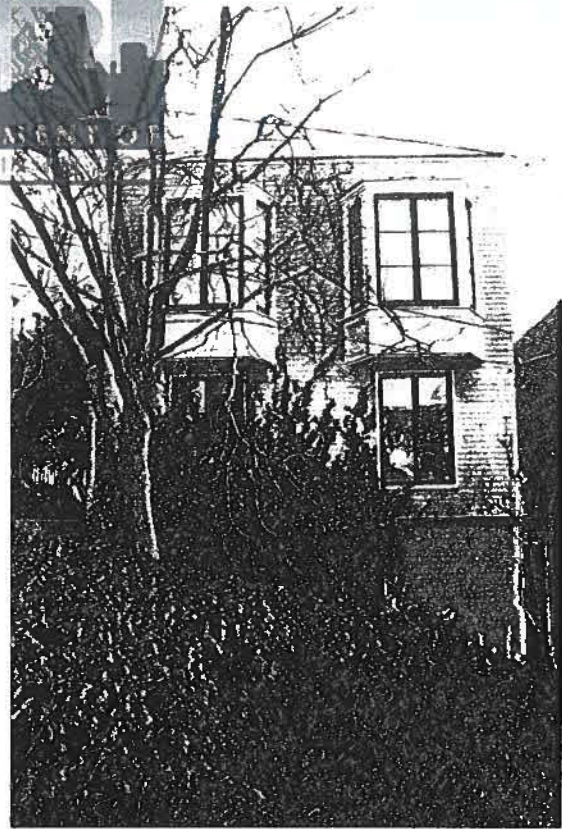
SHEET INDEX table listing architectural sheets A0.0 through A3.3.

PERMIT SET table and regulatory approval stamp.

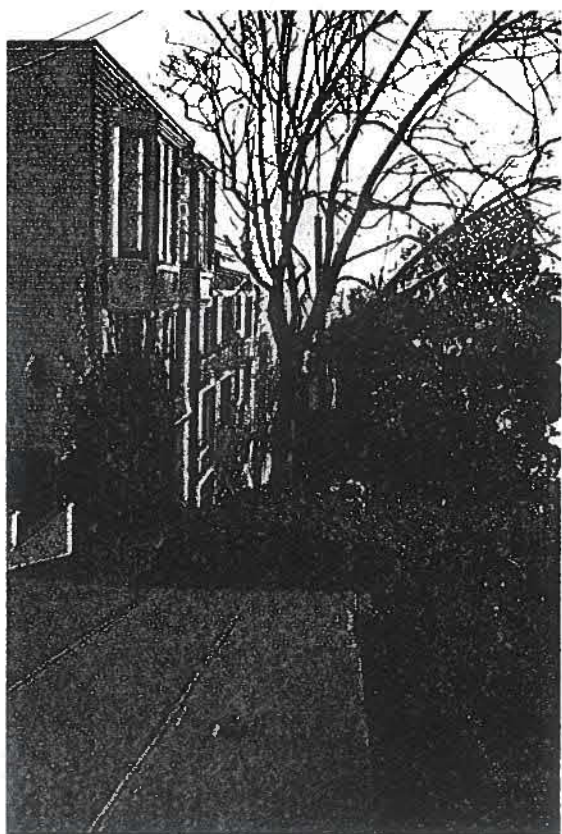
TITLE SHEET and A0.0 label.

DPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL 554-7149 TO SCHEDULE. Dated 11-19-12 by Denny Milano, DPW/BSM.

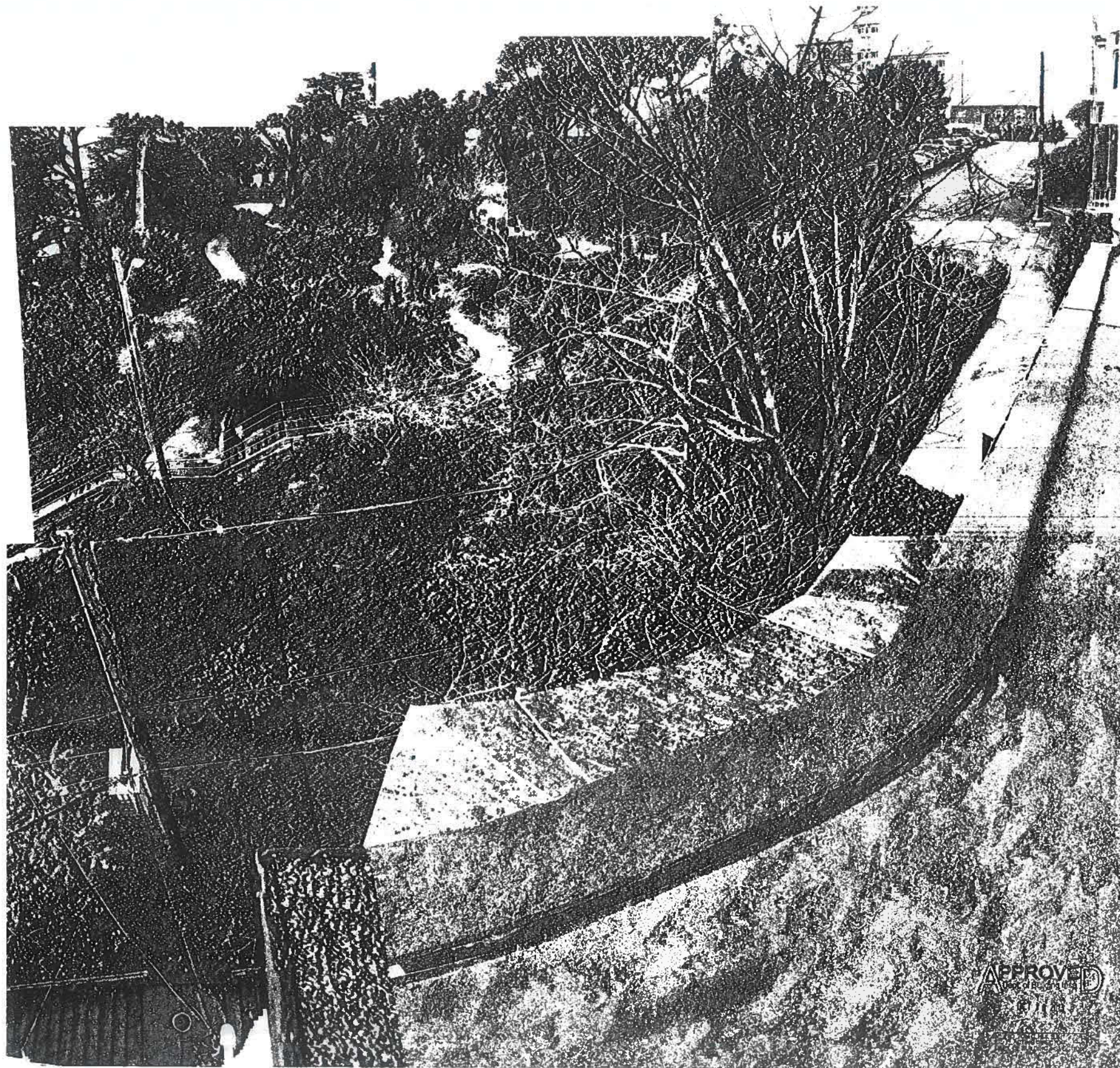




3 FACADE OF SUBJECT PROPERTY
SCALE: 1:1.17



2 EXISTING SIDEWALK JOG
SCALE: 1:1.17



1 EXISTING PARK FROM ROOF OF SUBJECT PROPERTY
SCALE: 1:0.54

Butler Armsden
ARCHITECTS

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e architects@butlerarmsden.com
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1281-1283 GREENWICH STREET
1281-1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

SITE PERMIT
REVISION
NOV 05 2012

THIS ATTENTION SIGNATURE FOR USE ONLY
ONLY US WORK MAY BE STAMPED WITH
THIS ATTENTION SIGNATURE FOR USE ONLY

PERMIT SET

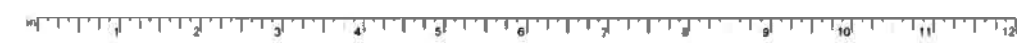
revisions	by
1	DB SUBMITTAL - NOV2012 DS

job# 1201
 date JULY 20, 2012
 drawn DS
 checked LB
 scale AS NOTED

APPROVED
LARRY G. GUYER
7/20/12



SITE PHOTOS



SITE PERMIT
REVISION
NOV 05 2012

THIS PERMIT IS VALID FOR THE PROJECT ONLY AND DOES NOT GUARANTEE THE QUALITY OF THE CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.

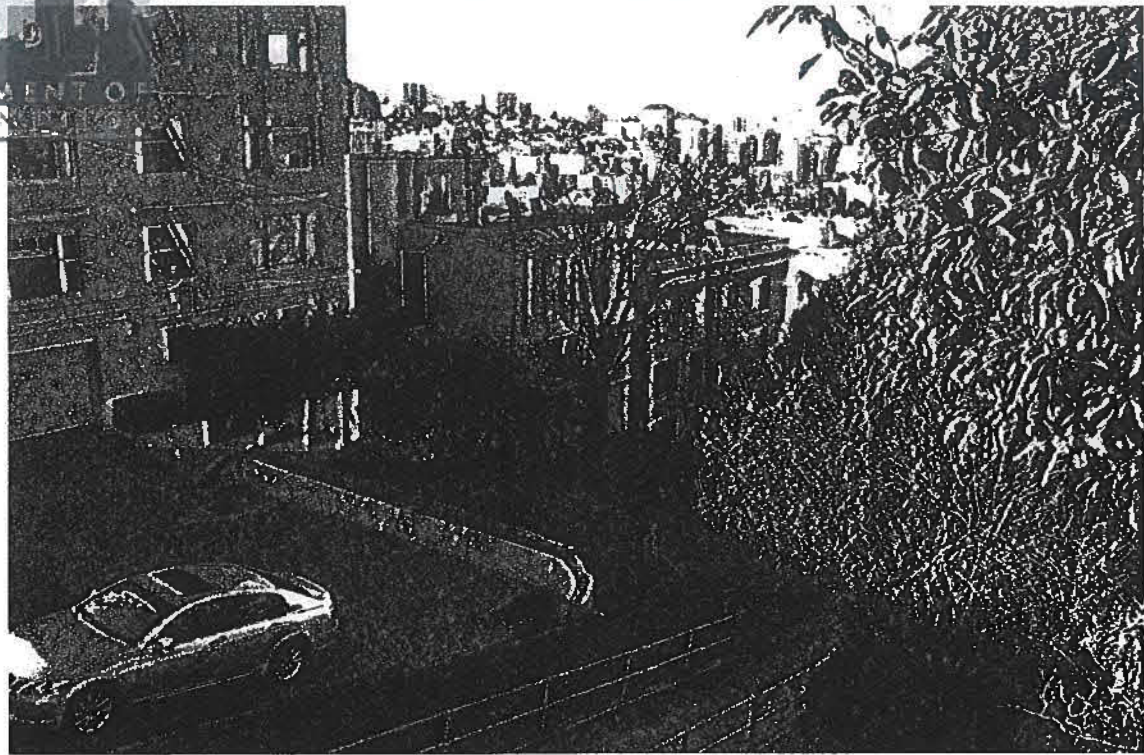
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revisions	by:
▲ CB SUBMITTAL - 11/05/2012	OS

job#:	1201
date:	JULY 20, 2012
drawn:	OS
checked:	LB
scale:	AS NOTED



SITE PHOTOS



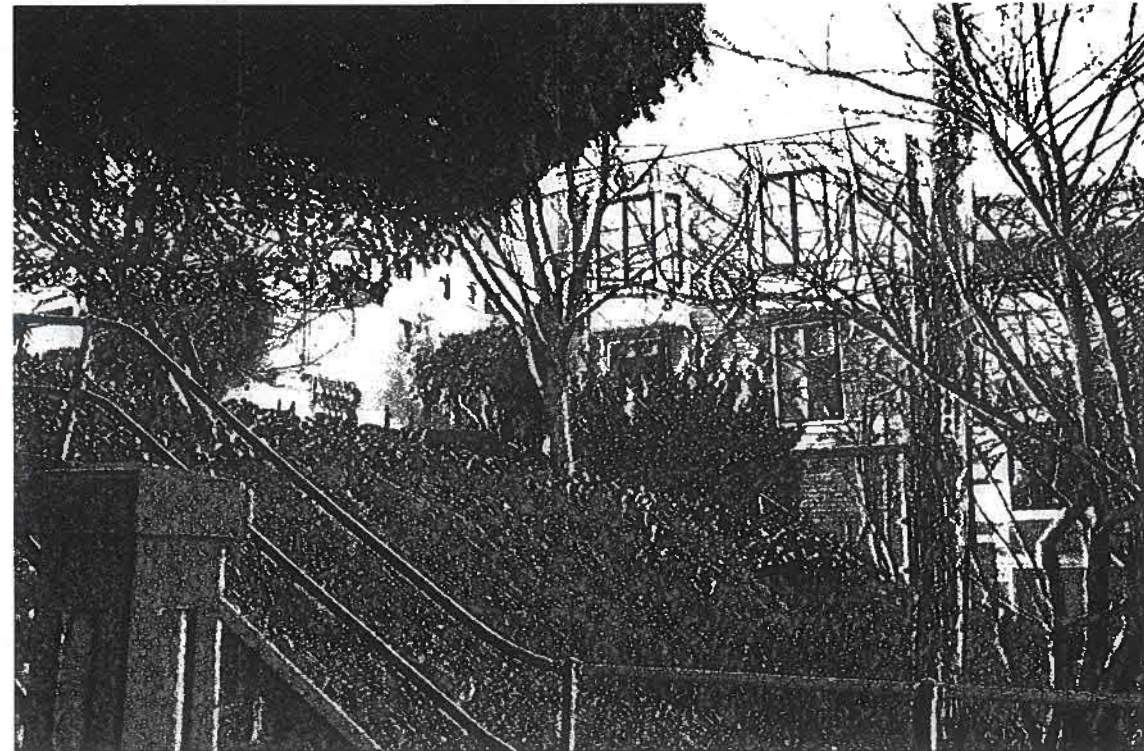
4 SUBJECT PROPERTY AND TERMINATION OF GREENWICH STREET
SCALE: 1:0.36



2 SUBJECT PROPERTY FROM GREENWICH STREET
SCALE: 1:0.36



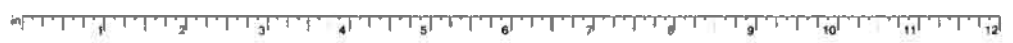
3 EXISTING PATHWAY FROM NEIGHBORING PARK
SCALE: 1:0.36



1 SUBJECT PROPERTY FROM EXISTING SIDEWALK
SCALE: 1:0.36

APPROVED
Dept. of Building Insp

OCT 18 2013
Tom C. Lee
ACTING DIRECTOR
DEPT. OF BUILDING INSPECTION





SFMTA Municipal Transportation Agency

TASC MINUTES

TRANSPORTATION ADVISORY STAFF
TRANSPORTATION ADVISORY STAFF COMMITTEE
Thursday, September 13, 2012 at 10:45 AM
One South Van Ness Avenue, 7th Floor, Room #7080

- SFMTA Sustainable Streets: Harvey Cuan
SFMTA Transit Operations: Curtis Smith
SFMTA Parking Enforcement: Clinton Choy
Department of Public Works: Absent
Port of San Francisco: Absent
San Francisco Police Department: Bernie Cory
SFMTA Taxi Services: Absent
San Francisco Fire Department: Janice Hayes
San Francisco Planning Department: Bill Wycko
Guests: Pat Packer, Megan McDevitt, Dan Blair, Norman Wong, Nataly Perez, Josh Headley, Dan Frahen, Jeremy Rich, Lewis Buller, Roba Jones, Stacey Lee, Steve Calcagno, Nataly Matos, Andrea Contreras, David Valle-Schwank

San Francisco Municipal Transportation Agency
One South Van Ness Avenue, Seventh Floor, San Francisco, CA 94103
Tel: (415) 776-2100 Fax: (415) 776-2100 www.sfmta.com



SAN FRANCISCO PLANNING DEPARTMENT

General Plan Referral

Date: July 10, 2012
Case No. 2011.0579R
1281-83 Greenwich Street
Greenwich Street Extension & Open Space Improvements
Project Sponsor: Daniel Prattin, Reuben & Justice, LLP
Applicant: Stacey Lee
Staff Contact: Jon Swac
Recommendation: Finding the project, on balance, in conformity with the General Plan, as described further in this Case Report.

PROJECT DESCRIPTION

On May 24, 2011, the Department received a request for a General Plan Referral as required by Section 4.05 of the Charter and Section 2A.53 of the Administrative Code. The proposed Project seeks to extend Greenwich Street to provide vehicular access to a new garage at 1281-83 Greenwich and make corresponding landscaping and public access improvements.

The Project involves alterations to the unimproved public right-of-way located along Greenwich Street between Hyde and Larkin Streets adjacent to Garage Sterling Park. An open green space is located here bordered on either side by pedestrian staircases that extend down to Larkin Street. A north-south pedestrian pathway bisects the space connecting the stairways with an entrance to Sterling Park.

www.sfparking.org

GENERAL PLAN REFERRAL CASE NO. 2011.0579R
1281-83 GREENWICH ST: GREENWICH STREET EXTENSION & OPEN SPACE IMPROVEMENTS

URBAN DESIGN ELEMENT

POLICY 2.2
Limit Improvements in other open spaces having an established sense of nature to those that are necessary, and unlikely to detract from the primary values of the open space.

Comment: The project would reinforce the naturalistic setting of the site by preserving the large mature trees outside 1281-83 Greenwich and implementing an appropriate landscape plan.

POLICY 2.9
Review proposals for the giving up of street areas in terms of all the public values that streets afford.

Comment: The project increases the public value of the site with pedestrian access improvements including a seating and viewing area along the pedestrian pathway. A landscaping plan will improve the appearance of the site.

PROPOSITION B FIDUCIARIES - PLANNING CODE SECTION 101.1
Planning Code Section 101.1 establishes Eight Priority Policies and requires review of discretionary approvals and permits for consistency with said policies. The Project is found to be consistent with the Eight Priority Policies as set forth in Planning Code Section 101.1 for the following reasons:

Eight Priority Policies Findings
The subject project is found to be consistent with the Eight Priority Policies of Planning Code Section 101.1 in that:

- 1. That existing neighborhood-serving retail uses be preserved and enhanced and future opportunities for modest employment in and ownership of such businesses enhanced.
2. That existing housing and neighborhood character be preserved and protected in order to preserve the cultural and economic diversity of our neighborhood.
3. That the City's supply of affordable housing be preserved and enhanced.
4. That commuter traffic not impede Muni transit service or overcrowd our streets or neighborhood parking.



Route any changes in Building Dimensions, Exterior Materials, Window Location, Size or Material, or Use to the Planning Department for approval.

GENERAL PLAN REFERRAL CASE NO. 2011.0579R
1281-83 GREENWICH ST: GREENWICH STREET EXTENSION & OPEN SPACE IMPROVEMENTS

The Project would create landscaping improvements, expand public access, and create pedestrian amenities and a curving residential driveway to 1281-83 Greenwich Street (see Attachment A). Landscape improvements would reflect the naturalistic surroundings of the site. The large mature trees in front of 1281 Greenwich will be preserved. Public access improvements include the creation of new seating/viewing area located along the north-south pedestrian pathway. The Project Sponsor agrees to make repairs to surrounding staircases and sidewalks as requested by the Department of Public Works. The Project requires a Major Encroachment Permit. Any proposed tree removal will also require a permit through the Department of Public Works. Support for this project has been voiced by adjacent neighbors, District 7 Supervisor Mark Farrell and the Friends of Sterling Park.

The project has been reviewed for consistency General Plan policies and with the Eight Priority Policies of the Planning Code Section 101.1 and the findings are attached.

ENVIRONMENTAL REVIEW

The project has received a Categorical Exemption under CEQA Guidelines Section 15304, Class 1-Existing Facilities: Minor Alterations of Existing Public or Private Facilities Involving Negligible or No Expansion of Use.

GENERAL PLAN COMPLIANCE AND BASIS FOR RECOMMENDATION

The Project is consistent with the Eight Priority Policies of Planning Code Section 101.1 as described in the body of this letter and is, on balance, in conformity with the following Objectives and Policies of the General Plan. Note that General Plan Objectives and Policies appear in Bold Font, General Plan text is shown in regular font, and staff comments appear in italic font.

RECREATION & OPEN SPACE ELEMENT

POLICY 2.2

Preserve existing public open space.
Despite general agreement on the need to preserve public open space, over the years developments may indeed be proposed on public land designated as open space in this plan. It is anticipated that the most persuasive arguments in favor of development will be based on the "public value" of the proposed developments.

Comment: The proposed project increases the public value of the site with pedestrian access improvements including a seating and viewing area along the pedestrian pathway. A landscaping plan will improve the appearance of the site.

GENERAL PLAN REFERRAL CASE NO. 2011.0579R
1281-83 GREENWICH ST: GREENWICH STREET EXTENSION & OPEN SPACE IMPROVEMENTS

5. That a diverse economic base be maintained by protecting our industrial and service sectors from displacement due to commercial office development, and that future opportunities for residential employment and ownership in those sectors be enhanced.

6. That the City achieve the greatest possible preparedness to protect against injury and loss of life in an earthquake.

7. That landmarks and historic buildings be preserved.

8. That our parks and open space and their access to sunlight and vistas be protected from development.

Vistas would remain accessible to the public through improvement of the existing walkways and stairways within and adjacent to the open space. Access to sunlight would not be affected.

RECOMMENDATION:

Finding the Project, on balance, in conformity with the General Plan.

Attachments: Attachment A: Existing and Proposed Site Plan

CC: Jon Swac, Planning Department; Cleon Cabrera, Planning Department; Sarah Ovaras-Phillips, Planning Department; Supervisor Mark Farrell, Board of Supervisors; Catherine Stefan, Office of Supervisor Mark Farrell



OCT 18 2012
J. C. Hae
ACTING DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT REVISION NOV 05 2012

THE APPLICATOR WARRANTS THAT THIS PERMIT ONLY IS VALID FOR THE EXACT USES, CONDITIONS, TERMS AND SIZE SPECIFIED.

PERMIT SET

Table with columns: REVISIONS, by: DATE. Includes entry: 1. ON SUBMITTAL - NOV 05 2012 DS

Table with columns: JOB#, DATE, DRAWN, CHECKED, SCALE. Includes entry: JOB#: 1201, DATE: JULY 20, 2012, DRAWN: DS, CHECKED: LB, SCALE: AS NOTED



1281-1283 GREENWICH STREET
1281-1283 GREENWICH STREET, SAN FRANCISCO, CA 94109



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A0.3



280 California Street
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t 415-874-2554
f 415-874-2550
a info@buslerarmenden.com
www.buslerarmenden.com

1281-1283 GREENWICH STREET
1281-1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

1275 GREENWICH
ADJACENT PROPERTY
0096 / 025

1281-1283 GREENWICH
SUBJECT PROPERTY
0095 / 024

2460 LARKIN
ADJACENT PROPERTY
0095 / 023
No any changes in Building
Dimensions, Exterior Materials,
Window Location, Size or
Material, or Use to the Planning
Department for reapproval.

APPROVED
PERMITS AND APPLICATION
Tom C. Huie
BUILDING DEPARTMENT

LARKIN STREET

SITE PERMIT
REVISION
NOV 05 2012

THIS PERMIT IS VALID FOR ONE YEAR FROM THE DATE OF ISSUANCE. ANY CHANGES TO THE PERMIT MUST BE APPROVED BY THE BUILDING DEPARTMENT.

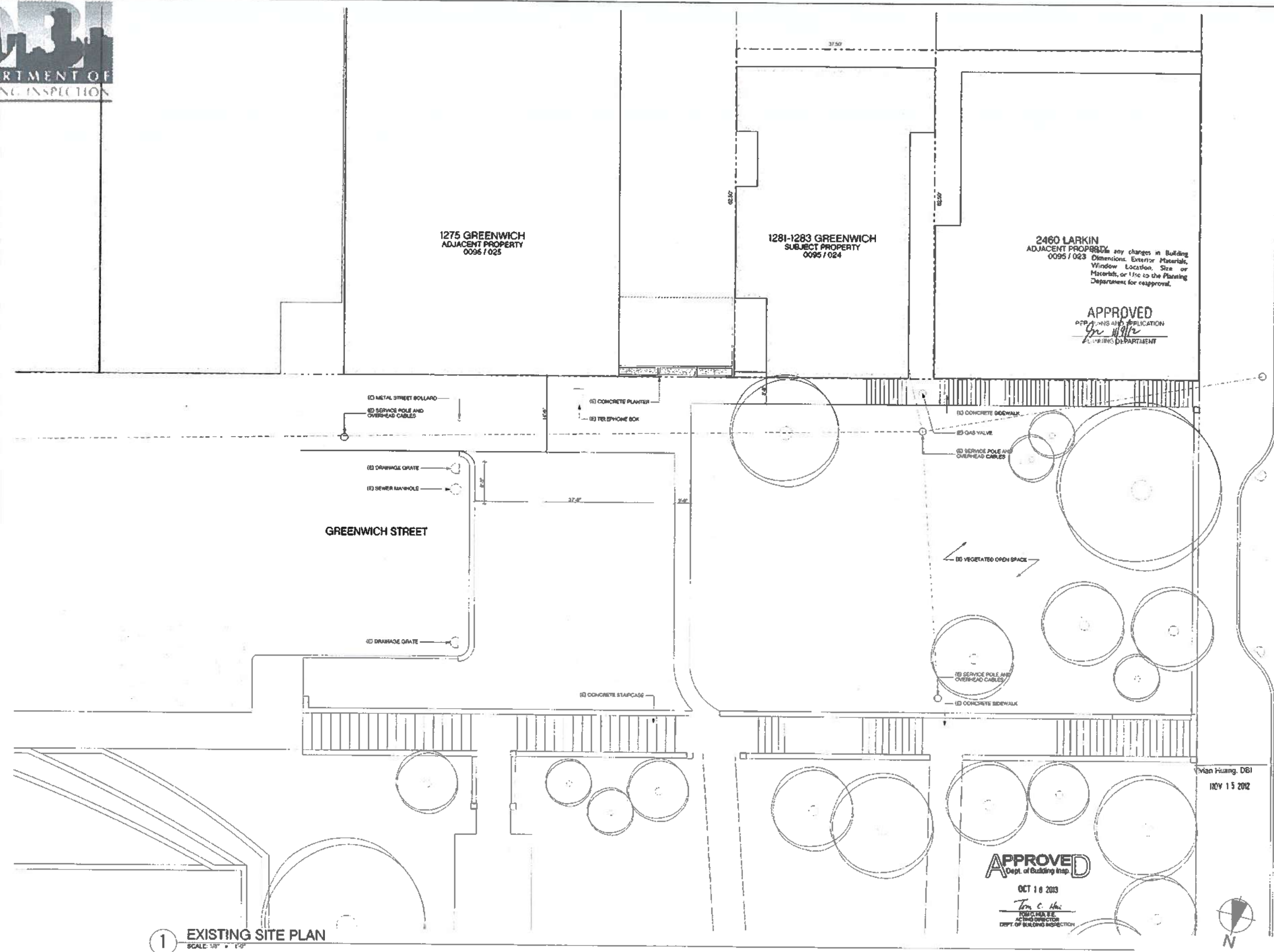
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DBI SUBMITTAL - 10/20/12	DS

job#:	1201
date:	JULY 20, 2012
drawn:	DS
checked:	LB
scale:	AS NOTED



EXISTING SITE
PLAN



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

APPROVED
Dept. of Building Inspection
OCT 18 2013
Tom C. Huie
REGISTERED PROFESSIONAL ENGINEER
NO. 35115
STATE OF CALIFORNIA
DEPT. OF BUILDING INSPECTION

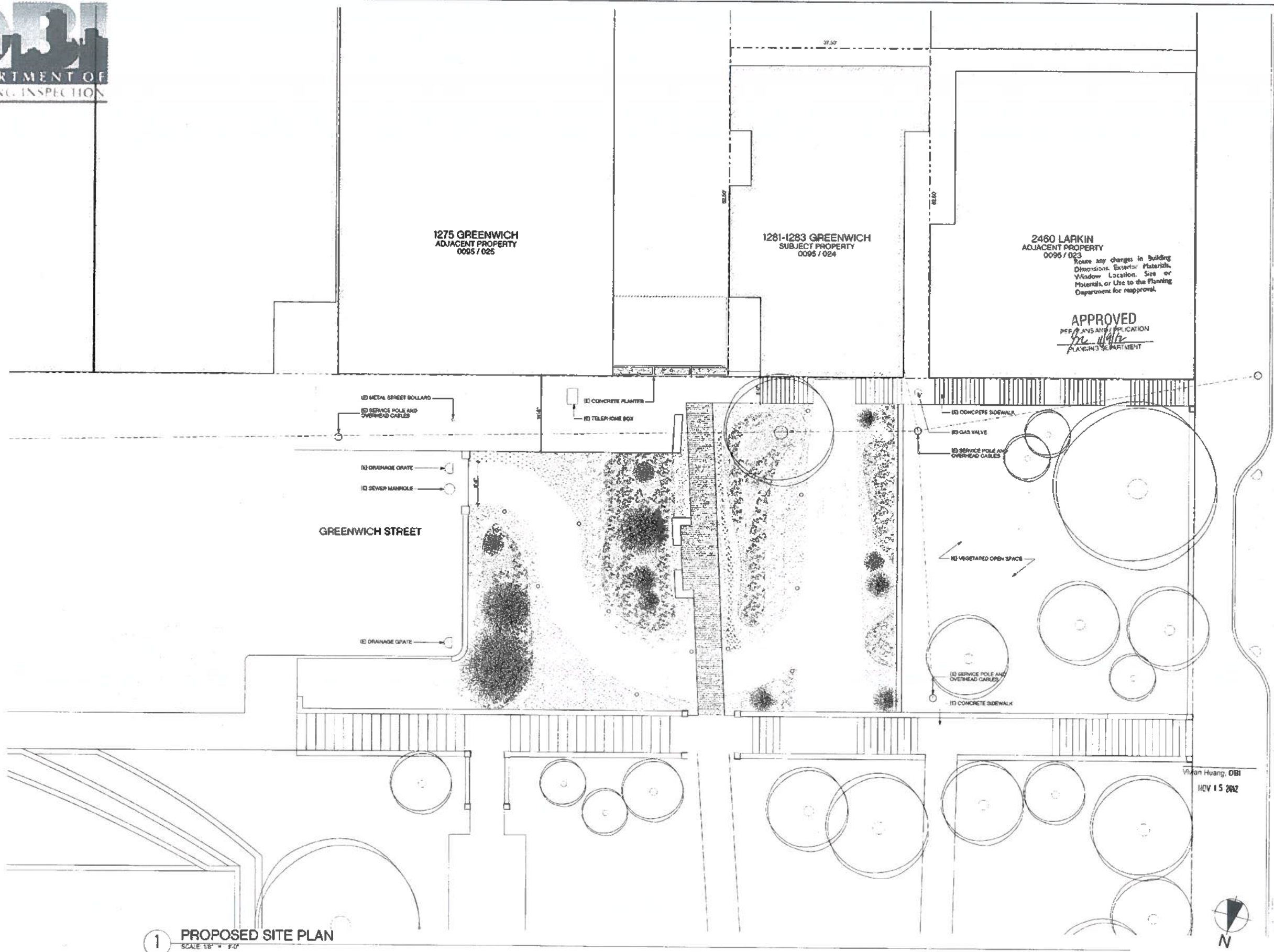
Man Huang, DBI
NOV 15 2012





Buller Arnsden
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 San Francisco CA 94109
 t 415-874-5554
 f 415-874-5558
 e arch@bullerarnsden.com
 www.bullerarnsden.com



2460 LARKIN
 ADJACENT PROPERTY
 0095 / 023

Route any changes in Building
 Dimensions, Exterior Materials,
 Window Location, Size or
 Materials, or Use to the Planning
 Department for approval.

APPROVED
 PER PLANS AND APPLICATION
Tom White
 PLANNING DEPARTMENT

APPROVED
 Dept. of Building Insp.

OCT 10 2013

Tom C. Ho
 TOM C. HO, P.E.
 CHIEF INSPECTOR
 DEPT. OF BUILDING INSPECTION

LARKIN STREET

**56TH PERMIT
 REVISION**
 NOV 05 2012

NO APPLICATION SUBMITTED FOR THIS PERMIT
 FOR NO WORK MAY BE STARTED UNLESS
 CONSTRUCTION PLANS HAVE BEEN APPROVED.

PERMIT SET

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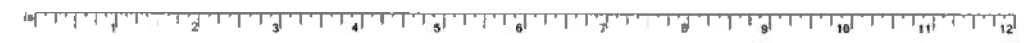
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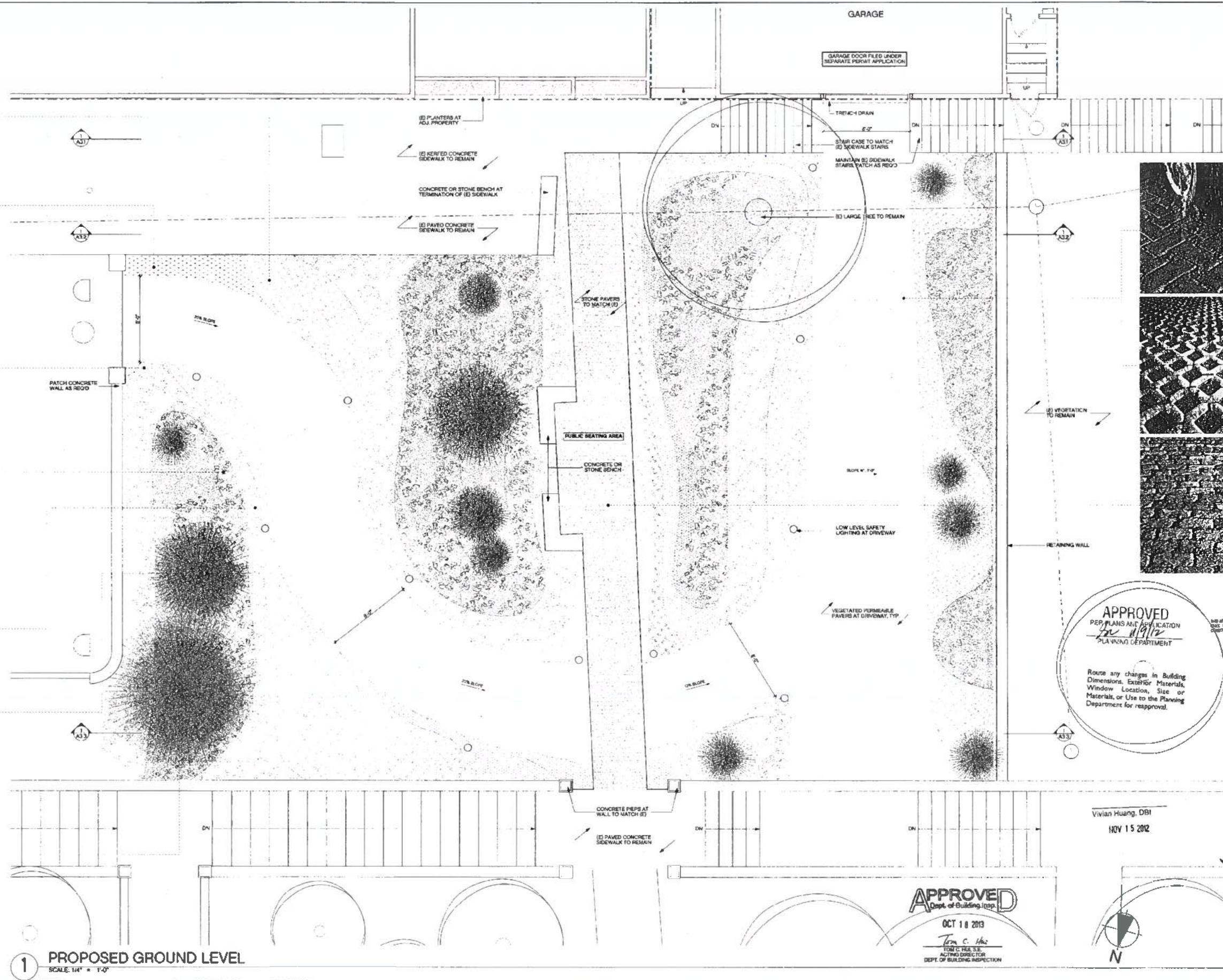


**PROPOSED SITE
 PLAN**

1 PROPOSED SITE PLAN
 SCALE: 1/8" = 1'-0"

1281-1283 GREENWICH STREET
 1281-1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

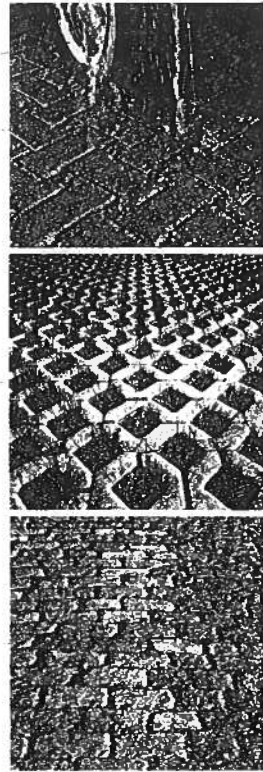




Butler Arnsden ARCHITECTS

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a arch@butlerarnsden.com
www.butlerarnsden.com

1281-1283 GREENWICH STREET
1281-1283 GREENWICH STREET, SAN FRANCISCO, CA 94109



APPROVED
PERMITS AND APPLICATION
NOV 05 2012
PLANNING DEPARTMENT

Route any changes in Building Dimensions, Exterior Materials, Window Location, Size or Material, or Use to the Planning Department for approval.

SITE PERMIT REVISION NOV 05 2012

PERMIT SET

revisions	by:
Δ DBI SUBMITTAL - 11/05/2012	DB

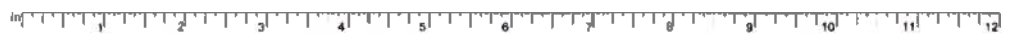
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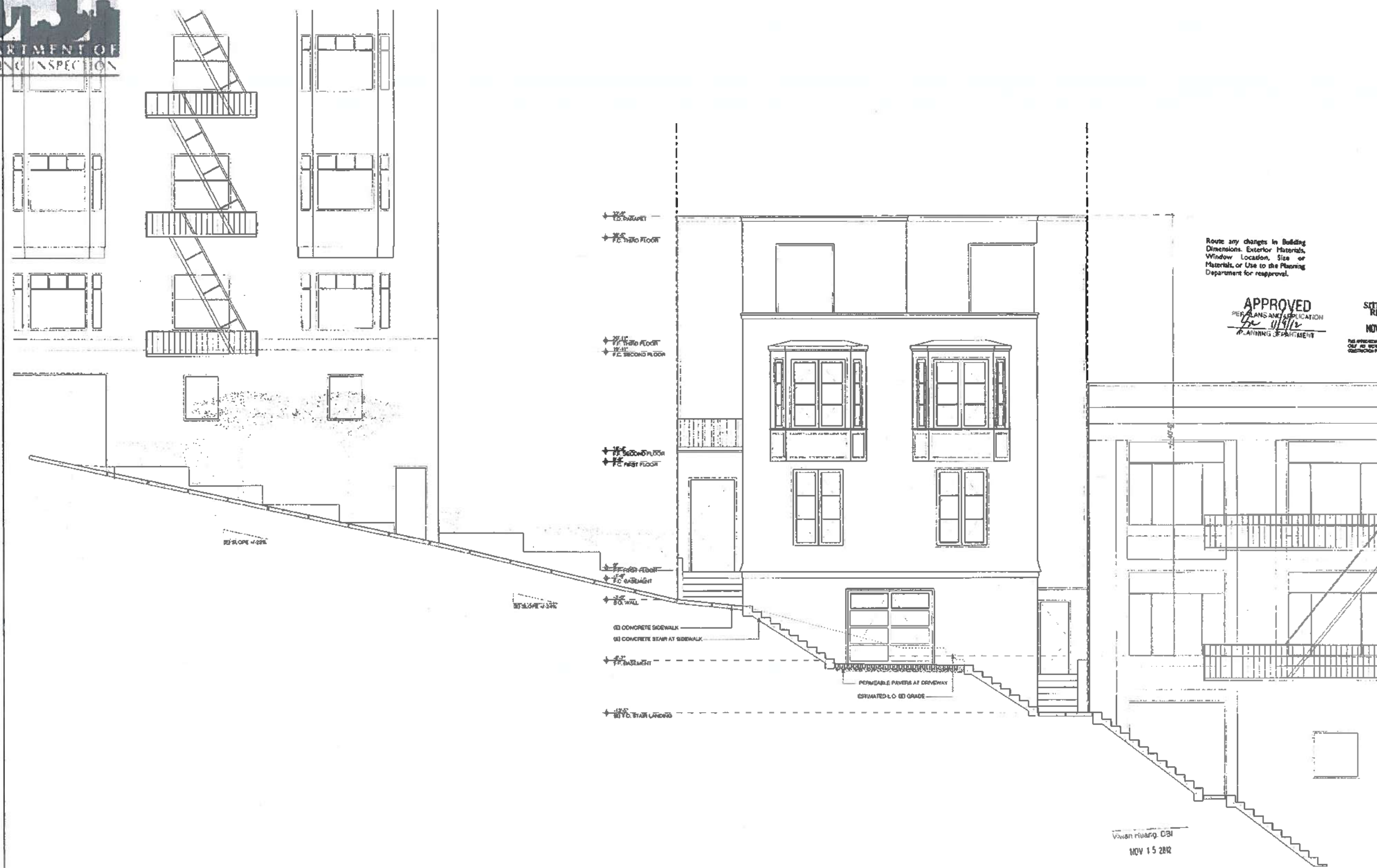
PROPOSED GROUND PLAN

1 PROPOSED GROUND LEVEL
SCALE 1/4" = 1'-0"

APPROVED
Dept. of Building Inspection
OCT 11 2013
Tom C. Hu
1000 C. HILL ST.
ACTING DIRECTOR
DEPT. OF BUILDING INSPECTION



1281-1283 GREENWICH STREET
 1281-1283 GREENWICH STREET, SAN FRANCISCO, CA 94109



Route any changes in Building Dimensions, Exterior Materials, Window Location, Size or Materials, or Use to the Planning Department for approval.

APPROVED
 PERMITS AND APPLICATION
 [Signature]
 PLANNING DEPARTMENT

SITE PERMIT
 REVISION
 NOV 05 2012

NO OTHER WORK SHALL BE PERMITTED
 UNLESS THE PERMIT IS FIRST
 EXTENDED BY THE DEPARTMENT

PERMIT SET

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1	DB SUBMITTAL - 10/20/12 DB

Job #: 1201
 Date: JULY 20, 2012
 Drawn: DB
 Checked: DB
 Scale: AS NOTED



PROPOSED SECTION

1 PROPOSED SECTION AT SIDEWALK
 SCALE 1/4" = 1'-0"

Viewing: DBI
 NOV 15 2012

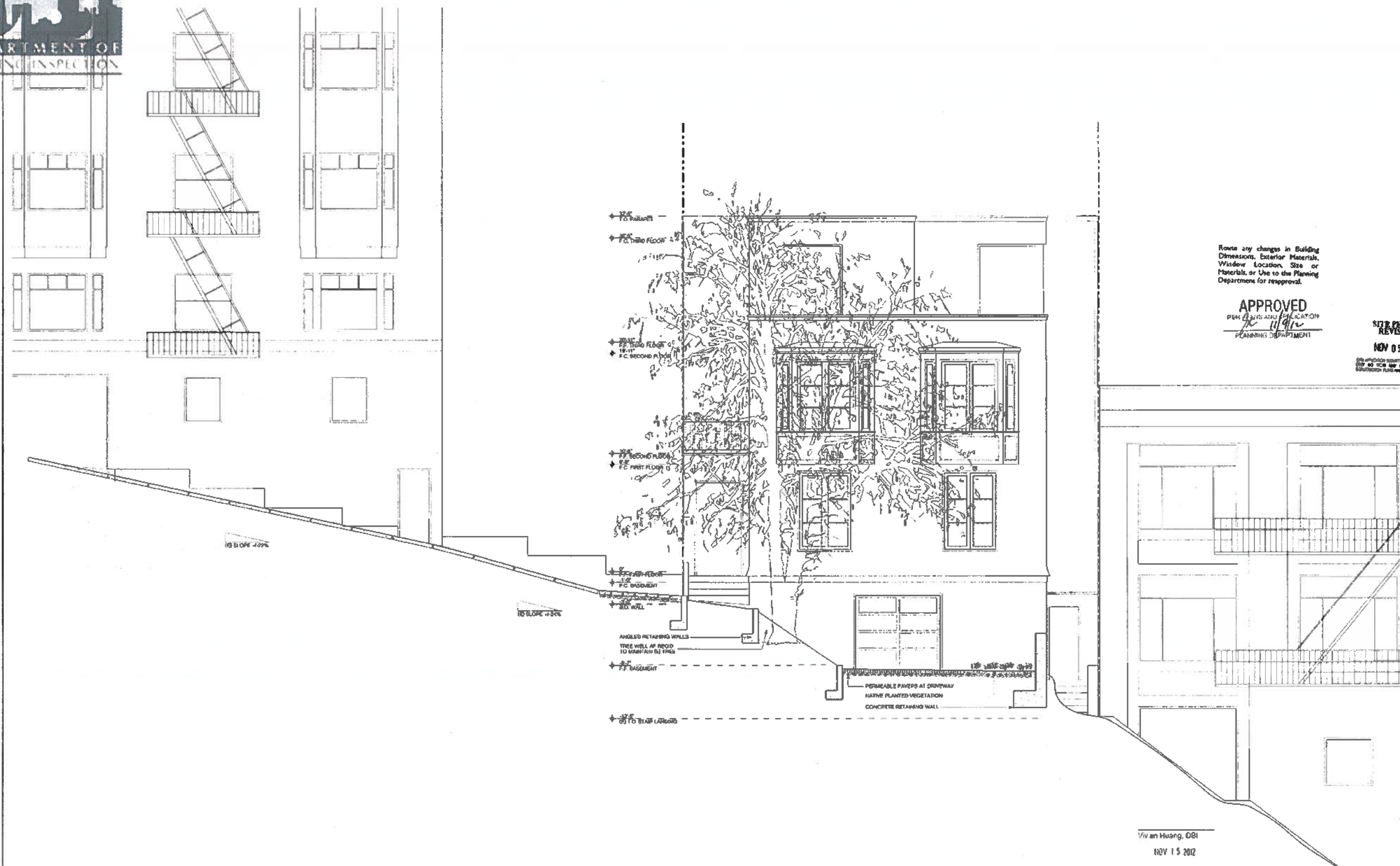
APPROVED
 Dept. of Building Insp.

OCT 18 2012
 [Signature]
 TITLE: DBI
 ACTING DIRECTOR
 DEPT. OF BUILDING INSPECTION

A3.1



1281-1283 GREENWICH STREET
1281-1283 GREENWICH STREET, SAN FRANCISCO, CA 94109



Route any changes in Building Dimensions, Exterior Materials, Window Location, Size or Materials, or Use to the Planning Department for approval.

APPROVED
PERMITS AND LICENSATION
PLANNING DEPARTMENT

SIZE PERMIT
REVISION
NOV 03 2012

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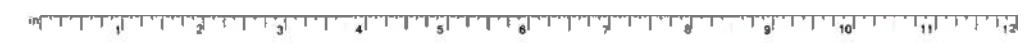
PROPOSED SECTION

Vivian Huang, DBI
NOV 15 2012

APPROVED
Dept. of Building Insp.
OCT 18 2012
Tom C. Kim
ACTING DIRECTOR
DEPT. OF BUILDING INSPECTION

1 PROPOSED SECTION AT DRIVEWAY
SCALE 1/4" = 1'-0"

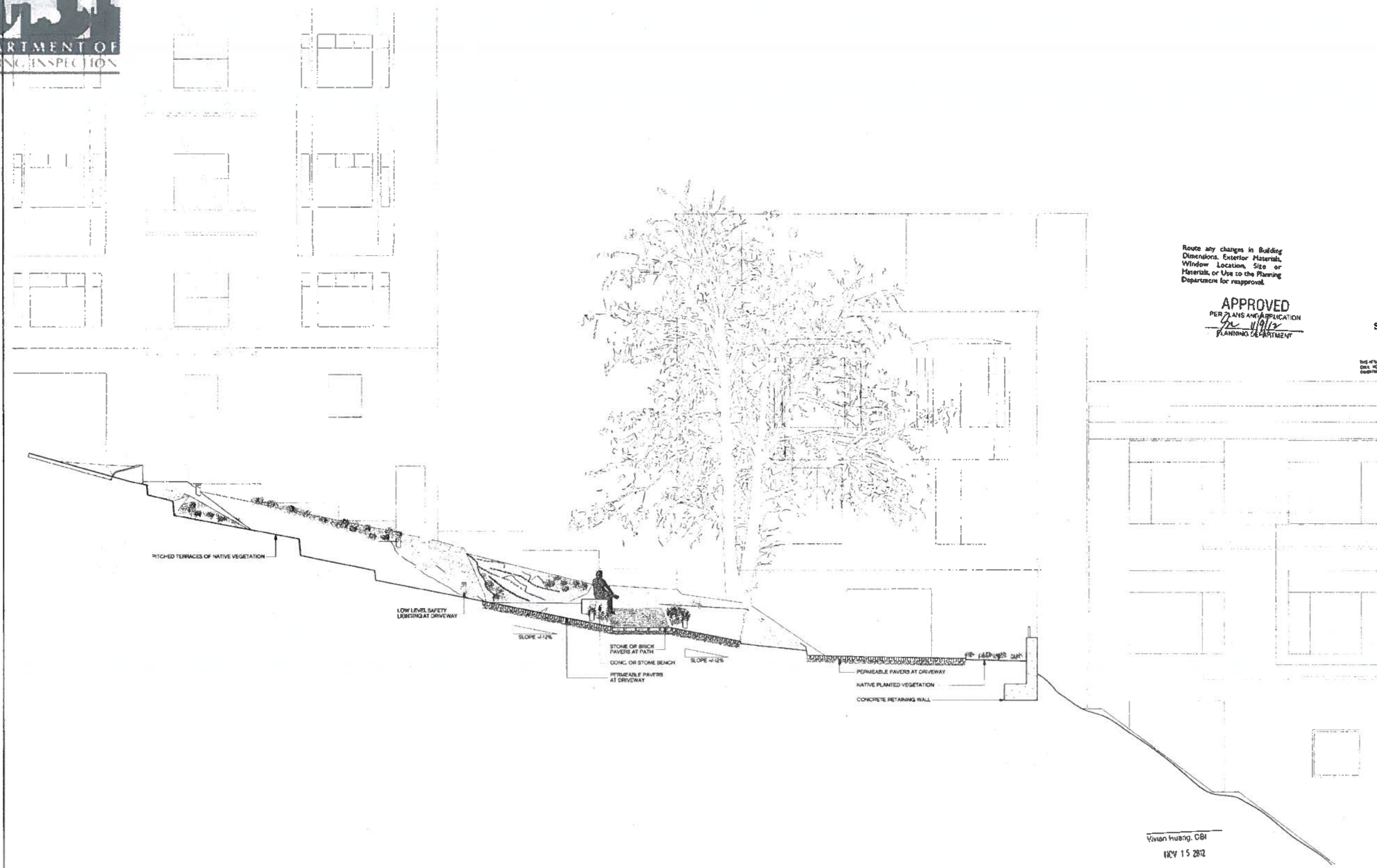
A3.2



OFFICIAL COPY



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San Francisco CA 94108
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f 415-674-3888
e architects@butlerarmeden.com
www.butlerarmeden.com



Route any changes in Building Dimensions, Exterior Materials, Window Location, Size or Materials, or Use to the Planning Department for approval.

APPROVED
PER PLANS AND APPLICATION
M. 11/12
PLANNING DEPARTMENT

SITE PERMIT
REVISION
NOV 05 2012
The above described site plan has been approved for a 12-month period.

1281-1283 GREENWICH STREET
1281-1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

PERMIT SET

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DB SUBMITAL - 1/04/2012	DS

job #:	1201
date:	JULY 20, 2012
drawn:	DS
checked:	LB
scale:	AS NOTED



PROPOSED SECTION

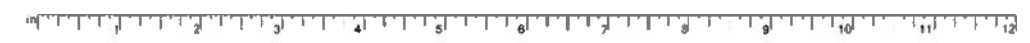
Vivian Huang, CBI
NOV 15 2012

APPROVED
Dept. of Building Insp.

OCT 18 2013
Tom C. Han
ACTING DIRECTOR
DEPT. OF BUILDING INSPECTION

1 PROPOSED SECTION AT TERRACES
SCALE: 1/4" = 1'-0"

A3.3



Plan Set for Permit No. 2014/10/17/9272 SR3



ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including F.D., F.F. & E., F.F., FIN., F.L., FLOOR, FIXT., F.O.C., F.O.F., F.O.S., FNDR., FT., FTG., FURR., GALV., G.F.I.C., GL., GR., GRND., GYM., H.B., H.C., HDWD., HDWR., HORIZ., HR., INSUL., INT., LAM., LAV., L.O., LT., MAX. MFD. CAR., MECH. MEMB., METAL, MOUNTED, MFR., MIN., MISC., N., N.C., NO., NOM., N.T.S., O.A., OBS., O.C., O.D., OPNG., OPP., P.G., PL., PLAM., PLYWD., PR., PROP.LN., P.T., R., R.A.D., R.D., RDWD., REF., REFR., REIN., REQ., RESIL., R.L., RM., R.O., S., S.C., SCHED., SD, SECT., SHR., SHEET, SIM., S.L.D., SPEC., S.O., S.S.D., S.S., STD., STI., STR., STRUC., SYM., T., T.B., TEL., T.G., THK., THPR., TOP OF, T.O.P., T.O.P. OF PAVEMENT, TOP OF WALL, TUBULAR STEEL, T.V., TYP., U.O.N., V.C.T., VERT., V.I.F., W., W/., WD., W/O, W.P., WT.

SYMBOLS

Table of symbols for architectural drawings, including Drawing/Detail Reference Tag, Section Reference Tag, Interior Elevation Reference Tag, Align, Hidden Line, Stud Wall, Concrete Structure, Insulation, Lath and Plaster, Gypsum Board, Plywood, Finish Wood, Glass, Door Tag, Window Tag, Plumbing Fixture, Appliance Tag, Equipment Tag, Revision Tag, Matchline, Workpoint or Datum, Wall Type Tag, Threshold.

GENERAL NOTES

- 1. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE LOCAL BUILDING CODES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR PERMITS APPLICABLE TO SPECIFIC TRADES OR SUBCONTRACTORS.
2. CONTRACTOR WILL HAVE EXAMINED THE PREMISES AND SITE SO AS TO COMPARE THEM WITH THE DRAWINGS AND WILL HAVE SATISFIED HIMSELF AS TO THE CONDITION OF EXISTING WORK AND ADJACENT PROPERTY PRIOR TO SUBMISSION OF BID. NO ALLOWANCES WILL BE MADE ON BEHALF OF THE CONTRACTOR BY REASON OF ANY OMISSION ON HIS PART TO INCLUDE THE COSTS OF ALL ITEMS OF WORK, EITHER LABOR OR MATERIALS, WHETHER THEY ARE OR ARE NOT ESPECIALLY OR PARTICULARLY SHOWN OR NOTED BUT WHICH ARE IMPLIED OR REQUIRED TO ATTAIN THE COMPLETED CONDITIONS PROPOSED IN THE DRAWINGS.
3. ALL SUBCONTRACTORS TO THE GENERAL CONTRACTOR SHALL INSPECT THE SITE AND SHALL CONVEY ANY QUESTIONS REGARDING DESIGN INTENT AND SCOPE OF WORK TO THE ARCHITECT PRIOR TO SUBMITTING BID AND PRIOR TO COMMENCING WORK.
4. CONTRACTOR SHALL COORDINATE THE WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS AND SHALL BE RESPONSIBLE FOR ANY ACTS, OMISSIONS, OR ERRORS OF THE SUBCONTRACTORS AND OF PERSONS DIRECTLY OR INDIRECTLY EMPLOYED BY THEM.
5. CONTRACTOR TO ASSUME SOLE RESPONSIBILITY FOR JOB SITE CONDITIONS INCLUDING SAFETY OF PERSONS AND PROPERTY FOR THE DURATION OF THE PROJECT.
6. CONTRACTOR TO CONFORM TO HOMEOWNERS ASSOCIATION RULES AND GUIDELINES.
7. CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY AND PRIOR TO ORDERING OF ALL LONG LEAD ITEMS AND OF APPROXIMATE DELIVERY DATES.
8. ALL CONSTRUCTION MATERIALS AND SUPPLIES TO BE STORED, HANDLED, AND INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
9. IF ERRORS OR OMISSIONS ARE FOUND IN THE DRAWINGS THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
10. DRAWINGS SCHEMATICALLY INDICATE NEW CONSTRUCTION. THE CONTRACTOR SHOULD ANTICIPATE, BASED ON EXPERIENCE, A REASONABLE NUMBER OF ADJUSTMENTS TO BE NECESSARY TO MEET THE DESIGN OBJECTIVES AND SHOULD CONSIDER SUCH ADJUSTMENTS AS INCLUDED IN THE SCOPE OF WORK.
11. WHEN SPECIFIC FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE GENERAL NOTES, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS. ALL DIMENSIONS TO BE TAKEN FROM NUMERIC DESIGNATIONS ONLY; DIMENSIONS ARE NOT TO BE SCALED OFF DRAWINGS. THESE NOTES TO APPLY TO ALL DRAWINGS AND GOVERN UNLESS MORE SPECIFIC REQUIREMENTS ARE INDICATED APPLICABLE TO PARTICULAR DIVISIONS OF THE WORK. SEE SPECIFICATIONS AND GENERAL NOTES IN THE SUBSECTIONS OF THESE DRAWINGS.
12. ALL DIMENSIONS ARE TO FACE OF FINISH, U.O.N.
13. WEATHER STRIP ALL DOORS LEADING FROM HEATED TO UNHEATED AREAS. PROVIDE VINYL BEAD TYPE WEATHER STRIPPING AT THESE DOORS AND WINDOWS. ALL SIDES OF THE DOOR MUST BE WEATHERSTRIPPED, INCLUDING THE THRESHOLD.
14. CAULK AND SEAL OPENINGS IN BUILDING EXTERIOR 1/8" OR GREATER TO PREVENT AIR INFILTRATION. WINDOWS TO BE OPERABLE AND CLEANED, U.O.N.
15. ALL WALL FRAMING SHALL BE 2x4 @ 16" O.C. MINIMUM, U.O.N.
16. ALL GYPSUM BOARD SHALL BE 5/8" THICK, TYPE "X" U.O.N.
17. ALL GYPSUM AND/OR PLASTER SURFACES SHALL BE SMOOTH, CONTINUOUS, FREE OF IMPERFECTIONS, AND WITH NO VISIBLE JOINTS, U.O.N.
18. STUCCO OVER WOOD SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" BUILDING PAPER.
19. STRUCTURAL WOOD MEMBERS ADJACENT TO CONCRETE ARE TO BE PRESSURE TREATED DOUGLAS FIR.

PROJECT TEAM

ARCHITECT: BUTLER ARMSDEN ARCHITECTS, 1420 SUTTER STREET, SAN FRANCISCO, CA 94109. T. 415.674.5554, F. 415.674.5558.
GEOTECHNICAL ENGINEER: EARTH MECHANICS, 360 GRAND AVENUE, SUITE 262, OAKLAND, CA 94610. T. 510.839.0765, F. 510.839.0716.
STRUCTURAL ENGINEER: FTI ENGINEERING, 1916 MCALLISTER STREET, SAN FRANCISCO, CA 94115. T. 415.931.8460, F. 415.931.8461.

VICINITY MAP



PROJECT DATA

BLOCK: 0095, LOT: 24, LOY SIZE: 2,343.75 sqft. ZONED: R94-2, HEIGHT LIMIT: 40X, OCCUPANCY: R-3.

Table comparing existing and proposed interior and exterior building areas for garage, first level, second level, and third level.

Table comparing existing and proposed construction classification and fire sprinkler status.

APPROVED stamp from the Department of Building Inspection, dated NOV 17 2015, with signatures and official seals.

CODES

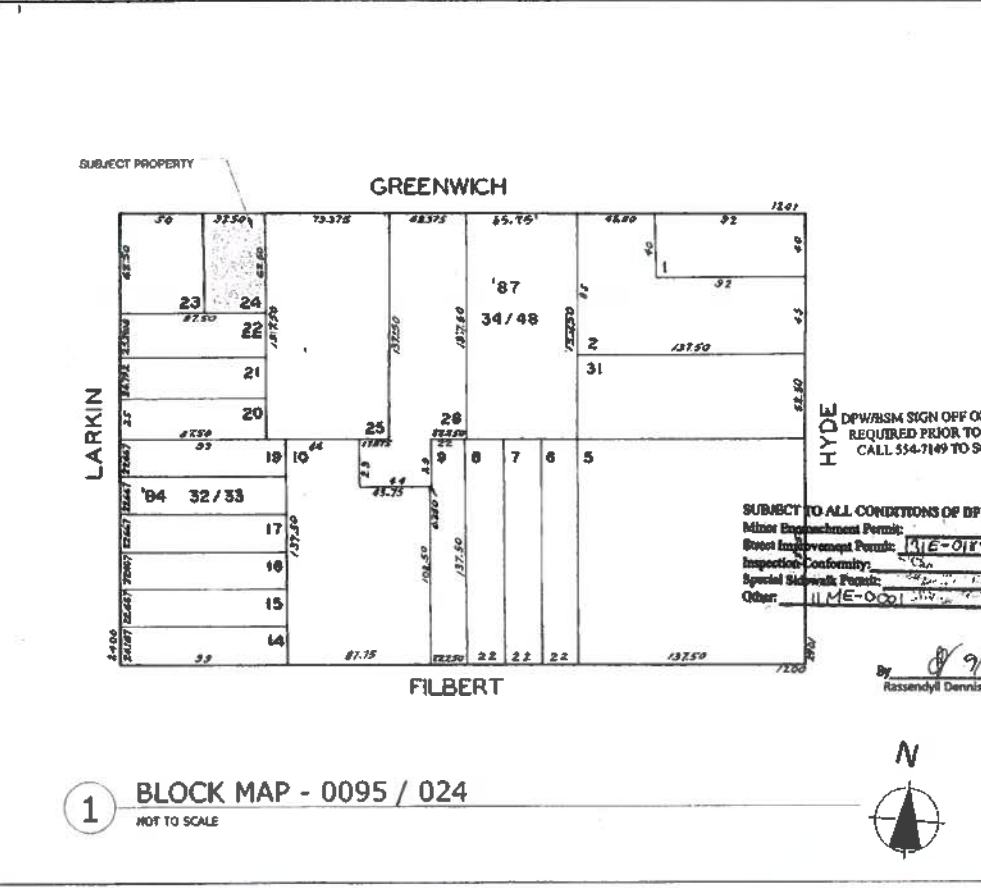
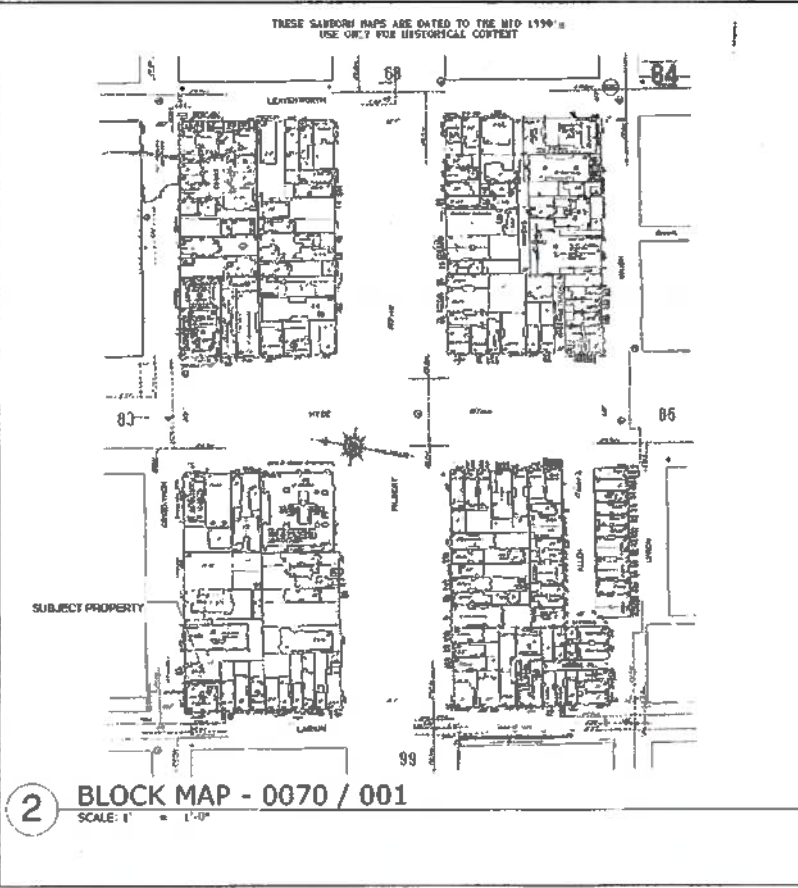
- 2013 CA BLDG. CODE
2013 S.F. BLDG. CODE & AMENDMENTS
2013 CA ENERGY CODE
2013 S.F. ELECTRICAL CODE
2013 S.F. MECHANICAL CODE
2013 S.F. PLUMBING CODE
2013 S.F. FIRE CODE

SCOPE OF WORK

UNIF-MERGER OF TWO FAMILY INTO SINGLE FAMILY HOME. INTERIOR REMODEL OF EXISTING 3-STORY RESIDENCE & SEISMIC UPGRADE. EXPAND EXISTING GARAGE & BASEMENT LEVEL. PRINCIPAL FACADE TO BE REDESIGNED & REPLACED. EXISTING FINISHED FLOOR ELEVATIONS & OVERALL BUILDING HEIGHT TO REMAIN.

SHEET INDEX

Table listing architectural sheets (A0.0 to A3.5) and their status (Submitted, Noted, Revisions).



PLANNING PERMIT

Table of revisions for the planning permit, including revision number, date, and description.

Table with project information: JOB#: 1322, DATE: 10/17/2014, DRAWN: SR / DS, CHECKED: LB, SCALE: AS NOTED.



TITLE SHEET

Approved Planning Dept. Stamp and date: SEP 30 2015.

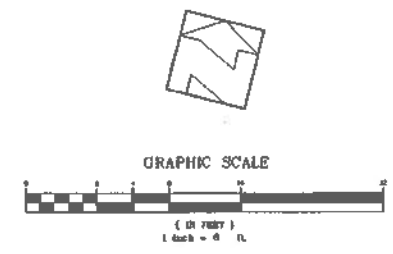
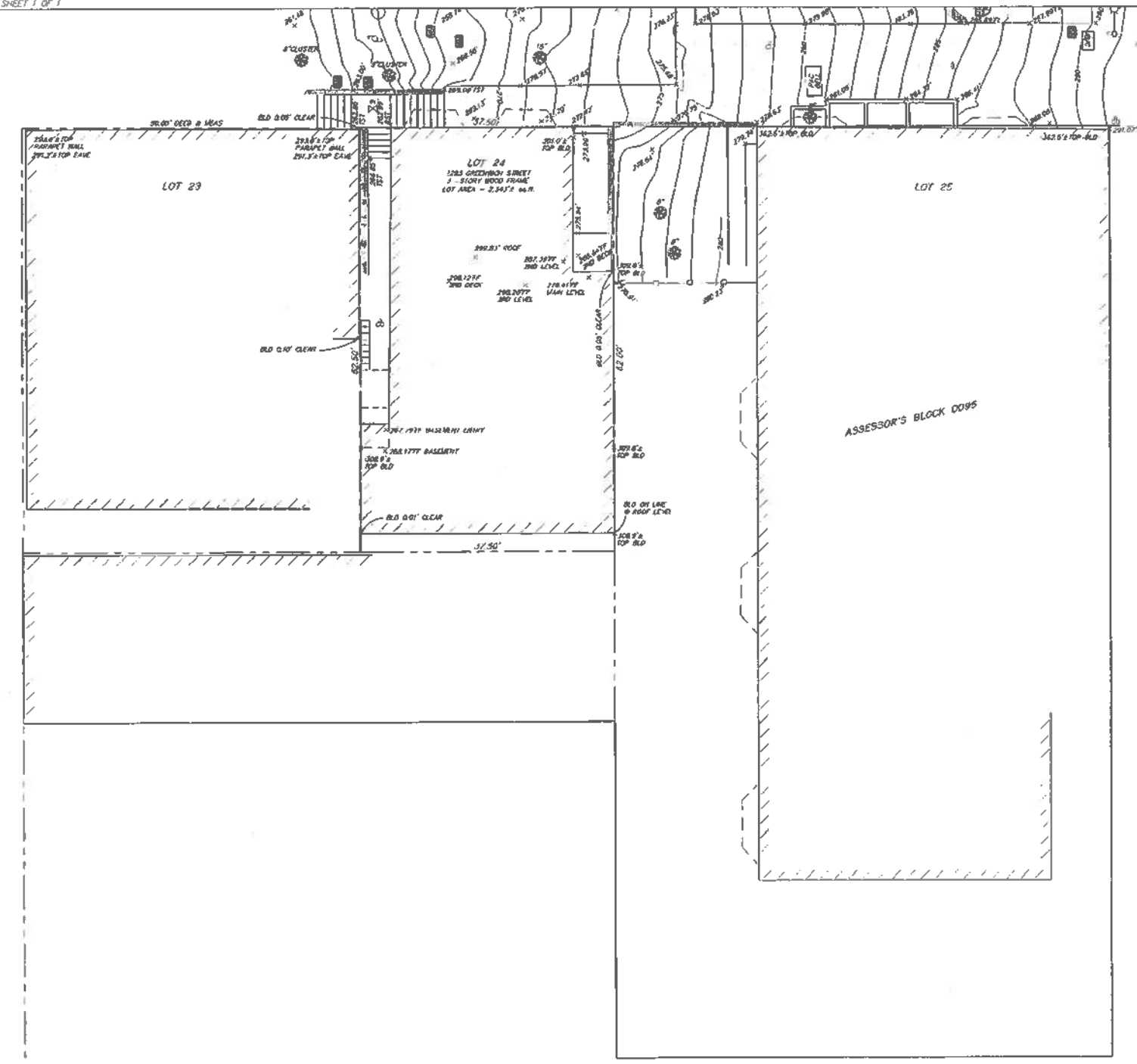
Vertical text: 2014.10.17.9272 S/R3

Vertical text: GREENWICH STREET RESIDENCE, 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

A0.0

184 CALIFORNIA STREET
 SAN FRANCISCO, CA 94111
 BUTLERARMSDEN.COM
 E: INFO@BUTLERARMSDEN.COM
 T: 415-674-8364
 F: 415-674-9558

SHEET 1 OF 1



GENERAL NOTES

- (1) ALL DISTANCES (RECORD) = MEASURED, UNLESS OTHERWISE NOTED.
- (2) IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE ALL THE UTILITIES MARKED BY THE RESPECTIVE UTILITY COMPANY PRIOR TO CONSTRUCTION.
- (3) PRIOR TO ANY DIGGING, CALL U.S.A. (1-800-642-2444) AT LEAST 48 HOURS IN ADVANCE TO HAVE EXISTING UNDERGROUND UTILITIES MARKED.
- (4) GROUND CONDITIONS SHOWN HEREON REFLECT CONDITIONS ON THE DATE OF THE SURVEY.
- (5) ENCROACHMENT UPON AND BY THE ADJACENT PRIVATE PROPERTY(IES) ARE HEREBY NOTED AND IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNERS INVOLVED TO RESOLVE ANY ISSUE WHICH MAY ARISE THEREFROM.
- (6) SINCE A CURRENT POLICY OF TITLE INSURANCE WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY, THE CONSULTANT IS NOT RESPONSIBLE FOR THE OMISSION HEREON OF ANY FACTS WHICH WOULD NORMALLY BE DISCLOSED BY SUCH A POLICY.
- (7) THIS MAP WAS PREPARED FOR THE EXCLUSIVE USE OF JEREMY RICKS, USE BY ANY OTHER PARTY FOR ANY PURPOSE WHATSOEVER IS PROHIBITED.
- (8) ROOF/EAVE ELEVATIONS WERE TAKEN AT HIGHEST RELEVANT POINT(S) VISIBLE FROM THE GROUND.
- (9) THIS IS A BOUNDARY SURVEY.
- (10) A RECORD OF SURVEY IS IN PROCESS, IN ACCORDANCE WITH SECTION 8762 OF THE PROFESSIONAL LAND SURVEYORS' ACT, BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA AND LOCAL ORDINANCE(S).
- (11) TREES WERE LOCATED BY ESTIMATING THE CENTER OF THE TREE WHERE IT ENTERS THE GROUND & IDENTIFYING THE DIAMETER AT BREAST HEIGHT. TREE TYPES MAY BE VERIFIED BY A CERTIFIED ARBORIST, IF NECESSARY.
- (12) ONLY ACCESSIBLE SURFACE UTILITIES VISIBLE ON THE DATE OF THIS SURVEY ARE SHOWN. THIS SURVEY DOES NOT SHOW THE LOCATION OF, OR ENCROACHMENTS BY SUBSURFACE UTILITIES, FOOTINGS, FOUNDATIONS AND/OR BASEMENTS OF BUILDINGS. ALL USERS ARE ADVISED TO CONTRACT SEPARATELY WITH AN UNDERGROUND UTILITY LOCATION COMPANY AND TO REVIEW PUBLIC, QUASI-PUBLIC AND US UTILITY DATA SOURCES IF THEY WANT MORE INFORMATION.

BASIS OF SURVEY

GRANT DEED RECORDED AUGUST 31, 2012 IN REEL N723 PAGE 0830, OFFICIAL RECORDS OF THE CITY AND COUNTY OF SAN FRANCISCO.

BASIS OF ELEVATION

FOUND CROWN CUT OULIER RM SH AT THE SOUTH WEST CORNER OF GREENWICH AND HYDE STREETS, ELEVATION = 289.204' CITY AND COUNTY OF SAN FRANCISCO VERTICAL DATUM.

MAP REFERENCES

- [A] GRANT DEED RECORDED IN REEL N723 PAGE 0830.
- [B] BLOCK DIAGRAM OF 50 VARA BLOCK 294 ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.
- [C] BLOCK DIAGRAM OF 50 VARA BLOCK 295 ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.
- [D] CITY AND COUNTY OF SAN FRANCISCO BOUNDARY MAP NO. 11 ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR, CITY AND COUNTY OF SAN FRANCISCO.

LEGEND

- FL FLOWLINE
- TC TOP OF CURB
- FF FINISHED FLOOR
- TF TOP OF WALL
- BTM BOTTOM OF WALL
- BLO BUILDING
- TST TOP OF STEP
- BST BOTTOM OF STEP
- CO CLEAVOUT
- MH MANHOLE
- PAC PAC BELL
- OH OVERHEAD
- PROPERTY LINE
- - - - - OVERHANG
- ... FLOWLINE
- FENCE
- DIARY HOLE
- WATER VALVE
- ⊕ STREET SIGN
- TREE (DIAMETER IN INCHES)
- ⊕ JOINT POLE
- ⊕ LIGHT

DATE	2-14-13
SCALE	1"=8'
PROJECT	1283 GREENWICH STREET



FORESIGHT
 LAND SURVEYING
 SAN FRANCISCO, CA 94133
 415-735-9180

APPROVED
 Dept. of Building Insp.

NOV 12 2014
 J. C. H. [Signature]
 SUPERVISOR
 DEPT. OF BUILDING INSPECTION

SITE PERMIT
 OCT 17 2014
 THE OFFICE OF THE SURVEYOR GENERAL
 COUNTY OF SAN FRANCISCO

SITE SURVEY
 1283 GREENWICH STREET
 AND A PORTION OF THE GREENWICH
 STREET RIGHT OF WAY
 SAN FRANCISCO CALIFORNIA

SHEET 2
 OF
 2 SHEETS
 JOB No. #13004

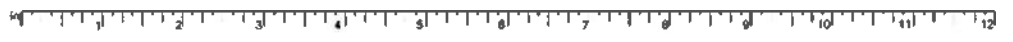
PLANNING PERMIT

REVISIONS:	BY:

JOB#:	1322
DATE:	11/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

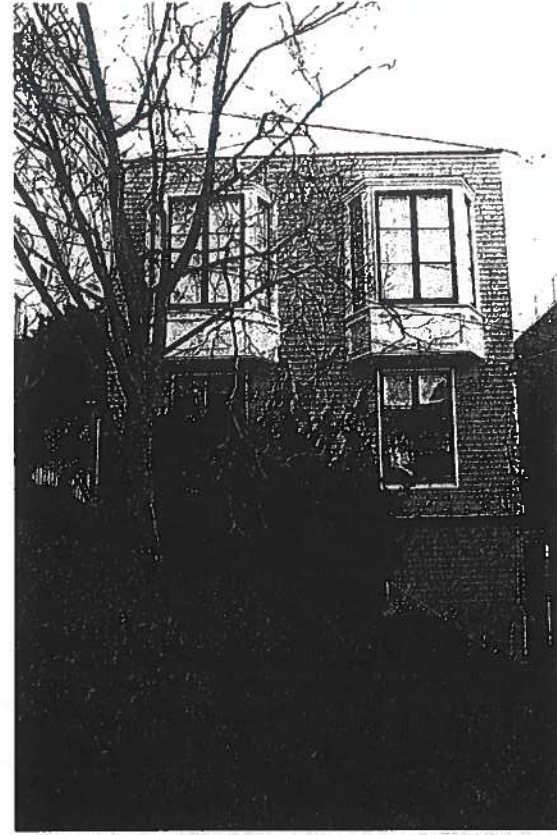


SITE SURVEY





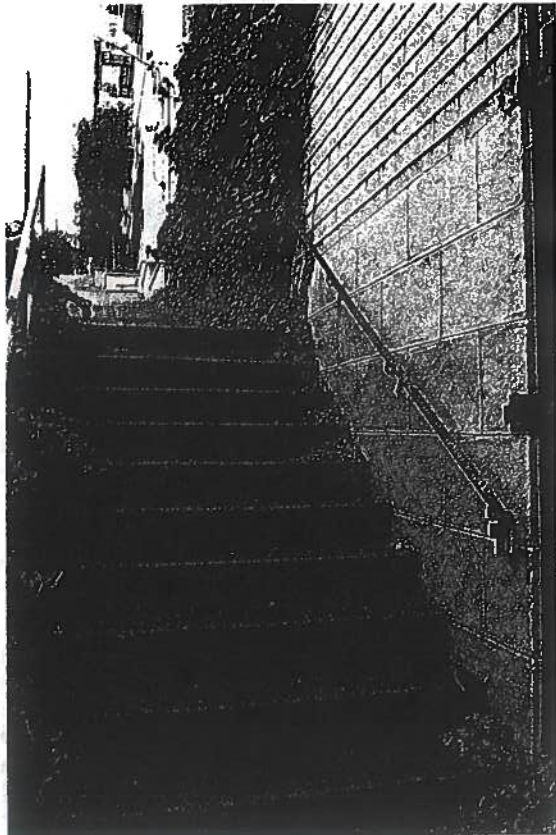
6 (E) FACADE FROM WEST



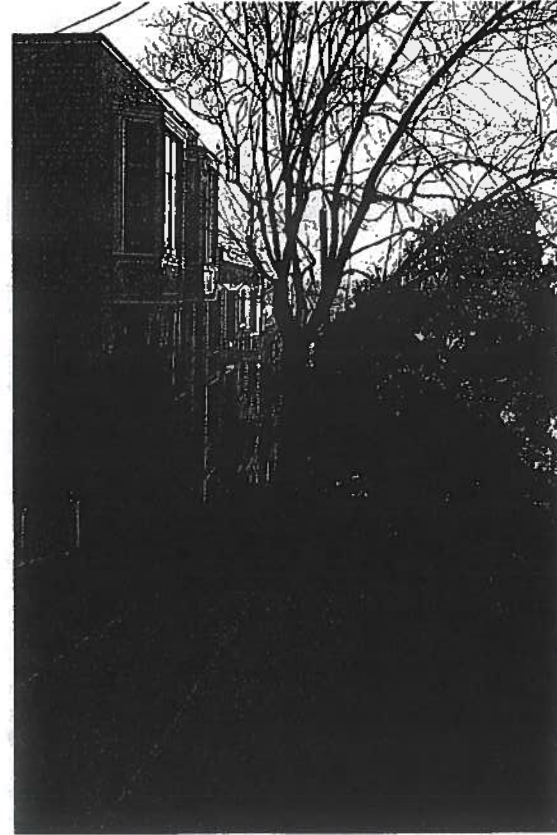
4 (E) FACADE OF SUBJECT PROPERTY



2 SUBJECT PROPERTY FROM GREENWICH STREET



5 (E) CONCRETE STAIR



3 (E) FACADE FROM EAST



1 SUBJECT PROPERTY FROM EXISTING SIDEWALK



3595 CALIFORNIA STREET
SAN FRANCISCO, CA 94115
HUBLER@BUTLERARNSDEN.COM
E INFO@BUTLERARNSDEN.COM
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F 415-674-5598

APPROVED
Dept. of Building Insp.

NOV 12 2015
Tina C. Han
DEPT. OF BUILDING INSPECTION

SITE PERMIT
OCT 17 2014
THE APPLICANT HAS AGREED TO THE
TERMS AND CONDITIONS OF THE
PERMIT AND TO THE SUPERVISION
OF THE DEPARTMENT OF BUILDING
INSPECTION.

GREENWICH STREET RESIDENCE
1283 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

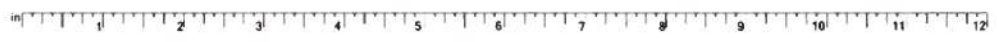
PLANNING PERMIT

REVISIONS:	BY:

JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED



EXISTING PHOTOS





2 CONCEPTUAL RENDERING: PROPOSED PRINCIPAL FACADE - VIEW 2



1 CONCEPTUAL RENDERING: PROPOSED PRINCIPAL FACADE - VIEW 1

BUTLER ARMSDEN
ARCHITECTS
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SAN FRANCISCO, CA 94115
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T: 415-574-5534
F: 415-574-5535

APPROVED
Over. of Building Insp.
NOV 17 2015
Tina C. Allen
DIRECTOR
DEPT. OF BUILDING INSPECTION

Approved Planning Dept. Carly Grob

SITE PERMIT
OCT 17 2014
THIS PERMIT IS VALID FOR THE PERIOD OF 180 DAYS FROM THE DATE OF ISSUANCE. ANY WORK BEYOND THIS PERIOD WILL REQUIRE A RENEWAL PERMIT.

GREENWICH STREET RESIDENCE
1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

PLANNING PERMIT

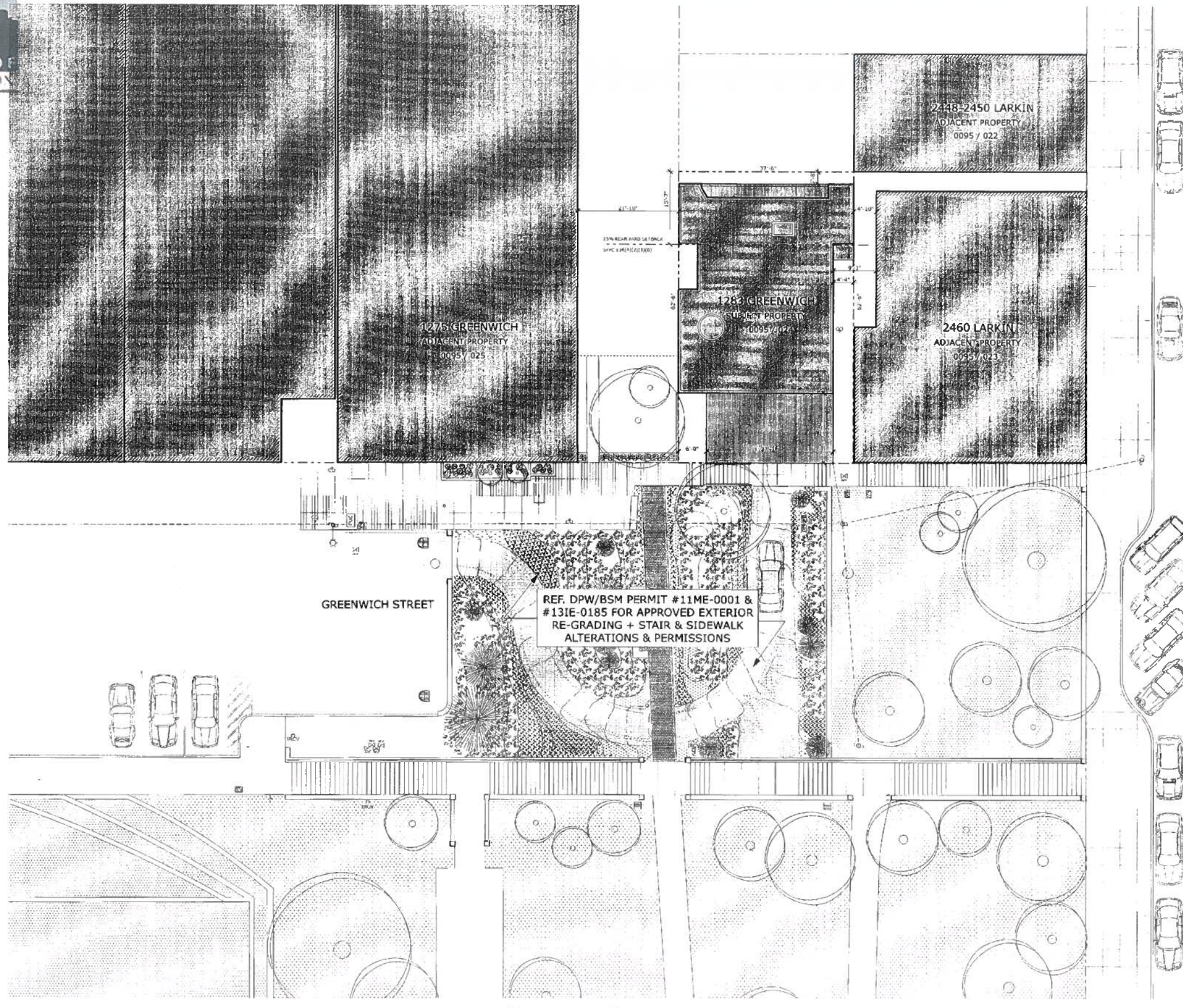
REVISIONS:	BY:

JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED



**PROPOSED
EXTERIOR
RENDERINGS**





APPROVED
Dept. of Building Ins.

NOV 12 2015

[Signature]
DIRECTOR
DEPT. OF BUILDING INSPECTION

SITE PERMIT
OCT 17 2014
THIS APPLICATION, INCLUDING THE PERMIT, IS VALID FOR CONSTRUCTION FOR 180 DAYS FROM DATE OF ISSUANCE.

GREENWICH STREET RESIDENCE
1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

PLANNING PERMIT

REVISIONS: BY:

JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

Vivian Huang, DBI
SEP 30 2015

[Signature] 8-19-15
Approved Planning Dept. Carly Grob



SITE PLAN

1 SITE PLAN
SCALE: 1" = 10'

John Curd, SFFD
OCT 17 2014

A0.4



NOTE: BOTH 50% FRONT & REAR AND 65% TOTAL LINEAR REMOVAL MUST BE MET TO BE CONSIDERED DEMOLITION

SQFT. TOTAL FACADE (N+S+E+W) MAX. ALLOWABLE DEMO. < 65%
TOTAL LNFT. 194.67 LNFT.
TOTAL DEMO. 108.50 LNFT.
REMAINING SQFT. 86.17 LNFT.
DEMO RATIO: 55.74%

SQFT. TOTAL FACADE (N+S+E+W) MAX. ALLOWABLE DEMO. < 50%
TOTAL SQFT. 7,498 SQFT.
TOTAL DEMO. 3,741 SQFT.
REMAINING SQFT. 3,757 SQFT.
DEMO RATIO: 49.89%

SQFT. FRONT + REAR FACADE MAX. ALLOWABLE DEMO. < 50%
TOTAL SQFT. 3,073 SQFT.
TOTAL DEMO. 1,487 SQFT.
REMAINING SQFT. 1,586 SQFT.
DEMO RATIO: 48.4%

SQFT. HORIZONTAL ELEMENTS MAX. ALLOWABLE DEMO. < 50%
TOTAL SQFT. 5,737 SQFT.
TOTAL DEMO. 810 SQFT.
REMAINING SQFT. 5,927 SQFT.
DEMO RATIO: 12%

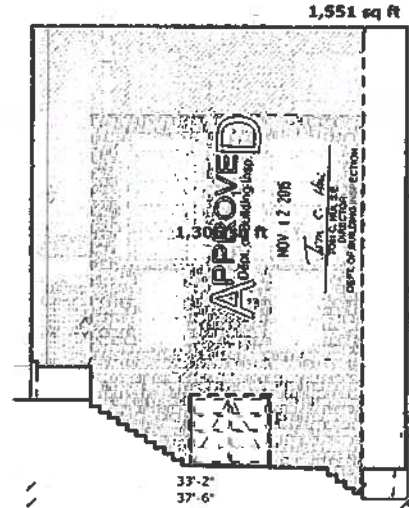
BUILDING PERMIT

Table with columns for REVISIONS, BY, and dates. Includes entries for NODPR #1 - 03/30/2015 and REVISION - 05/01/2015.

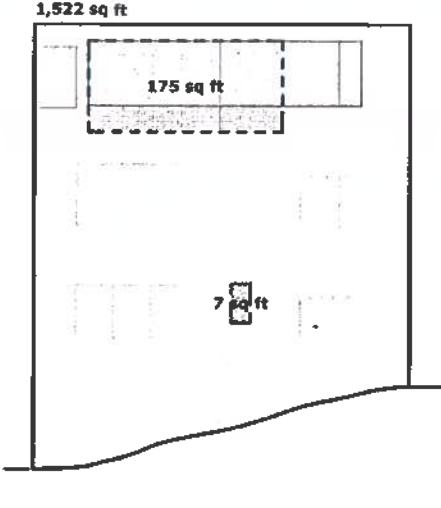
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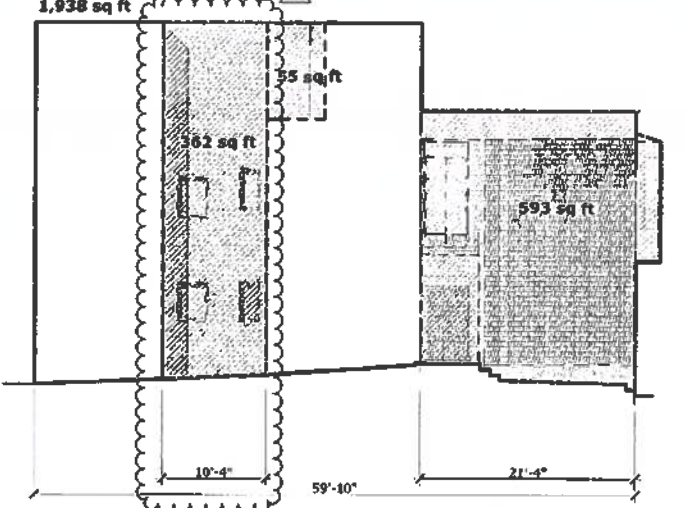
John Curt, SFFD OCT 13 2015 DEMOLITION CALCULATIONS FOR PERMITTING DS 7/01 Approved Planning Dept. Cary Goo A0.5



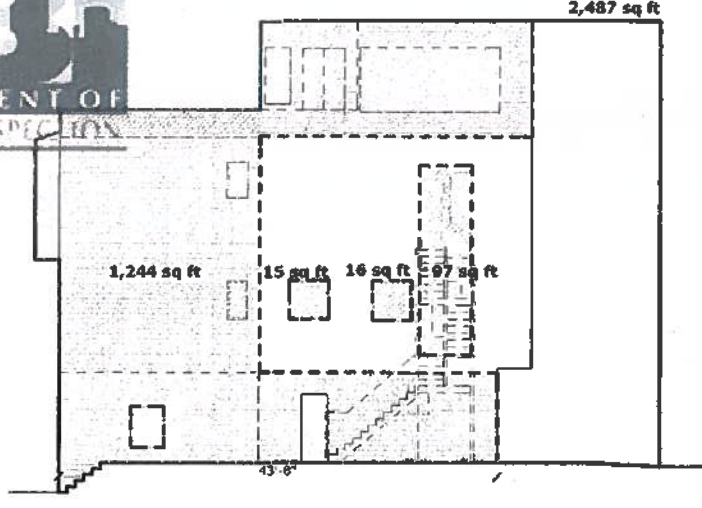
DEMO CALC. - NORTH ELEV. SCALE: 1/8" = 1'-0" REAR FACADE: SQUARE FOOTAGE CALCULATIONS: TOTAL SQFT. 1,551 SQFT. TOTAL DEMO. 1,385 SQFT. REMAINING SQFT. 246 SQFT. DEMO RATIO: 89.1% LINEAR FOOTAGE CALCULATIONS: TOTAL LNFT. 37.50 LNFT. TOTAL DEMO. 0.00 LNFT. REMAINING LNFT. 37.50 LNFT. DEMO RATIO: 0%



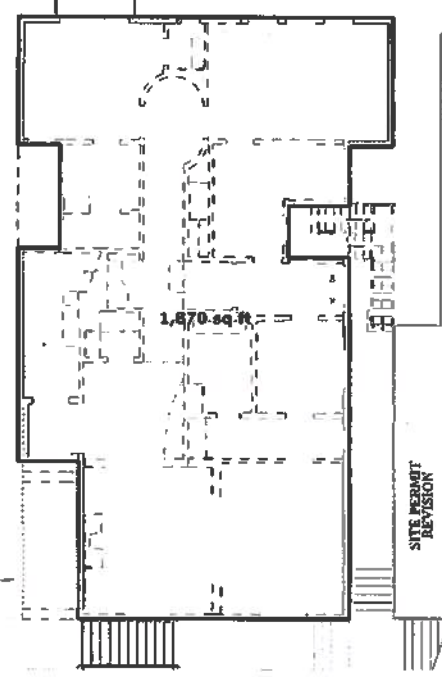
DEMO CALC. - SOUTH ELEV. SCALE: 1/8" = 1'-0" EAST FACADE: SQUARE FOOTAGE CALCULATIONS: TOTAL SQFT. 1,938 SQFT. TOTAL DEMO. 1,010 SQFT. REMAINING SQFT. 928 SQFT. DEMO RATIO: 52.1% LINEAR FOOTAGE CALCULATIONS: TOTAL LNFT. 59.83 LNFT. TOTAL DEMO. 0.00 LNFT. REMAINING LNFT. 59.83 LNFT. DEMO RATIO: 0%



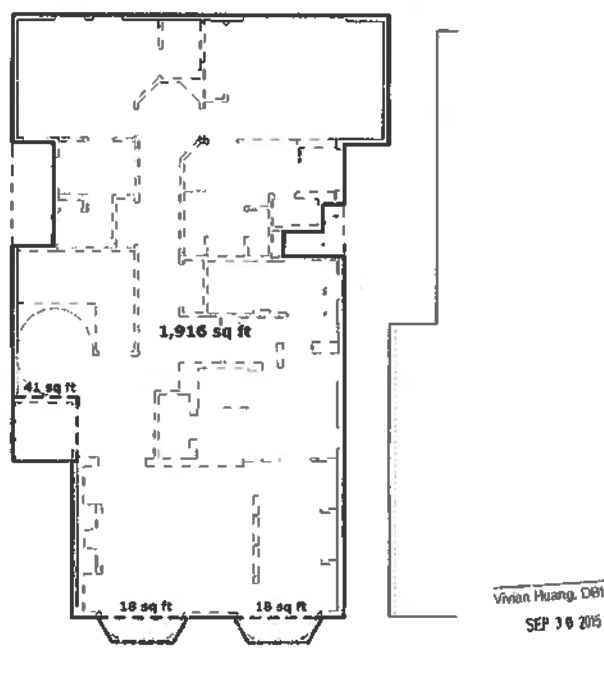
DEMO CALC. - EAST ELEV. SCALE: 1/8" = 1'-0" WEST FACADE: SQUARE FOOTAGE CALCULATIONS: TOTAL SQFT. 2,487 SQFT. TOTAL DEMO. 1,244 SQFT. REMAINING SQFT. 1,243 SQFT. DEMO RATIO: 50% LINEAR FOOTAGE CALCULATIONS: TOTAL LNFT. 59.83 LNFT. TOTAL DEMO. 43.67 LNFT. REMAINING LNFT. 16.16 LNFT. DEMO RATIO: 72.99%



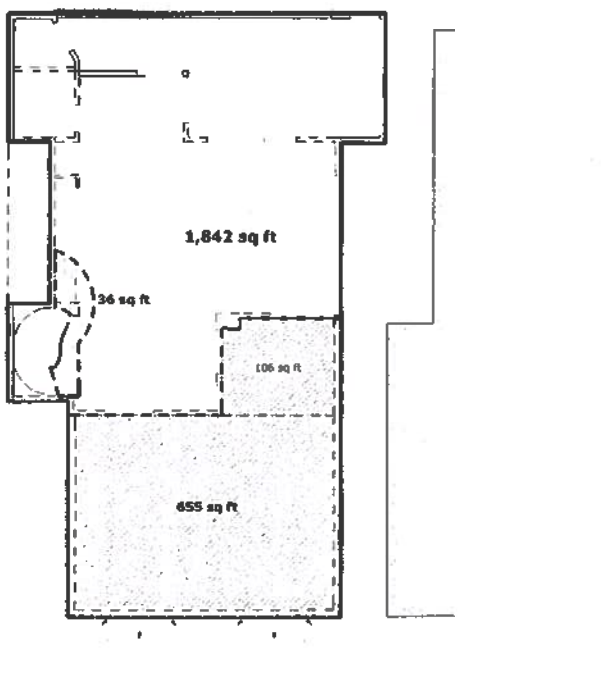
DEMO CALC. - WEST ELEV. SCALE: 1/8" = 1'-0" THIRD FLOOR HORIZONTAL ELEMENT DEMOLITION: TOTAL SQFT. 1,842 SQFT. TOTAL DEMO. 691 SQFT. REMAINING SQFT. 1,151 SQFT. DEMO RATIO: 37.5%



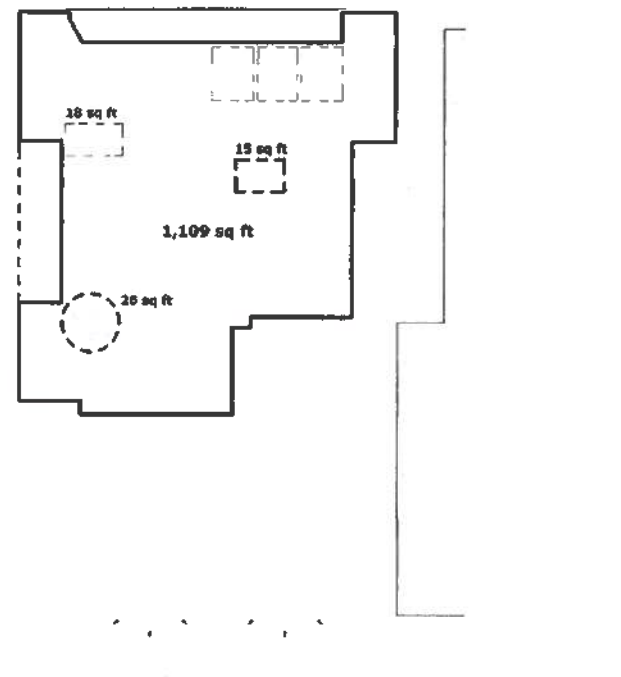
DEMO CALC. - FIRST FLOOR SCALE: 1/8" = 1'-0" SECOND FLOOR HORIZONTAL ELEMENT DEMOLITION: TOTAL SQFT. 1,916 SQFT. TOTAL DEMO. 77 SQFT. REMAINING SQFT. 1,839 SQFT. DEMO RATIO: 4%



DEMO CALC. - SECOND FLOOR SCALE: 1/8" = 1'-0" ROOF HORIZONTAL ELEMENT DEMOLITION: TOTAL SQFT. 1,109 SQFT. TOTAL DEMO. 41 SQFT. REMAINING SQFT. 1,068 SQFT. DEMO RATIO: 3.7%



DEMO CALC. - THIRD FLOOR SCALE: 1/8" = 1'-0" DEMO CALC. - ROOF SCALE: 1/8" = 1'-0"



DEMO CALC. - ROOF SCALE: 1/8" = 1'-0"

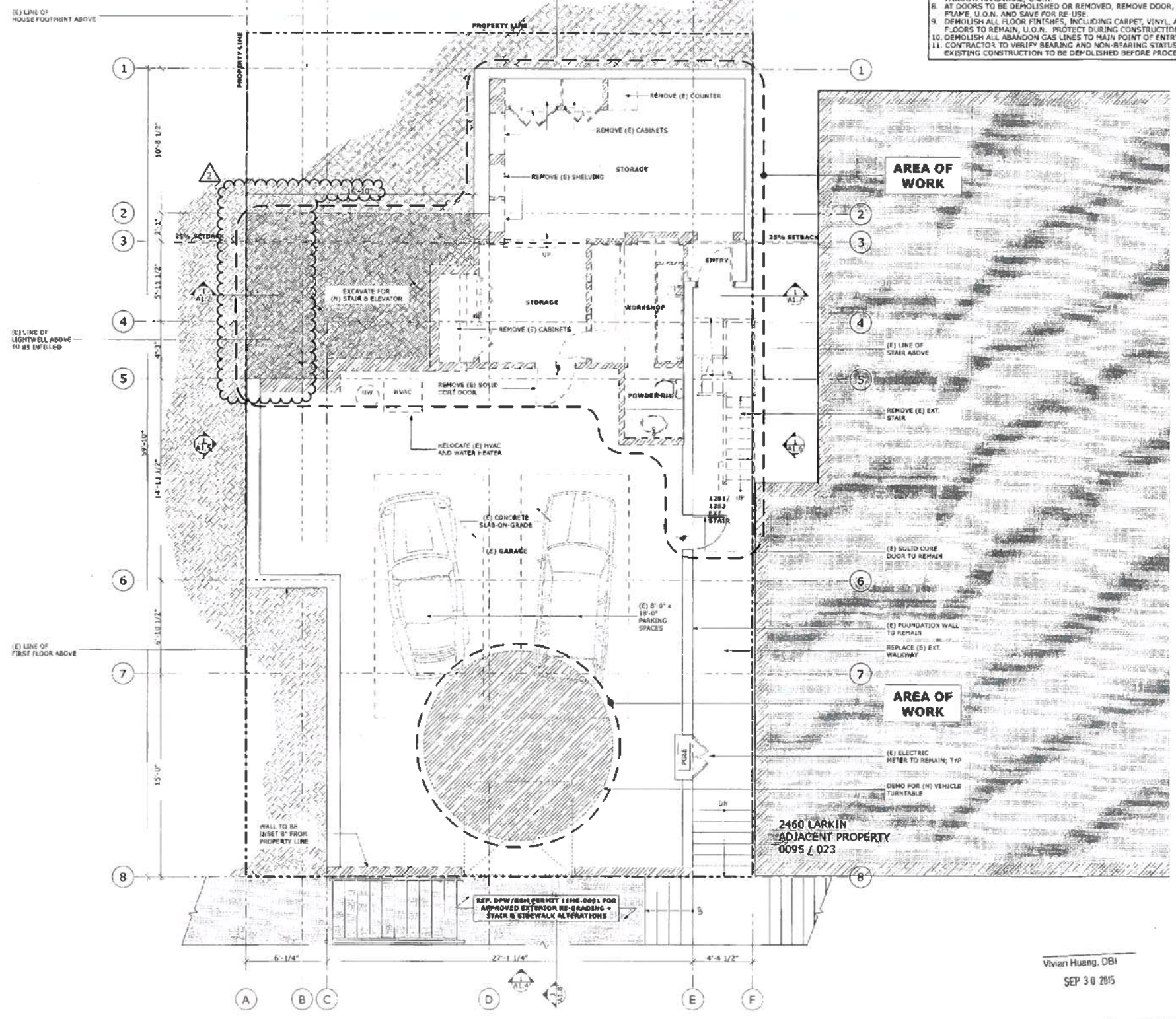
Plan Set for Permit No. 2014/10/17/9272 S-R4

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

- GENERAL DEMOLITION NOTES**
1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
 2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
 3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
 4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
 5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
 6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
 7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE. REMOVE WINDOW HARDWARE, U.O.N.
 8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
 9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
 10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
 11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

BUTLER ARMSDEN ARCHITECTS
 1410 SUITER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E: INFO@BUTLERARMSDEN.COM
 T: 415-771-5151
 F: 415-771-5568



APPROVED
 Dept. of Building Insp.

NOV 12 2015
 Tom C. Ahn
 DEPT. OF BUILDING INSPECTION

SITE PERMIT REVISION
 SEP 30 2015
THIS APPLICATION SUBMITTED FOR THE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

PLANNING PERMIT

REVISIONS:	BY:
▲ NODR #1 - 03/30/2015	SR
▲ REVISION - 05/01/2015	SR

JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

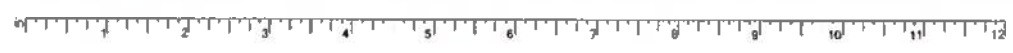
John Curd
 LICENSED ARCHITECT
 STATE OF CALIFORNIA
 SEP 31 2015

BASEMENT DEMO PLAN

2014 10179272 5/R4
GREENWICH STREET RESIDENCE
 1283 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

1 DEMO BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Vivian Huang, DBI
 SEP 30 2015
Carly Grub
 Approved Planning Dept.
 10-22-15
 John Curd, SFFD
 OCT 13 2015



WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL

**BUTLER ARMSDEN
 ARCHITECTS**

1420 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E INFO@BUTLERARMSDEN.COM
 T 415-771-5551
 F 415-771-2528

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

APPROVED
 Dept. of Building Insp.

NOV 12 2015

John C. Huang
 COUNTY DIRECTOR
 DEPT. OF BUILDING INSPECTION

**SITE PERMIT
 REVISION**
 SEP 30 2015

PLANNING PERMIT

REVISIONS:	BY:
REVISION - 05/01/2015	SR

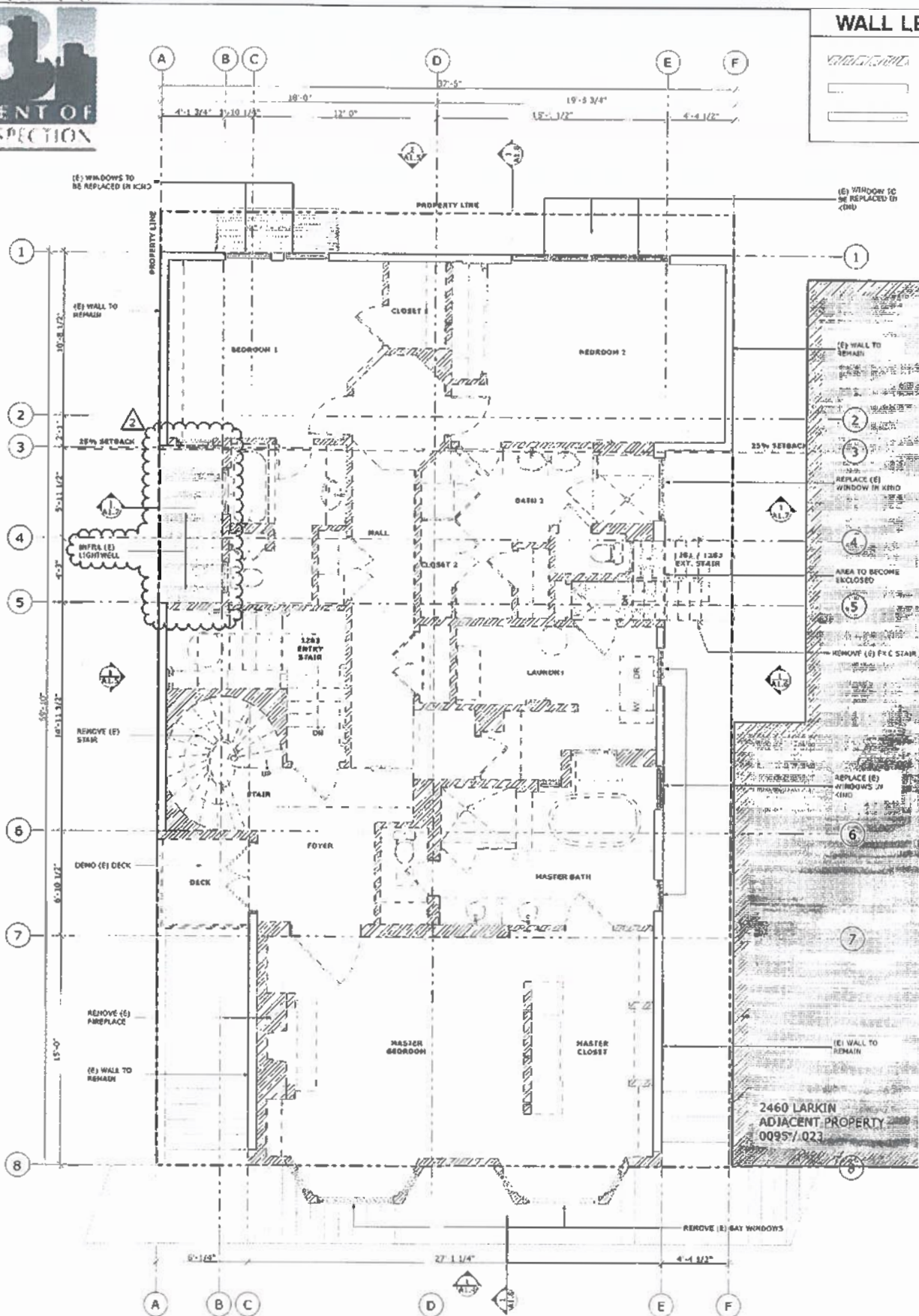
JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

**FIRST &
 SECOND FLOOR
 DEMO PLAN**

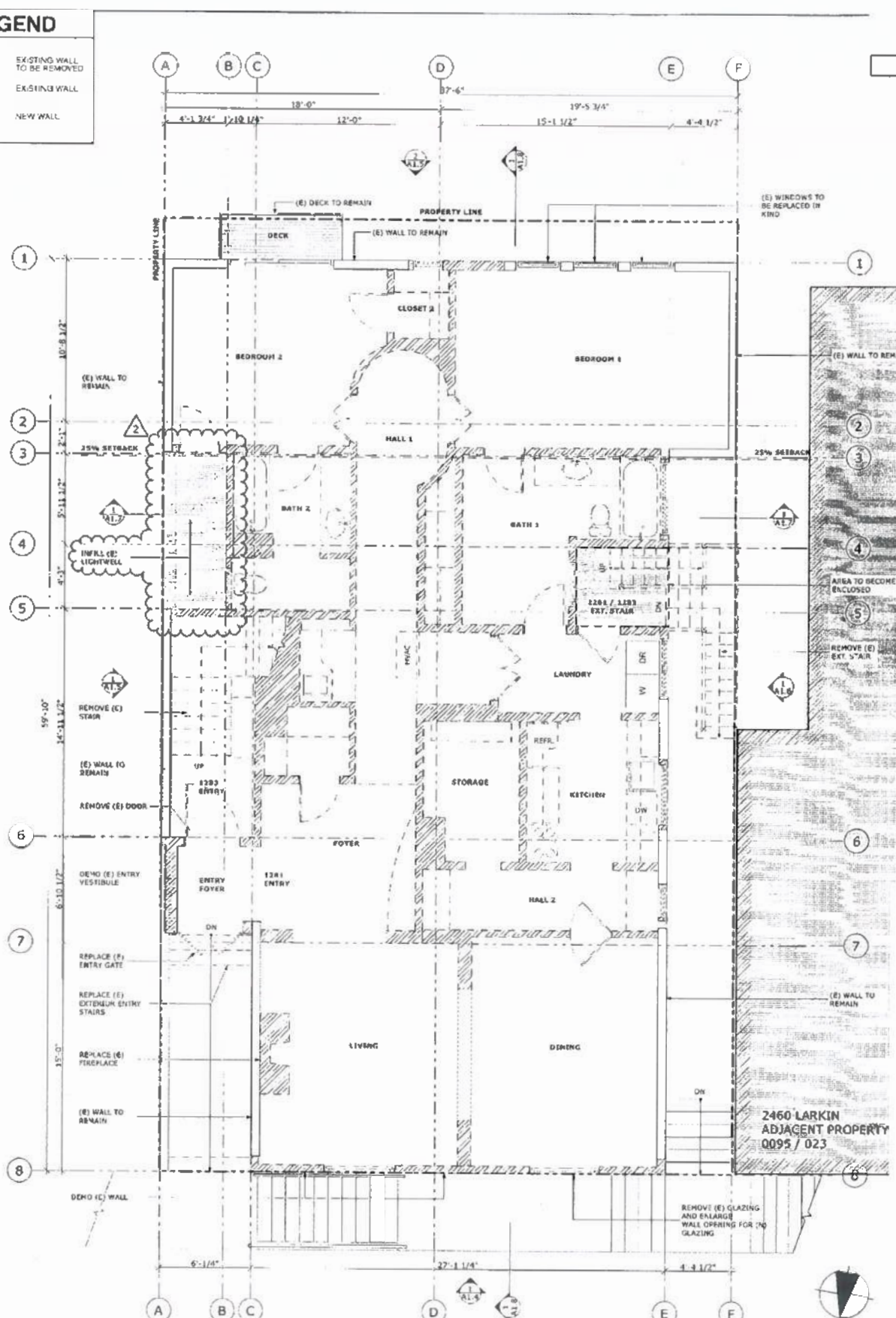


John Curd, SFFD
 OCT 13 2015

A1.2

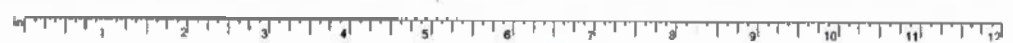


2 DEMO SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 DEMO FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Vivian Huang, DBI
 Approved Planning Dept. City of San Francisco
 SEP 30 2015



1420 SCOTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E: INFO@BUTLERARMSDEN.COM
 T: 415-674-5554
 F: 415-974-5599

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

APPROVED
 Dept. of Building Inspection
 NOV 12 2015
 JOHN CURD, SFFD

SITE PERMIT REVISION 4
 SEP 30 2015
 JOHN CURD, SFFD

REPLACE (E) PROPERTY LINE WINDOW W/ #122 RA" 50 WINDOW
 (E) FINISHING TO REMAIN
 REMOVE (E) GLAZING AND WALL FOR (N) GLAZING
 REMOVE (E) ROOF CURB

PLANNING PERMIT

REVISIONS:	BY:
▲ HOPKIN # 1 - 03/20/2015	SR
▲ REVISION 05/04/2015	SIL

JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

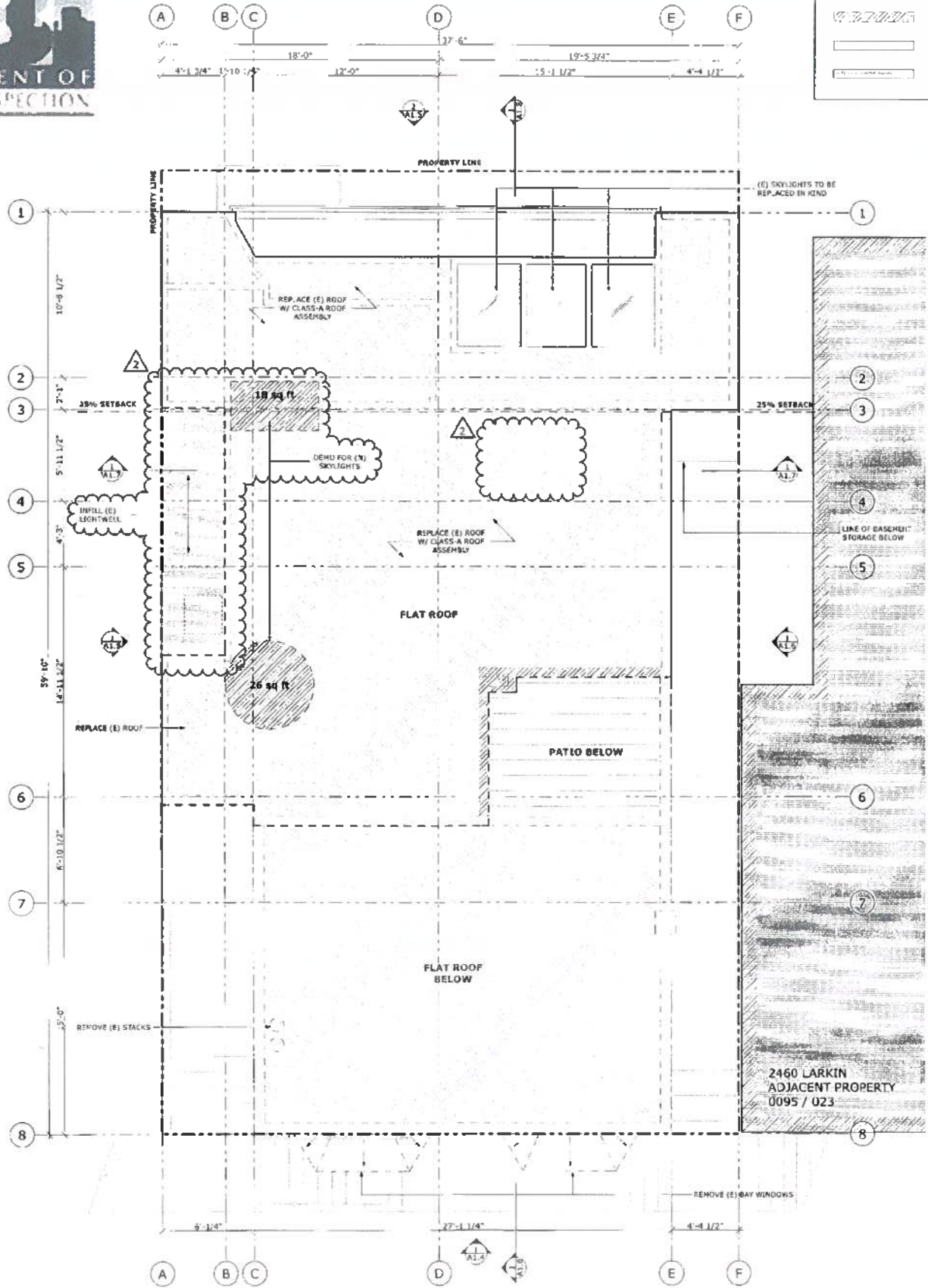


THIRD FLOOR & ROOF DEMO PLAN

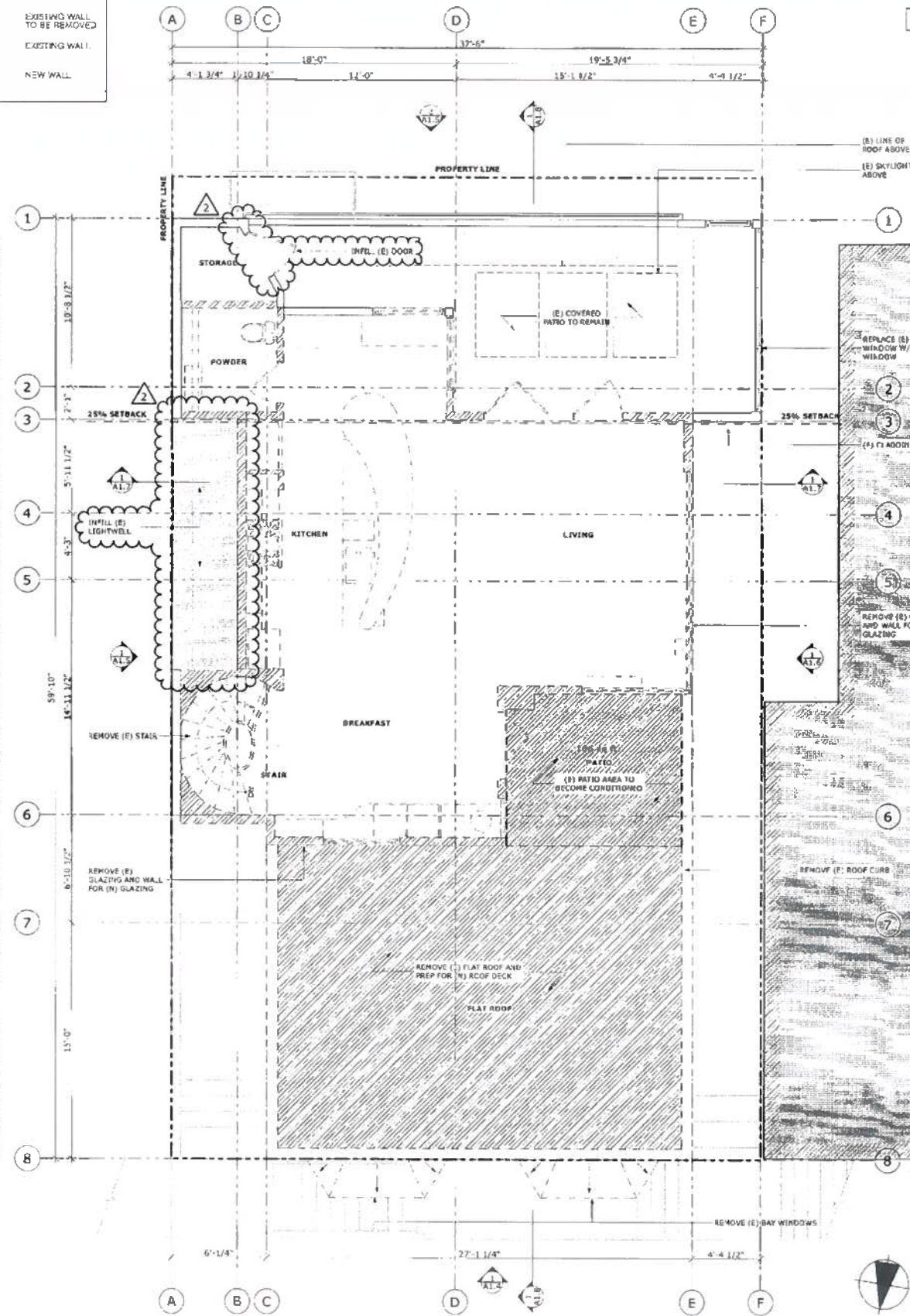


John Curd, SFFD
 OCT 13 2015

A1.3



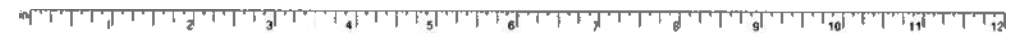
2 DEMO ROOF PLAN
 SCALE: 1/4" = 1'-0"



1 DEMO THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Approved Planning Dept. Carly Grob

Vivian Huang, DBI
 SEP 30 2015



GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
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5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE. REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEVOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

BUTLER ARMSDEN
 ARCHITECTS

1120 SUTTER STREET
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 F: 415-474-5554

APPROVED
 Dept. of Building Inspection

NOV 12 2015

Carly Gubb
 Approved Planning Dept. Carly Gubb

SITE PERMIT REVISION
 SEP 30 2015

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO OTHERS MAY BE OBTAINED UNLESS CONSTRUCTION PERMITS HAVE BEEN APPROVED.

PLANNING PERMIT

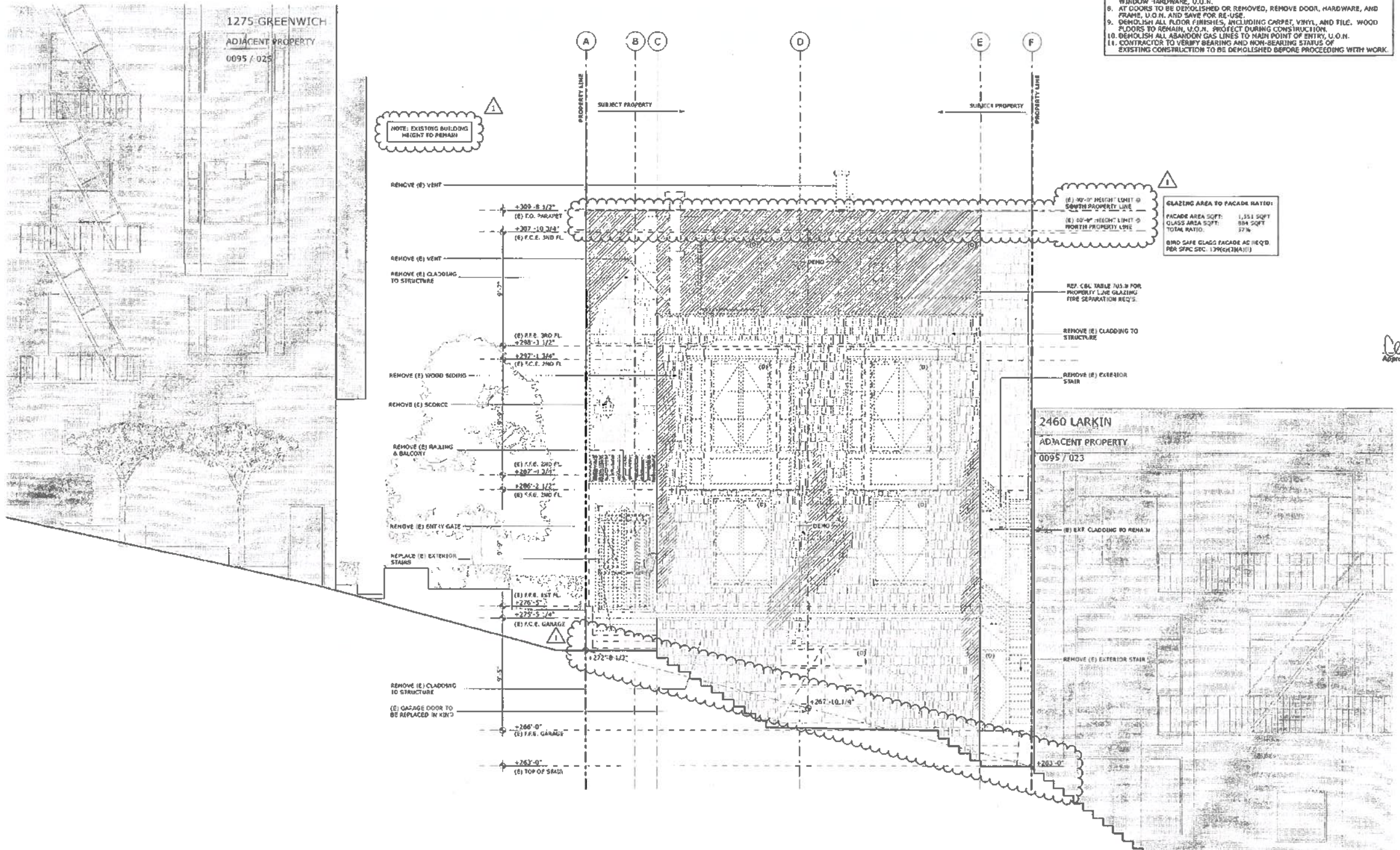
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▲ NOPOR #1 - 03/30/2015	SR
JOB#: 1322	
DATE: 10/17/2014	
DRAWN: SR / DS	
CHECKED: LB	
SCALE: AS NOTED	



DEMO NORTH ELEVATION

A1.4

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



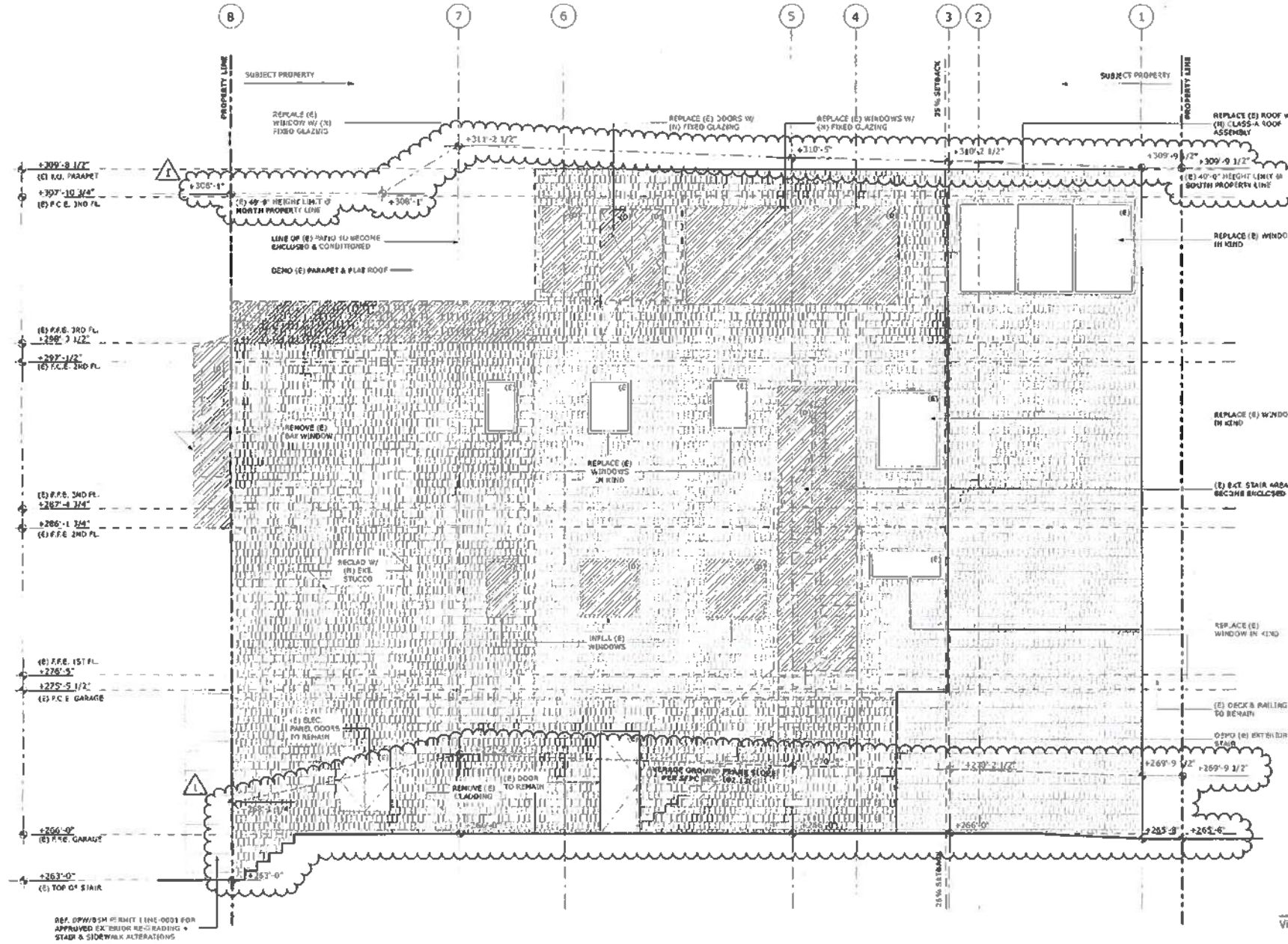
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BUTLER ARMSOEN
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GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



APPROVED
 Dept. of Building Insp.

NOV 12 2015

Tom C. Ah...
 REGISTERED ARCHITECT
 CHIEF OF BUILDING INSPECTION

SITE PERMIT
 REVISION

SEP 30 2015

PLANNING PERMIT

REVISIONS:	BY:
▲ NODR #1 - 03/30/2015	SR

JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / OS
CHECKED:	LB
SCALE:	AS NOTED



DEMO WEST
ELEVATION

1 DEMO WEST ELEVATION
 SCALE: 1/8" = 1'-0"

Carly 10-22-15
 Approved Planning Dept. Carly Grab

Vivian Huang, DBI
 SEP 30 2015

John Curo, SFPD
 OCT 13 2015

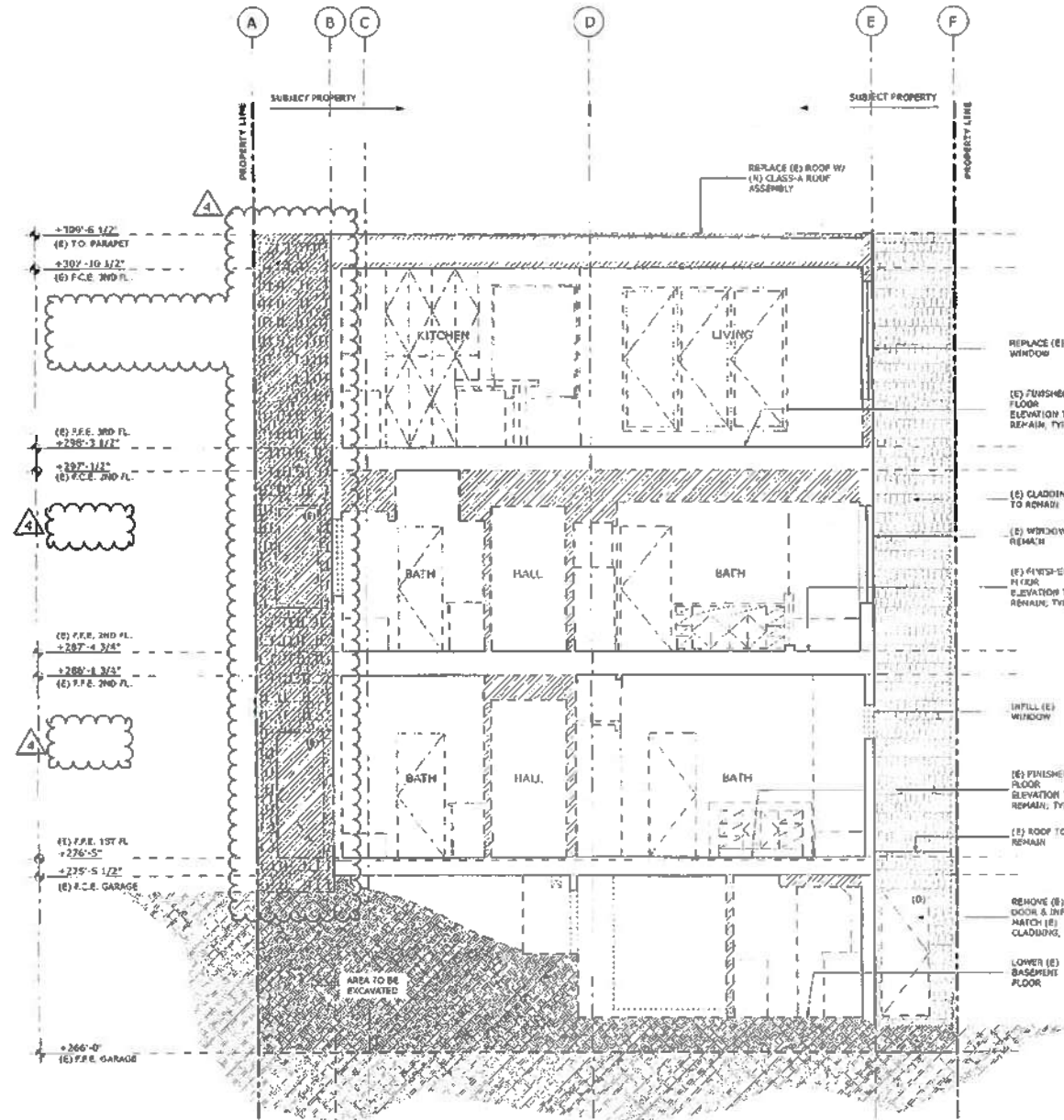
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**BUTLER ARMSDEN
 ARCHITECTS**

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GREENWICH STREET RESIDENCE
 1283 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



APPROVED
 Dept. of Building Insp.

NOV 12 2015
 T. C. HALL
 SUPERVISOR
 DEPT. OF BUILDING INSPECTION

**SITE PERMIT
 REVISION**
 SEP 30 2015

REAPPLICATION SUBMITTED FOR PERMITS
 ONE" - 89' NORTH 185' BY 340' (S) 1016
 CONSTRUCTION PLANS PERMITS - 10/16/15

PLANNING PERMIT

REVISIONS:	BY:
△ REVISION - 09/28/2015	SR

JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

Vivian Huang, DBI
 SEP 30 2015



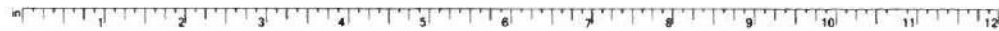
John Cund, SFFD
 OCT 13 2015

**EXISTING/DEMO
 SECTIONS**

1 DEMO EAST / WEST SECTION
 SCALE: 1/4" = 1'-0"

Approved by: [Signature]
 10-22-15
 Curly Crest

A1.7



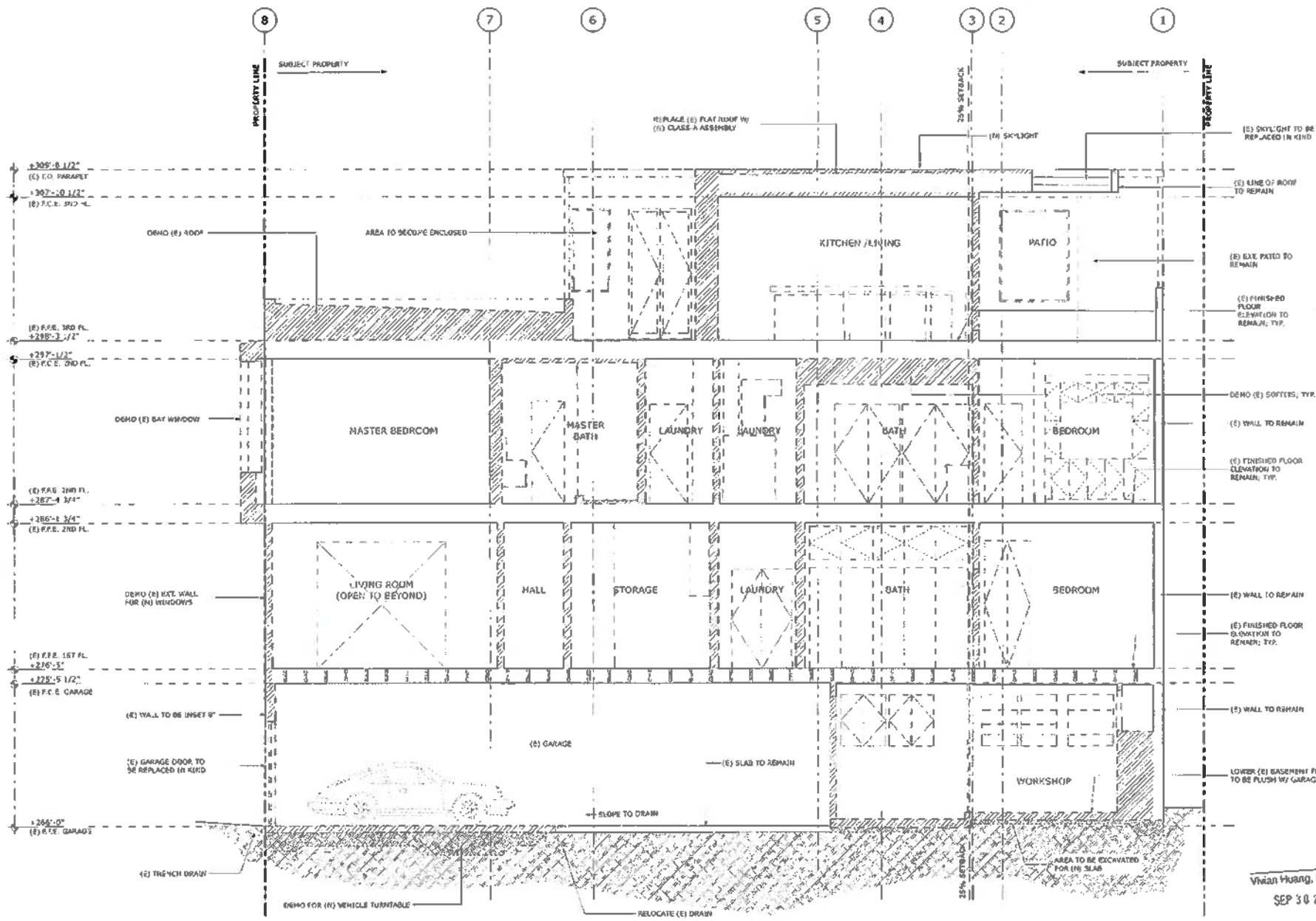
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**BUTLER ARMSDEN
 ARCHITECTS**

4280 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E: INFO@BUTLERARMSDEN.COM
 T: 415-944-9654
 F: 415-944-9658

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



APPROVED
 Dept. of Building Inspection

NOV 12 2015

Tom C. Hsu
 INSPECTOR
 DEPT. OF BUILDING INSPECTION

**SITE PERMIT
 REVISION**
 SEP 30 2015

THIS APPROVAL IS VALID FOR THE PERMIT ONLY. NO WORK SHALL BE STARTED UNTIL OBTAINING THE NECESSARY PERMITS.

PLANNING PERMIT

REVISIONS:	BY:

JOB #:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

Vivian Huang, DBI
 SEP 30 2015

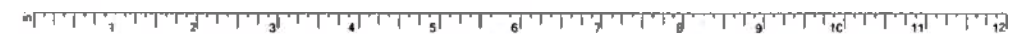
John Curd, SFPD
 OCT 13 2015



**EXISTING/DEMO
 SECTIONS**

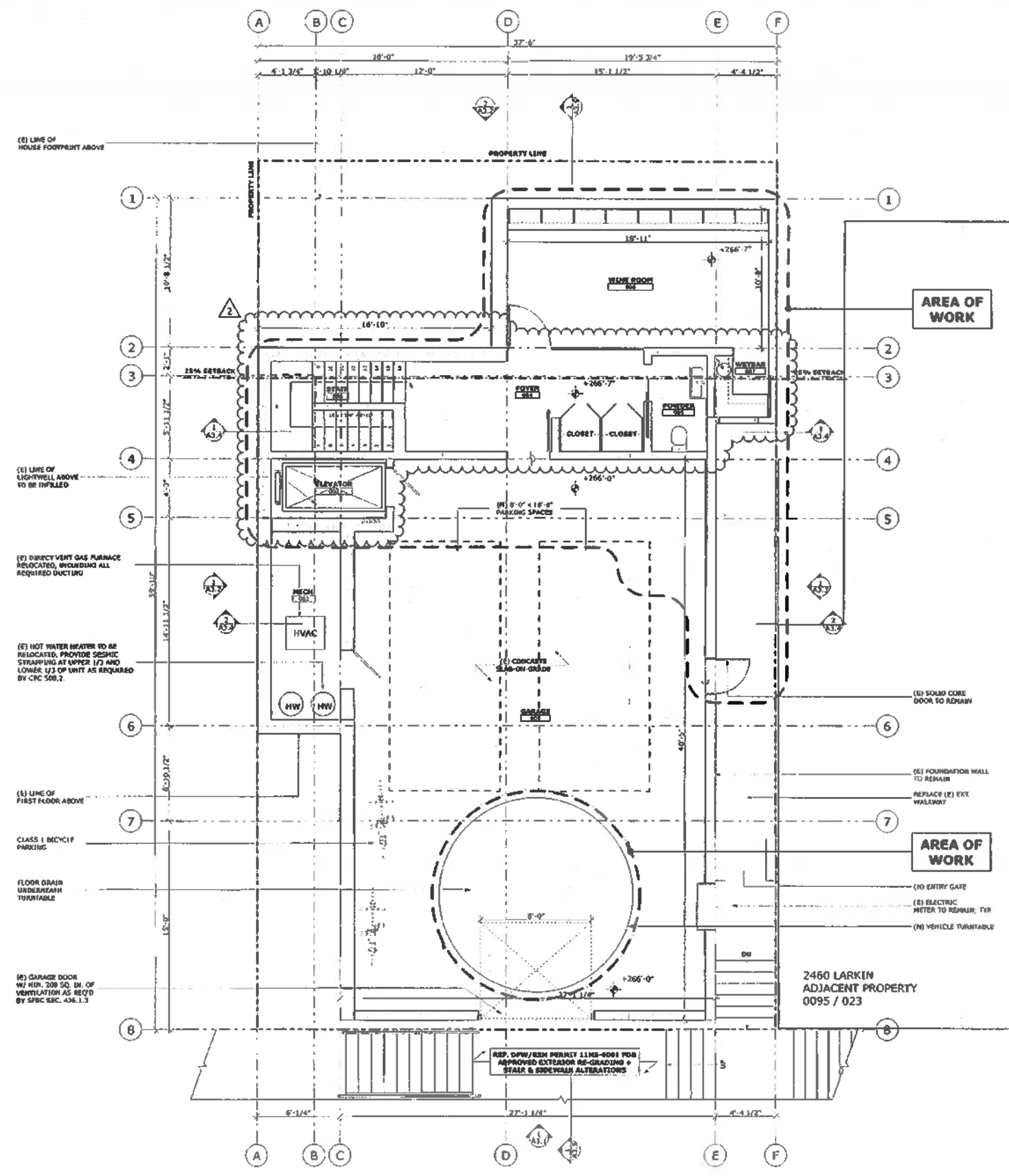
1 DEMO NORTH / SOUTH SECTION
 SCALE: 1/4" = 1'-0"

Carly Grob
 Approved Planning Dept.



WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL



APPROVED
 Dept. of Building Insp.
 NOV 17 2015
 Tom C. [Signature]
 SUPERVISOR
 COPY OF BUILDING PERMIT

SITE PERMIT REVISION
 11-14-2015
 THE APPLICANT WARRANTS THAT THE PERMIT INFORMATION IS TRUE AND CORRECT. THE APPLICANT SHALL BE RESPONSIBLE FOR THE PERMIT INFORMATION.

BUILDING PERMIT

REVISIONS:	BY:
▲ NODFR #1 - 03/30/2015	SR
▲ REVISION - 05/01/2015	SR

JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED



BASEMENT PROPOSED PLAN

1 PROPOSED BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Vivian Huang, DBI
 SEP 30 2015

John Card, SPED
 OCT 13 2015

8-19-15
 Approved Planning Dept. Carly Grob

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



1100 SUTTEA STREET
 SAN FRANCISCO, CA 94109
 BUTLER@BUTLERARMSDEN.COM
 I INFO@BUTLERARMSDEN.COM
 T 415-474-5551
 F 415-474-6548

WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

APPROVED
 Dept. of Building Inspection
 NOV 12 2015

SITE PERMIT REVISION
 NOV 03 2015
 Vivian Huang, CDD
 SEP 30 2015

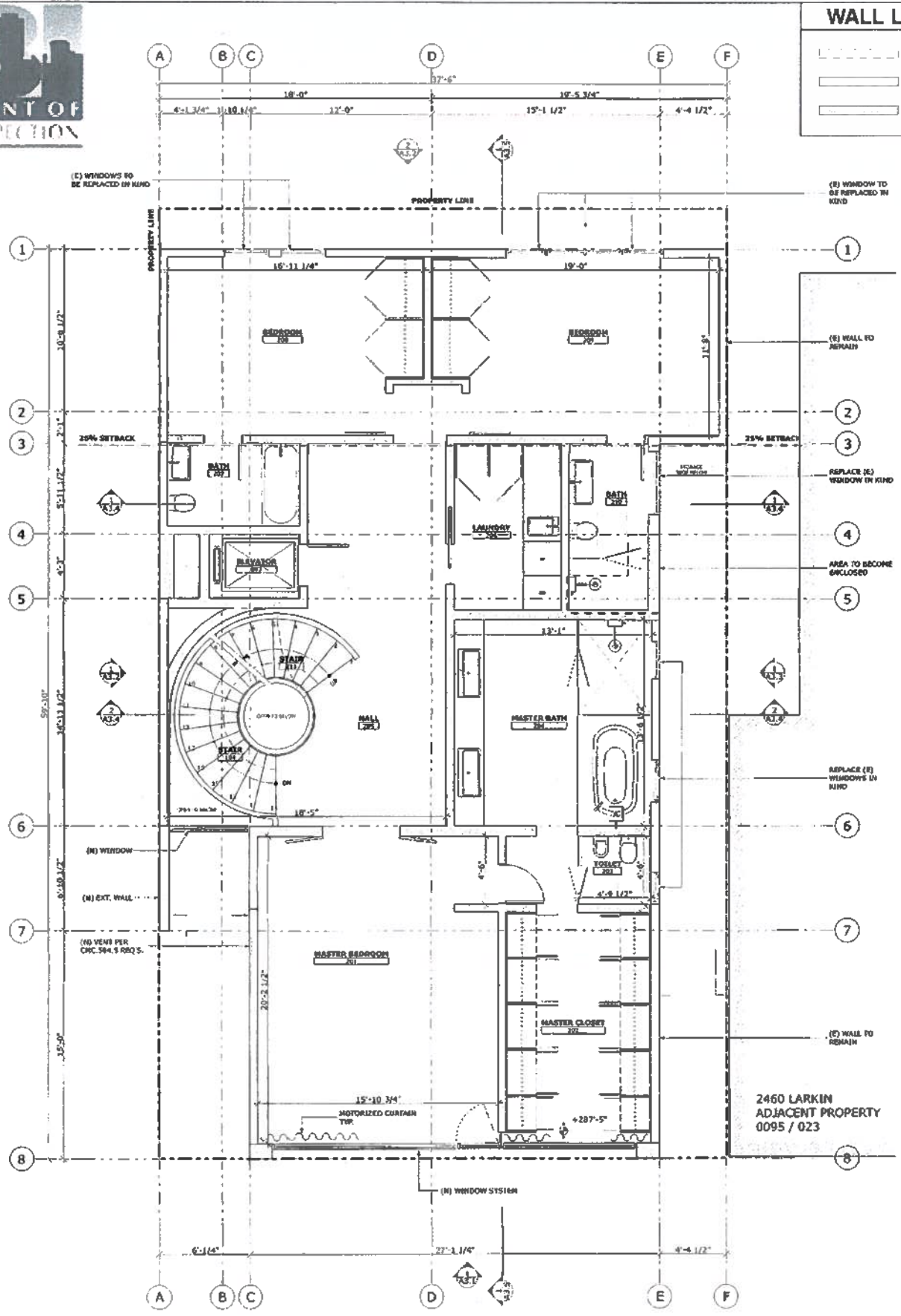
BUILDING PERMIT

REVISIONS:	BY:
▲ HOPDR #1 - 03/30/2015	SR
▲ REVISION - 05/01/2015	SR
▲ REVISION - 08/03/2015	SR

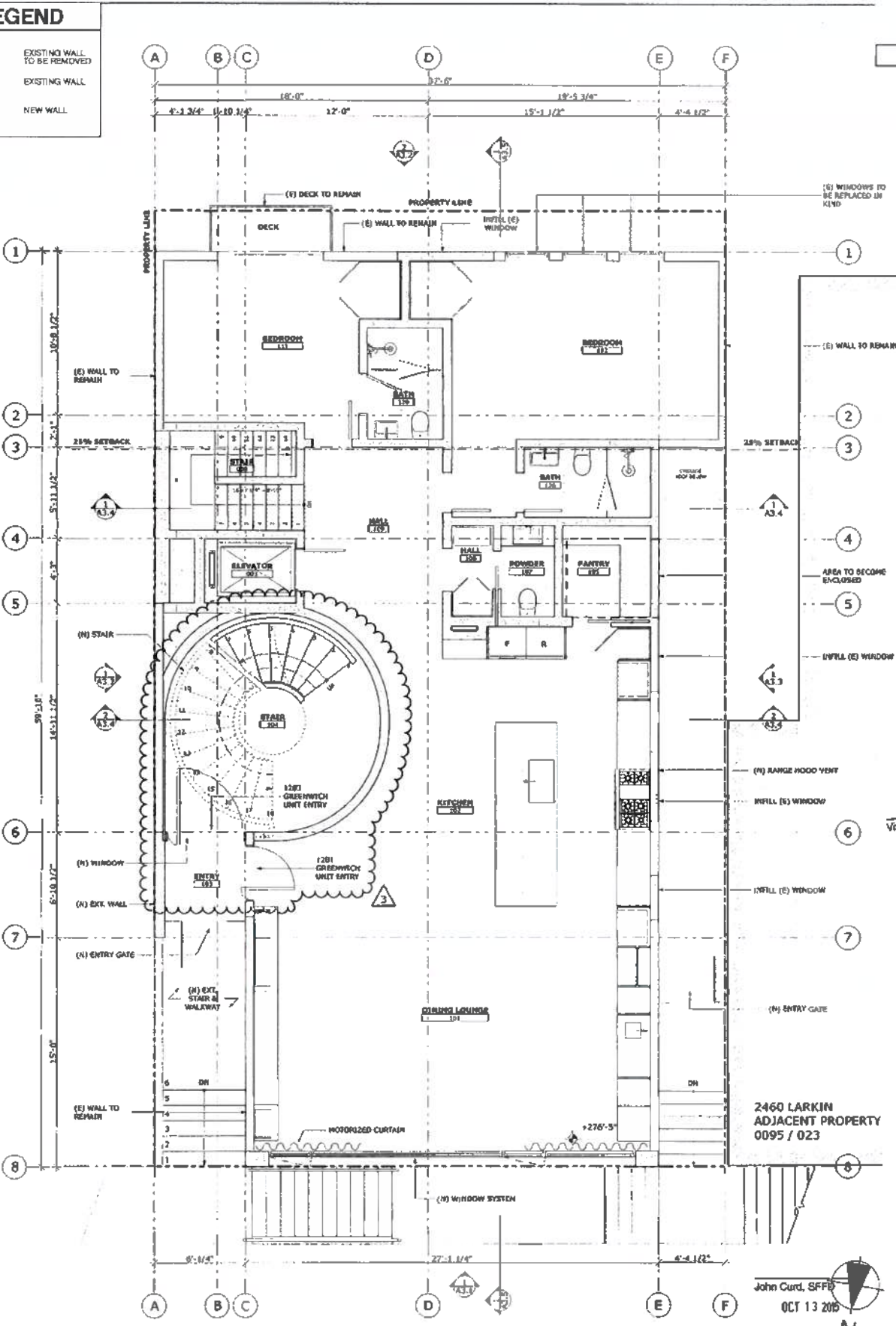
JOB#:	1322
DATE:	10/17/2014
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

FIRST & SECOND FLOOR PROPOSED PLAN

A2.2



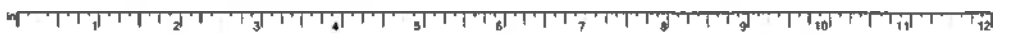
2 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

John Curd, SFPD
 OCT 13 2015

Approved by Building Dept. City of San Francisco



1420 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLER@BUTLER-ARMSDEN.COM
 E INFO@BUTLER-ARMSDEN.COM
 T 415-774-2524
 F 415-674-5598

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

APPROVED
 Dept. of Building Insp.
 NOV 12 2015
 Lm. C. Han
 DEPT. OF BUILDING INSPECTION

Vivian Huang, DBI
 SEP 30 2015

SITE PERMIT REVISION
 SEP 30 2015

THIS APPROVAL IS FOR THE PERMIT ONLY. NO OTHER USES OR MODIFICATIONS TO THE PERMIT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE DEPT. OF BUILDING INSPECTION.

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

PLANNING PERMIT

REVISIONS:	BY:
▲ NOPDR #1 - 03/30/2015	SR
▲ REVISION - 05/01/2015	SR
▲ REVISION - 09/28/2015	SR

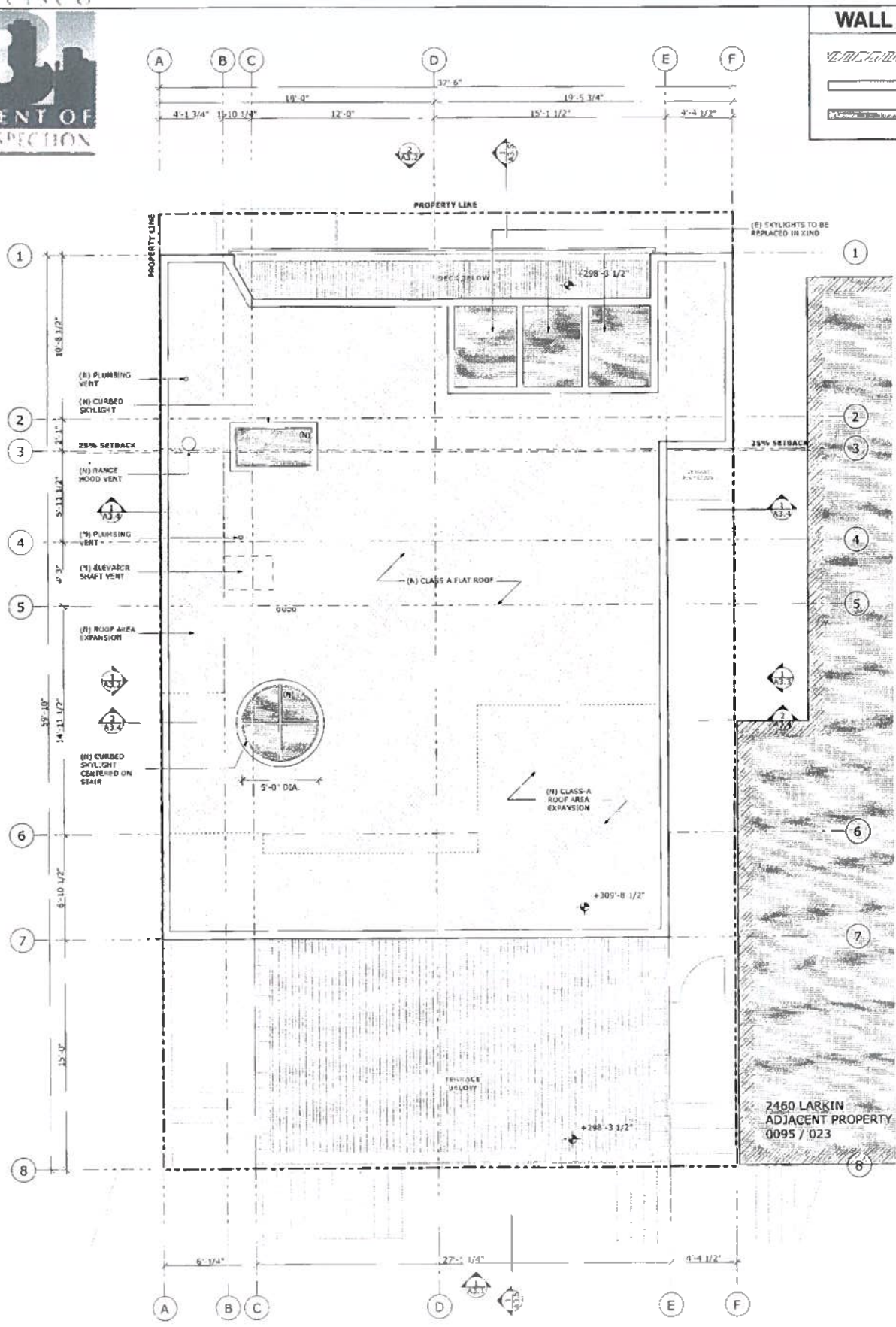
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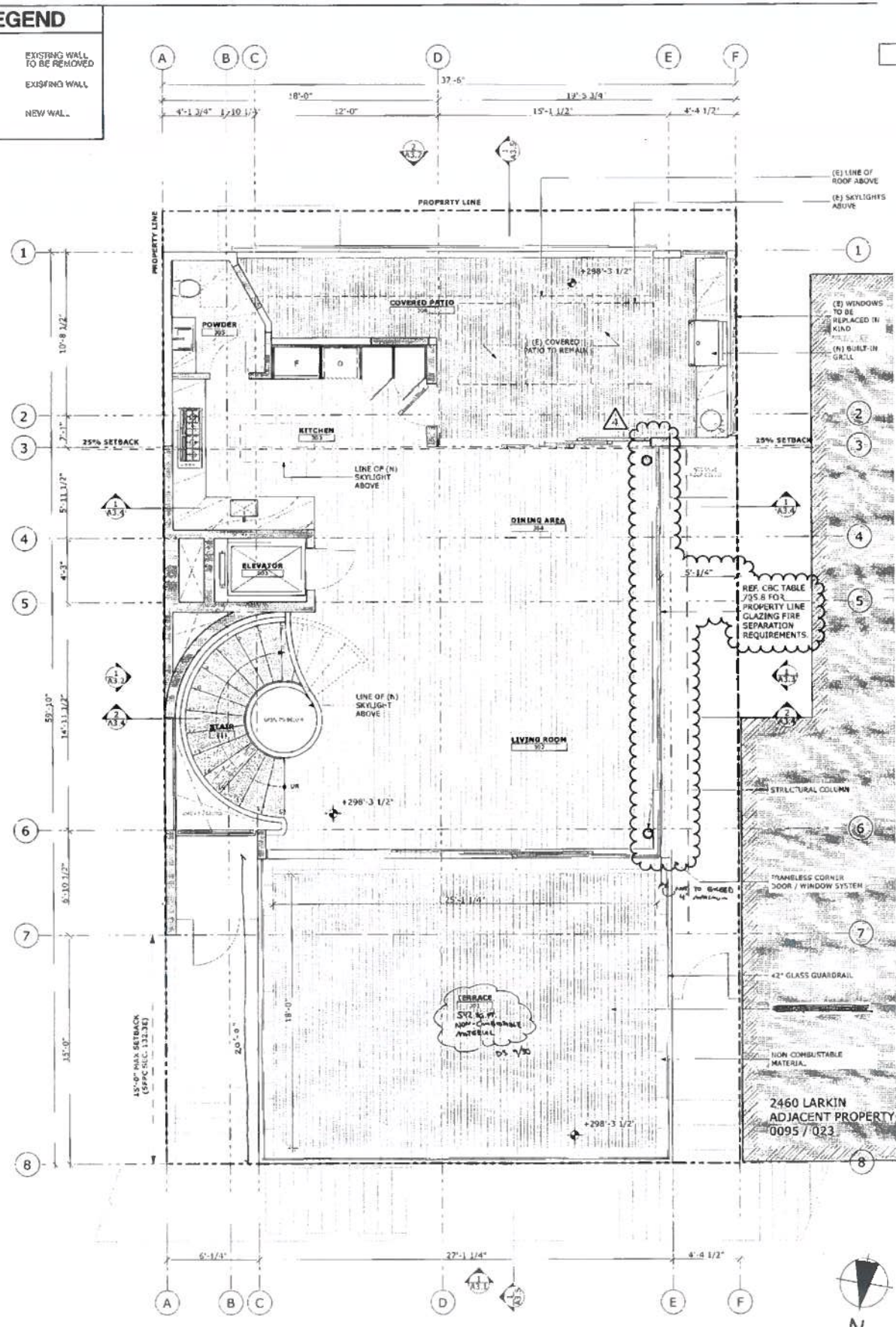
THIRD FLOOR & ROOF PROPOSED PLAN

10-22-15 John Curd, SFFD
 Approved Planning Dept. Carly Grob OCT 13 2015

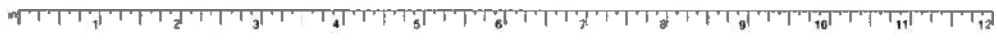
A2.3



2 PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"



1 PROPOSED THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1430 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E: INFO@BUTLERARMSDEN.COM
 T: 415-771-5551
 F: 415-774-3558

APPROVED
 (Seal of Building Dept.)
 NOV 12 2015
 Tom C. Lee
 Director of Building Dept.
 City of San Francisco

Vivan Huang, DBI
 SEP 30 2015

REVISIT SITE PERMIT
 REVISION
 SEP 30 2015

THIS APPROVAL IS VALID FOR THE PERIOD OF 90 DAYS FROM THE DATE OF ISSUANCE. ANY CHANGES TO THE PERMIT MUST BE APPROVED BY THE BUILDING DEPARTMENT.

PLANNING PERMIT

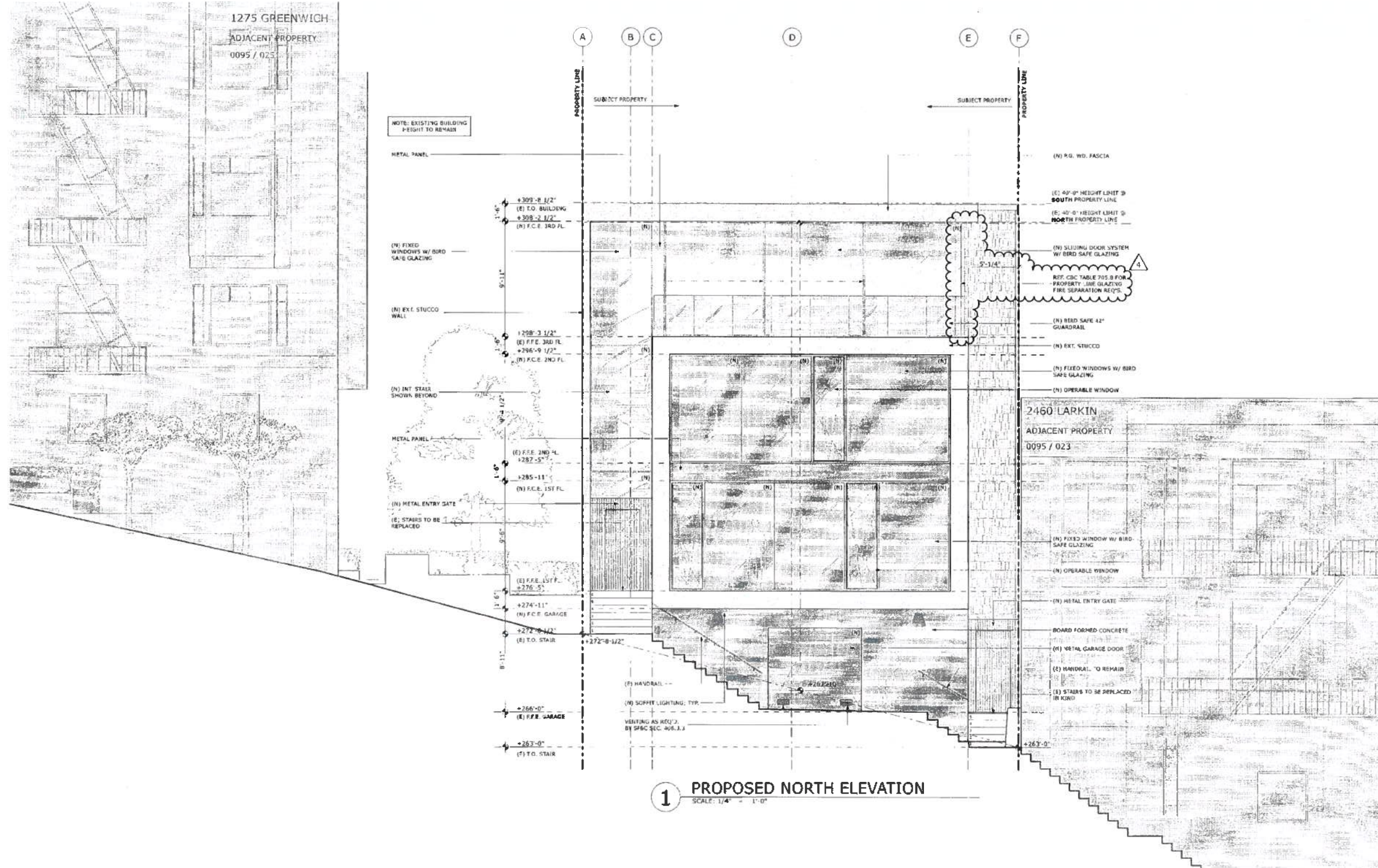
REVISIONS:	BY:
▲ AOPDR #1 - 03/30/2015	SR
▲ REVISION - 09/28/2015	SR

JOB#:	1322
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SCALE:	AS NOTED



PROPOSED NORTH ELEVATION

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



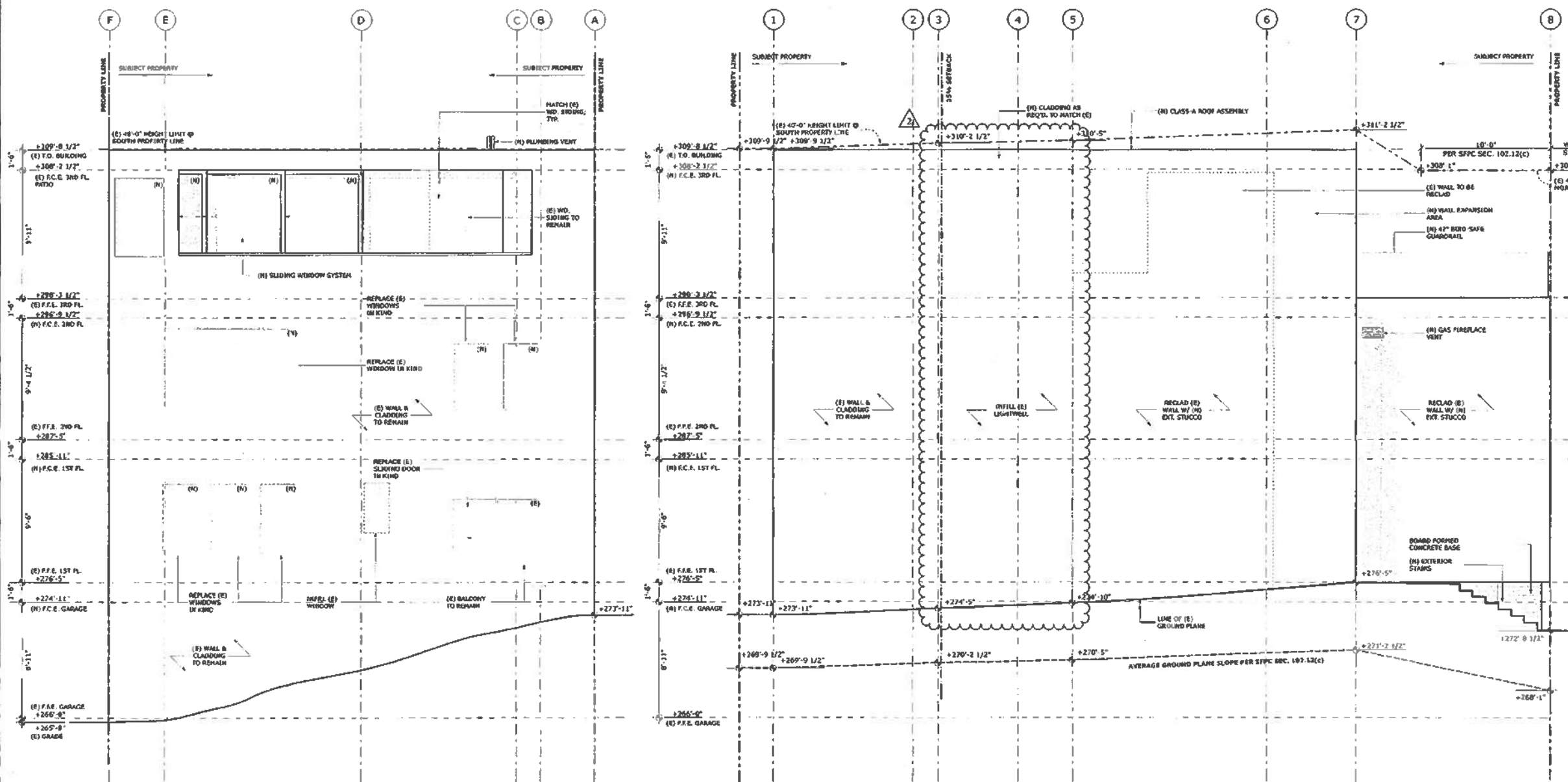
1 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

John Curd, SFPD
 Approved Planner
 10-22-15
 Carly Grob
 OCT 13 2015



1420 SUTTER STREET
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 F: 415-414-5559

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NOV 12 2015
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STEEL PERMIT
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 MAY 04 2015

BUILDING PERMIT

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△ REVISION - 05/01/2015	SR

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Vivian Huang, DBI
 SEP 30 2015

John Curt, SFPD
 OCT 13 2015

Approved Building Dept. Cady Grob

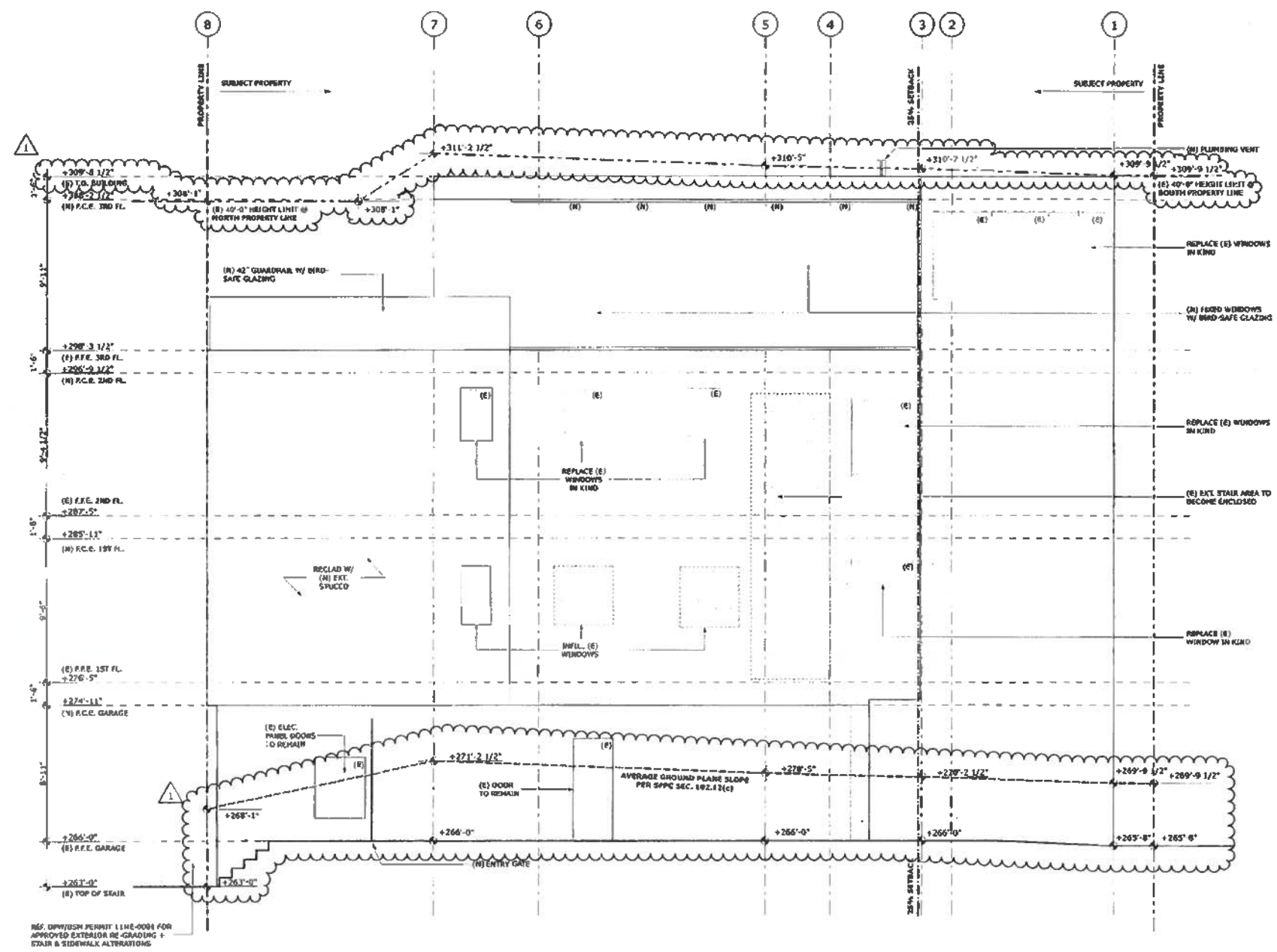


PROPOSED SOUTH & EAST ELEVATIONS

2 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

1 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"





APPROVED
 Dept. of Building Insp.

NOV 12 2015
 T. C. Aka
 SUPERVISOR
 DEPT. OF BUILDING INSPECTION

PERMIT SET

REVISIONS: BY:

JOB#: 1322
 DATE: 10/17/2014
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

Vivian Huang, DBI
 SEP 30 2015

John Curo, SFPD
 OCT 13 2015

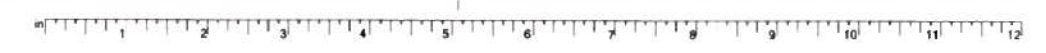
8-19-15
 Approval/Planning Dept. City of S.F.

PROPOSED WEST ELEVATION

A3.3

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

1 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"



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GREENWICH STREET RESIDENCE
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APPROVED
 Dept. of Building Insp.

NOV 12 2015

John C. Lee
 LICENSED ARCHITECT
 STATE OF CALIFORNIA
 DEPT. OF BUILDING INSPECTION

SUPP. PERMIT
 REVISION
 SEP 30 2015

PLANNING PERMIT

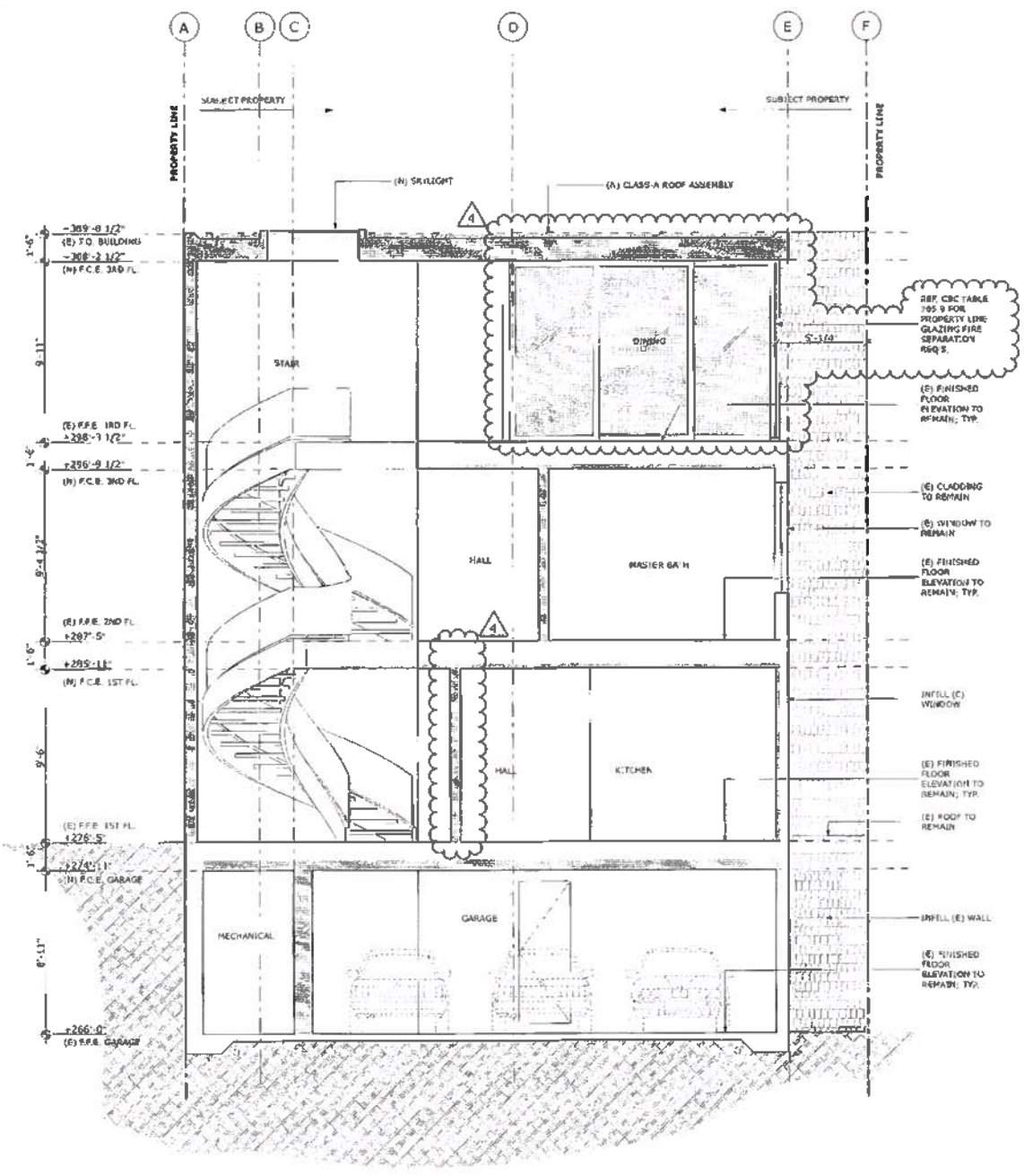
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△ REVISION - 09/28/2015	SR

JOB#:	1322
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SCALE:	AS NOTED

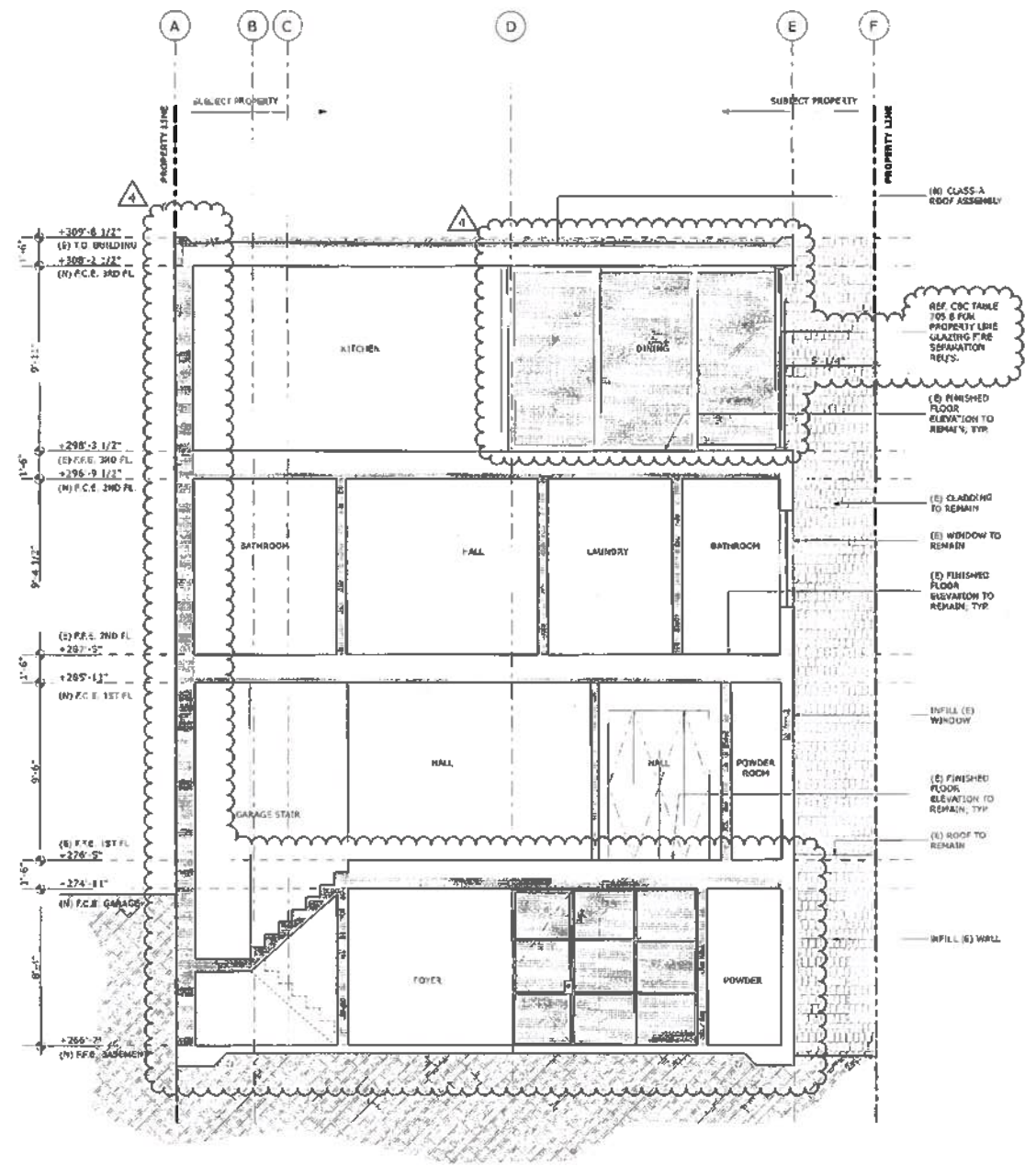


PROPOSED EAST / WEST SECTION

A3.4



2 PROPOSED NORTH / SOUTH SECTION
 SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH / SOUTH SECTION
 SCALE: 1/4" = 1'-0"

Vivian Huang, DBI
 SEP 30 2015

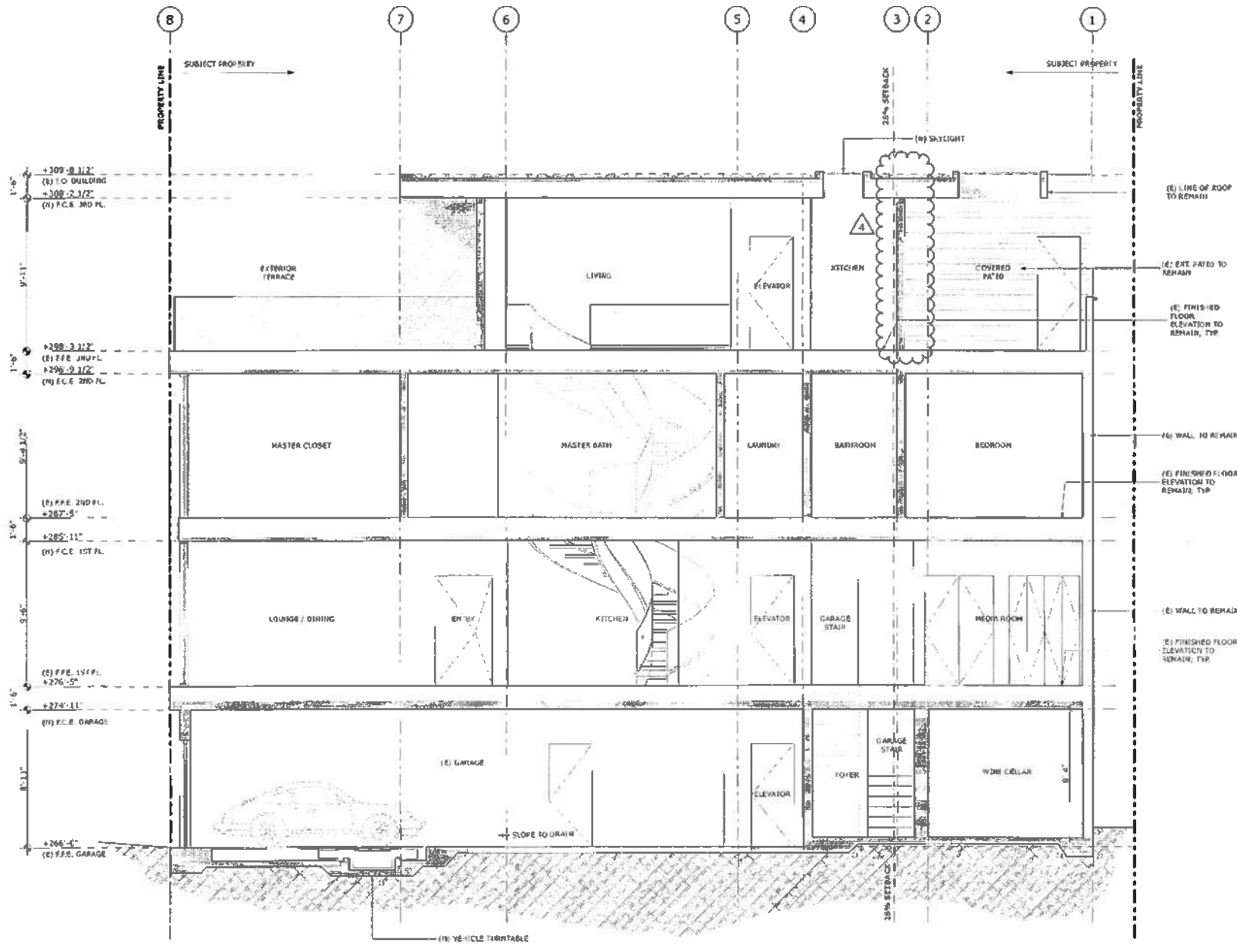
John C. Lee, RPPD
 OCT 13 2015

10-22-15
 Certified Copy



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GREENWICH STREET RESIDENCE
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APPROVED
 Dept. of Building Insp.
 NOV 12 2015
 [Signature]
 DEPT. OF BUILDING INSPECTION

**SITE PERMIT
 REVISION**
 SEP 30 2015

PLANNING PERMIT

REVISIONS: _____ BY: _____

REVISION - 09/28/2015	SR

JOB #: 11322
 DATE: 10/17/2014
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

Vinlan Huang, DBI
 SEP 30 2015

John Curd, SFPD
 OCT 13 2015



**PROPOSED
 NORTH / SOUTH
 SECTION**

1 PROPOSED NORTH / SOUTH SECTION
 SCALE: 1/4" = 1'-0"

[Signature]
 Approved Plans Dept. Carly Crook



Plan Set for Permit No. 2014/10/17/9272 S1



ABBREVIATIONS

Table of abbreviations for architectural and construction terms, including floor drain, anchor bolt, and various materials.

SYMBOLS

Table of symbols for architectural drawings, including drawing/detail reference tag, section reference tag, and interior elevation reference tag.

GENERAL NOTES

- List of general notes regarding compliance with local building codes, contractor responsibilities, and specific project requirements.

PROJECT TEAM

Architect: Butler Armsden Architects; Geotechnical Engineer: Earth Mechanics; Structural Engineer: FIF Engineering; Mechanical Engineer: HMC Engineers; General Contractor: Forsythe General Contractors.

VICINITY MAP



Butler Armsden Architects logo and contact information, including address and phone number.

PROJECT DATA

Table containing project data such as block, lot, lot size, zoning, height limit, and area calculations for existing and proposed construction.



Vertical text: GREENWICH STREET RESIDENCE, 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA. Includes a large handwritten number 2014-1017-9272-51.

CODES

- List of applicable codes: 2013 CA BLDG. CODE, 2013 S.F. BLDG. CODE & AMENDMENTS, 2013 CA ENERGY CODE, etc.

SCOPE OF WORK

Interior remodel of existing 3-story residence & seismic upgrade, expand existing garage & basement level, principal facade to be redesigned & replaced.

SHEET INDEX

Table listing sheet numbers and titles, such as 'ARCHITECTURAL: A0.0 TITLE SHEET', 'A0.1 SITE SURVEY', 'A0.2 EXISTING PHOTOS', etc.

Table listing sheet numbers and titles for structural, mechanical, and plumbing details, such as 'STRUCTURAL: S1.0 GENERAL NOTES', 'MECHANICAL: M0.0 GENERAL NOTES', etc.

BUILDING PERMIT

Building permit application form with fields for REVISIONS, JOB#, DATE, DRAWN, CHECKED, and SCALE.



TITLE SHEET

APPROVED stamp dated FEB 12 2015, signed by the Chief of Building Inspection.

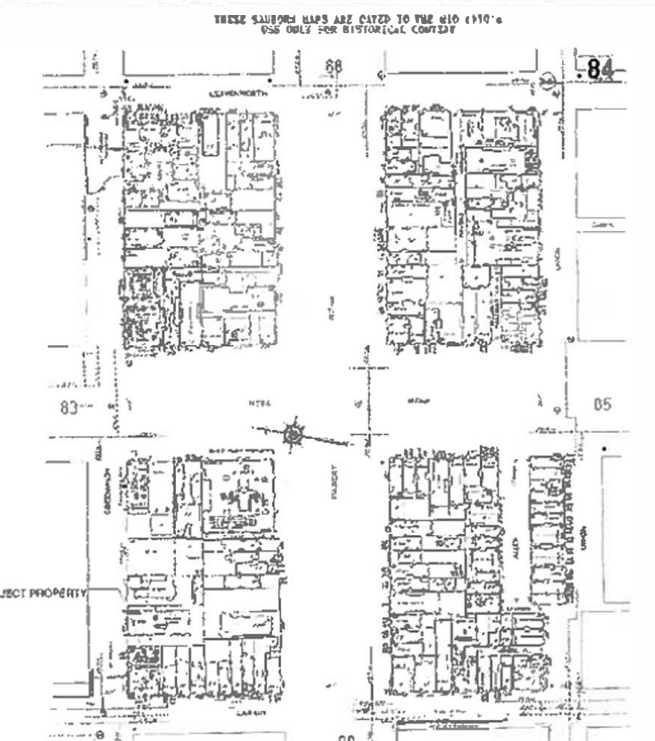
APPROVED stamp dated JUL 29 2015, signed by the Chief of Building Inspection.

APPROVED stamp dated FEB 12 2015, signed by the Chief of Building Inspection.

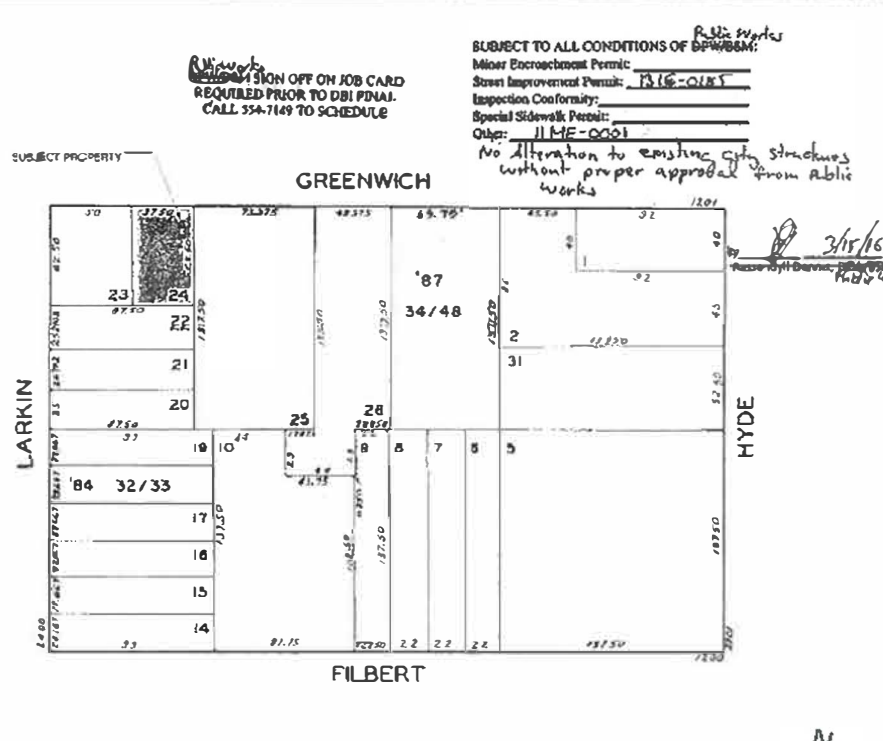
APPROVED stamp dated FEB 12 2015, signed by the Chief of Building Inspection.

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APPROVED stamp dated FEB 12 2015, signed by the Chief of Building Inspection.

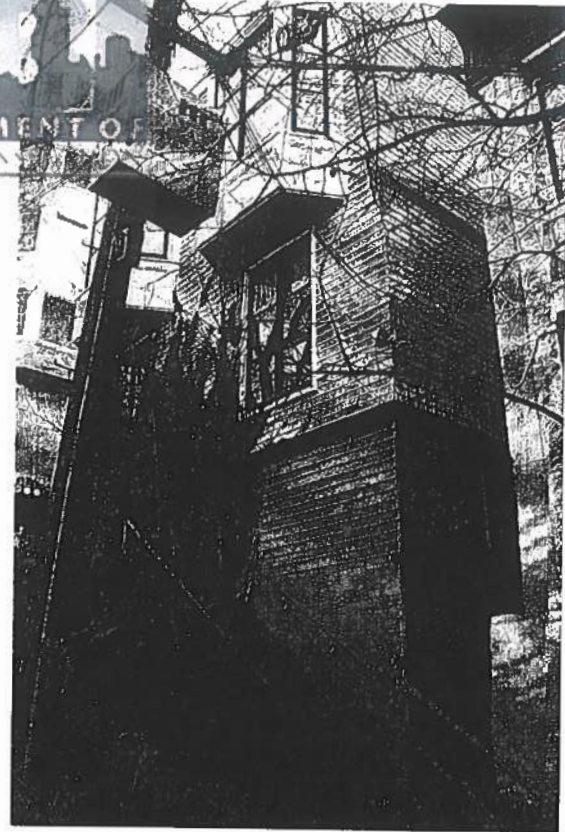


BLOCK MAP - 0070 / 001



BLOCK MAP - 0095 / 024

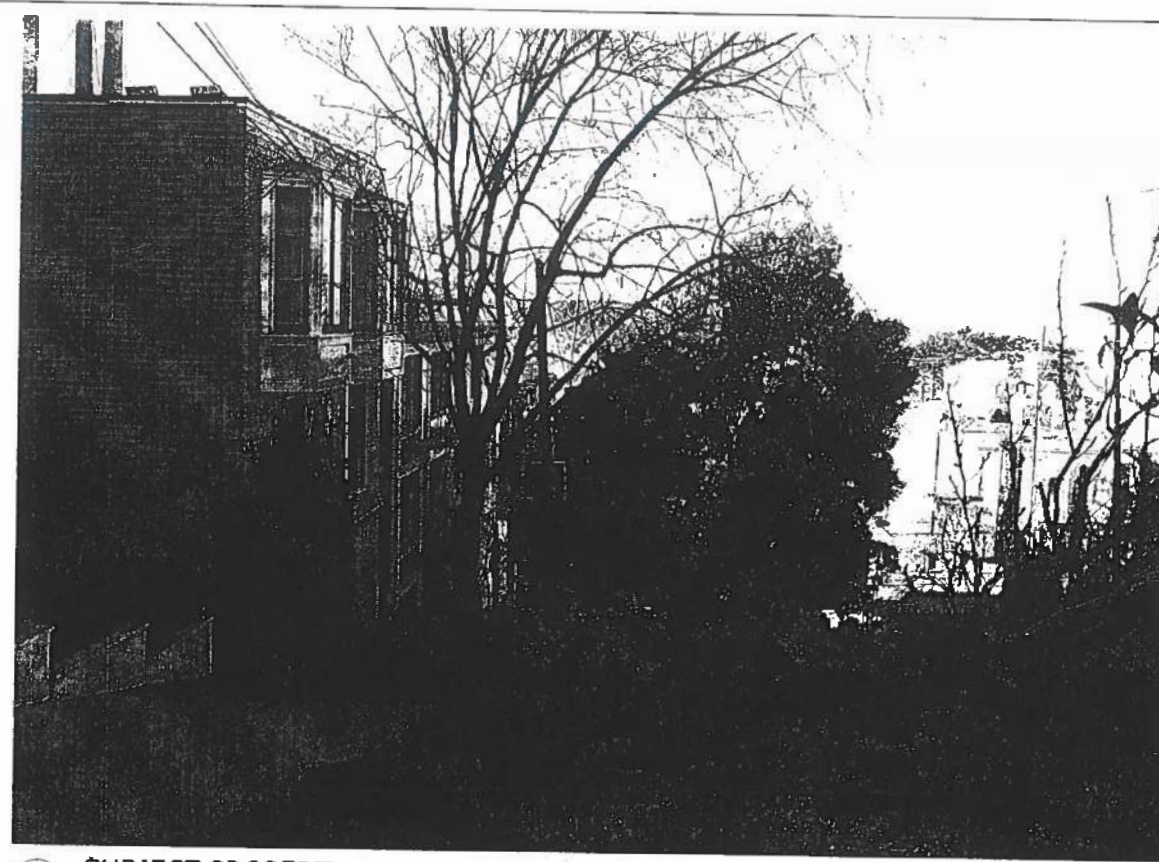
A0.0



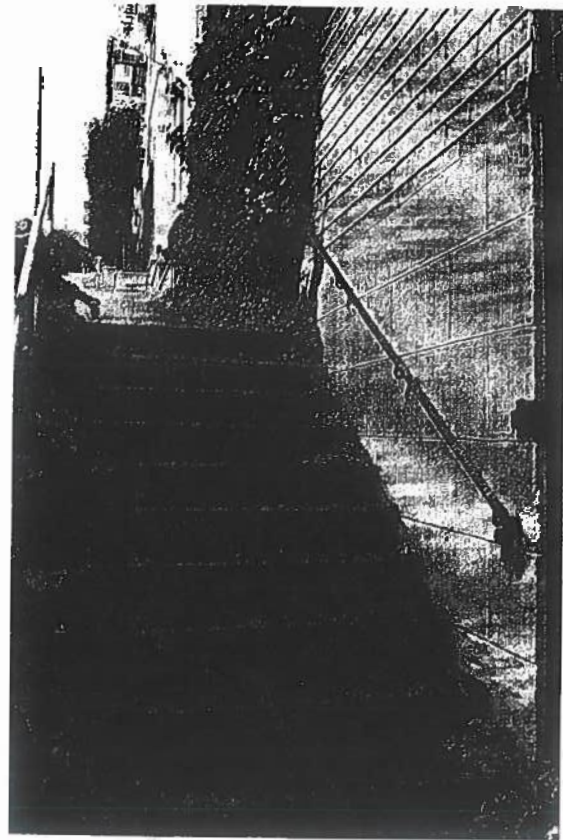
6 (E) FACADE FROM WEST



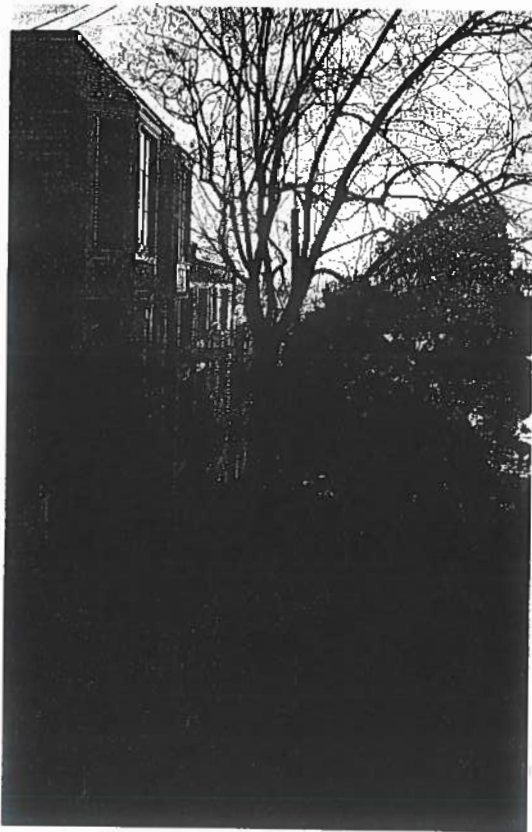
4 (E) FACADE OF SUBJECT PROPERTY



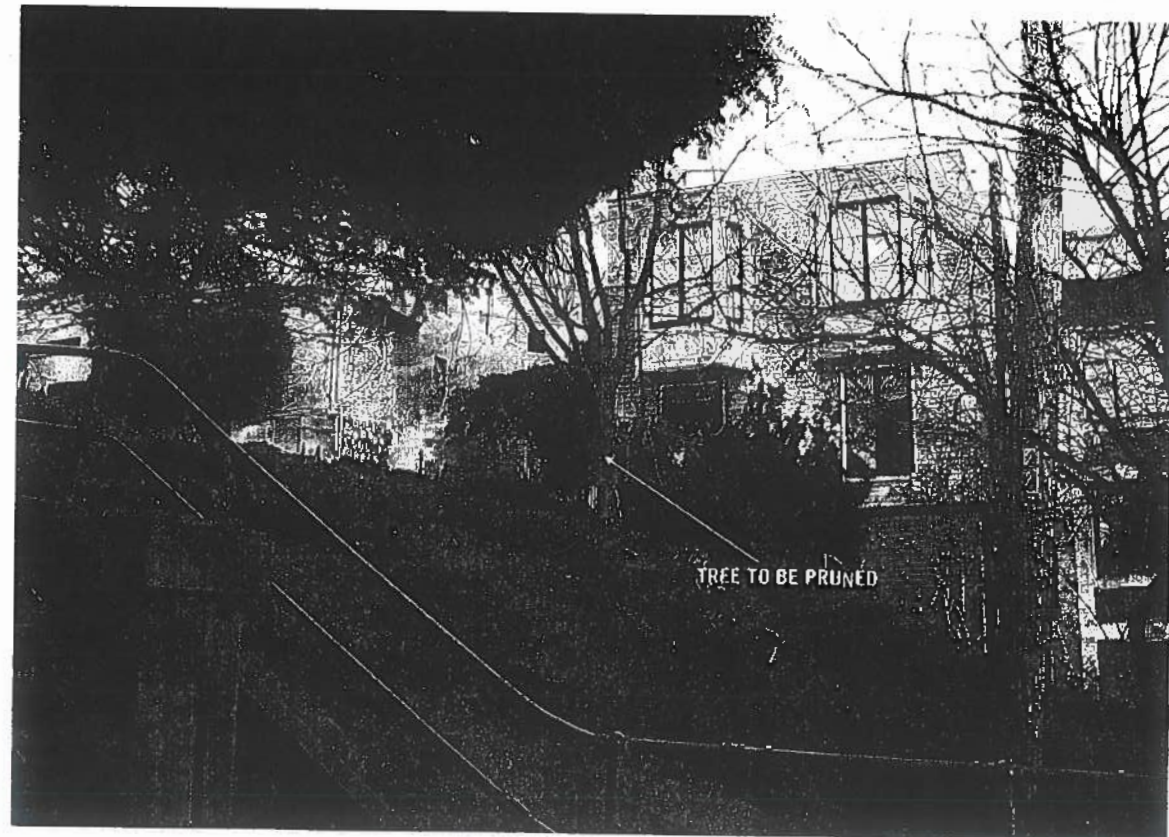
2 SUBJECT PROPERTY FROM GREENWICH STREET



5 (E) CONCRETE STAIR



3 (E) FACADE FROM EAST



1 SUBJECT PROPERTY FROM EXISTING SIDEWALK

BUTLER ARMSDEN
ARCHITECTS

1140 DUFFERIN STREET
SAN FRANCISCO, CA 94109
PHONE: 415.774.6114
E: INFO@BUTLERARMSDEN.COM
F: 415.774.6122
P: 415.774.6122

ADDENDUM #
NOV 12 2015
SITE PERMIT ADDENDUM # 1 R
CONSTRUCTION OF

GREENWICH STREET RESIDENCE
1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, U.S.A.

Vivian Huang, DBI
DEC 18 2015

BUILDING PERMIT

REVISE NO. _____ BY _____

NO.:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

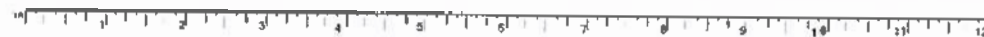
APPROVED
City of Building Insp.

JUL 28 2016

[Signature]
CITY ENGINEER

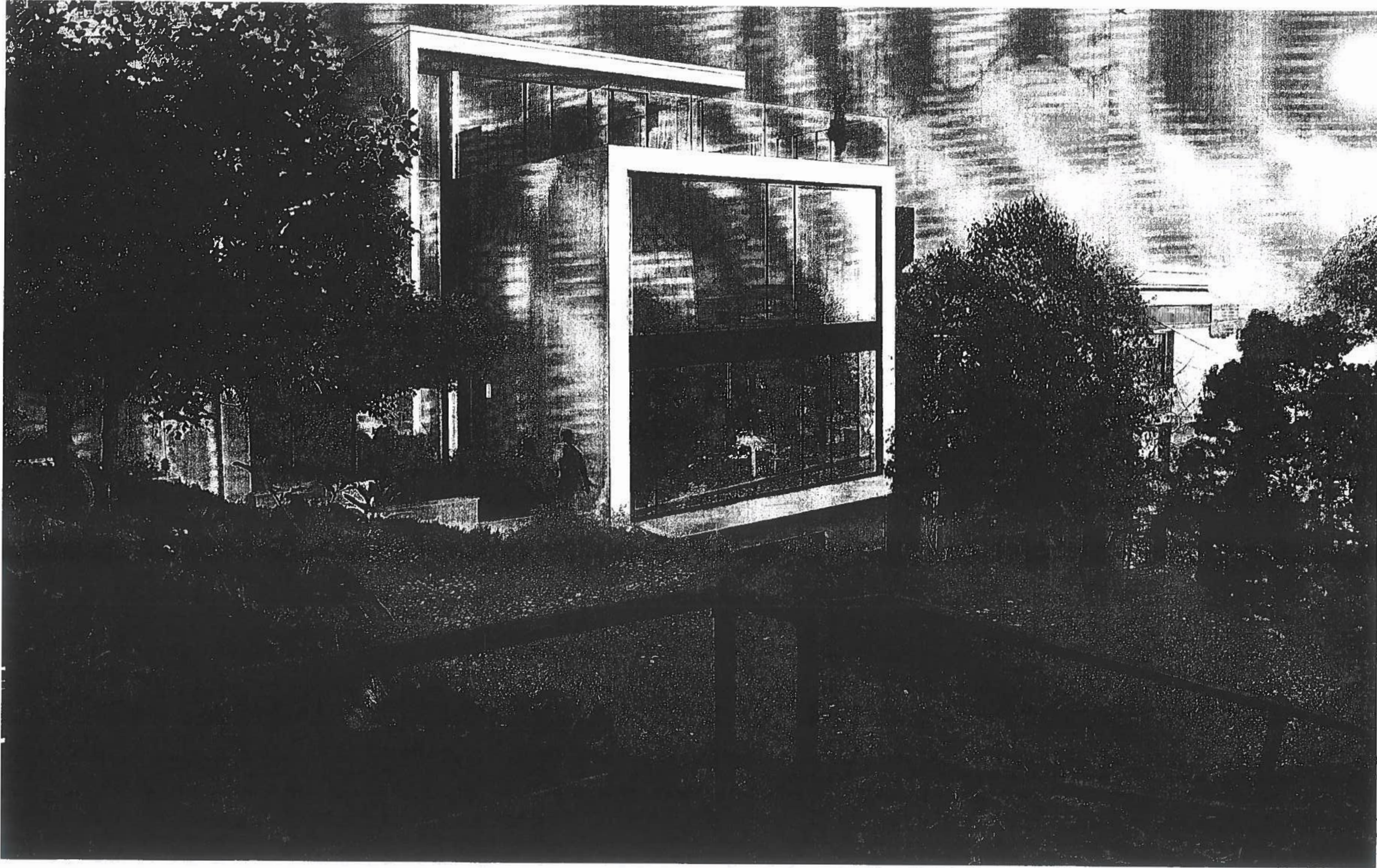


EXISTING
PHOTOS





1420 BUTLER STREET
SAN FRANCISCO, CA 94119
BUTLER ARNSDEN ARCHITECTS
E INFO@BUTLERARNSDEN.COM
T 415-771-5554
F 415-771-5554



ADDENDUM #
NOV 12 2015
SITE PERMIT ADDENDUM FOR
CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
1284/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

Cary 41576
Approval Planning Dept. Cary Crub

BUILDING PERMIT

REVISIONS: _____ BY: _____

Vivian Huang, DBI
DEL 18 2015

JOB#: 1322
DATE: 11/6/2015
DRAWN: SR / DS
CHECKED: LB
SCALE: AS NOTED

PROVED
Dept of Building Insp

JUL 29 2016
[Signature]
Professional Engineer
No. 45525
State of California



PROPOSED EXTERIOR RENDERINGS

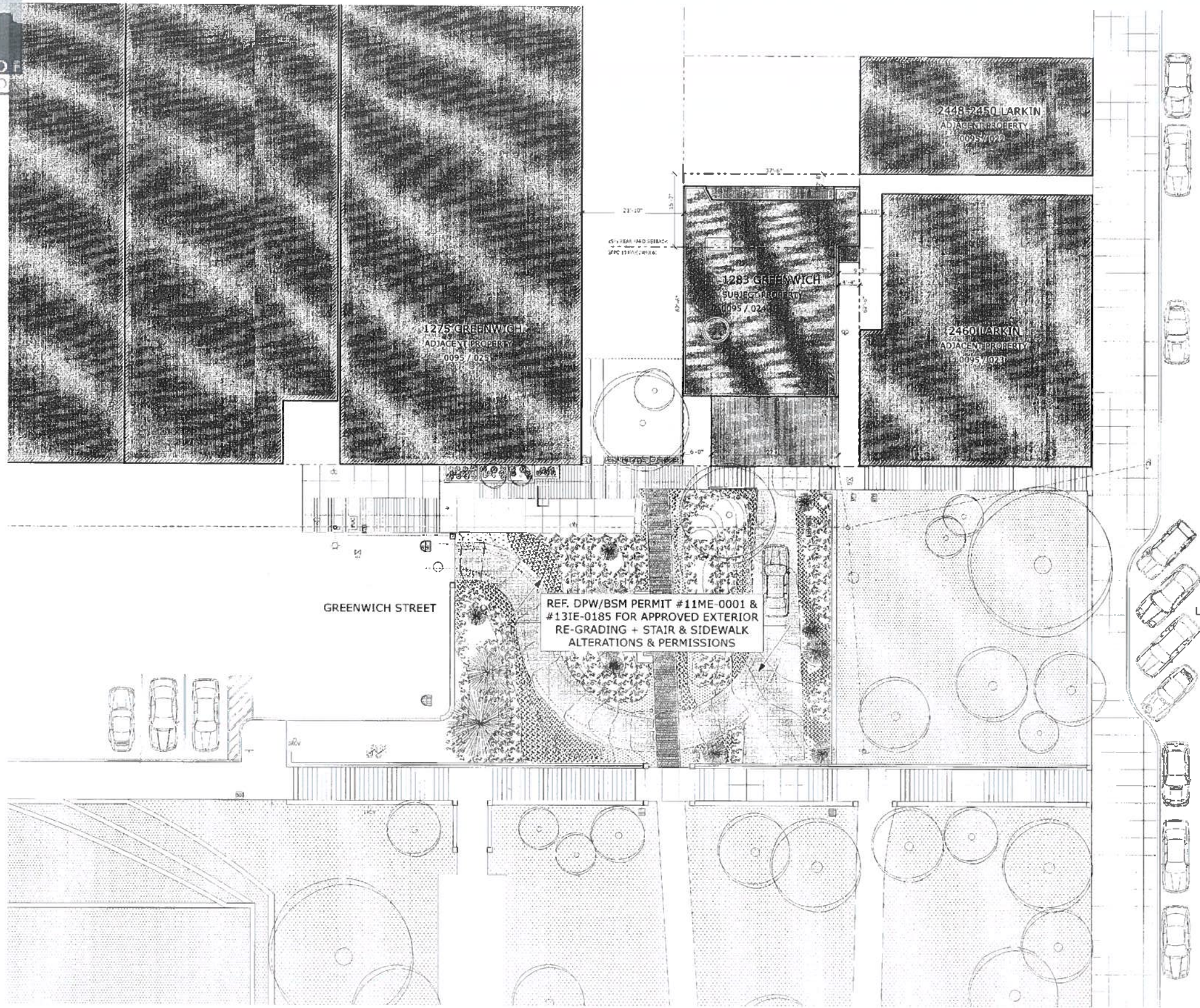
1 CONCEPTUAL RENDERING: PROPOSED PRINCIPAL FACADE - VIEW 1



1400 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 F: 415-478-3334
 T: 415-478-3334
 F: 415-478-3334

ADDENDUM #
 NOV 12, 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



BUILDING PERMIT

REVISIONS	BY

4-5710
 Approver/Planning Dept. Carly Grob

JOB #:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

Victor Huang, DBI
APPROVED
 Dept. of Building Insp.

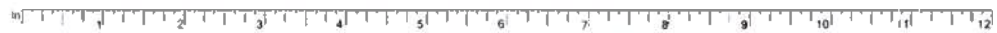


JUL 25 2016
 State of California
 Department of Building Inspection

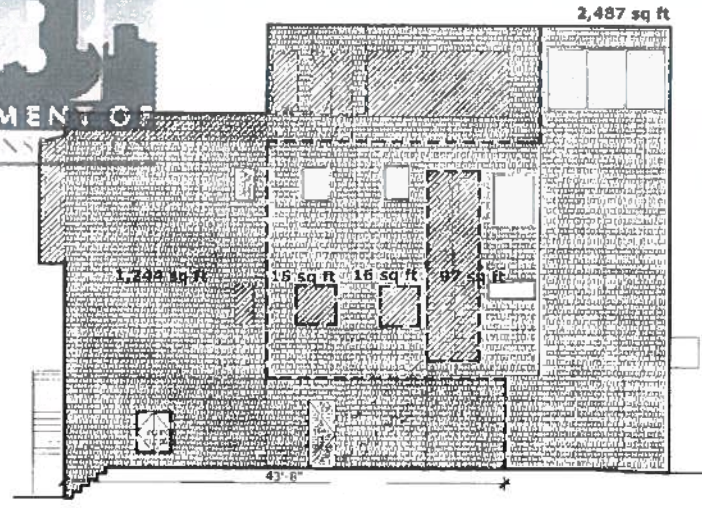


SITE PLAN

1 PROPOSED SITE PLAN
 SCALE: 1" = 10'



BUTLER ARMSDEN ARCHITECTS
 1405 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARCHITECTS.COM
 T: 415.774.6551
 F: 415.494.5150



8 DEMO CALC. - WEST ELEV.
 SCALE: 1/8" = 1'-0"

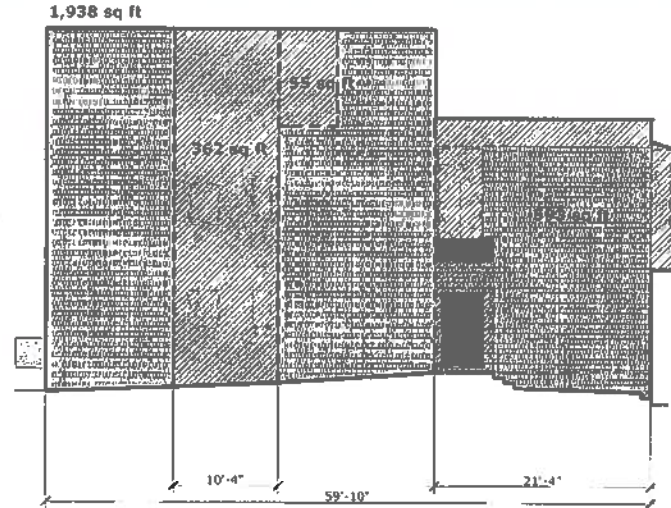
WEST FACADE:

SQUARE FOOTAGE CALCULATIONS:

TOTAL SQFT.	2,487 SQFT.
TOTAL DEMO.	1,244 SQFT.
REMAINING SQFT.	1,243 SQFT.
DEMO RATIO:	50%

LINEAR FOOTAGE CALCULATIONS:

TOTAL LNFT.	59.83 LNFT.
TOTAL DEMO.	43.67 LNFT.
REMAINING LNFT.	16.16 LNFT.
DEMO RATIO:	72.99%



6 DEMO CALC. - EAST ELEV.
 SCALE: 1/8" = 1'-0"

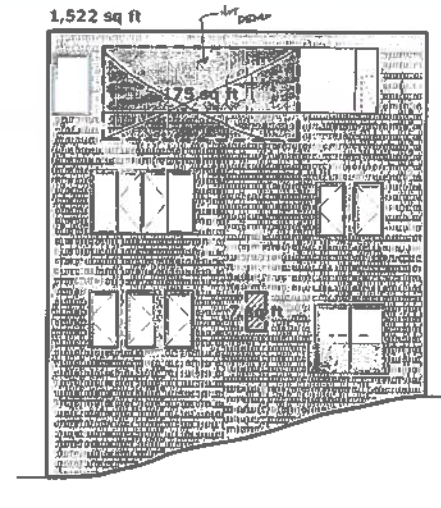
EAST FACADE:

SQUARE FOOTAGE CALCULATIONS:

TOTAL SQFT.	1,938 SQFT.
TOTAL DEMO.	1,010 SQFT.
REMAINING SQFT.	928 SQFT.
DEMO RATIO:	52.1%

LINEAR FOOTAGE CALCULATIONS:

TOTAL LNFT.	59.83 LNFT.
TOTAL DEMO.	31.66 LNFT.
REMAINING LNFT.	28.17 LNFT.
DEMO RATIO:	52.92%



4 DEMO CALC. - SOUTH ELEV.
 SCALE: 1/8" = 1'-0"

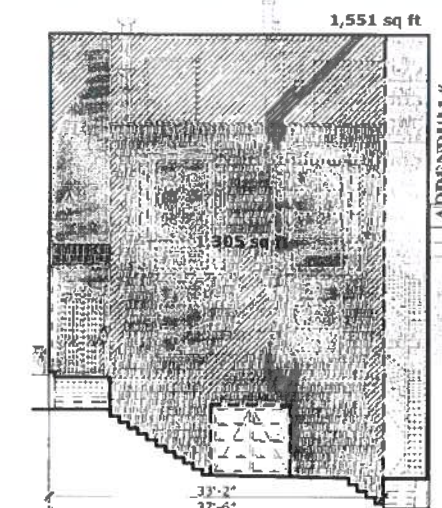
REAR FACADE:

SQUARE FOOTAGE CALCULATIONS:

TOTAL SQFT.	1,522 SQFT.
TOTAL DEMO.	7,497 SQFT.
REMAINING SQFT.	1,015 - 7,497 SQFT.
DEMO RATIO:	0.4%

LINEAR FOOTAGE CALCULATIONS:

TOTAL LNFT.	37.50 LNFT.
TOTAL DEMO.	0.00 LNFT.
REMAINING LNFT.	37.50 LNFT.
DEMO RATIO:	0%



2 DEMO CALC. - NORTH ELEV.
 SCALE: 1/8" = 1'-0"

FRONT FACADE:

SQUARE FOOTAGE CALCULATIONS:

TOTAL SQFT.	1,551 SQFT.
TOTAL DEMO.	1,305 SQFT.
REMAINING SQFT.	246 SQFT.
DEMO RATIO:	84.1%

LINEAR FOOTAGE CALCULATIONS:

TOTAL LNFT.	37.50 LNFT.
TOTAL DEMO.	33.17 LNFT.
REMAINING LNFT.	4.33 LNFT.
DEMO RATIO:	88.45%

NOTE:
 BOTH 50% FRONT & REAR AND 65%
 TOTAL LINEAR REMOVAL MUST BE
 MET TO BE CONSIDERED DEMOLITION

1 SFPC SEC. 317(c)(2)(B)

LNFT. TOTAL FACADE (N+S+E+W)
 MAX. ALLOWABLE DEMO. < 65%

TOTAL LNFT.	194.67 LNFT.
TOTAL DEMO.	108.50 LNFT.
REMAINING LNFT.	86.17 LNFT.
DEMO RATIO:	55.74%

1 SFPC SEC. 317(c)(2)(C)

SQFT. TOTAL FACADE (N+S+E+W)
 MAX. ALLOWABLE DEMO. < 50%

TOTAL SQFT.	7,498 SQFT.
TOTAL DEMO.	3,966 - 7,498 SQFT.
REMAINING SQFT.	3,532 - 7,498 SQFT.
DEMO RATIO:	47.6%

1 SFPC SEC. 317(c)(2)(C)

SQFT. FRONT + REAR FACADE
 MAX. ALLOWABLE DEMO. < 50%

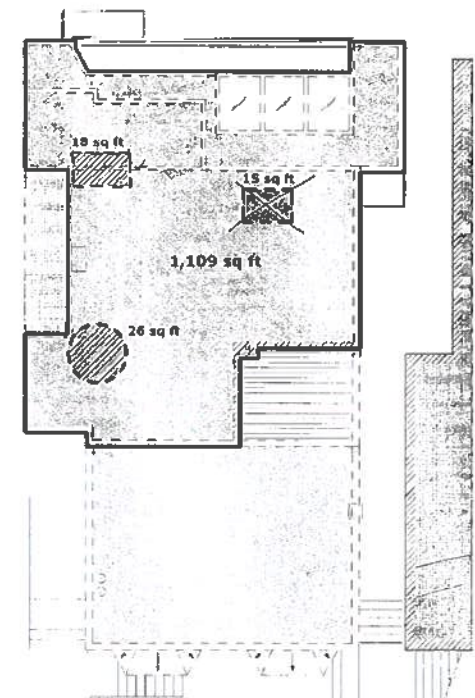
TOTAL SQFT.	3,073 SQFT.
TOTAL DEMO.	1,871 - 3,073 SQFT.
REMAINING SQFT.	1,202 - 3,073 SQFT.
DEMO RATIO:	42.7%

1 SFPC SEC. 317(b)(2)(B)

SQFT. HORIZONTAL ELEMENTS
 MAX. ALLOWABLE DEMO. < 50%

TOTAL SQFT.	6,737 SQFT.
TOTAL DEMO.	810 SQFT.
REMAINING SQFT.	5,927 SQFT.
DEMO RATIO:	12%

1 SFPC SEC. 317(b)(2)(D)

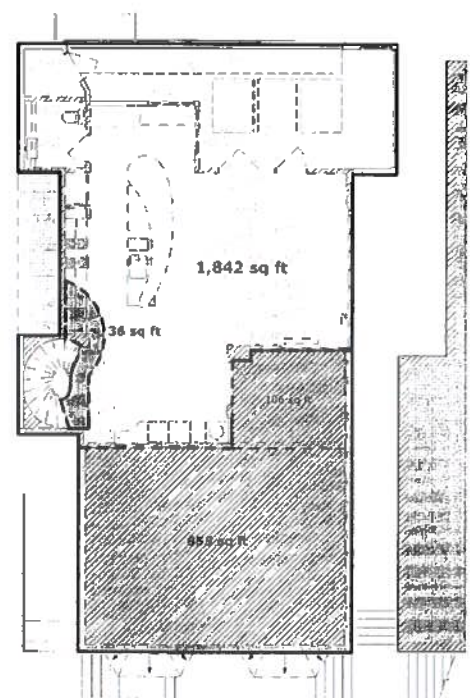


7 DEMO CALC. - ROOF
 SCALE: 1/3" = 1'-0"

ROOF HORIZONTAL ELEMENT DEMOLITION:

NOTE: (E) ROOF TO BE REPLACED IN KIND
 W/ (N) CLASS-A ROOF ASSEMBLY

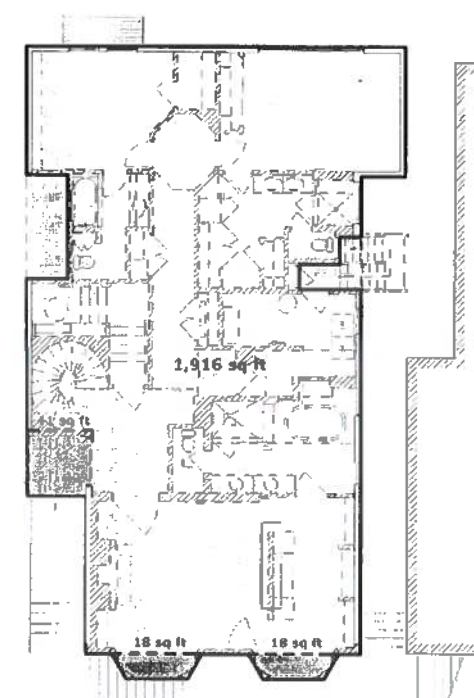
TOTAL SQFT.	1,109 SQFT.
TOTAL DEMO.	4 SQFT.
REMAINING SQFT.	1,065 SQFT.
DEMO RATIO:	0.4%



5 DEMO CALC. - THIRD FLOOR
 SCALE: 1/8" = 1'-0"

THIRD FLOOR HORIZONTAL ELEMENT DEMOLITION:

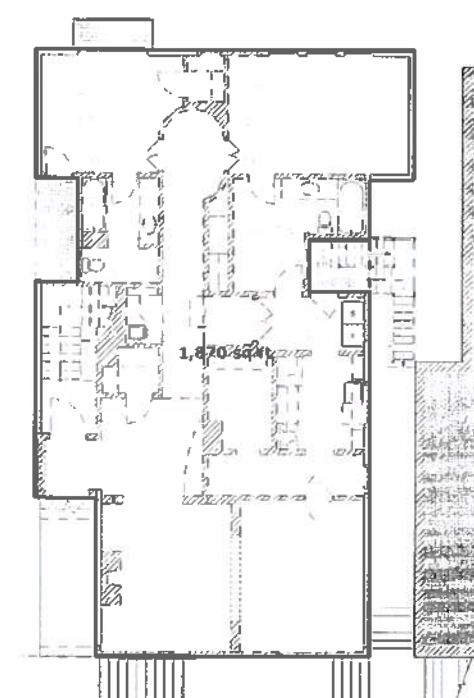
TOTAL SQFT.	1,842 SQFT.
TOTAL DEMO.	691 SQFT.
REMAINING SQFT.	1,151 SQFT.
DEMO RATIO:	37.5%



3 DEMO CALC. - SECOND FLOOR
 SCALE: 1/8" = 1'-0"

SECOND FLOOR HORIZONTAL ELEMENT DEMOLITION:

TOTAL SQFT.	1,916 SQFT.
TOTAL DEMO.	77 SQFT.
REMAINING SQFT.	1,839 SQFT.
DEMO RATIO:	4%



1 DEMO CALC. - FIRST FLOOR
 SCALE: 1/8" = 1'-0"

FIRST FLOOR HORIZONTAL ELEMENT DEMOLITION:

TOTAL SQFT.	1,870 SQFT.
TOTAL DEMO.	0 SQFT.
REMAINING SQFT.	1,870 SQFT.
DEMO RATIO:	0%

BUILDING PERMIT

REVISIONS:	BY:

JOB#: 1322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

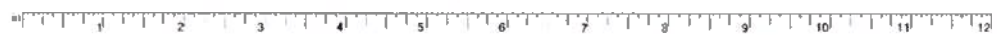
APPROVED
 Lewis W. Butler
 State of California
 Department of Building Inspection

JUL 23 2015
 SF PLANNING
 DEMOLITION
 CALCULATIONS

Approved Planning Dept. Carly Grob

GREENWICH STREET RESIDENCE
 1287/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

A0.5



City and County of San Francisco Green Building Submittal: Residential Additions and Alterations

BUTLER ARMSDEN ARCHITECTS
 1400 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLER@ARMSDEN.COM
 C: 415.774.5534
 F: 415.774.5534

REQUIREMENTS

The following items are required for all additions and alterations to residential occupancy which increase conditioned area, volume, or size of a residential building. Requirements apply only to areas and systems within the scope of addition and alteration, with the exception of "Existing Noncompliant Plumbing Fixtures" (below). An abbreviated summary of each requirement is included for reference. To determine if this form is appropriate for a project, see Administrative Bulletin 93, Attachment A, Table 1. Projects required to meet a LEED standard must use C-3 "Submittal for LEED Projects", and projects required to meet GreenPoint Rated must use the C-4 "Submittal for GreenPoint Rated Projects". Projects seeking certification may use the C-3 "Submittal for LEED Projects" or C-4 "Submittal for GreenPoint Rated" as alternatives to this form.

Construction and Demolition Debris: 100% of mixed debris must be transported by a registered hauler to a registered facility and be processed for recycling, in compliance with the San Francisco Construction & Demolition Debris Ordinance (San Francisco Building Code Chapter 13B and Environment Code Chapter 14)

Recycling by Occupants: Provide adequate space and equal access for storage, collection and loading of compostable, recyclable and landfill materials. - See Administrative Bulletin 088.

Water Efficient Irrigation: Projects that include \geq 1,000 square feet of new or modified landscape must comply with the San Francisco Water Efficient Irrigation Ordinance. (See www.sfwater.org/landscape)

Stormwater Control Plan: Projects disturbing \geq 5,000 square feet must implement a Stormwater Control Plan meeting SFPUC Stormwater Design Guidelines. (See www.sfwater.org/sdg)

Grading and paving: Construction plans shall indicate how the site grading or drainage system will manage surface water flows to keep water from entering the building, such as swales, drains, or water retention gardens. (CalGreen 4.106.3)

Smart Irrigation Controller: Automatically adjust irrigation based on weather and soil moisture. Controllers must have either an integral or separate rain sensors that connects or communicates with the controller. (CalGreen 4.304.1)

Indoor Water Efficiency: Install water-efficient fixtures and fittings as summarized in CalGreen 4.303 (See "Indoor Water Efficiency" at left.) Replace all noncompliant fixtures in project area (CalGreen 3.301.1.1, San Francisco Housing Code 12A)

Energy Efficiency: Comply with California Energy Code (Title 24, Part 6 2013)

Rodent Proofing: Annular spaces around pipes, electric cables, conduits, or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing with cement mortar, concrete masonry, or a similar method acceptable to the San Francisco Department of Building Inspection. (CalGreen 4.406.1)

Moisture content: Verify wall and floor framing shall be verified to not exceed 19% moisture content prior to enclosure as detailed below. Materials with visible signs of moisture damage shall not be installed. (CalGreen 4.505.3)
 1) Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8.
 2) Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade-stamped end of each piece to be verified.
 3) At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.

Capillary break for concrete slab on grade: Concrete slab on grade foundations required to have a vapor retarder must also have a capillary break, including at least one of the following: (CalGreen 4.505.2)
 1) A 4-inch (101.6 mm) thick base of 1/2-inch (12.7 mm) or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design which will address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.
 2) A slab design specified by a licensed design professional.

Fireplaces and woodstoves: Install only direct-vent or sealed-combustion appliances; comply with US EPA Phase II limits. (CalGreen 4.503.1)

Design and Install HVAC System to ACCA Manual J, D, and S (CalGreen 4.507.2)

HVAC Installer Qualifications: HVAC system installers must be trained and certified in the proper installation of HVAC systems, such as via a state certified apprenticeship program, public utility training program (with certification as installer qualification), or other program acceptable to the Department of Building Inspection. (CalGreen 702.1)

Covering duct openings and protecting mechanical equipment during construction: Duct openings and other air distribution component openings shall be covered during all phases of construction with tape, plastic, sheetmetal, or other acceptable methods to reduce the amount of water, dust, and debris entering the system. (CalGreen 4.504.1)

ENERGY STAR Compliant Bathroom exhaust fans: Must be ENERGY STAR compliant, ducted to terminate outside the building, and controlled by humidistat capable of adjustment between relative humidity of less than 50% to maximum of 80%. Humidity control may be a separate component from the exhaust fan. (CalGreen 4.506.1)

Carpet: All carpet must meet one of the following: (CalGreen 4.504.3)
 1. Carpet and Rug Institute Green Label Plus Program,
 2. California Department of Public Health Standard Practice for the testing of VOCs (Specification 01350),
 3. NSF/ANSI 140 at the Gold level,
 4. Scientific Certifications Systems Sustainable Choice, OR
 5. California Collaborative for High Performance Schools EQ 2.2 and listed in the CHPS High Performance Product Database
 AND carpet cushion must meet Carpet and Rug Institute Green Label, AND indoor carpet adhesive & carpet pad adhesive must not exceed 50 g/L VOC content.

Resilient flooring systems: For 80% of floor area receiving resilient flooring, install resilient flooring complying with (CalGreen 4.504.4):
 1. Certified under the Resilient Floor Covering Institute (RFCI) FloorScore program,
 2. Compliant with the VOC-emission limits and testing requirements of California Department of Public Health 2010 Standard Method for the Testing and Evaluation Chambers v.1.1,
 3. Compliant with the Collaborative for High Performance Schools (CHPS) EQ2.2 and listed in the CHPS High Performance Product Database, OR
 4. Certified under the Greenguard Children & Schools Program to comply with California Department of Public Health criteria.

Composite wood products: Hardwood plywood, particleboard, and medium density fiberboard composite wood products used on interior or exterior shall meet CARB Air Toxics Control Measure for Composite Wood. See CalGreen Table 4.504.5.

Interior paints and coatings: Comply with VOC limits in the Air Resources Board Architectural Coatings Suggested Control Measure and California Code of Regulations Title 17 for aerosol paints. See CalGreen Table 4.504.3.

Low-VOC aerosol paints and coatings: Meet BAAQMD VOC limits (Regulation 8, Rule 49) and Product-Weighted MIR Limits for ROC. (CalGreen 4.504.2.3.)

Low VOC Caulks, Construction adhesives, and Sealants: Meet SCAQMD Rule 1169. See CalGreen Tables 4.504.1 and 4.504.2. (CalGreen 4.504.2.1)

INDOOR WATER USE

All fixtures must not exceed the following flow rates (CalGreen Section 4.303.1):

Fixture Type	Maximum Prescriptive Flow Rate	Referenced Standard from California Plumbing Code Table 1401.1
Showerheads ¹	2.0 gpm @ 80 psi per valve and per showerhead ¹	n/a
Lavatory faucets - residential	1.5 gpm @ 60 psi	n/a
Lavatory faucets - common and public use areas	0.5 gpm @ 60 psi	n/a
Metering faucets	.25 gallons/cycle	ASME A112.18.1/CSA B125.1
Kitchen faucets	1.8 gpm @ 60 psi default; allowed to temporarily increase to 2.2 gpm.	n/a
Tank-type water closets	1.28 gallons/flush and EPA WaterSense Certified	U.S. EPA WaterSense Tank-Type High-Efficiency Toilet Specification
Pistonometer valve water closets	1.28 gallons/flush ¹	ASME A112.19.2/CSA B45.1 - 1.28 gal
Urinals	0.5 gallons/flush	ASME A112.19.2/CSA B45.1 - 0.5 gal

1) For dual flush toilets, effective flush volume is defined as the average volume of two reduced flushes and one full flush. The referenced standard is ASME A112.18.14 and USEPA WaterSense Tank-Type High Efficiency Toilet Specification - 1.28 gal (4.9 L)
 2) The combined flow rate of all showerheads in one shower shall not exceed the maximum flow rate for one showerhead, or the shower shall be designed to allow only one showerhead to be in operation at a time. (CalGreen 4.303.1.3)

EXISTING NONCOMPLIANT PLUMBING FIXTURES

All fixtures that are not compliant with the San Francisco Residential Water Conservation Ordinance that serve or are located within the project area must be replaced with fixtures or fittings meeting the maximum flow rates and standards at left. For more information, see the DBI brochure, "San Francisco's Residential Energy and Water Conservation Requirements", available at SFDPI.org, and also see the "Residential Water Conservation" section of the SFPUC website - SFWATER.org.

Noncompliant plumbing fixtures include:

- Any toilet manufactured for use more than 1.6 gallons of water per flush.
- Any urinal manufactured for use more than 1 gallon of water per flush.
- Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute.
- Any interior faucet that emits more than 2.2 gallons of water per minute.

Exceptions to this requirement are limited to situations where replacement of fixture(s) would detract from the historic integrity of the building, as determined by the Department of Building Inspection pursuant to San Francisco Building Code Chapter 13A.

VERIFICATION

Indicate below who is responsible for ensuring green building requirements are met. Projects that increase total conditioned floor area by \geq 21,000 square feet are required to have a Green Building Compliance Professional of Record as described in Administrative Bulletin 93. For projects that increase total conditioned floor area by $<$ 1,000 square feet, the applicant or design professional may sign below, and no license or special qualifications are required.

FINAL COMPLIANCE VERIFICATION form will be required prior to Certificate of Completion.

GREENWICH STREET RESIDENCE

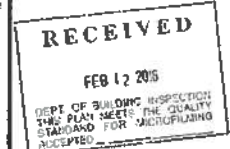
Project Name
0095 / 024
 Block/Lot
1281 / 1283 GREENWICH STREET; SAN FRANCISCO, CA 94109
 Address
RESIDENCE
 Primary Occupancy Δ
6,599 SQFT.
 Gross Building Area
459 SQFT. 2nd fl.
 Increase in Conditioned Floor Area

I will assure that approved construction documents and construction fulfill the requirements of San Francisco Green Building Code. It is my professional opinion that the requirements of the San Francisco Green Building Code will be met. I will notify the Department of Building Inspection if the project will, for any reason, not substantially comply with these requirements, if I am no longer the Green Building Compliance Professional of Record for the project, or if I am otherwise no longer responsible for assuring the compliance of the project with the San Francisco Green Building Code.

[Signature]

Licensed Professional: Sign & Date
 (May be signed by the applicant when less than 1,000 square feet is added.)

Affix professional stamp:



GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

Peter Tan, DBI
 FEB 12 2016

BUILDING PERMIT

REVISIONS:	BY:
Δ REVISION - 01/20/2016	SR

JOB#:	1372
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

Projects that increase total conditioned floor area by \geq 21,000 square feet:

The Green Building Compliance Professional of Record for this project is:

[Signature] DAE SWEZE 415.266.7771
 Green Building Compliance Professional - Name and Contact Phone Number

BUTLER ARMSDEN ARCHITECTS
 Green Building Compliance Professional - Firm

I am a LEED Accredited Professional
 I am a GreenPoint Rated
 I am an ICC-Certified CalGreen Inspector

[Signature] 2/12/2016
 Green Building Compliance Professional - Sign & Date

Signature by a professional holding at least one of the above certifications is required. If the Licensed Professional does not hold a certification for green design and/or inspection, this section may be completed by a third party who will verify applicable green requirements are met.



SF GREEN BUILDING SUBMITTAL C-7

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

- GENERAL DEMOLITION NOTES**
1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
 2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
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 5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
 6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
 7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE, REMOVE WINDOW HARDWARE, U.O.N.
 8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
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 10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
 11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

BUTLER ARMSDEN ARCHITECTS

NEW SUITE SUITE
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E: INFO@BUTLERARMSDEN.COM
 T: 415-774-5354
 F: 415-773-5225

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF

Per: Tan, DBI
 FEB 12 2016

BUILDING PERMIT

REVISIONS:	BY:

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

Vivian Huang, DBI
APPROVED
 Dept. of Building Insp.



JUL 25 2016

[Signature]
 PROJECT ARCHITECT

BASEMENT DEMO PLAN

(E) LINE OF HOUSE FOOTPRINT ABOVE

(E) LINE OF LIGHTWELL ABOVE TO BE REPLACED

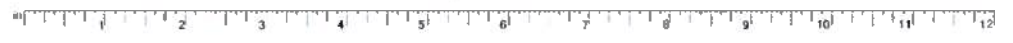
(E) LINE OF FINAL FLOOR ABOVE

1275 GREENWICH
 ADJACENT PROPERTY
 00957 023

2460 LARKIN
 ADJACENT PROPERTY
 00957 023

REF. OPW/024 PERMIT 1194-0001 FOR APPROVED EXTERIOR RE-GRADING, STAIR & SIDEWALK ALTERATIONS

1 DEMO BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

A1.1

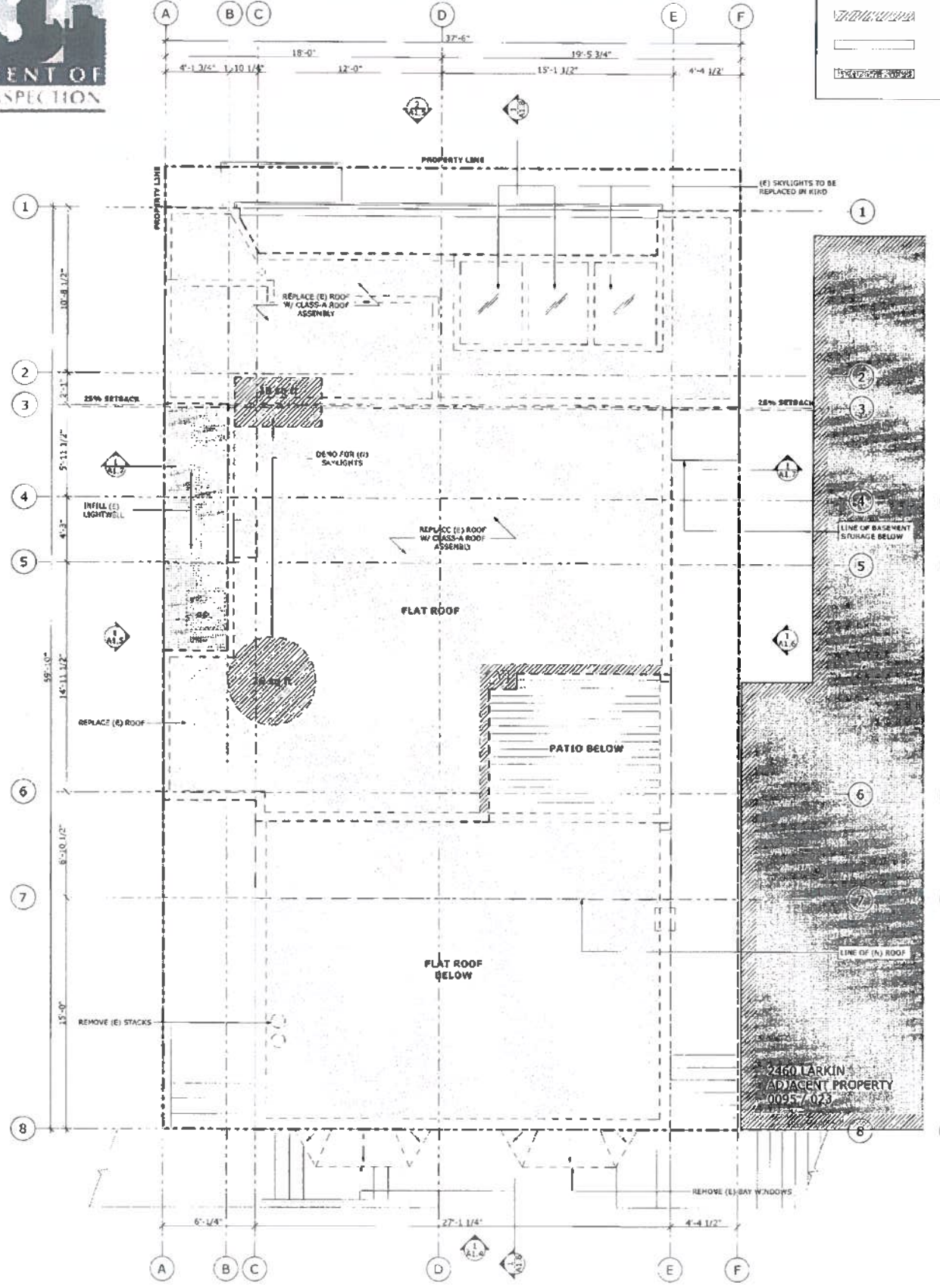
WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

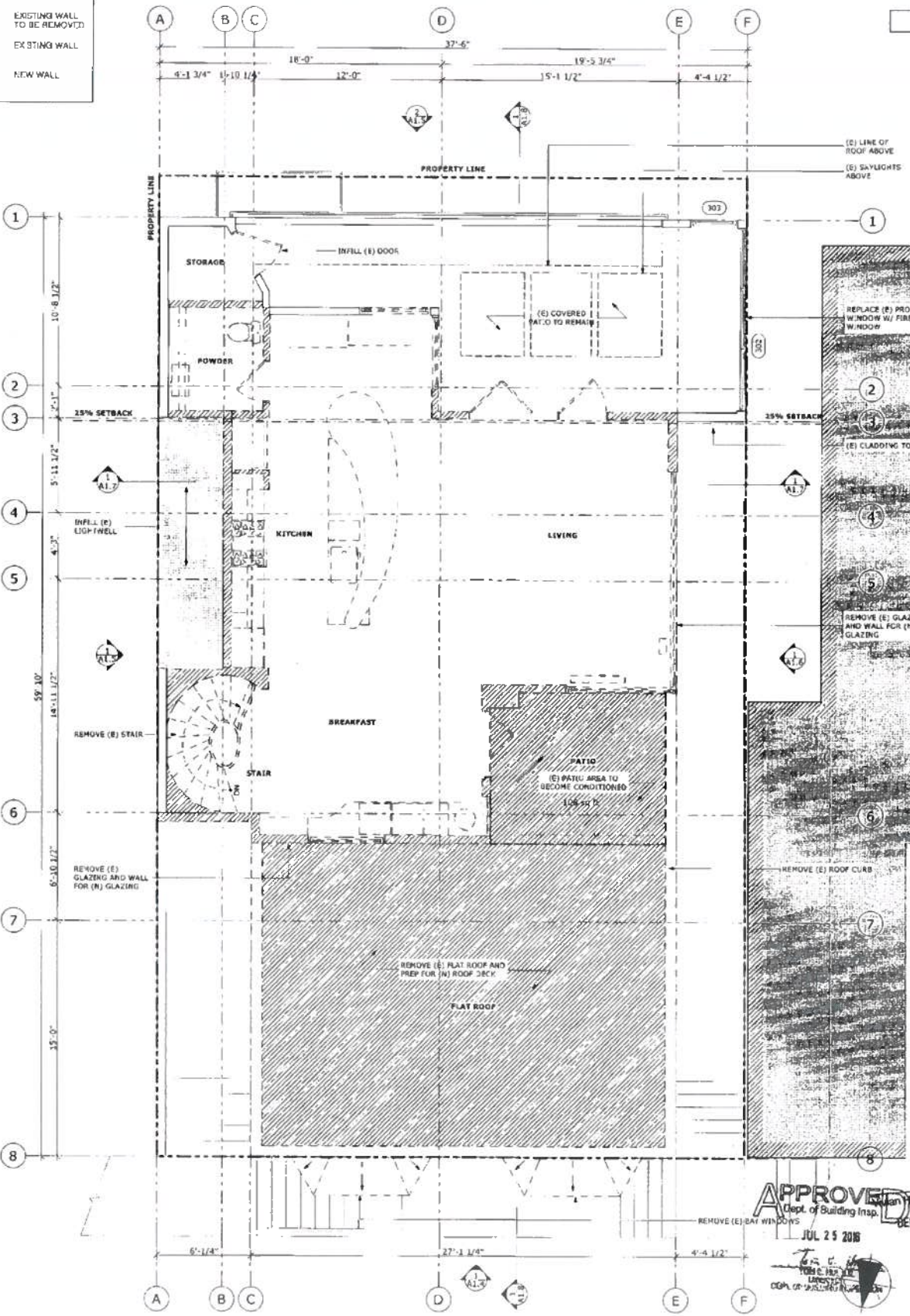
BUTLER ARMSDEN ARCHITECTS

1440 BUTLER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 K. FISHER@BUTLERARMSDEN.COM
 T. 415-471-5551
 F. 415-474-5558

GREENWICH STREET RESIDENCE
 1287/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



2 DEMO ROOF PLAN
 SCALE: 1/4" = 1'-0"



1 DEMO THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

APPROVED
 Dept. of Building Insp.
 JUL 25 2015
 T. E. HAY
 CHIEF OF BUILDING INSPECTION

BUILDING PERMIT

REVISIONS: _____ BY: _____

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / OS
CHECKED:	LB
SCALE:	AS NOTED



THIRD FLOOR & ROOF DEMO PLAN

A1.3



GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
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BUTLER ARMSDEN
 ARCHITECTS

1100 SUTTER STREET
 SAN FRANCISCO, CA 94109
 (415) 774-0000
 E: INFO@BUTLERARMSDEN.COM
 F: 415-674-5554

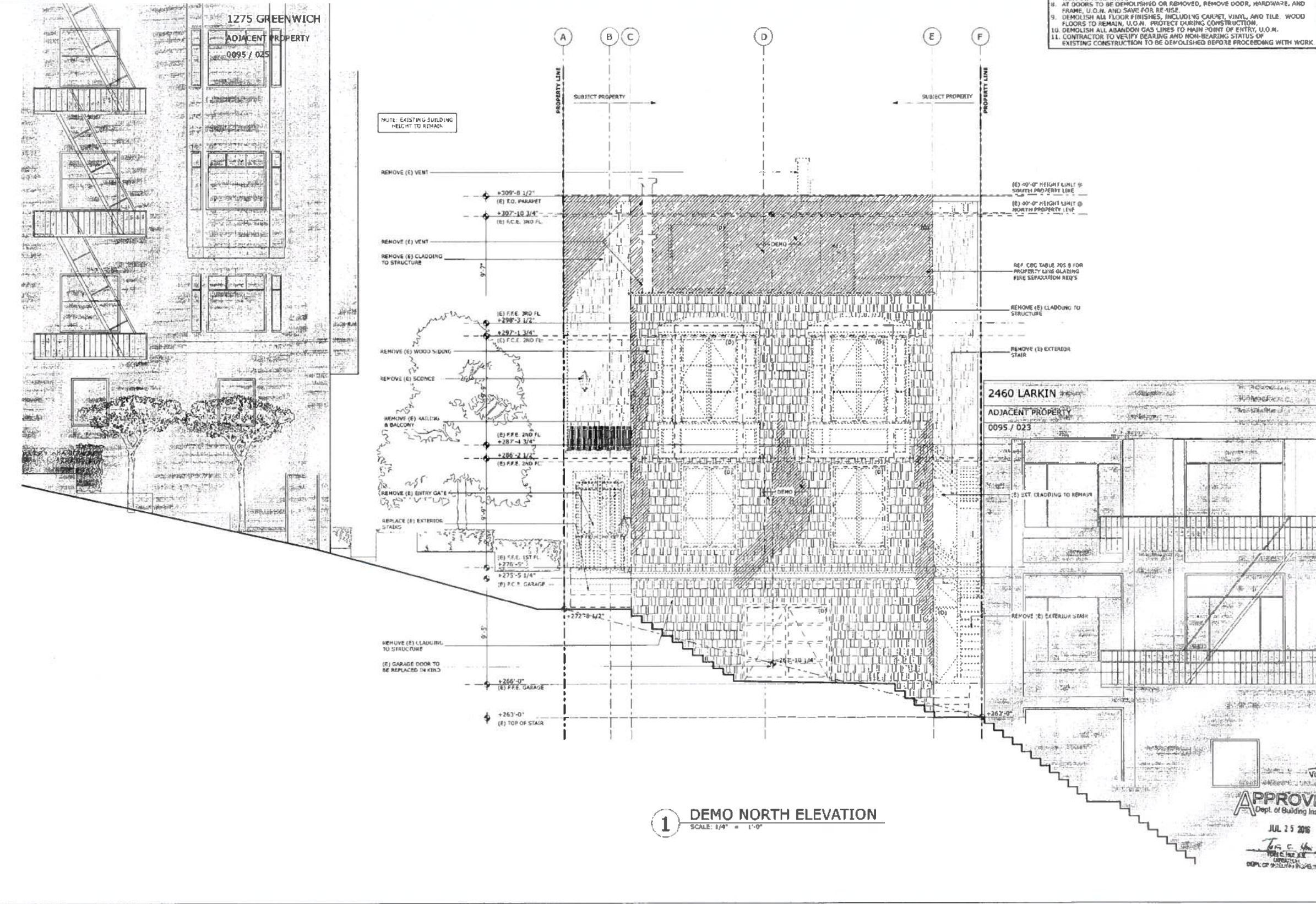
ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1283/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

4-5-16
 Approved Planning Dept. Carly Goh

BUILDING PERMIT

REVISIONS:	BY:
JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED



1 DEMO NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

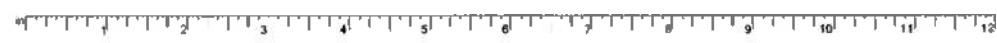
APPROVED
 Dept. of Building Insp.

JUL 25 2015
 Tom C. Hu
 DEPT. OF BUILDING INSPECTION



DEMO NORTH
 ELEVATION

A1.4



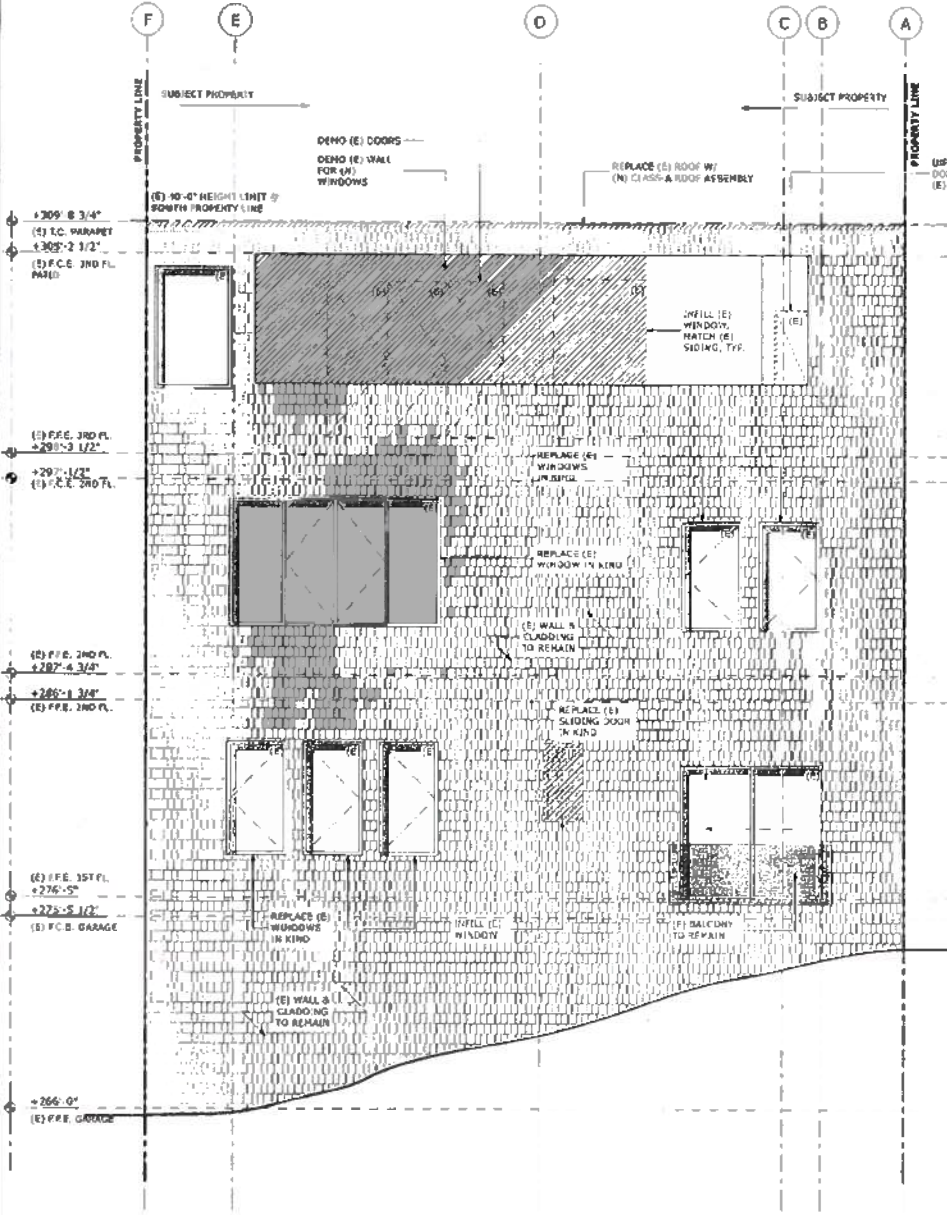
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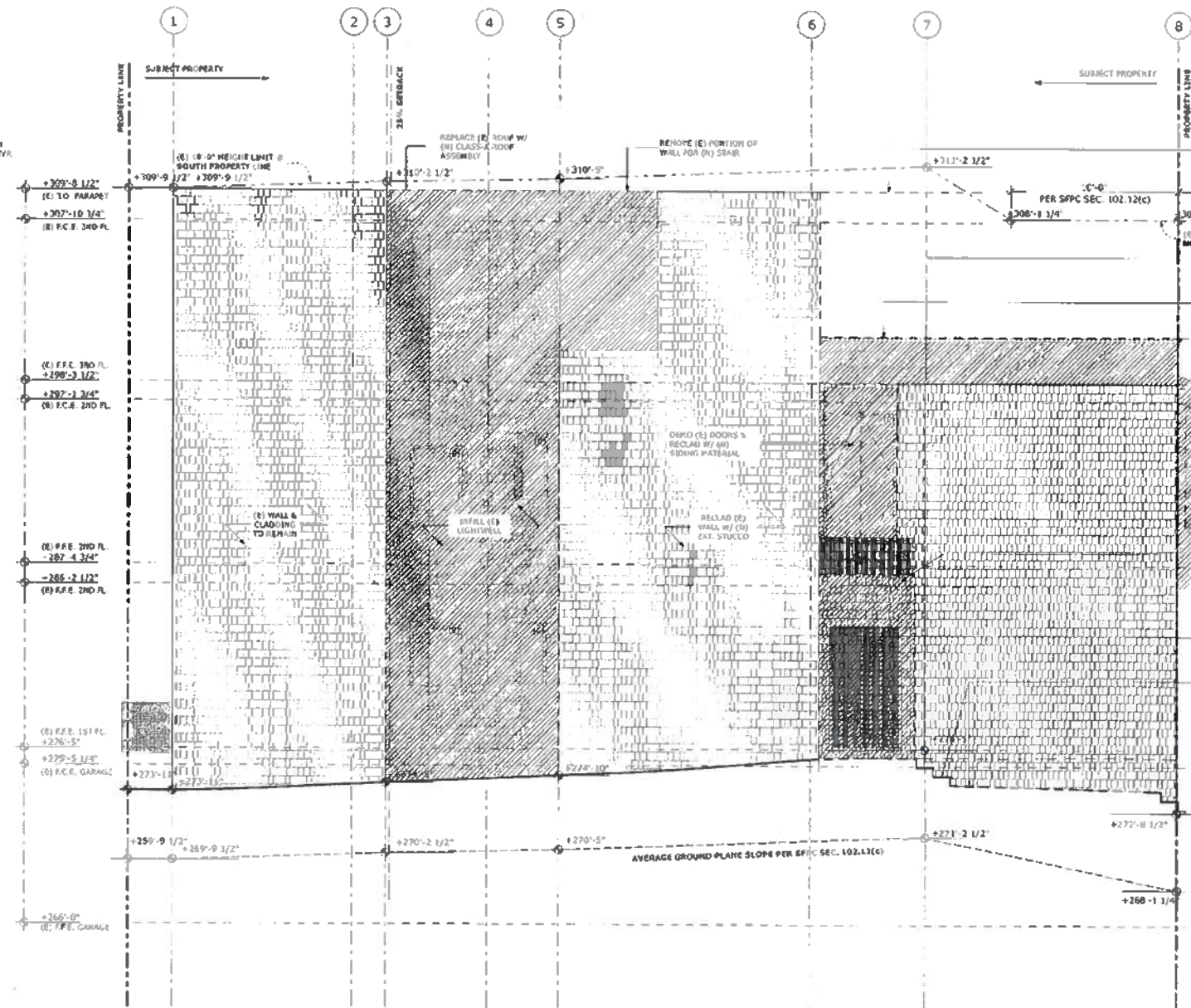
BUTLER ARMSDEM ARCHITECTS
 1140 SUTTER STREET
 SAN FRANCISCO, CA 94109
 415.441.5554
 415.441.5555

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDRESS FOR CONSTRUCTION OF

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



2 DEMO SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



1 DEMO EAST ELEVATION
 SCALE: 1/4" = 1'-0"

BUILDING PERMIT

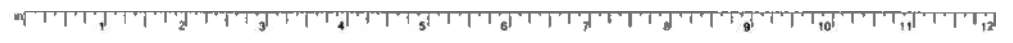
REVISIONS	DATE	BY

JOB#: 1322
 DATE: 11/6/2015
 DRAWN: SR DS
 CHECKED: LB
 SCALE: AS NOTED

Vivian Huang, DBI
APPROVED
 Dept. of Building Insp.
 JUL 24 2016



DEMO SOUTH & EAST ELEVATIONS



GENERAL DEMOLITION NOTES

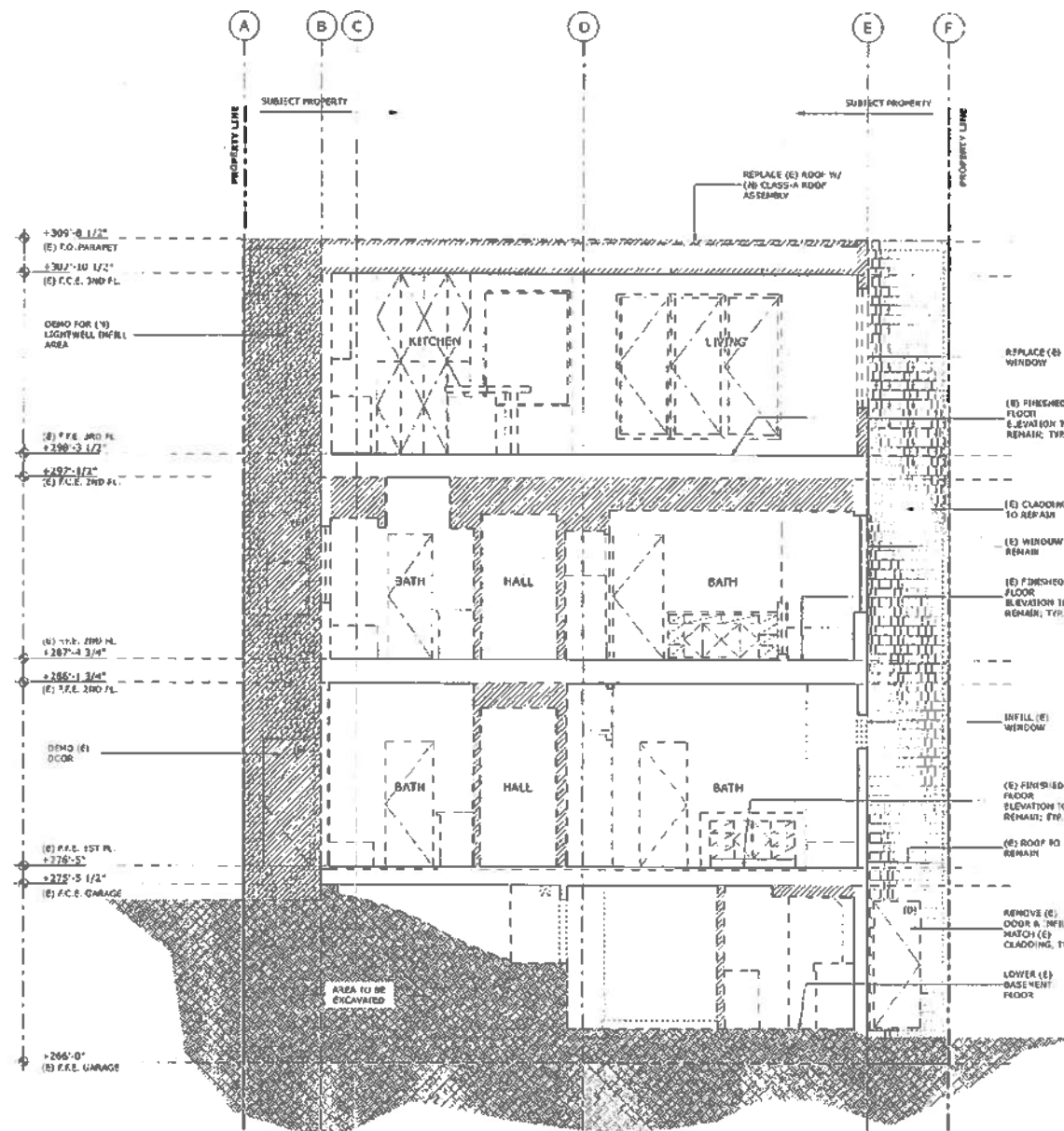
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BUTLER ARMSDEN
 ARCHITECTS

1420 BUTLER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN@GMAIL.COM
 E: 2370@BUTLERARCHITECTS.COM
 T: 415-424-5554
 F: 415-421-0228

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



1 DEMO EAST / WEST SECTION
 SCALE: 1/4" = 1'-0"

APPROVED
 Dept. of Building Insp.

JUL 29 2016
 William H. ...
 SUPERVISOR
 DEPARTMENT OF BUILDING INSPECTION
 415 378 2000



Carly Grob
 4.5.16
 Approved Project Dept. Carly Grob

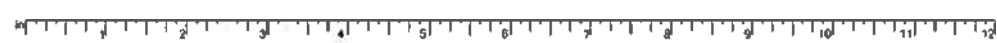
BUILDING PERMIT

REVISIONS:	BY:

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

EXISTING/DEMO SECTIONS

A1.7



GENERAL DEMOLITION NOTES

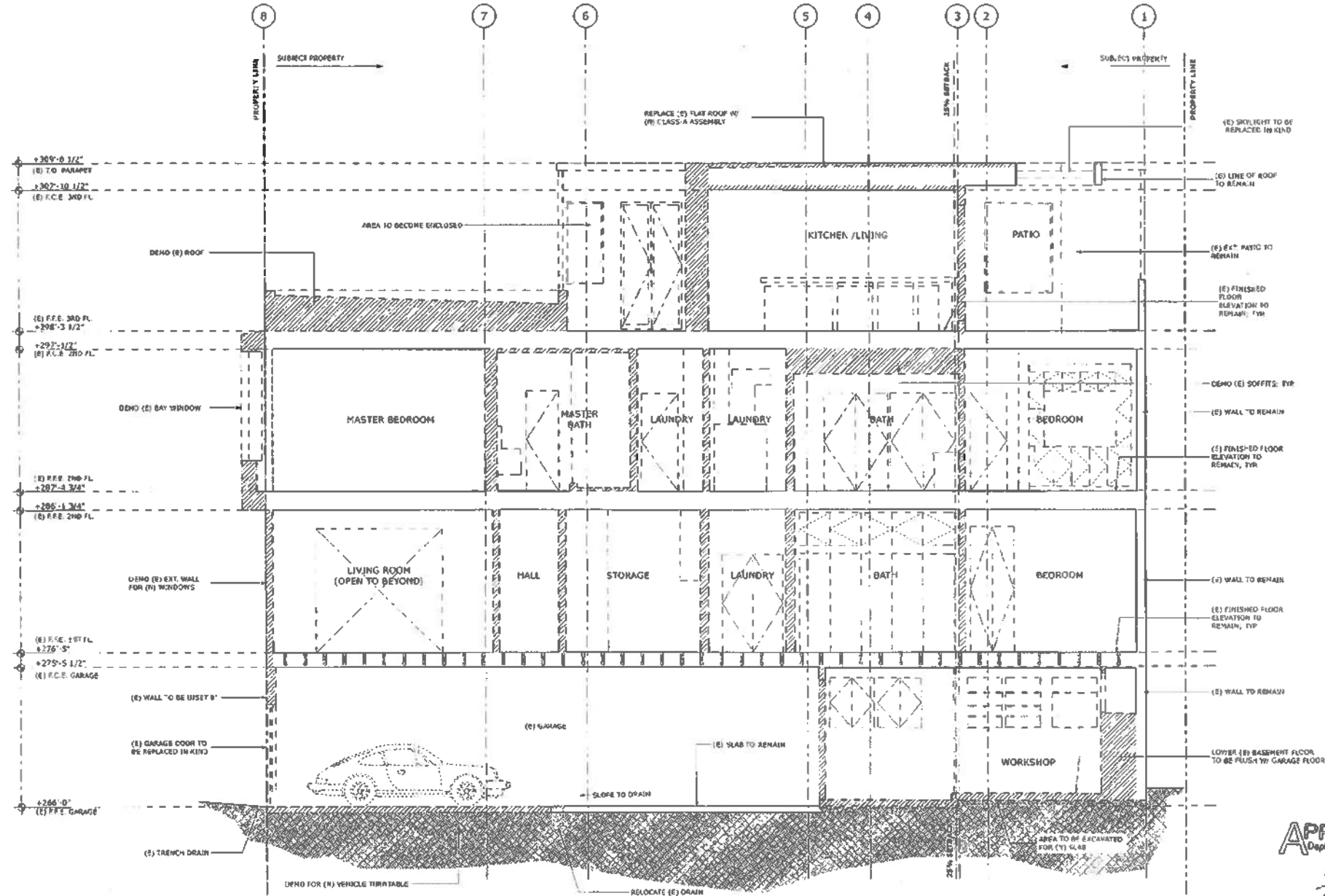
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**BUTLER ARMSDEN
 ARCHITECTS**

4150 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLER@BUTLERARMSDEN.COM
 INFO@BUTLERARMSDEN.COM
 T 415-674-5254
 F 415-674-5258

ADDENDUM #
 NEW 12 2015
 SITE PERMIT, ADDENDUM (U)
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



BUILDING PERMIT

REVISIONS:	BY:

JOB#: 1322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

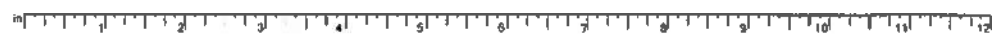
APPROVED
 Dept. of Building Insp.
 JUL 25 2016
 [Signature]
 Vivan Huang, DBI
 DEC 18 2015



EXISTING/DEMO SECTIONS

1 DEMO NORTH / SOUTH SECTION
 SCALE: 1/4" = 1'-0"

[Signature]
 Approved/Placed in Dept. City of



WALL LEGEND

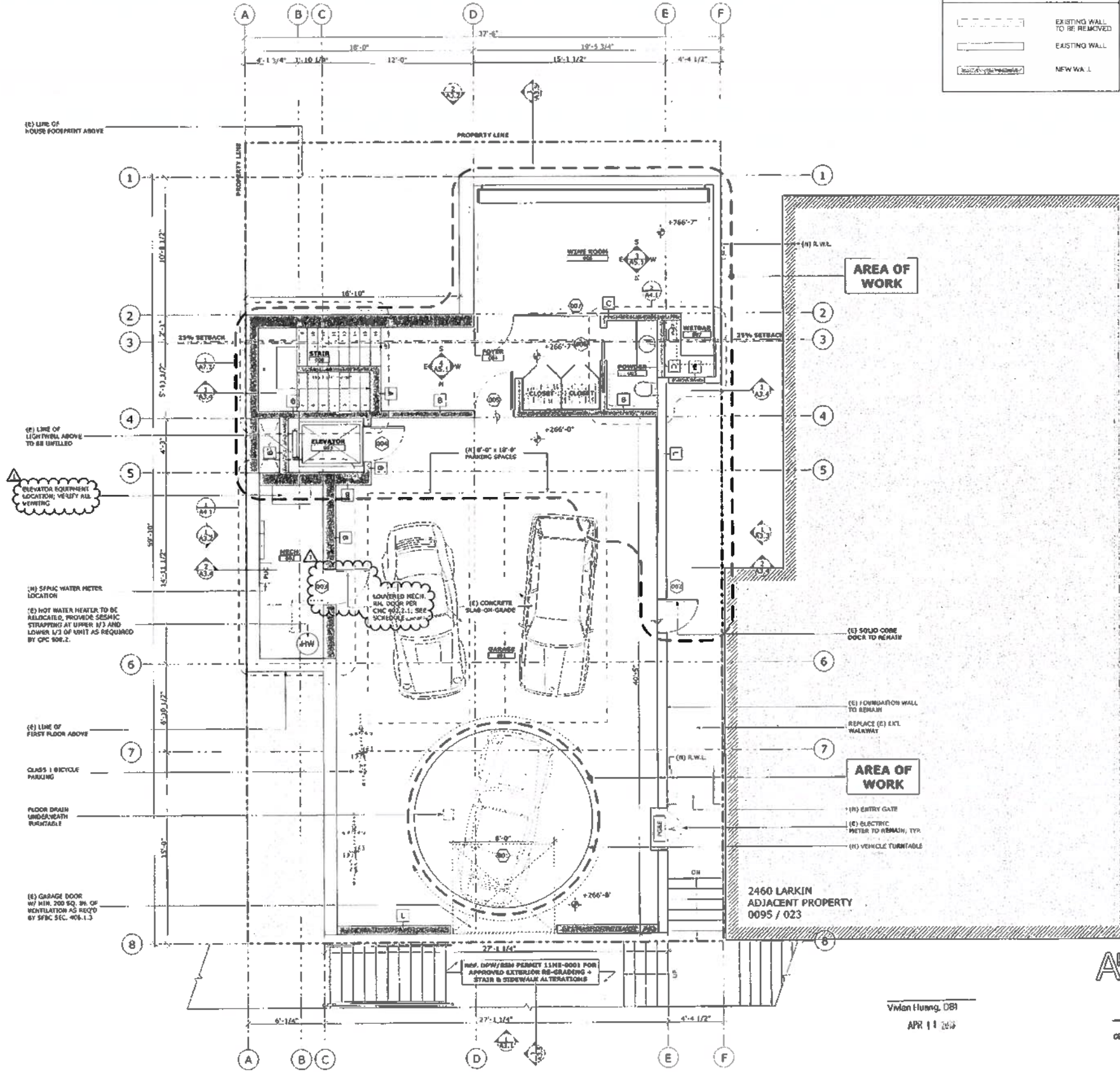
	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

BUTLER ARMSDEN ARCHITECTS

1400 BUTLER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 INFO@BUTLERARMSDEN.COM
 415-771-8884
 415-771-8888

RECEIVED
 FEB 17 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR MICROFILMING
 ACCEPTED

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



1275 GREENWICH
 ADJACENT PROPERTY
 0095 / 025

2460 LARKIN
 ADJACENT PROPERTY
 0095 / 023

Peter Tam, DBI
 FEB 12 2016

BUILDING PERMIT

REVISIONS:	BY:
△ REVISION - 02/20/2016	SR
JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.

JUL 25 2016
 Approved by Building Dept.
 City of San Francisco



Vivian Huang, DBI
 APR 11 2016

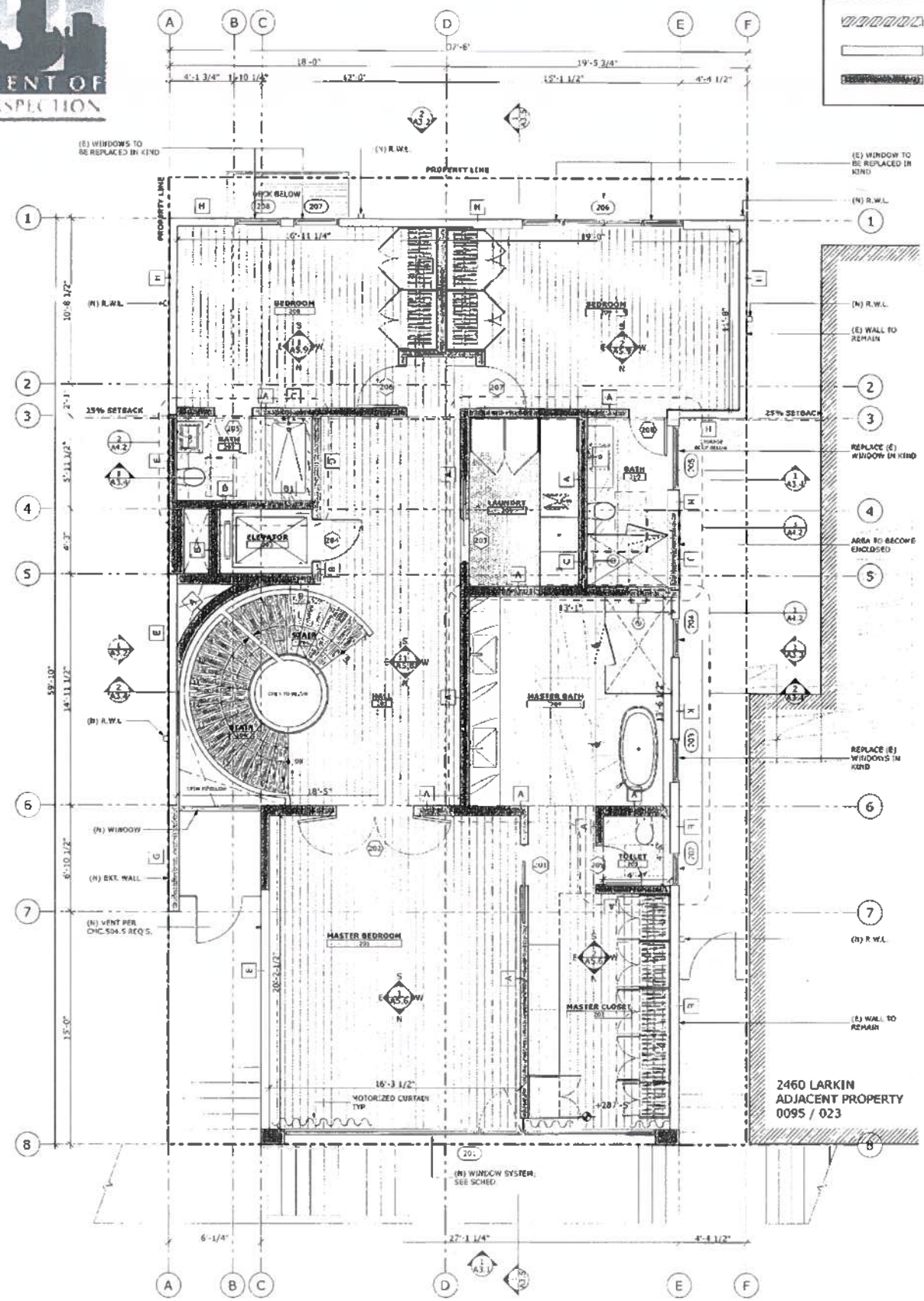
Approved by Building Dept.
 City of San Francisco

BASEMENT PROPOSED PLAN

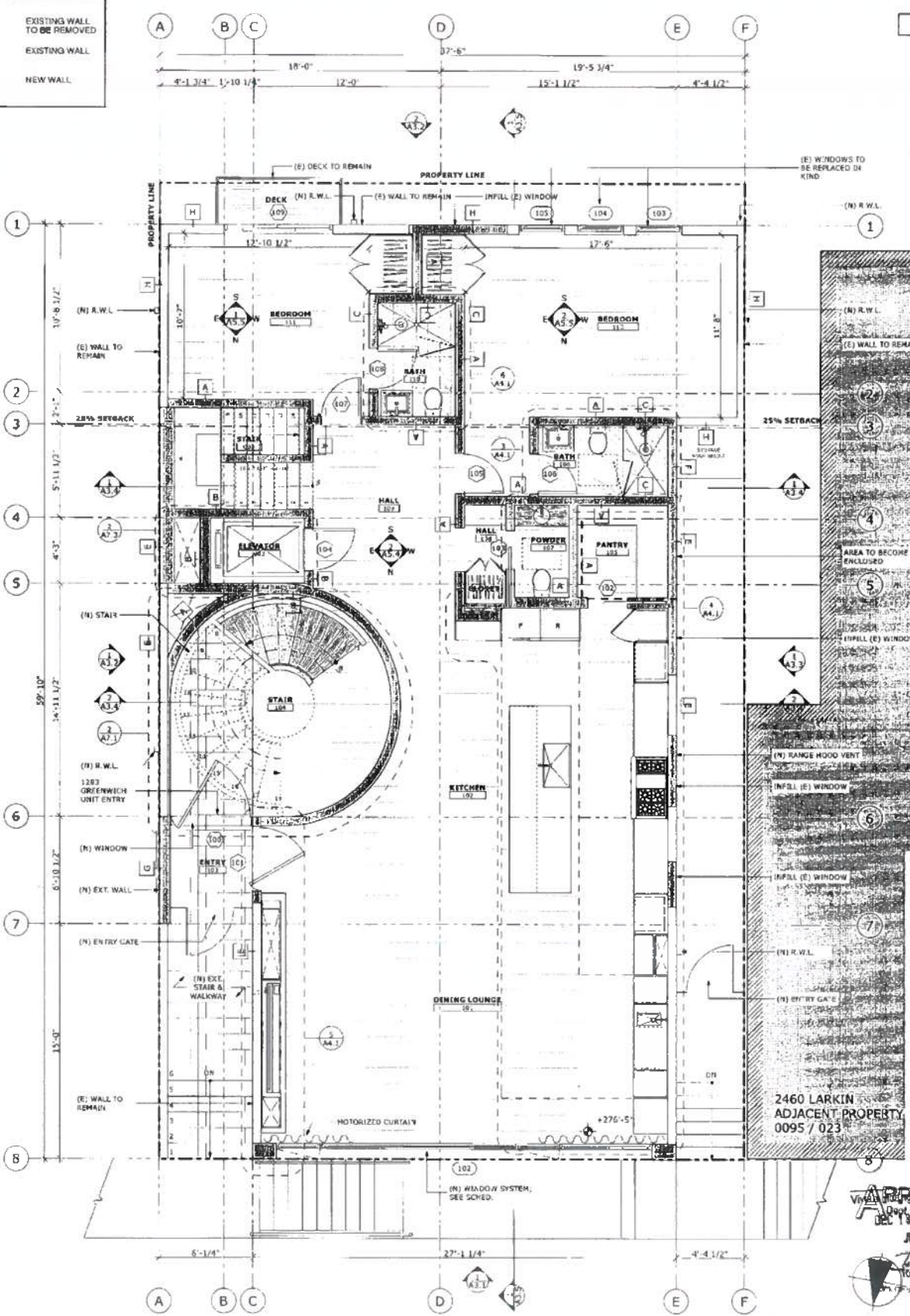
1 PROPOSED BASEMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL



2 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

APPENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

Peter Tan, DBI
 FEB 12 2016

BUILDING PERMIT

REVISIONS:	BY:

JOB #:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 25 2016

LICENSURE ARCHITECT
 JENNIS W. BULLOCK
 STATE OF CALIFORNIA

ERST & PARTNERS
 ARCHITECTS
 100 CALIFORNIA STREET
 SAN FRANCISCO, CA 94109

Approved Planning Dept. Carly Grob
 4-5-16

1400 BUTLER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E INFO@BUTLERARMSDEN.COM
 T 415-471-5554
 F 415-471-5558

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL

RECEIVED
 FEB 12 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR MICROFILMING
 ACCEPTED

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

Peter Tan, DBI
 FEB 12 2016

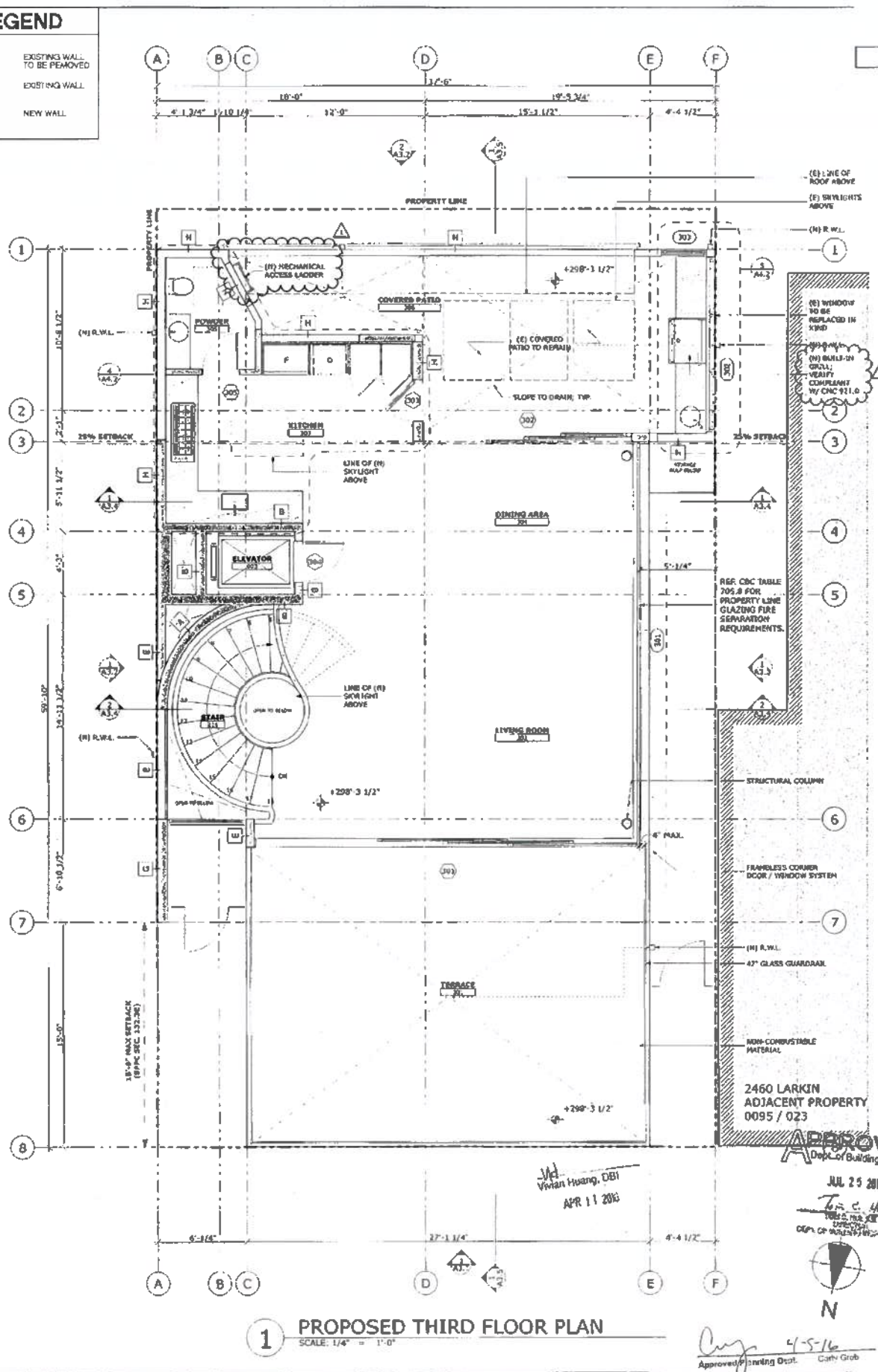
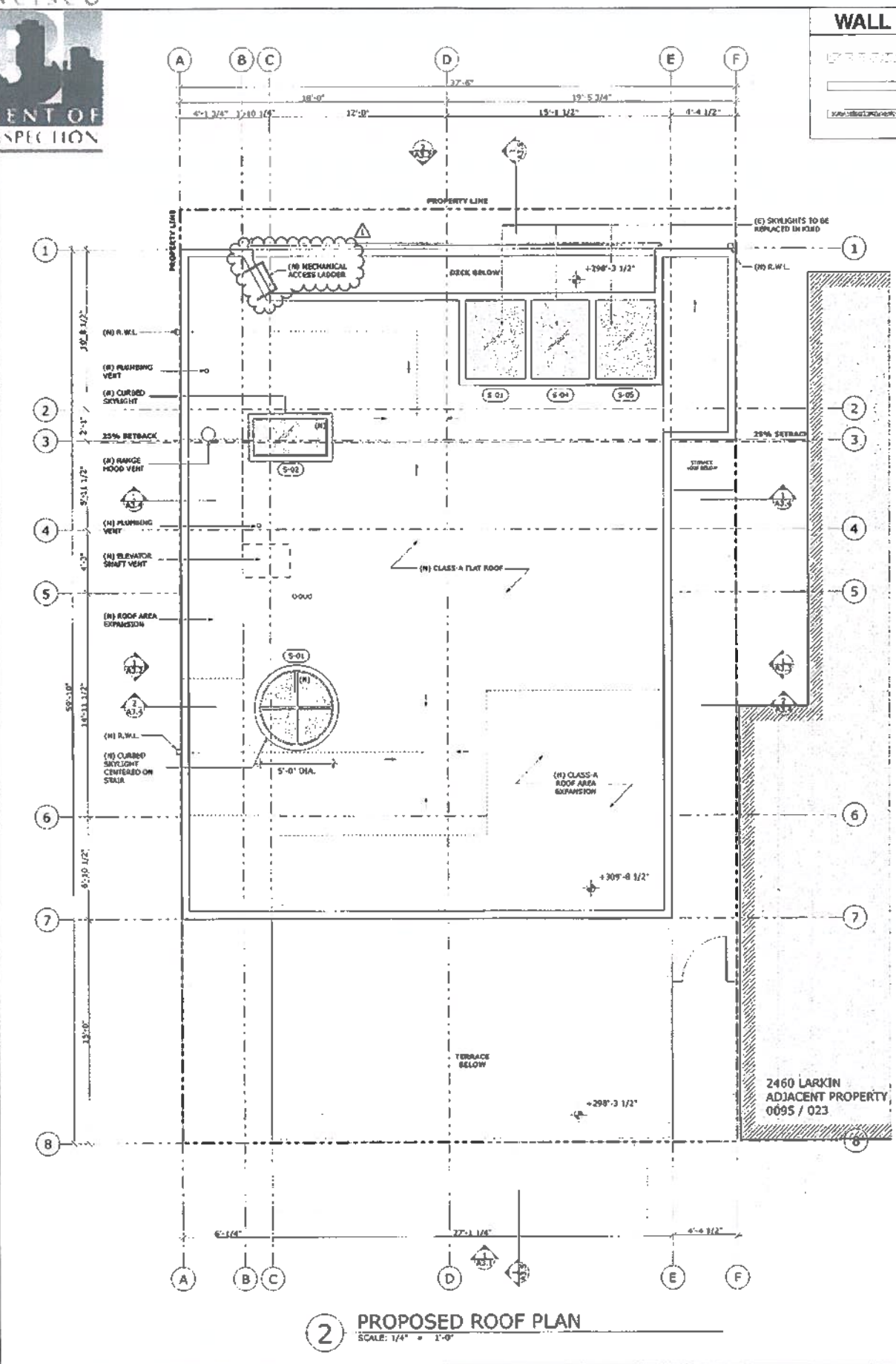
BUILDING PERMIT

REVISIONS:	BY:
Δ REVISION - 01/20/2016	SR

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
	AS NOTED

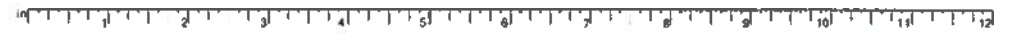
JUL 25 2016
 Approved Architect
 Peter Tan
 DEPT. OF BUILDING INSPECTION
THIRD FLOOR & ROOF PROPOSED PLAN

A2.3

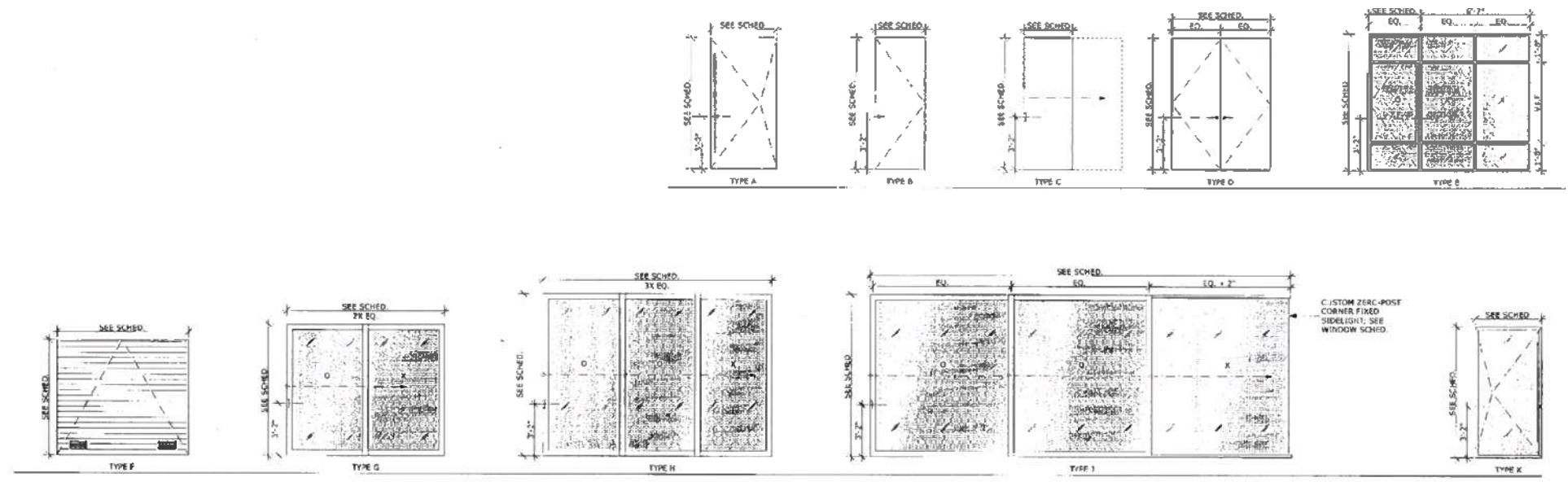


JUL 11 2016
 Approved Building Dept.
 Vivian Huang, DBI

Approved Building Dept.
 Cathy Grab



ADDENDUM #
NOV 17 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:
GREENWICH STREET RESIDENCE
 1283/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



2 DOOR ELEVATIONS
 SCALE: 1/4" = 1'-0"

MARK	TYPE	MANUFACTURER	WIDTH	HEIGHT	THK.	MATERIAL	FINISH	GLAZING TYPE	FRAME MATERIAL	FRAME FINISH	HARDWARE SET	NOTES
021	F	T80	6'-0"	7'-0"	0'-1 1/4"	NTL	PTD.	NONE	NTL	PTD.	GARAGE	EXISTING TO BE REPLACED
022	B	T80	2'-6"	7'-0"	0'-1 1/4"	NTL	PTD.	NONE	NTL	PTD.	ENTRY	EXISTING TO BE REPLACED IN KIND; 45 MIN. FIRE RATED; GASKETTED SELF-CLOSING
023	B	T80	2'-6"	7'-0"	0'-1 1/4"	NTL	PTD.	NONE	NTL	PTD.	PASSAGE	45 MIN. FIRE RATED; GASKETTED SELF-CLOSING
024	B	T80	2'-6"	7'-4"	0'-1 1/4"	NTL	PTD.	NONE	NTL	PTD.	PASSAGE	45 MIN. FIRE RATED; GASKETTED SELF-CLOSING
025	B	T80	3'-0"	7'-6"	0'-1 1/4"	WD.	C.G.	NONE	NTL	PTD.	SECURITY	45 MIN. FIRE RATED; GASKETTED SELF-CLOSING
026	C	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	S.G.	SECURITY	45 MIN. FIRE RATED; GASKETTED SELF-CLOSING
027	E	T80	3'-3/4"	8'-3"	0'-2 1/2"	NTL	NATURAL	2	NTL	NATURAL	PASSAGE	
199	A	T80	5'-0"	8'-0"	0'-2"	WD.	S.G.	1	NTL	POWDER COAT	ENTRY	
191	A	T80	4'-0"	8'-0"	0'-2"	WD.	S.G.	NONE	WD.	P.G.	ENTRY	
192	C	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	POCKET	
193	C	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	POCKET	
194	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	PASSAGE	45 MIN. FIRE RATED; GASKETTED SELF-CLOSING
195	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
196	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
197	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
198	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
199	G	T80	6'-7"	7'-6"	0'-2 1/2"	NTL	PTD.	2	NTL	PTD.	PATIO	
201	C	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	POCKET	
202	D	T80	5'-0"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
203	C	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	POCKET	
204	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	PASSAGE	45 MIN. FIRE RATED; GASKETTED SELF-CLOSING
205	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
206	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
207	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
208	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
209	B	T80	2'-6"	7'-6"	0'-1 1/4"	WD.	S.G.	NONE	WD.	P.G.	SECURITY	
301	J	T80	26'-5 1/4"	9'-11"	0'-3 1/2"	NTL	POWDER COAT	1	NTL	POWDER COAT	LIFT SLIDE	
302	K	T80	12'-1 1/2"	9'-11"	0'-2 1/2"	NTL	POWDER COAT	1	NTL	POWDER COAT	LIFT SLIDE	
303	K	T80	2'-6"	9'-11"	0'-2 1/2"	NTL	POWDER COAT	2	NTL	POWDER COAT	ENTRY	

SCHEDULE NOTES:
 1. VERIFY ALL DIMENSIONS IN FIELD
 2. TEMPERED GLASS LOCATIONS AS REQ'D BY CODE
 3. GLAZING TYPES:
 1 - DOUBLE PANE LOW-E INSULATED W/ BIRD- SAFETY COATING
 2 - DOUBLE PANE LOW-E INSULATED
 4. ALL DOOR SWINGS PER PLAN
 5. ALL EXTERIOR DOORS SUPPLIED W/ WEATHERSTRIPPING AND GASKET

BUILDING PERMIT

REVISIONS: _____ BY: _____

JOB#: 1322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 23 2015
 T. C. Hsu
 Chief of Building Inspection
 101 Franklin Street, San Francisco, CA 94102
 Tel: 415-361-3100

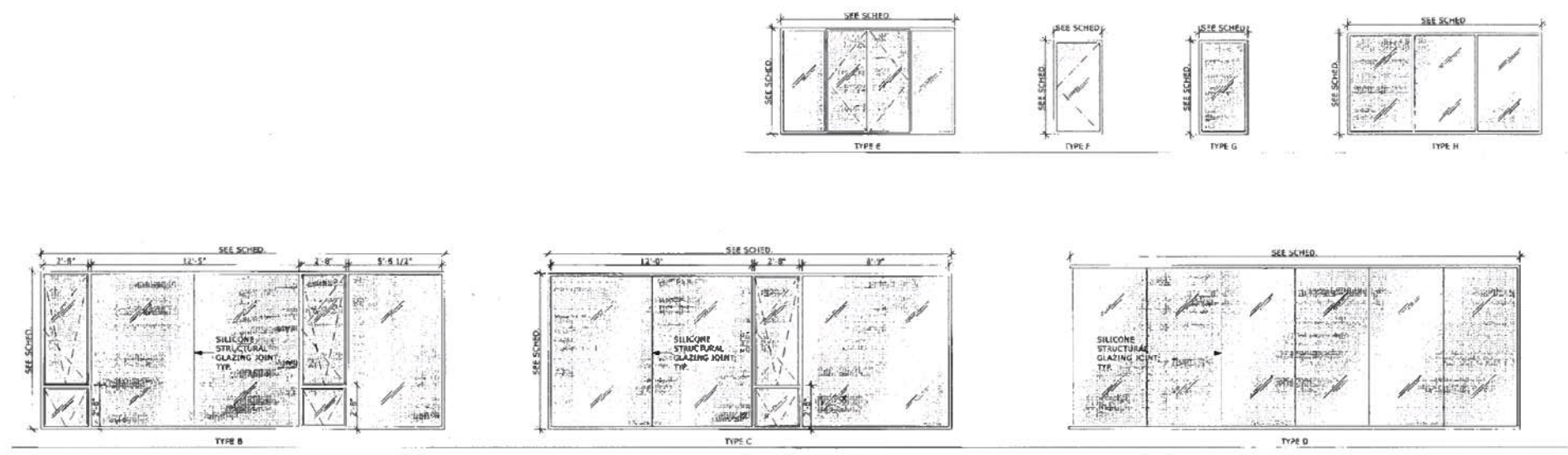


DOOR SCHEDULE



ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF

GREENWICH STREET RESIDENCE
 128 1/2 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



2 WINDOW ELEVATIONS
 SCALE: 1/4" = 1'-0"

MARK	TYPE	MANUFACTURER	OPERATION	W x H	SILL HEIGHT	MATERIAL	GLAZING TYPE	FINISH	HARDWARE	NOTES
102	B	TBD	FIXED / TILT-TURN HOPPER	24'-3/4"x9'-6"	2'-0"	MTL	1	PTD	TILT-TURN HOPPER	CURTAIN WALL SYSTEM W/ 2 OPERABLE WINDOWS
103	F	TBD	CASEMENT	2'-10 1/2"x5'-7 1/2"	2'-1 1/4"	WD.	2	PTD	CASEMENT	*EGRESS
104	F	TBD	CASEMENT	2'-10 1/2"x5'-7 1/2"	2'-1 1/4"	WD.	2	PTD	CASEMENT	*EGRESS
105	F	TBD	CASEMENT	2'-10 1/2"x5'-7 1/2"	2'-1 1/4"	WD.	2	PTD	CASEMENT	*EGRESS
201	C	TBD	FIXED / TILT-TURN HOPPER	24'-3/4"x9'-6 1/2"	2'-1 1/4"	MTL	1	PTD	TILT-TURN HOPPER	CURTAIN WALL SYSTEM W/ 1 OPERABLE EGRESS WINDOW
202	G	TBD	FIXED	2'-11/2"x3'-6"	4'-10 3/4"	WD.	2	PTD	NONE	(E) TO BE REPLACED IN KIND
203	G	TBD	FIXED	2'-9"x3'-6"	4'-10 3/4"	WD.	2	PTD	NONE	(E) TO BE REPLACED IN KIND
204	G	TBD	FIXED	2'-5 1/4"x3'-6"	4'-10 3/4"	WD.	2	PTD	NONE	(E) TO BE REPLACED IN KIND
205	G	TBD	FIXED	4'-1 1/4"x3'-0"	2'-6 1/2"	WD.	2	PTD	NONE	(E) TO BE REPLACED IN KIND
206	E	TBD	CASEMENT	10'-4 1/2"x6'-4"	2'-4 1/2"	WD.	2	PTD	NONE	*EGRESS, (E) TO BE REPLACED IN KIND
207	F	TBD	CASEMENT	2'-10 3/4"x5'-5"	2'-4 1/2"	WD.	2	PTD	CASEMENT	*EGRESS, (E) TO BE REPLACED IN KIND
208	F	TBD	CASEMENT	2'-11"x5'-5"	2'-4 1/2"	WD.	2	PTD	CASEMENT	*EGRESS, (E) TO BE REPLACED IN KIND
301	D	TBD	FIXED	26'-5 1/2"x5'-0"	0'-0"	MTL	1	PTD	NONE	CUSTOM ZERO-POST CORNER, CONNECTS TO DOOR 301
302	H	TBD	FIXED	11'-7"x5'-0"	3'-2"	WD.	1	PTD	NONE	(E) TO BE REPLACED IN KIND
303	G	TBD	FIXED	2'-11 1/2"x6'-3/4"	3'-2"	WD.	1	PTD	NONE	(E) TO BE REPLACED IN KIND
S-01	J	TBD	SKYLIGHT - FIXED	5'-0"x5'-0"	0'-0"	MTL	2	PTD	NONE	CIRCULAR SKYLIGHT
S-02	K	TBD	SKYLIGHT - FIXED	5'-0"x2'-6"	0'-0"	MTL	2	PTD	NONE	
S-03	K	TBD	SKYLIGHT - FIXED	4'-3/4"x5'-3 1/2"	0'-0"	MTL	2	PTD	NONE	(E) TO BE REPLACED IN KIND
S-04	K	TBD	SKYLIGHT - FIXED	4'-3/4"x5'-3 1/2"	0'-0"	MTL	2	PTD	NONE	(E) TO BE REPLACED IN KIND
S-05	K	TBD	SKYLIGHT - FIXED	4'-3/4"x5'-3 1/2"	0'-0"	MTL	2	PTD	NONE	(E) TO BE REPLACED IN KIND

SCHEDULE NOTES:
 1. VERIFY ALL DIMENSIONS IN FIELD
 2. TEMPERED GLASS LOCATIONS AS REQ'D BY CODE
 3. GLAZING TYPES:
 1 - DOUBLE PANE LOW-E INSULATED W/ BIRD-SAFETY COATING
 2 - DOUBLE PANE LOW-E INSULATED

BUILDING PERMIT

REVISIONS: _____ BY: _____

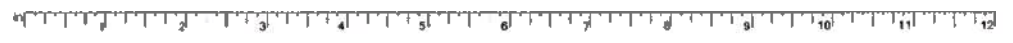
#08#: L322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

APPROVED
 Dept of Building Insp.
 JUL 28 2016
 Viron Hoang, Director



WINDOW SCHEDULE

A2.5



ROOM NUMBER	ROOM NAME	CODE	ITEM / TYPE	MFG	MODEL	DESCRIPTION	FINISH / COLOR	DIMENSIONS	QTY.	NOTES
002	MECHANICAL	01	BOILER	SEE MECH.	SEE MECH.	SEE MECH.	SEE MECH.	SEE MECH.	1	SEE MECHANICAL DRAWINGS FOR SPECIFICATION
		02	WATER HEATER	SEE MECH.	SEE MECH.	SEE MECH.	SEE MECH.	SEE MECH.	1	SEE MECHANICAL DRAWINGS FOR SPECIFICATION
		03	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
		04	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
		05	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
		06	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
007	WINE ROOM	07	MINI FRIDGE	SUB ZERO	UC-24RO	24" UNDER COUNTER - PANEL	STAINLESS	23 7/8"W x 34"H x 24"D	1	
101	DINING	08	GAS FIREPLACE	SPARK	L884	NATURAL GAS LINEAR BURNER SYSTEM	MTL / MUD-IN	10'0" X 84"W	1	129,000 BTU/HR.
102	KITCHEN	09	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
		10	REFRIGERATOR/ FREEZER	SUBZERO	IT-30CI	30" INTEGRATED OVER-AND-UNDER	CUSTOM PANEL	30"W X 84"H X 24" D	1	
		11	REFRIGERATOR	SUBZERO	IT-30RBD	30" INTEGRATED OVER-AND-UNDER	CUSTOM PANEL	30"W X 84"H X 24" D	1	
		12	OVEN	WOLF	SO30TE	BUILT-IN SINGLE OVEN	STAINLESS	29.875" W X 27.875" T X 23.75" D	1	
		13	WARMING DRAWER	WOLF	WWD30	30" WARMING DRAWER	STAINLESS	29 7/8" W X 10 3/8" H X 22 3/4" D	1	
		14	DISHWASHER	MIELE	G 6165 SCV	FULLY INTEGRATED DISHWASHER	CUSTOM PANEL	23 9/16" W X 33 11/16" T X 22 7/16" D	1	
		15	GARBAGE DISPOSAL	INSINKERATOR	EVOLUTION EXCEL	WOOD WASTE DISPOSER	STAINLESS	13 1/2" T	1	120V; 1.0 HP
		16	COOKTOP	WOLF	SRT486C	48" GAS COOKTOP	STAINLESS	47 7/8" W X 8 1/2" H X 28 1/2" D	1	STAINLESS KNOBS
		17	HOOD VENT INSERT	WOLF	PLS22212	350 CFM INTERNAL BLOWER	STAINLESS	52 3/8" W X 12" H X 22 1/2" D	1	CUSTOM SHROUD
		18	COFFEE SYSTEM	WOLF	EC24/S	INTEGRATED COFFEE MAKER	STAINLESS	23 1/2" W X 17 7/8" H X 15 1/2" D	1	INCLUDE 30" TRIM KIT
		19	MICROWAVE	WOLF	MS24	SWING-DOOR MICROWAVE	BLACK	24" W X 18 1/4" H X 19" D	1	INCLUDE 30" TRIM KIT; 26 7/8" W X 18 1/4" H X 19" D
206	LAUNDRY	20	WASHER	LG	WM3570M_A	4.3 CU.FT. FRONT LOADED	WHITE	27" x 38 11/16" x 29 3/4"	2	W/D STACK
		21	DRYER	LG	DLGX3571W	GAS 7.4 CU.FT. FRONT LOADED	WHITE	27" x 38 11/16" x 29 3/4"	2	W/D STACK
303	KITCHEN	22	DISHWASHER	MIELE	G 6165 SCV	FULLY INTEGRATED DISHWASHER	CUSTOM PANEL	23 9/16" W X 33 11/16" T X 22 7/16" D	1	
		23	GARBAGE DISPOSAL	INSINKERATOR	EVOLUTION EXCEL	WOOD WASTE DISPOSER	STAINLESS	13 1/2" T	1	120V; 1.0 HP
		24	COOKTOP	WOLF	CG365P	36" 5-BURNER COOKTOP	STAINLESS	36" W X 4" H X 21" D	1	STAINLESS KNOBS
		25	HOOD VENT INSERT	WOLF	PLS22212	350 CFM INTERNAL BLOWER	STAINLESS	52 3/8" W X 12" H X 22 1/2" D	1	CUSTOM SHROUD
		26	REFRIGERATOR/ FREEZER	SUBZERO	IT-30CI	30" INTEGRATED OVER-AND-UNDER	CUSTOM PANEL	30"W X 84"H X 24" D	1	
		27	OVEN	WOLF	SO30TE	BUILT-IN SINGLE OVEN	STAINLESS	29.875" W X 27.875" T X 23.75" D	1	
		28	COFFEE SYSTEM	WOLF	EC24/S	INTEGRATED COFFEE MAKER	STAINLESS	23 1/2" W X 17 7/8" H X 15 1/2" D	1	INCLUDE 30" TRIM KIT
308	PATIO	29	GAS GRILL	WOLF	OG36	OUTDOOR - NATURAL GAS	STAINLESS	36" W X 27" H X 30" D	1	25,000 BTU
		30	WARMING DRAWER	WOLF	WWD180	30" OUTDOOR	STAINLESS	29 7/8" W X 10 3/8" H X 22 3/4" D	1	
		31	MINI FRIDGE	SUB ZERO	UC-24RO	24" UNDER COUNTER - PANEL	STAINLESS	23 7/8" W X 34" H X 24" D	1	

NOTES:
 INSTALL ALL APPLIANCES & EQUIPMENT PER MANUFACTURERS SPECIFICATIONS.

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

BUILDING PERMIT

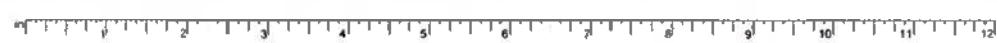
REVISIONS:	BY:

JOB#: 1322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

APPROVED
 Vivian [Signature]
 DEPT. OF BUILDING INSPECTION



JUL 25 2015
 APPLIANCE
 SCHEDULE



1400 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLER@BUTLERARMSOEN.COM
 E: INFO@BUTLERARMSOEN.COM
 T: 415-474-3551
 F: 415-675-1555

ADDENDUM #
 NOV 17 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1283/1285 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

1322 - LIGHTING SCHEDULE								
MARK	DESCRIPTION	MANUFACTURER	MODEL	FINISH / COLOR	FLANGE / CANOPY	WATT / LAMP	QUANTITY	NOTES
ARCHITECTURAL LIGHTING								
A1	4" RECESSED SQUARE LED DOWNLIGHT	LUCIFER	DL312P LEDX	MATTE WHITE	MATTE WHITE	9W LED / 3000K	114	
A1B	4" RECESSED SQUARE LED DOWNLIGHT	LUCIFER	DL312P LEDX	MATTE BLACK	MATTE BLACK	9W LED / 3000K	4	
A2	10" RECESSED RECTANGULAR DUAL LED ADJUSTABLE DOWNLIGHT	LUCIFER	DLJ2	MATTE WHITE	MATTE WHITE	9W LED / 3000K	13	
A2B	10" RECESSED RECTANGULAR DUAL LED ADJUSTABLE DOWNLIGHT	LUCIFER	DLJ2	MATTE WHITE	MATTE WHITE	9W LED / 3000K	5	
A3	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
A4	RECESSED FLOOR SQUARE LED UPLIGHT	EDGE LIGHTING	SUN3-HDL1-RO-WW-SA	SATIN ALUMINUM	SATIN ALUMINUM	6.5W LED / 3000K	6	
A5 / E4	4" RECESSED SQUARE LED DOWNLIGHT	LUCIFER	DL392P LEDX	MATTE WHITE	MATTE WHITE	14W LED / 3000K	17	17 LAMPS TOTAL. A5 = WET LOCATION INTERIOR. E4 = EXTERIOR SOFFIT LOCATION
A6	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
A7	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
LED STRIP LIGHTING								
L1	LED STRIP LIGHTING	DIODE LED	AVENUE 24	VARIABLE	VARIABLE	2.1W PER FT. / 3000K	180	VERIFY LENGTH IN FIELD. SEE MEP & INT. ELEVS FOR LOCATIONS & DETAILS.
L2	SURFACE MOUNTED LED STRIP LIGHT	PRULITE	SNAP - WALL MOUNT	ALUMINUM	ALUMINUM	7W PER FT. / 3000K	20	2'-0" LENGTHS
EXTERIOR LIGHTING								
E1	RECESSED LED PATH LIGHT	BEGA	2273LED	BLACK	BLACK	6.5W LED / 3000K	11	
E2	EXTERIOR WALL SCOFFCE	BEGA	3591LED	BLACK	BLACK	13W LED / 3000K	3	
E3	EXTERIOR WALL SCOFFCE	BEGA	3580LED	BLACK	BLACK	6.5W LED / 3000K	5	
E4 / A5	4" RECESSED SQUARE LED DOWNLIGHT	LUCIFER	DL392P	MATTE WHITE	MATTE WHITE	14W LED / 3000K	17	17 LAMPS TOTAL. A5 = WET LOCATION INTERIOR. E4 = EXTERIOR SOFFIT LOCATION
DECORATIVE LIGHTING								
D1	CEILING MOUNTED PENDANT	VIBIA	NATCH	BLACK	BLACK	21W LED / 3100K	1	7 LUMINAIRES @ 3W EA. CUSTOM CONFIGURATION
D2	DECORATIVE WALL SCOFFCE	ROLL & HILL	NODO - 2 GLOBE	BLACK	SMOKE	50W E26 / 2800K	5	
D3	DECORATIVE WALL SCOFFCE	VIBIA	PUC-K 4	WHITE	WHITE	30W LED / 2750K	1	
D4	CEILING MOUNTED PUCK	AXO	PAVLA	BLACK	BLACK	9W LED / 3000K	5	
D5	CEILING MOUNTED PENDANT	STUDIO DUNN	SORENTHIA - QUAD	OIL RUBBED BRASS	OIL RUBBED BRASS	40W E26 / 2500K	1	
D6	SURFACE MOUNTED FIXTURE	HOODI	RAYMOND SUSPENSION / R43	STAINLESS	STAINLESS	15W LED TOTAL / 2700K	1	
D7	DECORATIVE WALL SCOFFCE	CEDAR & MOSS	VISTA - TALL	MODERN BLACK	TBD	75W MAX / E26	2	
D8	DECORATIVE WALL SCOFFCE	SONNEMAN	TUBO SLIM 18" LED 2430.0FT	CHROME	FLAT TRIM	13W / 3000K	8	
D9	SURFACE MOUNTED FIXTURE	SONNEMAN	PL 16" 2747.98	WHITE	WHITE	30W LED / 3000K	4	
D10	DECORATIVE WALL SCOFFCE	SONNEMAN	TUBO SLIM 18" LED 2443.01	CHROME	DRUM TRIM	13W LED / 3000K	2	
D11	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
D12	CEILING MOUNTED PENDANT	DAVID WEEKS STUDIO	SAURUS 2-TIER NO. 428	STAINLESS	IVORY SATIN	240W MAX. / E26	1	
D13	SURFACE MOUNTED FIXTURE	VIBIA	DONO - SYMMETRIC	WHITE MATTE LACQUER	WHITE MATTE LACQUER	9W LED / 3000K	6	
D14	PENDANT	ZERO LIGHTING	POG - D300	BLACK	BLACK	8W LED / 2700K	2	VERIFY HANGING HEIGHT IN FIELD
D15	CEILING MOUNTED FIXTURE	VIBIA	DOMO - 8201	WHITE MATTE LACQUER	FROSTED ACRYLIC	9W LED / 3000K	1	
D16	CEILING MOUNTED FIXTURE	VIBIA	LINK - 5385	WHITE GLOSSY LACQUER	FROSTED ACRYLIC	26W CFL	1	
D17	CEILING MOUNTED PENDANT	VIBIA	RHYTHM - 2111	DARK CHOCOLATE	FROSTED ACRYLIC	58W LED / 3000K	1	
D18	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
D19	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
D20	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED
ADDITIONAL SPECIFICATIONS								
EF1	EXHAUST FAN	SEE MECH.	SEE MECH.	SEE MECH.	CUSTOM GRILLE	SEE MECH.	10	*CUSTOM GRILLE BY ARCHITECTURAL GRILLE
EF2	IN-LINE FLOW FAN	SEE MECH.	SEE MECH.	SEE MECH.	SEE MECH.	SEE MECH.	1	SEE MECHANICAL DRAWINGS FOR SPECIFICATION
JS	JAMB SWITCH	HONEYWELL	944T-WH	WHITE			TBD	3/8" MAGNETIC CONTACT W/ SCREW TERMINALS
FO1	FLOOR OUTLET	COLE LIGHTING	7L5330	STAINLESS	STAINLESS		4	VERIFY LOCATION IN FIELD
NOTES:								
1. VERIFY ALL FIXTURES AND ACCESSORIES W/ ARCHITECT, OWNER & INTERIOR DESIGNER PRIOR TO ORDERING								
2. PROVIDE FLUORESCENT LIGHTING AS REQUIRED BY T-24 AND MSP PLANS								

BUILDING PERMIT

REVISIONS:	BY:

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 City of Building Insp.

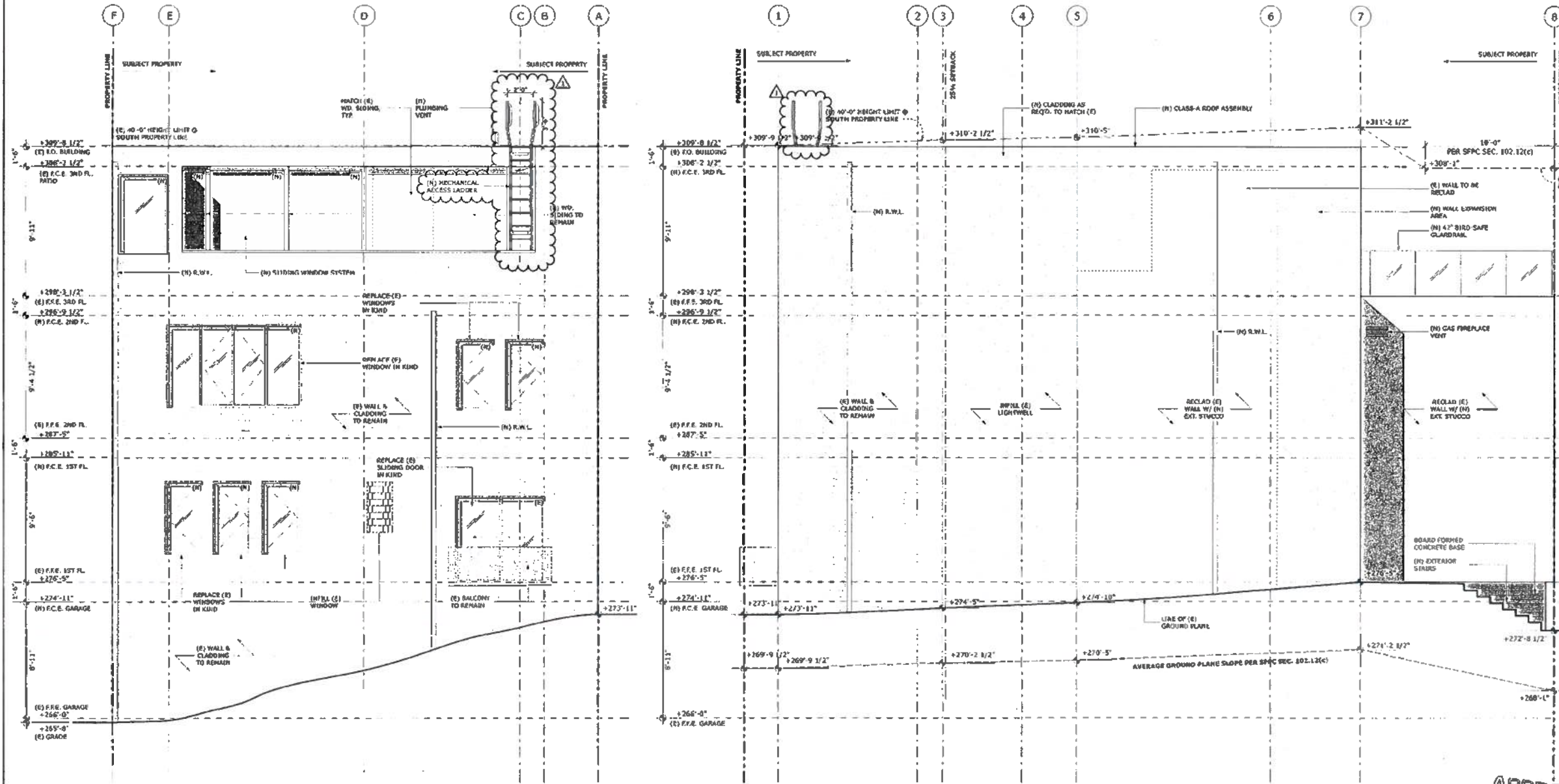


JUL 25 2016
 LIGHTING SCHEDULE

1438 BUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSOEN.COM
 E: INFO@BUTLERARMSOEN.COM
 T: 415-374-6664
 F: 415-474-6665

RECEIVED
 FEB 12 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR MICROFILMING
 ACCEPTED

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



2 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

1 PROPOSED EAST ELEVATION
 SCALE: 1/4" = 1'-0"

BUILDING PERMIT

REVISIONS:	BY:
REVISION - 01/28/2016	SR

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 25 2016
 T. C. [Signature]
 SUPERVISOR
 DEPT. OF BUILDING INSPECTION

LICENSED ARCHITECT
 [Signature]
 BUTLER ARMSOEN ARCHITECTS
 1438 BUTTER STREET
 SAN FRANCISCO, CA 94109
 415-374-6664

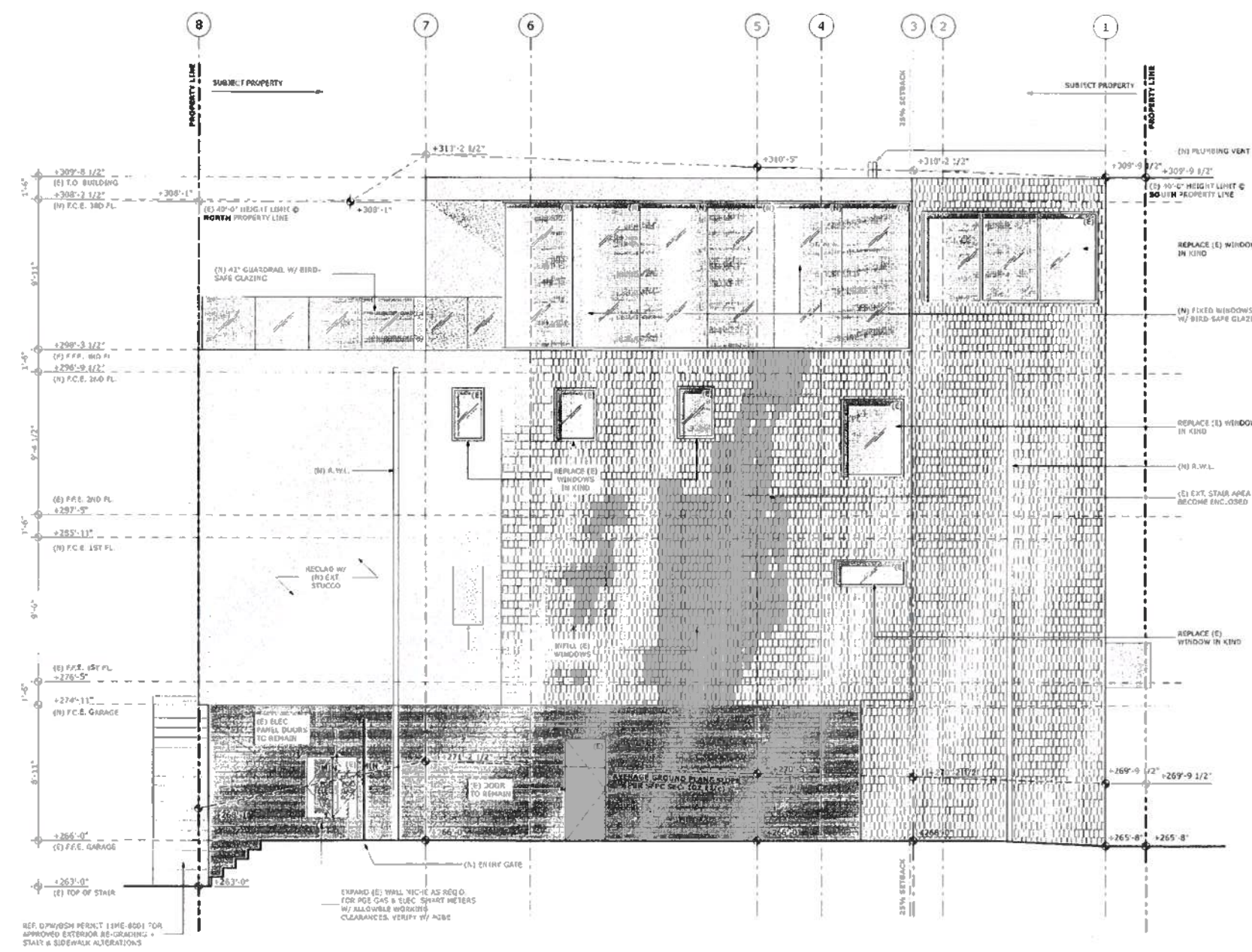
PROPOSED
 SOUTH & EAST
 ELEVATIONS

4-5-16
 Approved [Signature]
 Cathy Crab



ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 128 1/2 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



1 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

BUILDING PERMIT

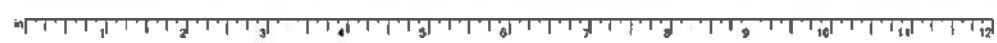
REVISIONS:	BY:
JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 25 2015
 [Signature]
 [Signature]
 DEC 10 2015



PROPOSED WEST ELEVATION

[Signature] 4-5-16
 Approved Building Dept. Casey Grob



ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1287/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

BUILDING PERMIT

REVISIONS:	BY:

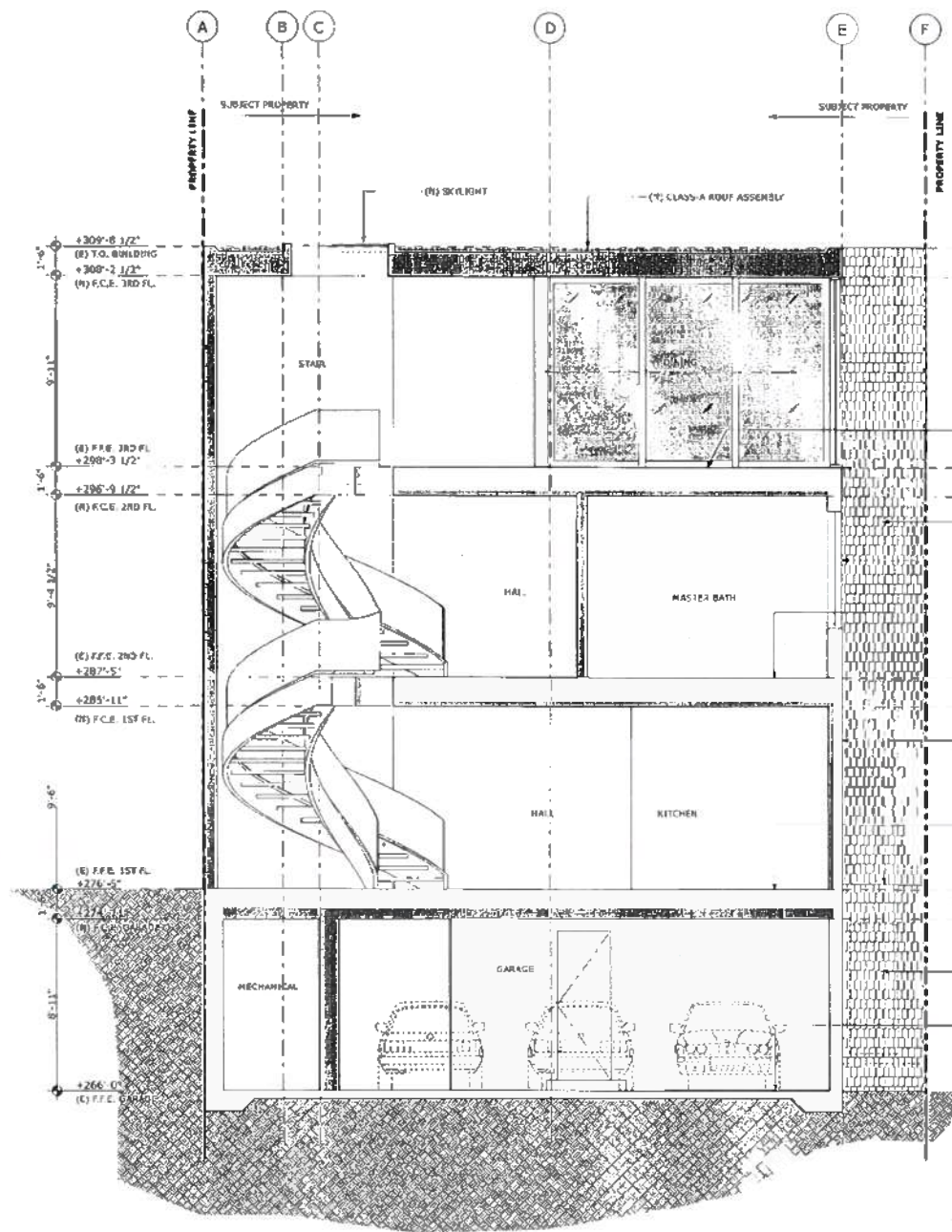
JOB #: 1322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 25 2016
 [Signature]
 DEC 18 2015

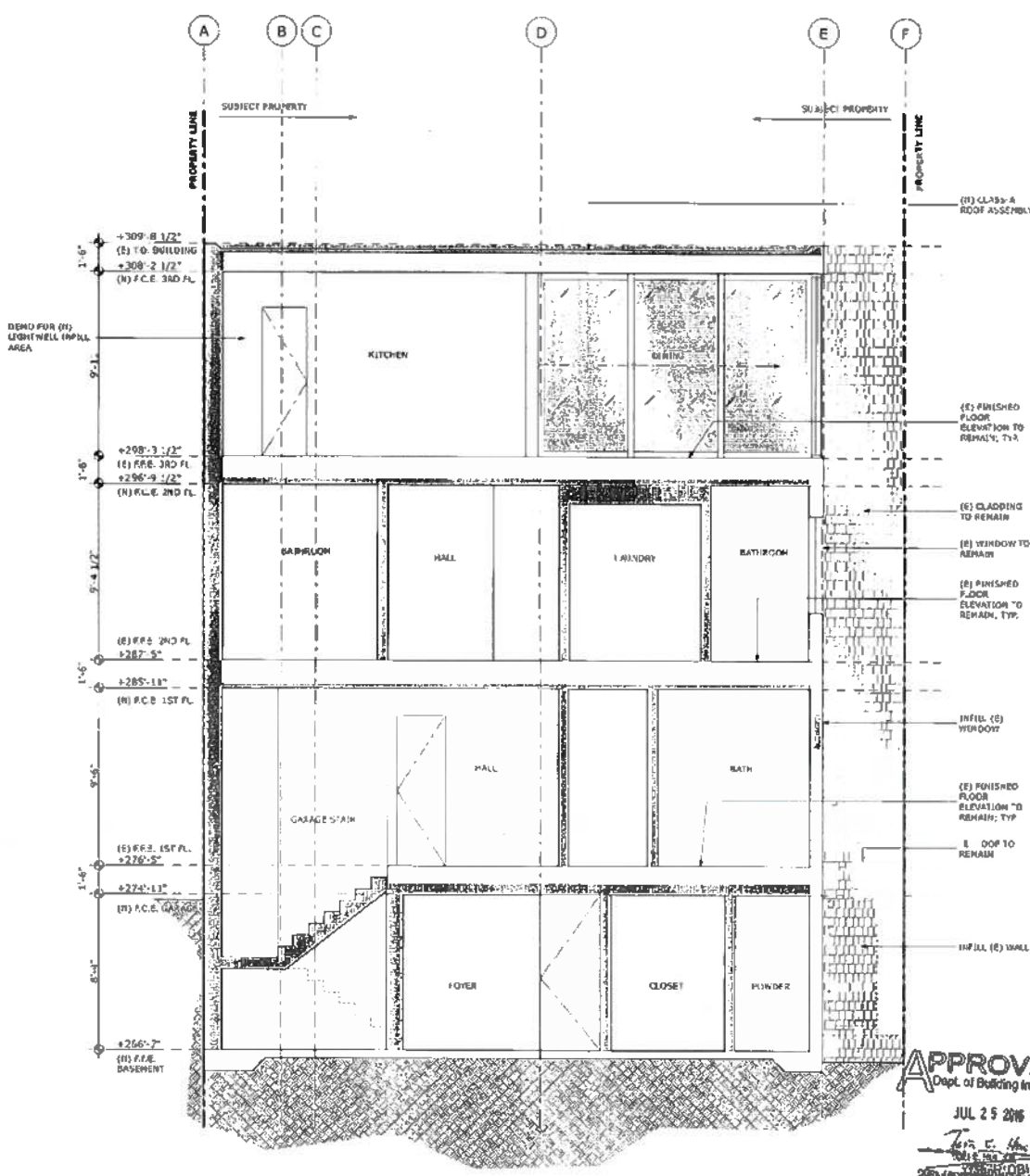


PROPOSED EAST / WEST SECTION

A3.4



**2 EAST / WEST
 PROPOSED NORTH / SOUTH SECTION**
 SCALE: 1/4" = 1'-0"



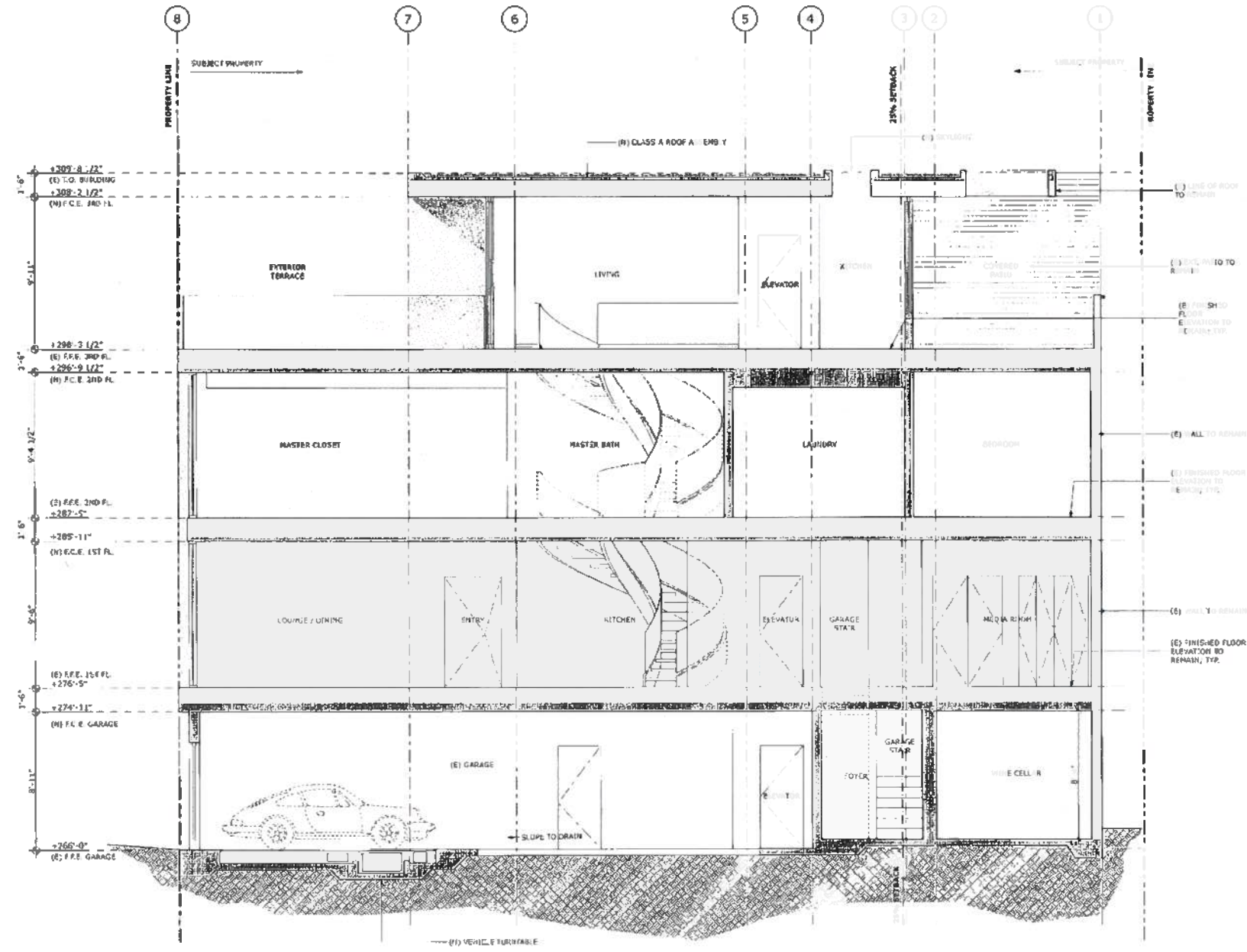
**1 EAST / WEST
 PROPOSED NORTH / SOUTH SECTION**
 SCALE: 1/4" = 1'-0"

[Signature]
 Approved Planning Dept. City of San Francisco



ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF

GREENWICH STREET RESIDENCE
 1287/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



1 PROPOSED NORTH / SOUTH SECTION
 SCALE: 3/4" = 1'-0"

BUILDING PERMIT

REVISIONS	BY

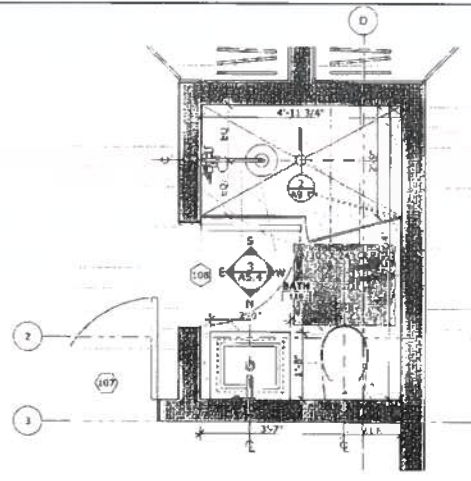
JOB #: 1322
 DATE: 11/28/2015
 DRAWN: JH / DS
 CHECKED: JB
 SCALE: AS NOTED



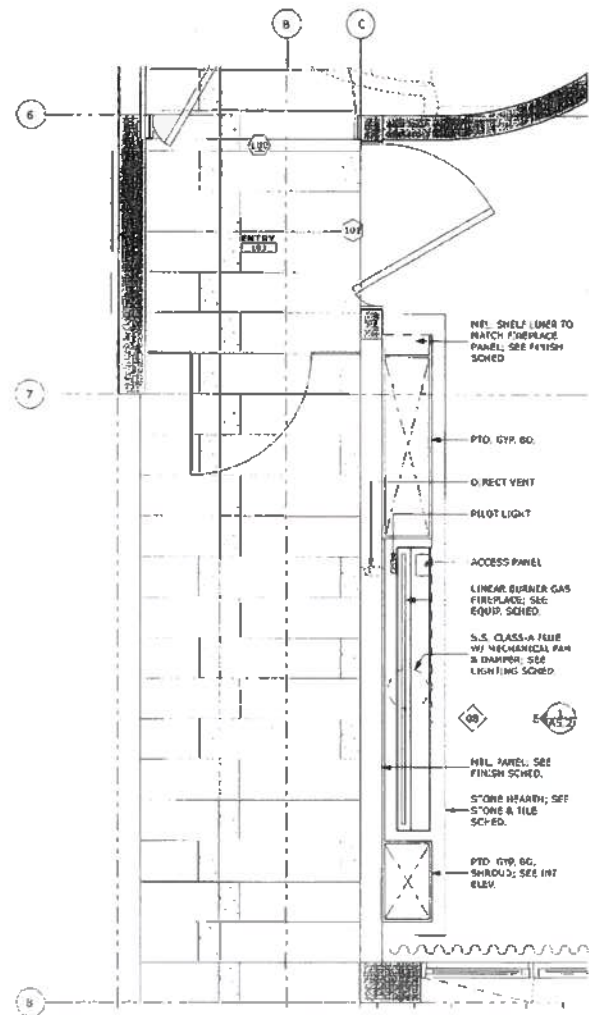
PROPOSED
 NORTH / SOUTH
 SECTION

Vivian Hoang, DBI
 DEC 18 2015
 Approved Building Dept. City Clerk

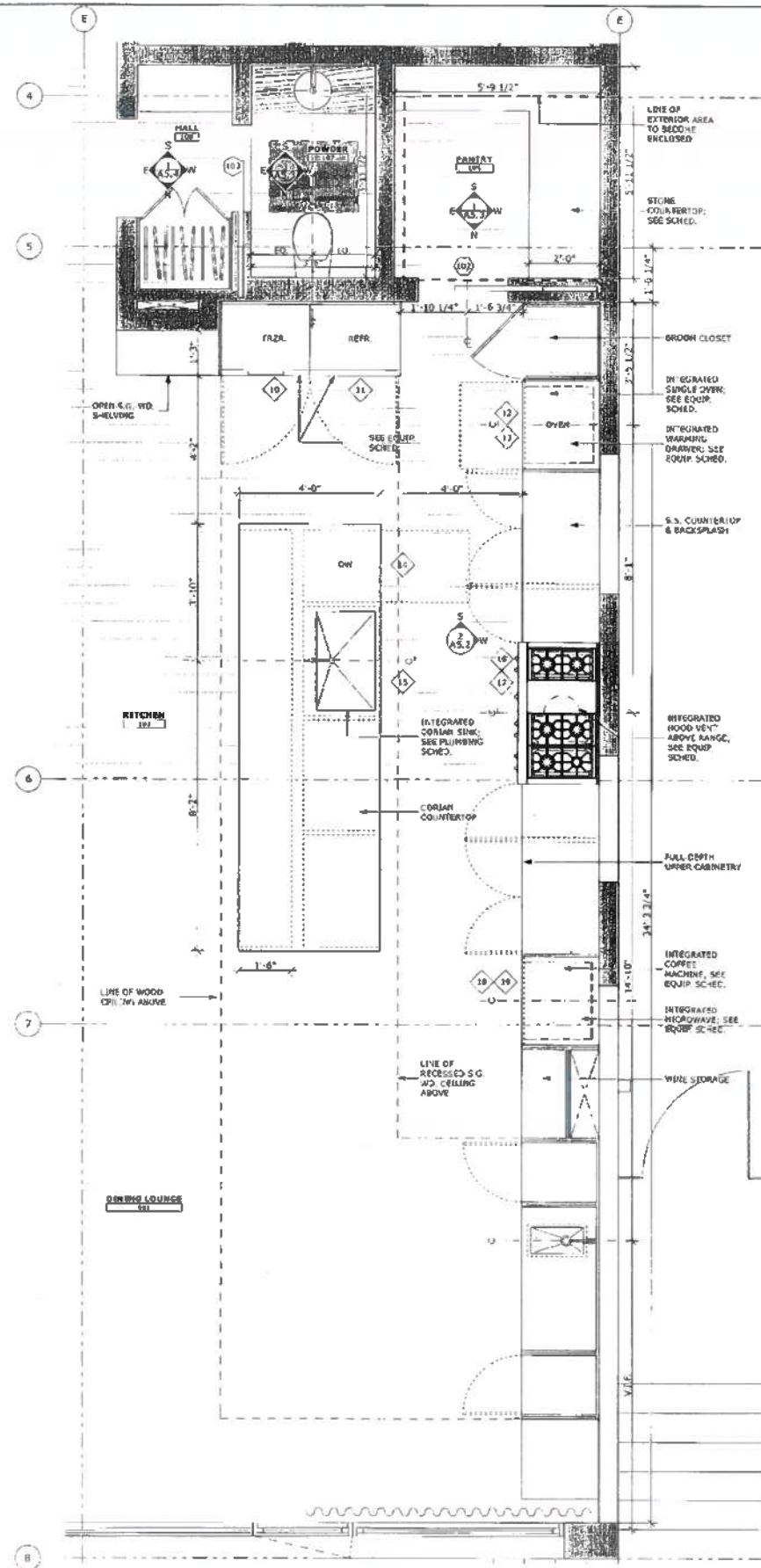




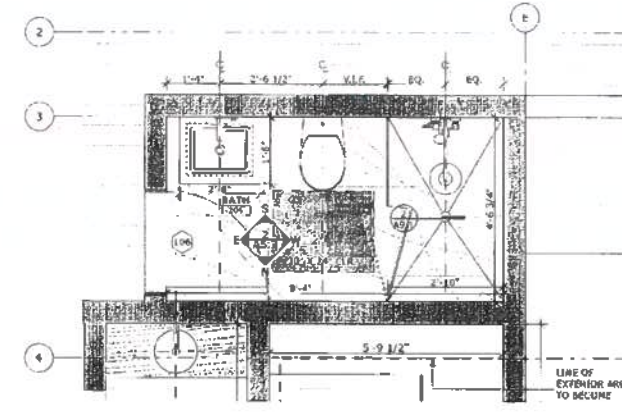
6 PLAN: BATH 110
 SCALE: 1/2" = 1'-0"



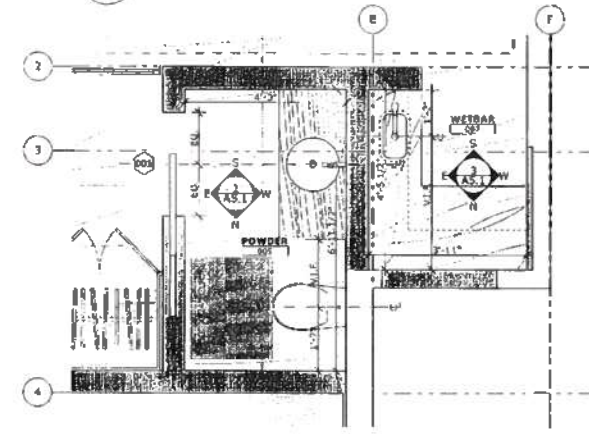
5 PLAN: LOUNGE 101
 SCALE: 1/2" = 1'-0"



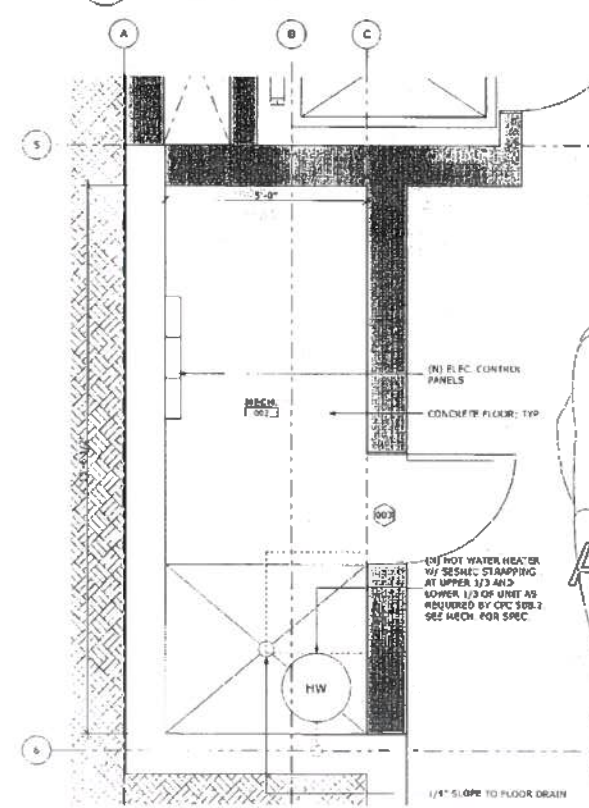
4 PLAN: KITCHEN 102 & POWDER 107
 SCALE: 1/2" = 1'-0"



3 BATH 106
 SCALE: 1/2" = 1'-0"



2 POWDER 005 & WETBAR 007
 SCALE: 1/2" = 1'-0"



1 MECH 002
 SCALE: 1/2" = 1'-0"

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 12831/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

BUILDING PERMIT

REVISIONS:	BY:

JOB#:	1322
DATE:	11/6/2015
UNLAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 25 2016
 Yihan Huang, DBI

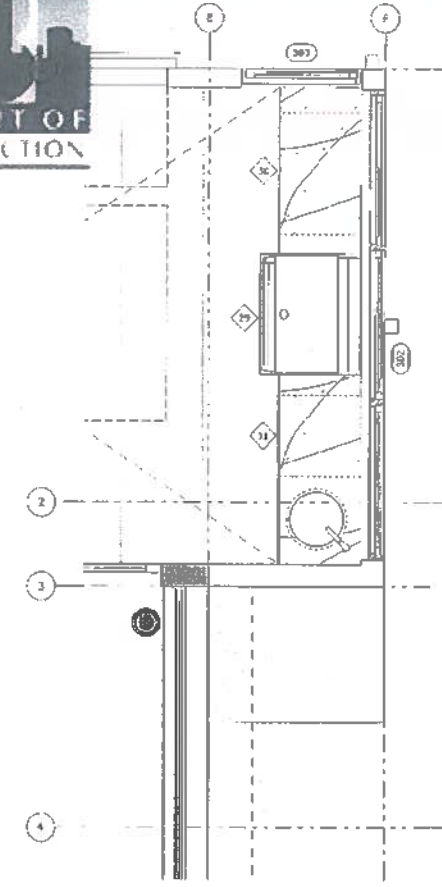


ENLARGED PLANS

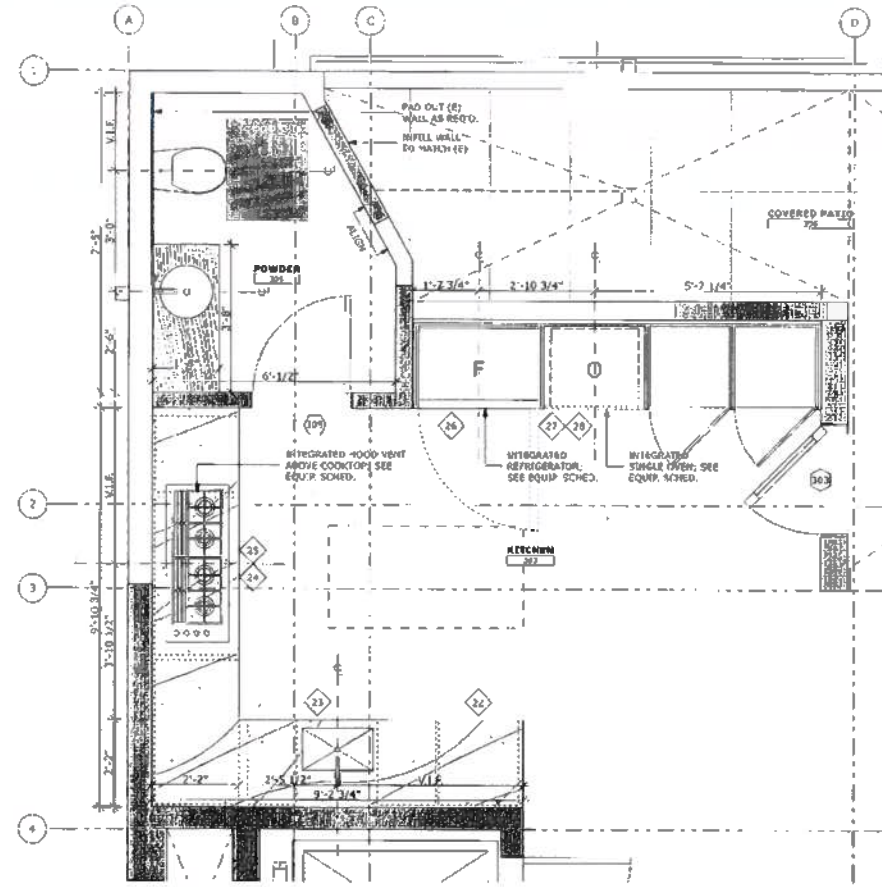
1100 VILHUBSTREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 T 415-474-5524
 F 415-674-5558

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

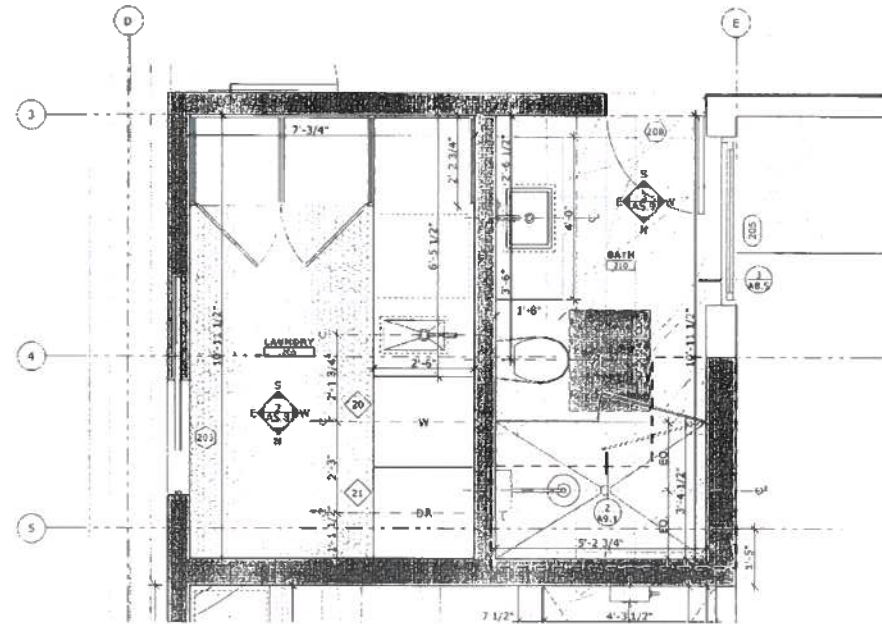
GREENWICH STREET RESIDENCE
 1287/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



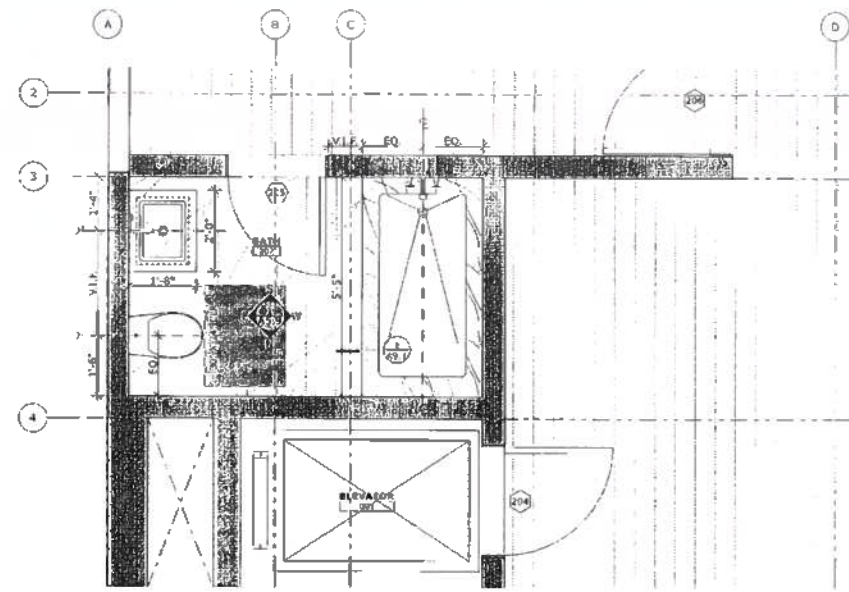
5 PLAN: COVERED PATIO
 SCALE: 1/2" = 1'-0"



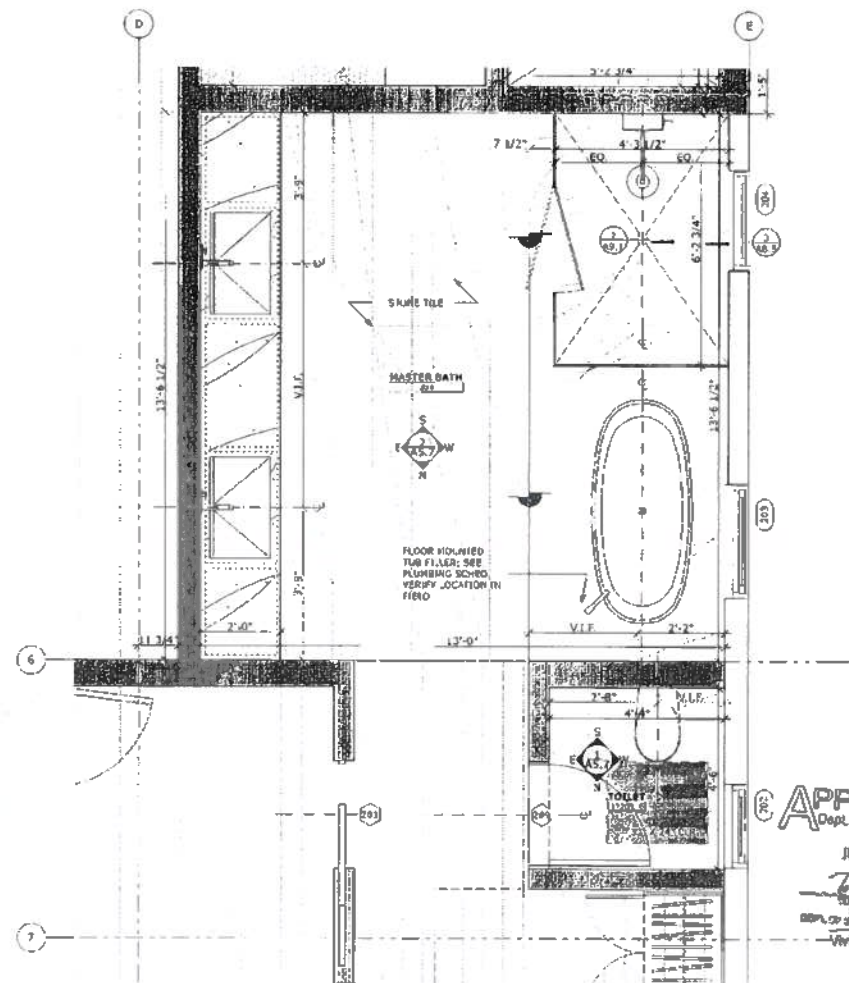
4 PLAN: KITCHEN 303
 SCALE: 1/2" = 1'-0"



3 PLAN: LAUNDRY 206 & BATH 210
 SCALE: 1/2" = 1'-0"



2 PLAN: BATH 207
 SCALE: 1/2" = 1'-0"



1 TOILET 203 & MASTER BATH 204
 SCALE: 1/2" = 1'-0"

BUILDING PERMIT

REVISIONS:	BY:

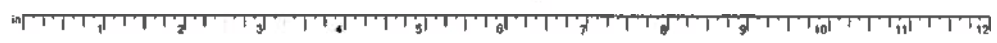
JOB#: 1322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

APPROVED
 Dept. of Building Insp.

JUL 23 2016
 JUL 23 2016
 Vivian Huang, DBI
 DEC 14 2015



ENLARGED PLANS



1270 BUTTER STREET 4ST FLOOR
 SAN FRANCISCO, CA 94109
 INFO@BUTLERARMSDEN.COM
 T 415-771-8354
 F 415-491-0358

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

BUILDING PERMIT

REVISIONS	BY

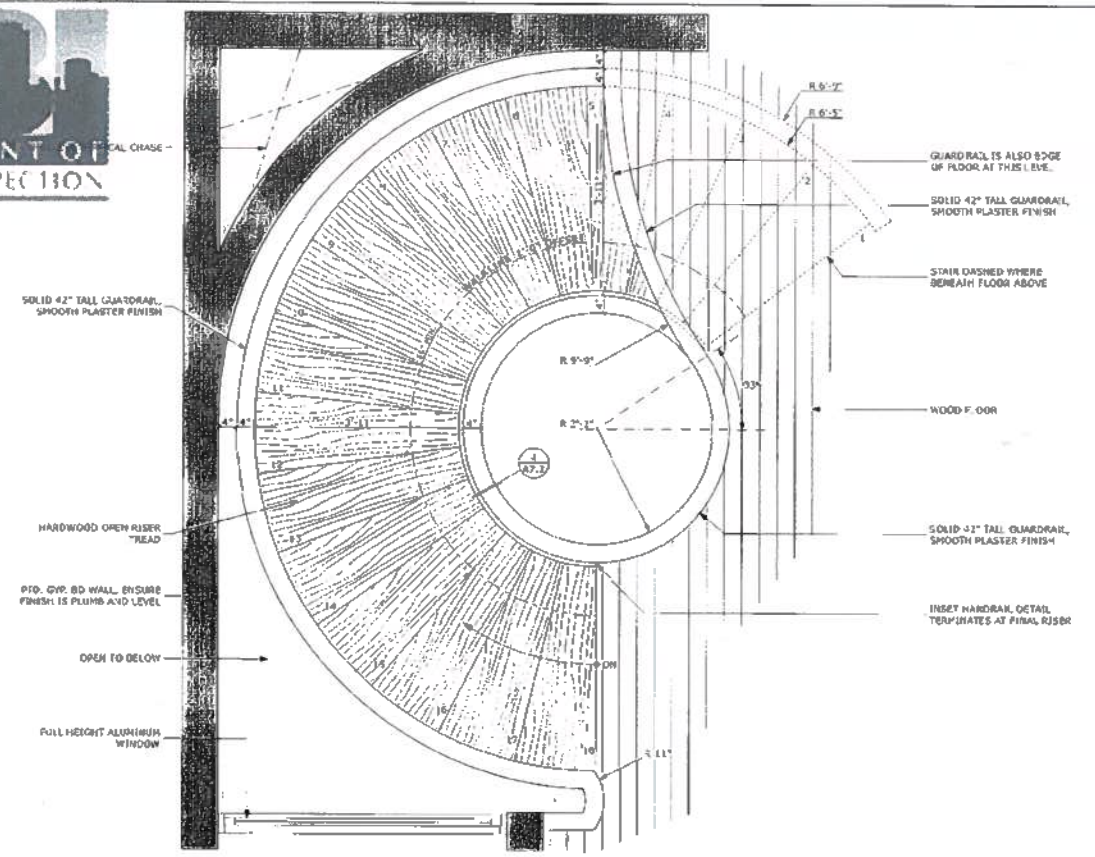
JOB#:	11322
DATE:	11/6/2015
DRAWN:	SR/DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Inspection
 Vivian Huang, DBI
 JUL 24 2016
 DEC 14 2015

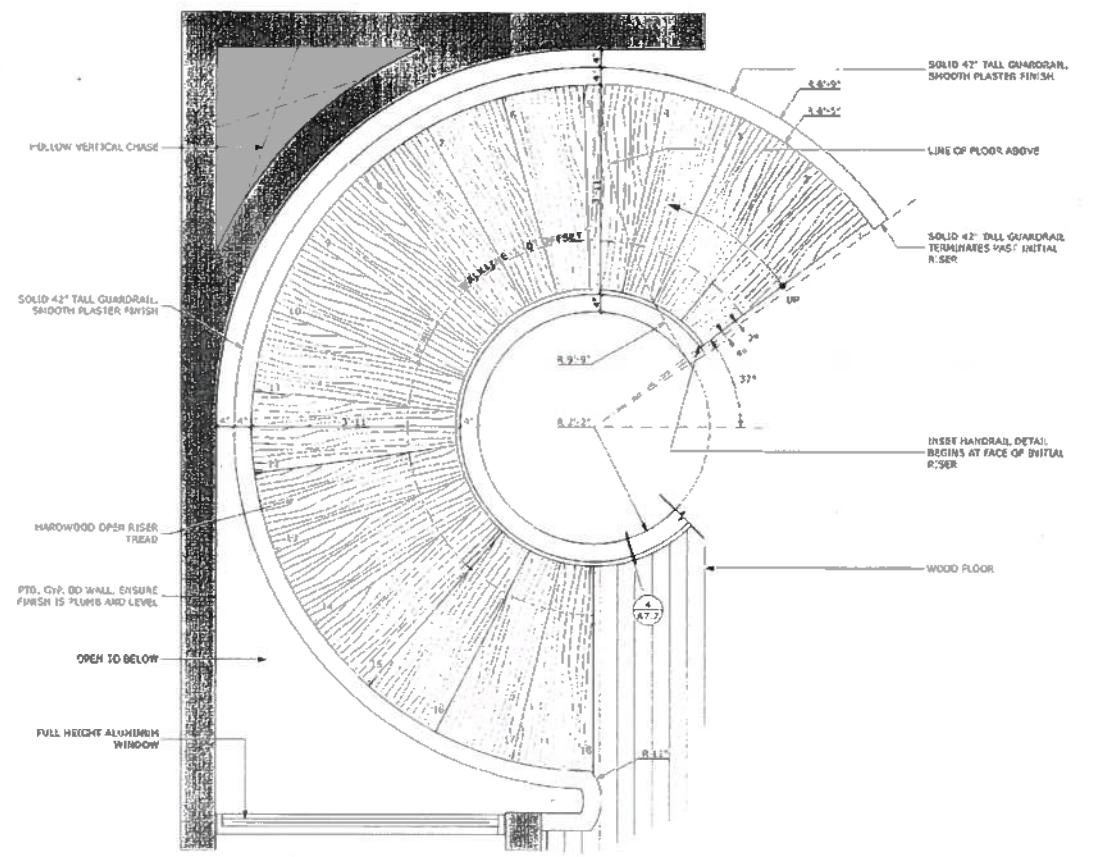


STAIR DETAILS

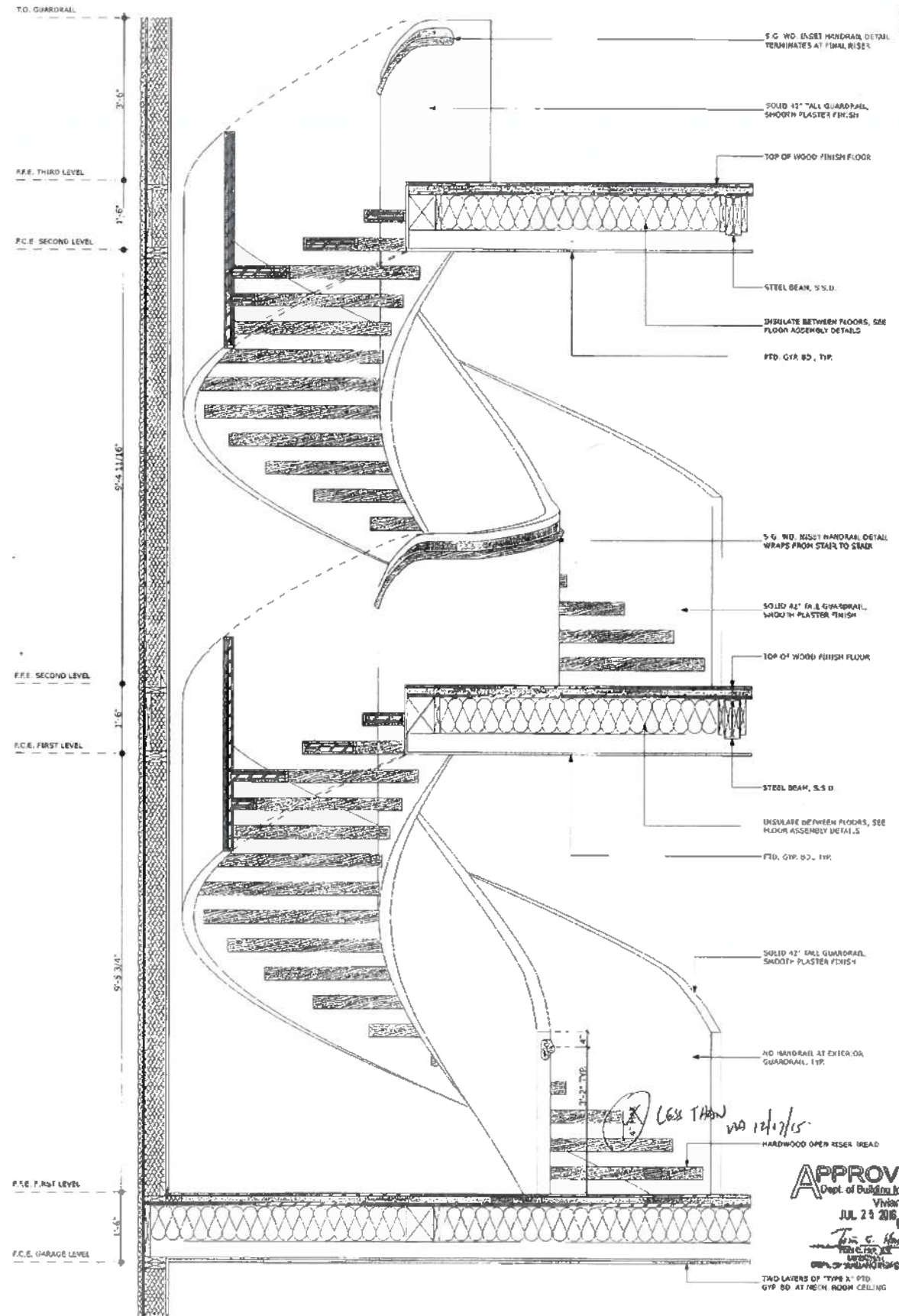
A7.1



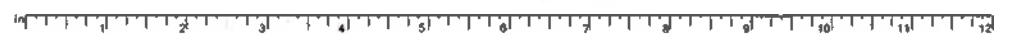
3 STAIR PLAN - MAIN STAIR THIRD LEVEL
 NOT TO SCALE

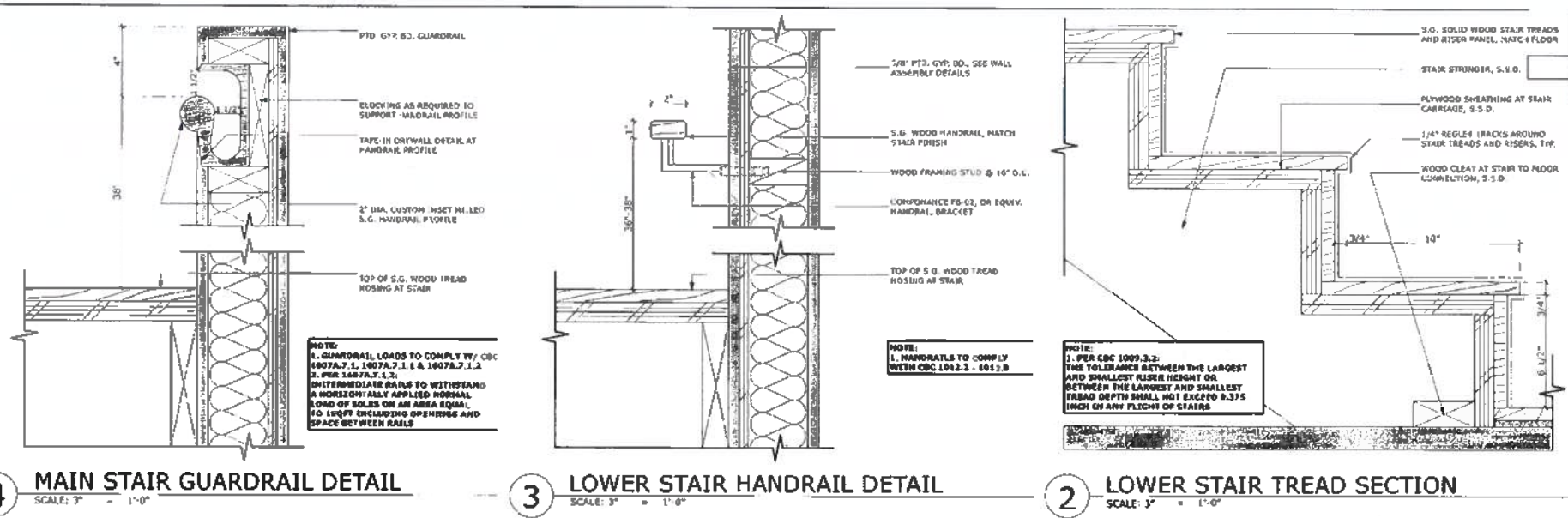


2 STAIR PLAN - MAIN STAIR FIRST AND SECOND LEVELS
 NOT TO SCALE



1 STAIR SECT. - MAIN STAIR
 SCALE: 3/4" = 1'-0"

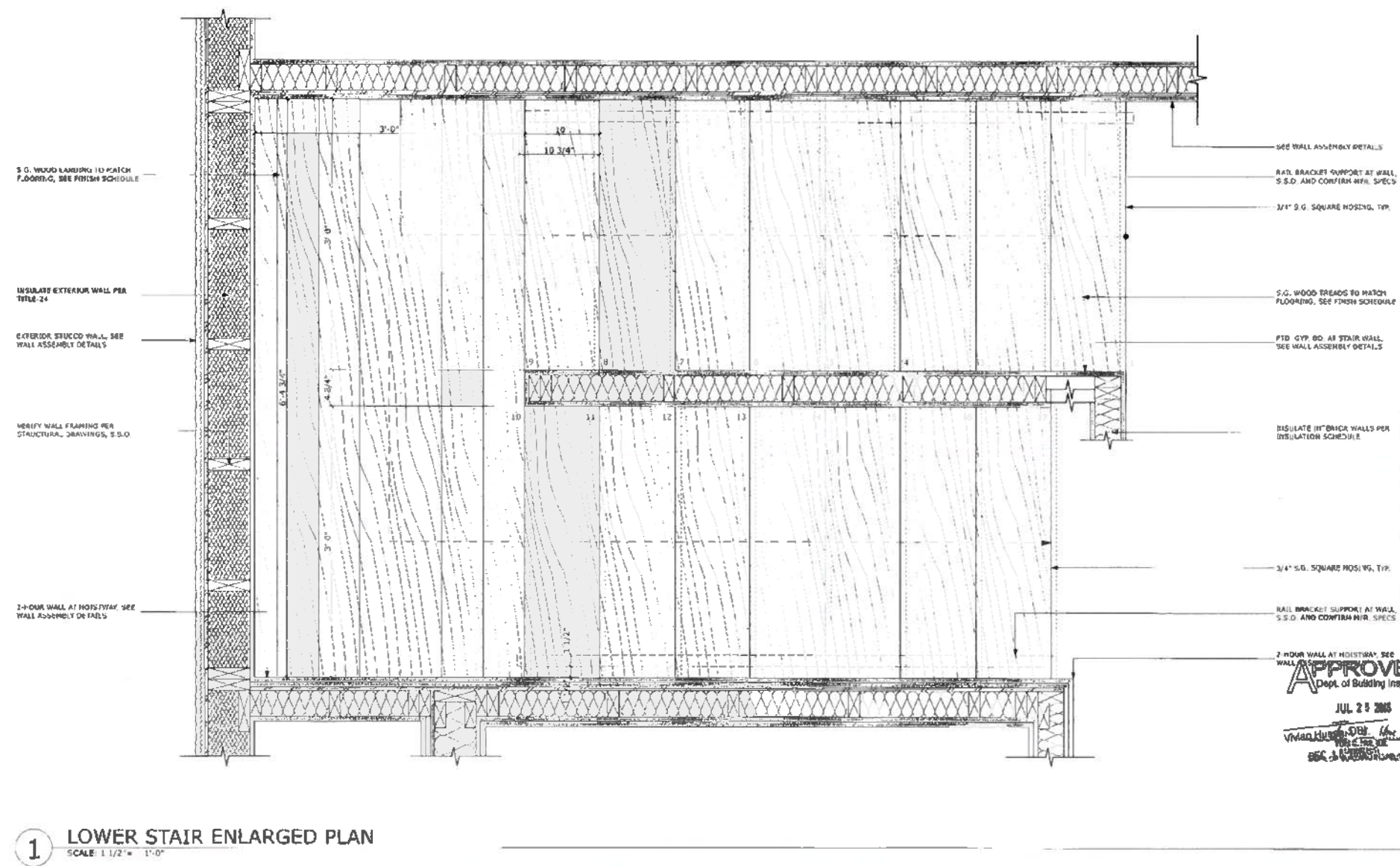




BUTLER ARMSOEN ARCHITECTS
 1205 LITTELL STREET, 6TH FLOOR
 SAN FRANCISCO, CA 94109
 BUTLERARMSOEN.COM
 C: (415) 774-5554
 F: 415-624-1558

ADDENDUM #
 NOV 12 2015
 SITE PERMIT/ADDENDUM #
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1287/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



BUILDING PERMIT

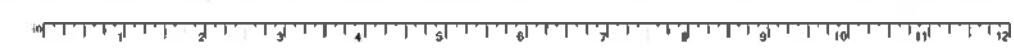
REVISIONS:	BY:

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 23 2015
 VIVIAN HUNG, DBP
 SUPERVISOR



STAIR DETAILS



1281/1283 GREENWICH STREET 4TH FLOOR
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 P. 415-424-5251
 F. 415-424-5255

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

BUILDING PERMIT

REVISIONS	BY

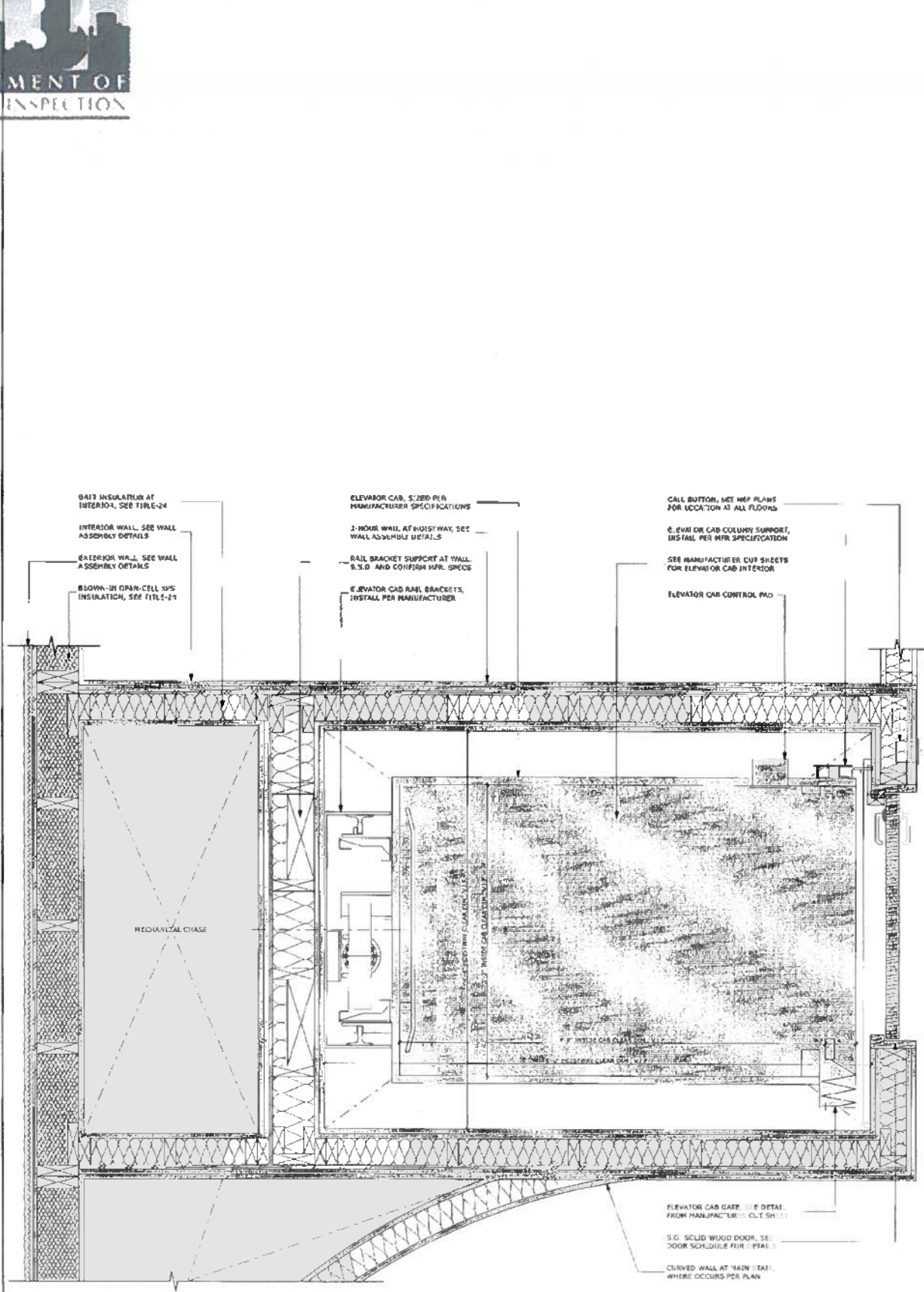
JMB#	1322
DATE	11/6/2015
DRAWN	ISR / DS
CHECKED	LB
SCALE	AS NOTED

APPROVED
 Dept. of Building Insp.

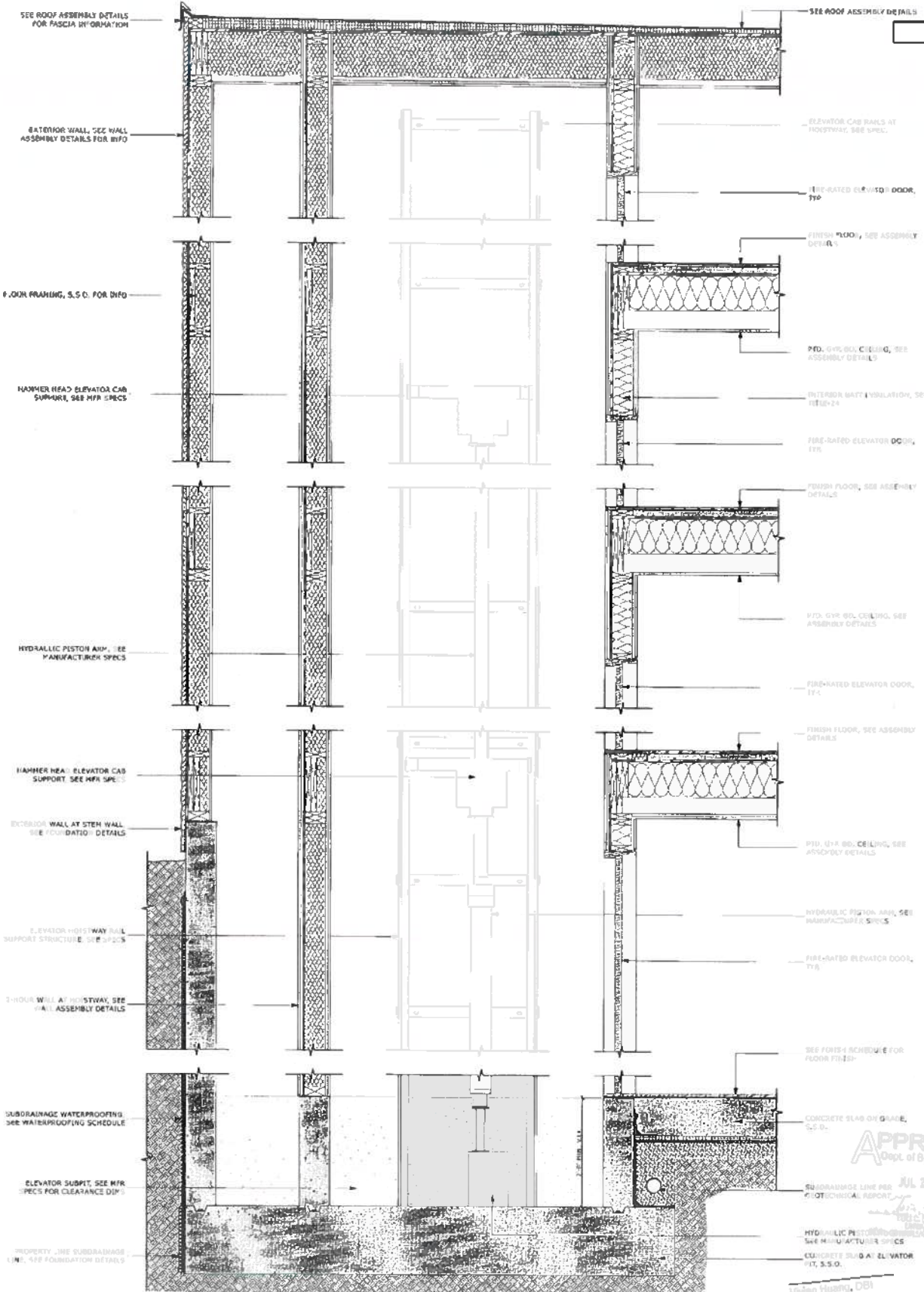


**ELEVATOR
 DETAILS**

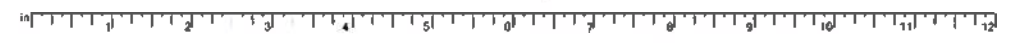
JUL 25 2008
 ELEVATOR
 VICTOR YOUNG, OBI
 DEC 14 2015

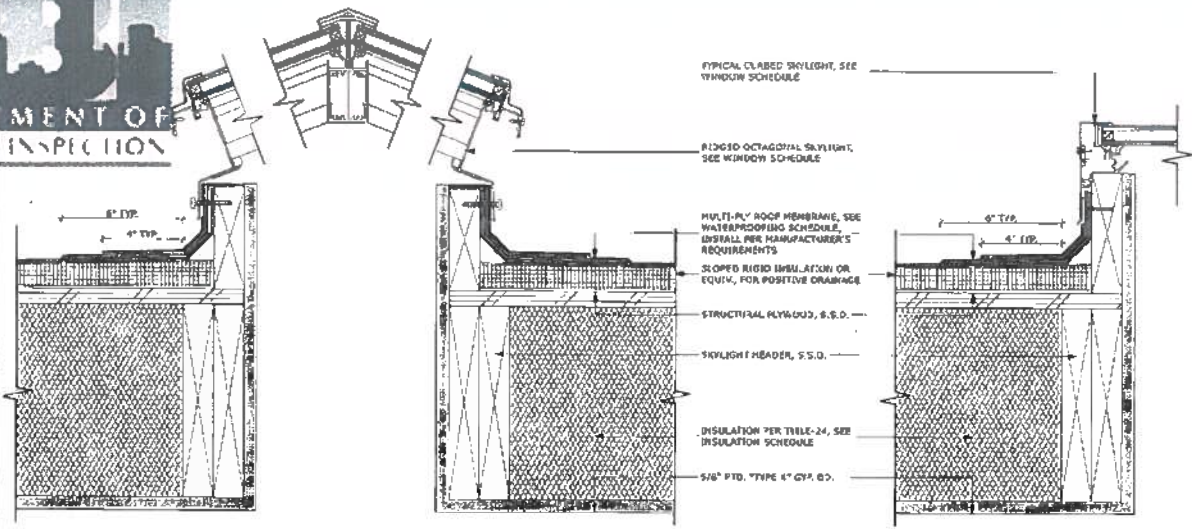


2 ELEVATOR HOISTWAY ENLARGED PLAN
 SCALE: 1/32" = 1'-0"



1 ELEVATOR HOISTWAY SECTION
 SCALE: 3/4" = 1'-0"





10 SECT: OCTAGONAL CURBED SKYLIGHT
 SCALE: 3" = 1'-0"

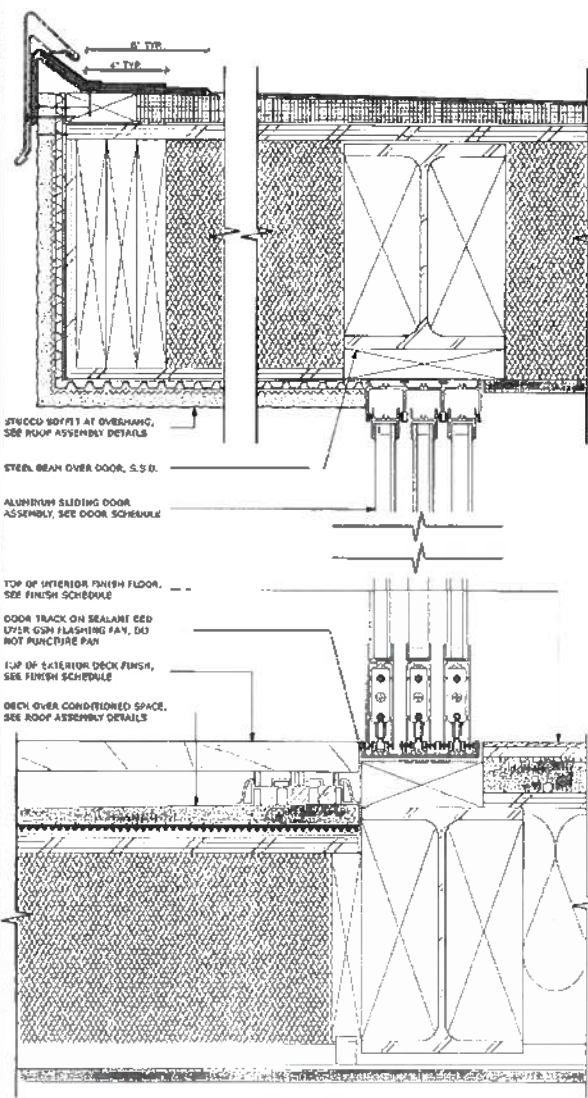
8 SECT: TYP. CURBED SKYLIGHT
 SCALE: 3" = 1'-0"

NAME	LOCATION	PRODUCT
RIGID XPS	UNDER SLAB AND FOUNDATION WALLS	FOAMULAR 1000 BY OWENS CORNING
SPRAY FOAM @ EXT. WALLS	EXTERIOR WALLS	ICYNENE CLASSIC R-VALUE PER TITLE 24 REPORT, R-21 MIN.
BAT INSULATION @ EXT. WALLS	EXTERIOR WALLS	R-VALUE PER TITLE 24 REPORT, R-21 MIN.
SPRAY FOAM @ ROOF	WALLS BETWEEN SHEATHING AND DRAINAGE MAT	ICYNENE CLASSIC R-VALUE PER TITLE 24 REPORT, R-38 MIN.
ACOUSTIC BATT	ALL INT. WALLS AND FLOORS	ULTRA TOUCH R-13 BY BOND LOGIC

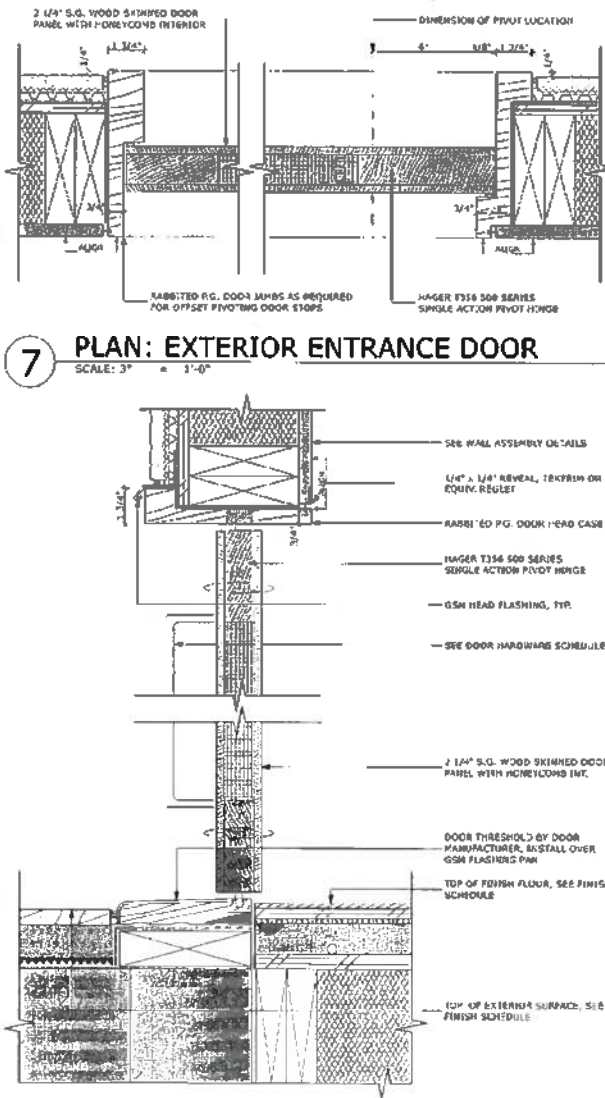
5 INSULATION SCHEDULE
 NOT TO SCALE

NAME	LOCATION	PRODUCT
MEMBRANE ROOF	FLAT ROOF	MULTI-PLY SBS G/PLAST
MEMBRANE ROOF	ROOF DECKS	C.J.M. 1000 BY C.J.M. INDUSTRIES
DRAINAGE MAT @ STUCCO	DRAINAGE MAT BEHIND STUCCO	DELTA-DRY STUCCO & STONE BY COSELLA-DÖRCKE
FLUID-APPLIED FLASHING	OPENINGS AND FLASHING	VYCORB PRO BY GRACE
VAPOR BARRIER @ FOUNDATION	UNDER SLAB	FLOORBRITE® 120 BY GRACE
SLAB MEMBRANE	UNDER SLAB	PREPRUF® 100R BY GRACE
MEMBRANE @ FOUNDATION	FOUNDATION WALL CAST IN PLACE, PRE-APPLIED	PREPRUF® 160 BY GRACE
DRAINAGE PANEL	FOUNDATION OVER WATERPROOF MEMBRANE	HYDRODUCT® 220 BY GRACE
PROPERTY LINE FOUNDATION DRAIN	FOUNDATION BASE AT ZERO-LOT LINE	HYDRODUCT® COIL 600 BY GRACE
TYPICAL FOUNDATION DRAIN	FOUNDATION BASE AT SPREAD FOOTING	4" SCHEDULE 40 PIPE IN FILTER FABRIC
WATER STOP	FOUNDATION JOINTS	ADCOR® ES BY GRACE
CLEAVAGE MEMBRANE	HORIZONTAL APPLICATION UNDER STONE AND TILE @ WET LOCATIONS	DITRA BY SCHLUTER® SYSTEMS
DETAILING MEMBRANE	TRANSITION STRIP USED AT JOINTS AND FLOOR/WALL CONNECTIONS	HERO-BAND BY SCHLUTER® SYSTEMS
MEMBRANE @ STONE AND TILE	UNDER STONE AND TILE @ WET LOCATIONS	HYDRO BARR® BY LATICRETE

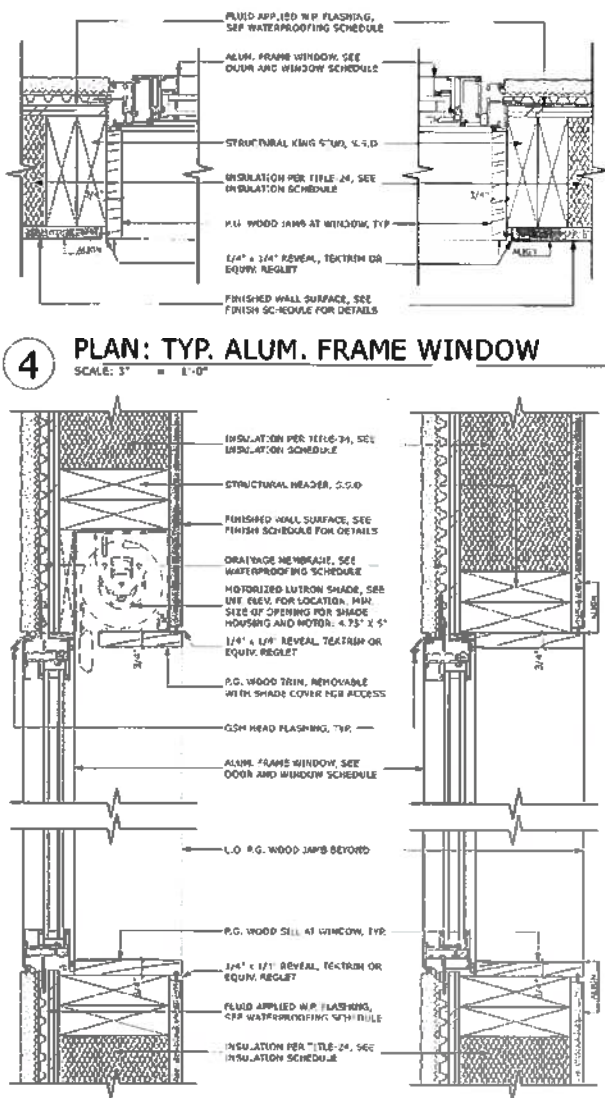
2 WATERPROOFING SCHEDULE
 NOT TO SCALE



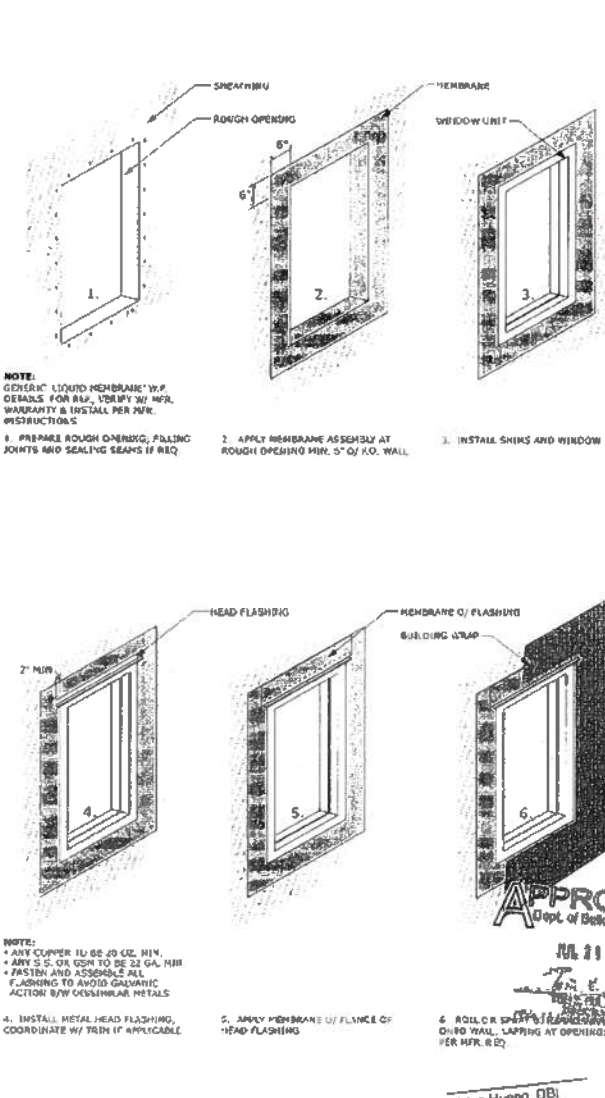
9 SECT: SLIDING DOOR THRESHOLD
 SCALE: 3" = 1'-0"



6 SECT: EXTERIOR ENTRANCE DOOR
 SCALE: 3" = 1'-0"



3 SECT: TYP. ALUM. FRAME WINDOW
 SCALE: 3" = 1'-0"



1 TYP. WINDOW | DOOR W.P.
 SCALE: 3" = 1'-0"

BUTLER ARMSDEN
 ARCHITECTS

1125 SUTCLIFF STREET #577 P.O. BOX
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 T: 415-674-5554
 F: 415-674-5557

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

BUILDING PERMIT

REVISIONS: _____ BY: _____

JOB #:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED



WINDOW/DOOR DETAILS

DEC 18 2015

4329 SUTTER STREET 1ST FLOOR
 SAN FRANCISCO, CA 94109
 BUTLER@BUTLERARMSDEN.COM
 C: (415) 774-5554
 F: (415) 774-5554

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION UP

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

BUILDING PERMIT

REVISIONS:	BY:

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

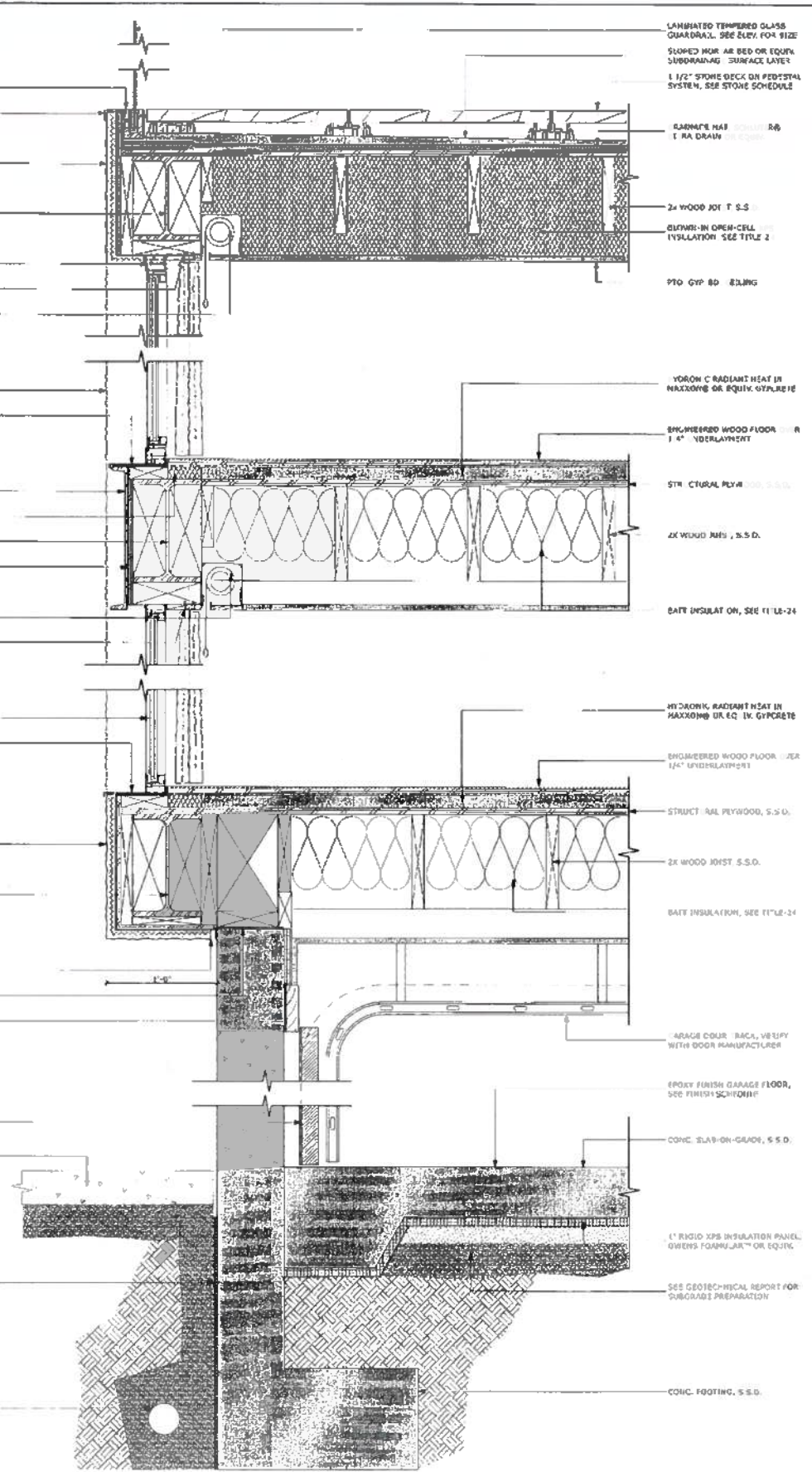
APPROVED
 Dept. of Building Insp.

JUL 25 2015
 Vivian Huang, DEB
 DEC 18 2015



WALL SECTIONS

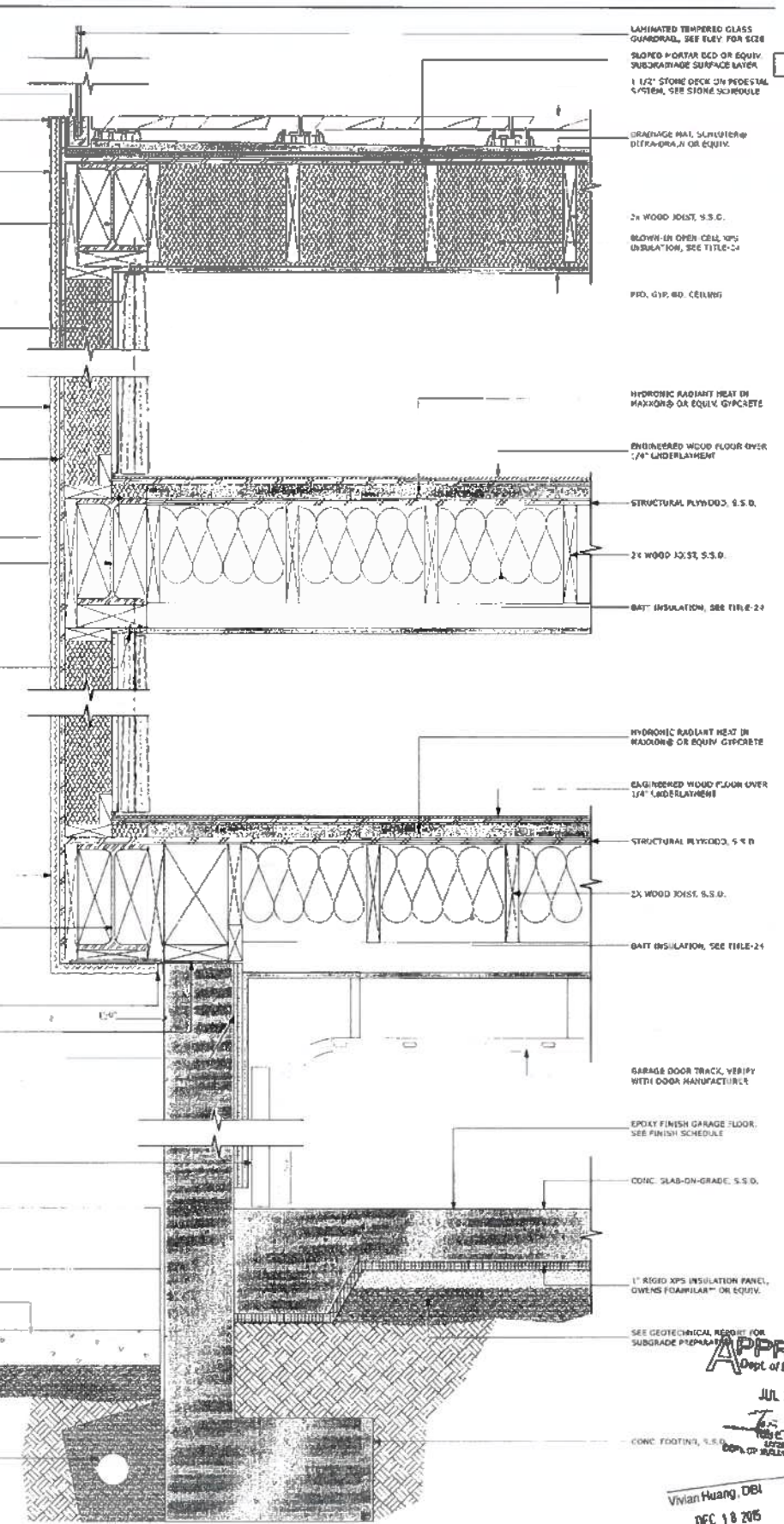
A8.2



STEEL MOMENT FRAME, S.S.D.
 ALUMINUM WINDOW SYSTEM, SEE DOOR AND WINDOW SCHEDULE
 CONCEALED DRAPERY TRACK, SOMFY GLIDEA OR EQUIV.
 LUTRON SVOUAB QS ROLLER SHADE IN RECESSED POCKET
 LINE OF STUCCO FRAME BEYOND
 KYNAR COATED ALUMINUM FLASHING PAN IN SEALANT BED
 STEEL C CHANNEL WITH WELDED BOLTS MOUNTED TO STEEL BEAM
 INSULATE EDGE OF GYPCRETE
 STEEL MOMENT FRAME, S.S.D.
 LIQUID APPLIED W.P. MEMBRANE BEHIND C-CHANNEL, PROSOCCO R-GUARD OR EQUIV.
 LUTRON SVOUAB QS ROLLER SHADE IN RECESSED POCKET
 CONCEALED DRAPERY TRACK, SOMFY GLIDEA OR EQUIV.
 ALUMINUM WINDOW SYSTEM, SEE DOOR AND WINDOW SCHEDULE
 KYNAR COATED ALUMINUM FLASHING PAN IN SEALANT BED
 7/8" ACRYLIC 4-COAT STUCCO OVER REINFORCED LATH
 STEEL MOMENT FRAME, S.S.D.
 1/2" REVEAL WHERE STUCCO MEETS GARAGE FACADE FINISH
 FLASHING CAP WITH INTEGRAL DRAIN AT DISJUNCTION MATERIALS
 INSULATE BEHIND PTD, GYP. BD.
 METAL SCHEDDED GARAGE DOOR, SEE DOOR SCHEDULE
 ADJACENT CONC. SIDEWALK
 DRAINAGE PAN AND FILTER FRAME, HENRY 140 ZWISS, SEE GEOTECHNICAL REPORT
 PERFORATED SUBDRAINAGE PIPE, SEE GEOTECHNICAL REPORT

LAMINATED TEMPERED GLASS GUARDRAIL, SEE ELEV. FOR SIZE
 SLOPED HORIZ. REB. OR EQUIV. SUBDRAINAGE SURFACE DRAIN
 1 1/2" STONE DECK ON PEDESTAL C/PTRCH, SEE STONE SCHEDULE
 C.R. LAURENCE ALUMINUM BASE SHOE, DO NOT COMPROMISE W.P.
 KYNAR COATED ALUMINUM FLASHING CAP OVER STUCCO
 7/8" ACRYLIC 4-COAT STUCCO OVER REINFORCED LATH
 STEEL MOMENT FRAME, S.S.D.
 CONCEALED DRAPERY TRACK, SOMFY GLIDEA OR EQUIV.
 WIDTH IN OPEN CBL. 1/2" DRINKATION, SEE TITLE-24
 YORON C RADIANT HEAT IN MAXXOMB OR EQUIV. GYPCRETE
 ENGINEERED WOOD FLOOR OVER 1/4" UNDERLAYMENT
 STR. CTURAL PLYWOOD, S.S.D.
 2X WOOD JOIST, S.S.D.
 BATT INSULATION, SEE TITLE-24
 HYDROIC RADIANT HEAT IN MAXXOMB OR EQUIV. GYPCRETE
 ENGINEERED WOOD FLOOR OVER 1/4" UNDERLAYMENT
 STRUCT. AL PLYWOOD, S.S.D.
 2X WOOD JOIST, S.S.D.
 BATT INSULATION, SEE TITLE-24
 GARAGE DOOR TRACK, VERIFY WITH DOOR MANUFACTURER
 EPOXY FINISH GARAGE FLOOR, SEE FINISH SCHEDULE
 CONC. SLAB-ON-GRADE, S.S.D.
 1" RIGID XPS INSULATION PANEL, OWENS FOAMULAR™ OR EQUIV.
 SEE GEOTECHNICAL REPORT FOR SUBGRADE PREPARATION
 CONC. FOOTING, S.S.D.
 PERFORATED SUBDRAINAGE PIPE, SEE GEOTECHNICAL REPORT

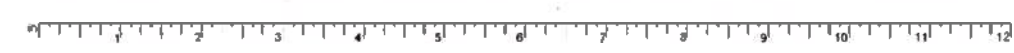
C.R. LAURENCE ALUMINUM BASE SHOE, DO NOT COMPROMISE W.P.
 KYNAR COATED ALUMINUM FLASHING CAP OVER STUCCO
 7/8" ACRYLIC 4-COAT STUCCO OVER REINFORCED LATH
 STEEL MOMENT FRAME, S.S.D.
 CONCEALED DRAPERY TRACK, SOMFY GLIDEA OR EQUIV.
 WIDTH IN OPEN CBL. 1/2" DRINKATION, SEE TITLE-24
 LINE OF STUCCO FRAME BEYOND
 LIQUID APPLIED W.P. MEMBRANE PROSOCCO R-GUARD OR EQUIV.
 INSULATE EDGE OF GYPCRETE
 STEEL MOMENT FRAME, S.S.D.
 CONCEALED DRAPERY TRACK, SOMFY GLIDEA OR EQUIV.
 HYDROIC RADIANT HEAT IN MAXXOMB OR EQUIV. GYPCRETE
 ENGINEERED WOOD FLOOR OVER 1/4" UNDERLAYMENT
 STRUCT. AL PLYWOOD, S.S.D.
 2X WOOD JOIST, S.S.D.
 BATT INSULATION, SEE TITLE-24
 1/2" REVEAL WHERE STUCCO MEETS GARAGE FACADE FINISH
 FLASHING CAP WITH INTEGRAL DRAIN AT DISJUNCTION MATERIALS
 INSULATE BEHIND PTD, GYP. BD.
 METAL SCHEDDED GARAGE DOOR, SEE DOOR SCHEDULE
 ADJACENT CONC. SIDEWALK
 PERFORATED SUBDRAINAGE PIPE, SEE GEOTECHNICAL REPORT

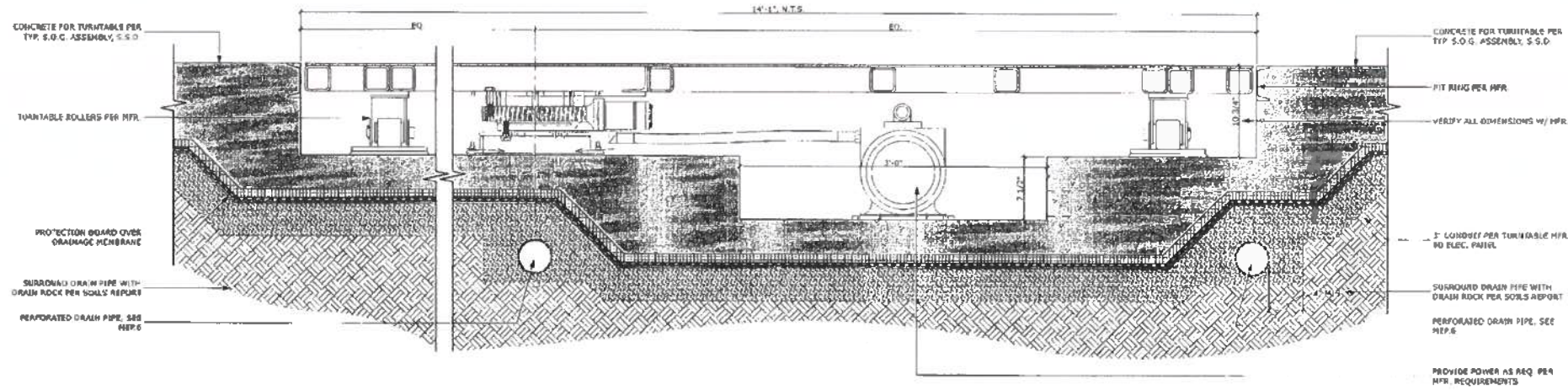


LAMINATED TEMPERED GLASS GUARDRAIL, SEE ELEV. FOR SIZE
 SLOPED HORIZ. REB. OR EQUIV. SUBDRAINAGE SURFACE DRAIN
 1 1/2" STONE DECK ON PEDESTAL C/PTRCH, SEE STONE SCHEDULE
 4329 SUTTER STREET 1ST FLOOR
 SAN FRANCISCO, CA 94109
 BUTLER@BUTLERARMSDEN.COM
 C: (415) 774-5554
 F: (415) 774-5554
 ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION UP
GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA
BUILDING PERMIT
 REVISIONS: BY:
 JOB#: 1322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED
 APPROVED
 Dept. of Building Insp.
 JUL 25 2015
 Vivian Huang, DEB
 DEC 18 2015
WALL SECTIONS
A8.2

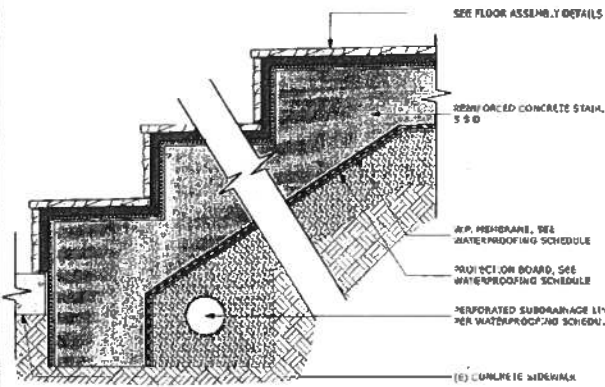
2 WALL SECT. - FRONT FACADE AT CENTERLINE OF BUILDING
 SCALE: 1/12" = 1'-0"

1 WALL SECT. - FRONT FACADE AT STUCCO SHELL
 SCALE: 1/12" = 1'-0"

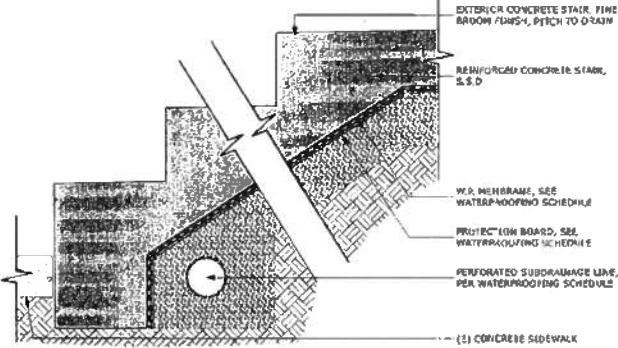




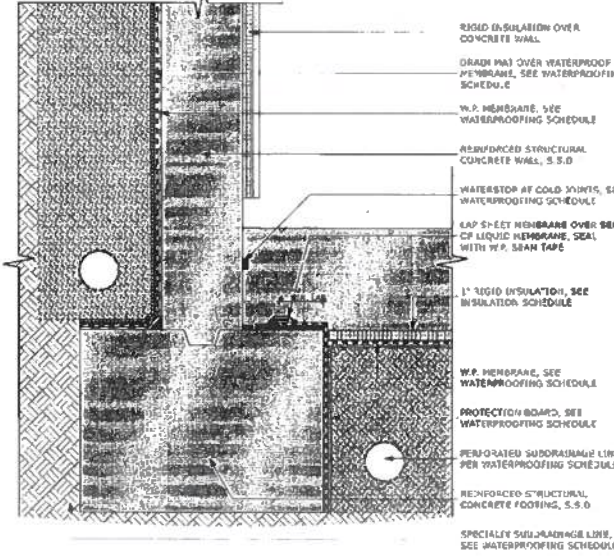
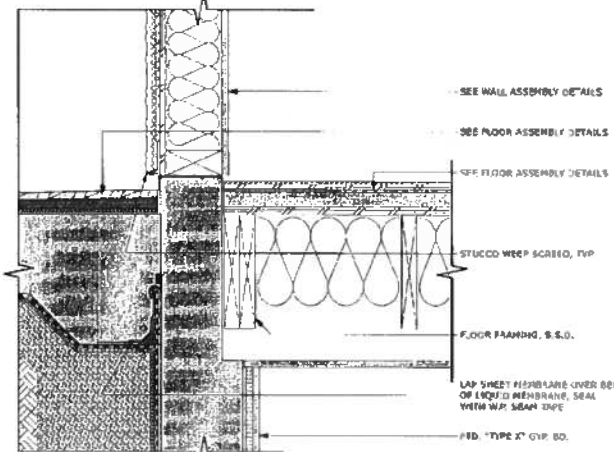
5 VEHICULAR TURNABLE AT GARAGE
 SCALE: 1 1/2" = 1'-0"



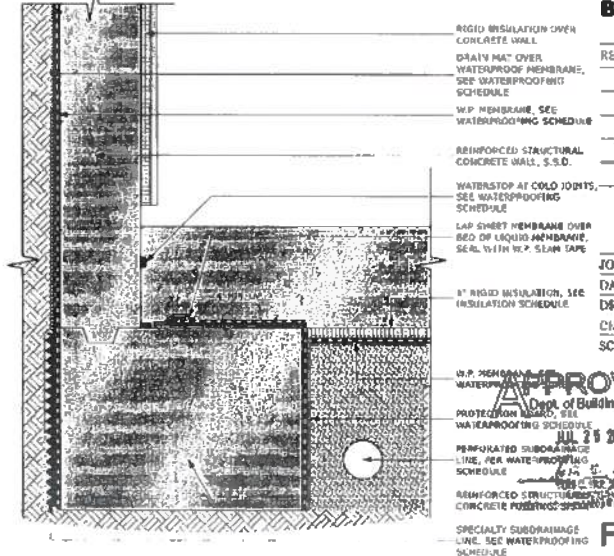
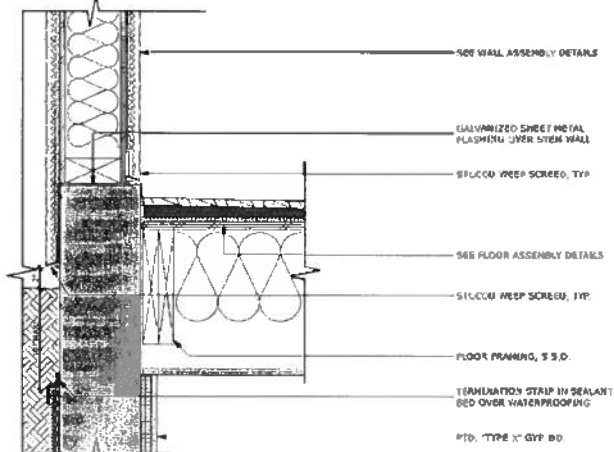
7 STAIRS ON GRADE AT ENTRY
 SCALE: 1 1/2" = 1'-0"



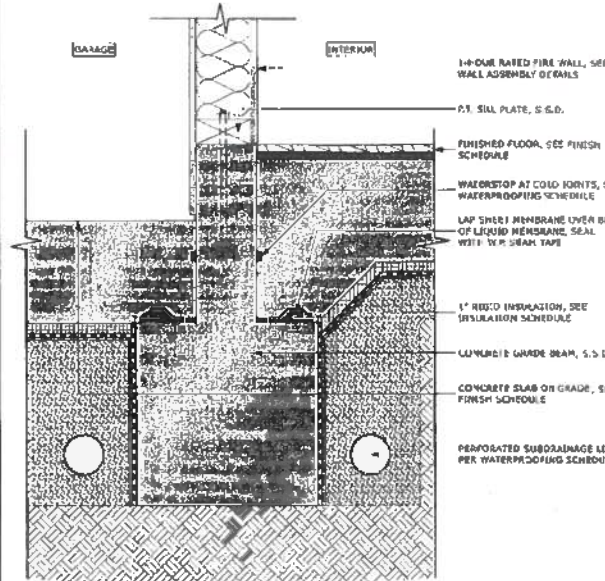
4 STAIRS ON GRADE AT WEST
 SCALE: 1 1/2" = 1'-0"



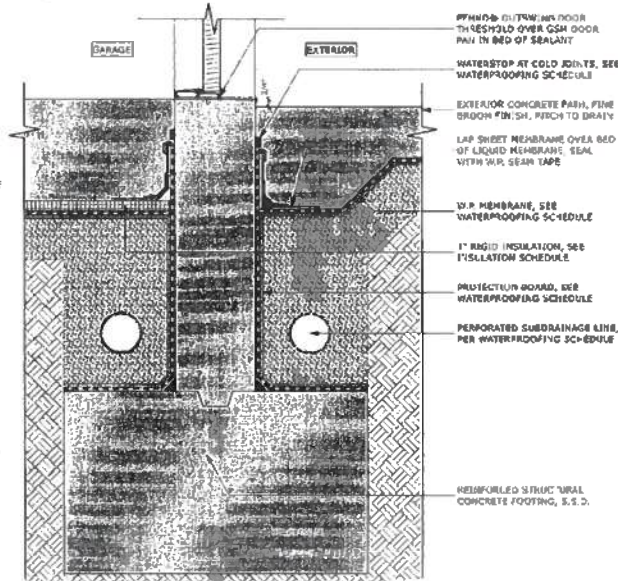
2 FOUNDATION AT GRID LINE C
 SCALE: 1 1/2" = 1'-0"



1 FOUNDATION AT GRID LINE A/F
 SCALE: 1 1/2" = 1'-0"



6 INTERNAL GRADE BEAM AT GRID LINE 4
 SCALE: 1 1/2" = 1'-0"



3 THRESHOLD DETAIL AT DOOR 002
 SCALE: 1 1/2" = 1'-0"

BUILDING PERMIT

REVISIONS:	BY:
Vivian Huang, DBI	
DEC 18, 2015	
JOB #:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 25 2016
 SPECIALTY SUBDRAINAGE LINE, SEE WATERPROOFING SCHEDULE

FOUNDATION DETAILS

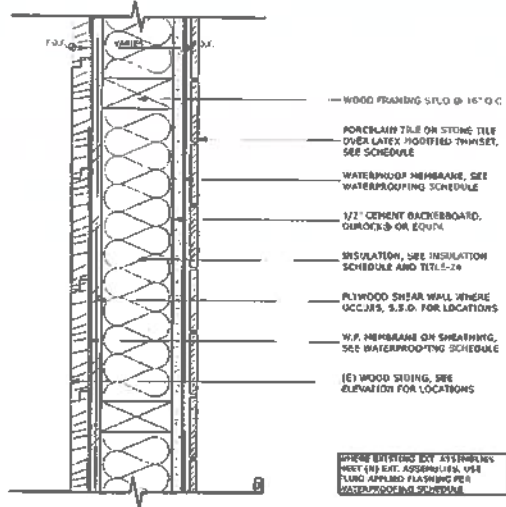
GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

4400 SUTTER STREET, 4TH FLOOR
 SAN FRANCISCO, CA 94109
 WUTLARA@BUTLERARMSOEN.COM
 T 415-774-5234
 F 415-774-5238

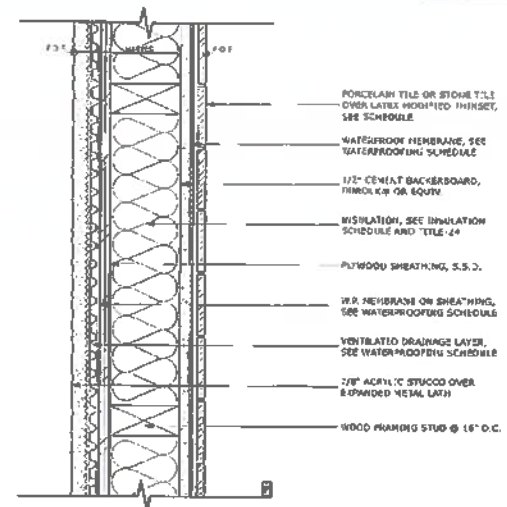
ADDENDUM #
 MW 12 265

SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

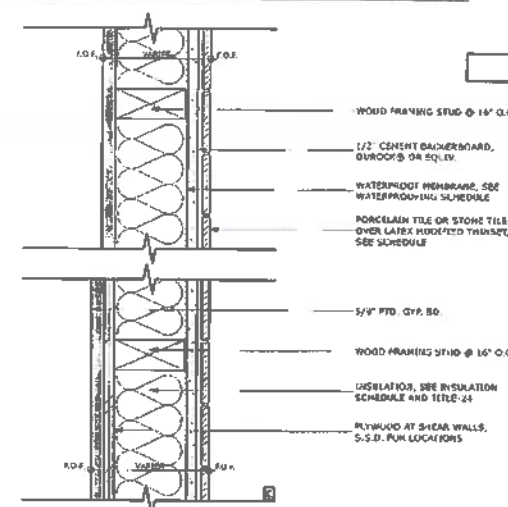
GREENWICH STREET RESIDENCE
 1285/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



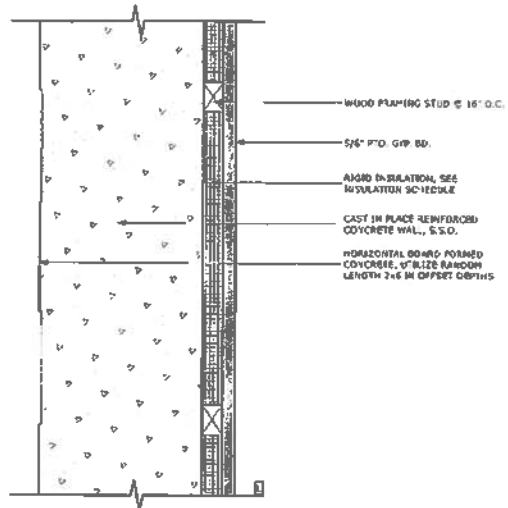
9 TYPE J - EXT. EXISTING TILE WALL
 SCALE: 3/4" = 1'-0"



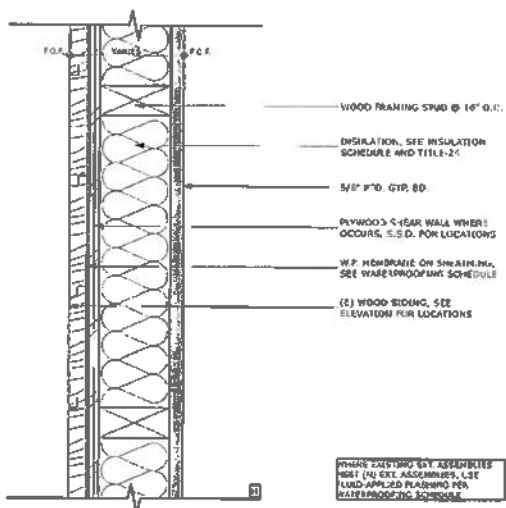
6 TYPE F - EXT. STUCCO TILED WALL
 SCALE: 3/4" = 1'-0"



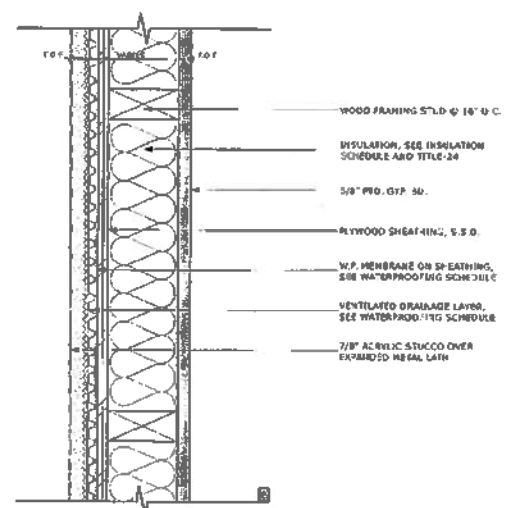
3 TYPE C - INT. SINGLE-SIDED TILE
 SCALE: 3/4" = 1'-0"



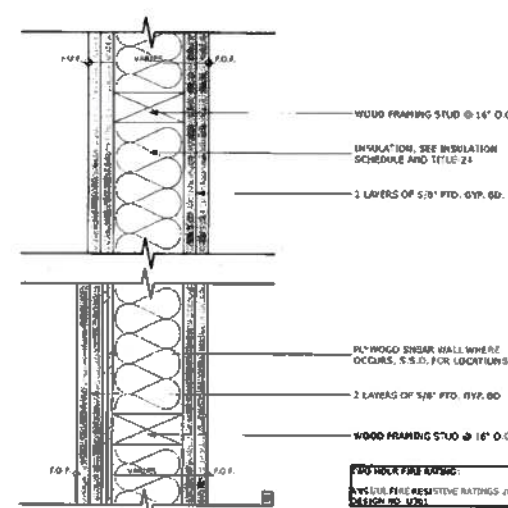
11 TYPE L - EXT. BOARD FORM CONC. WALL
 SCALE: 3/4" = 1'-0"



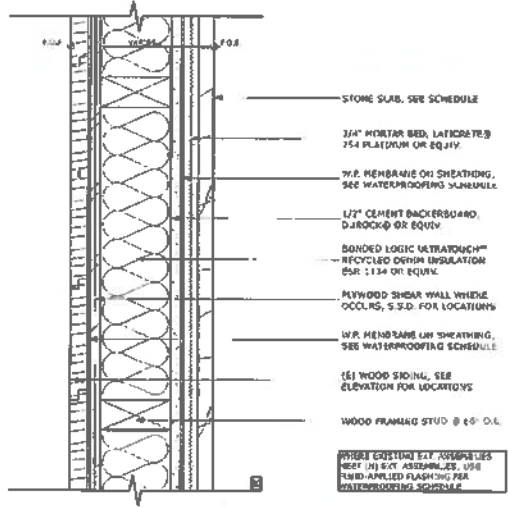
8 TYPE H - EXT. EXISTING WALL
 SCALE: 3/4" = 1'-0"



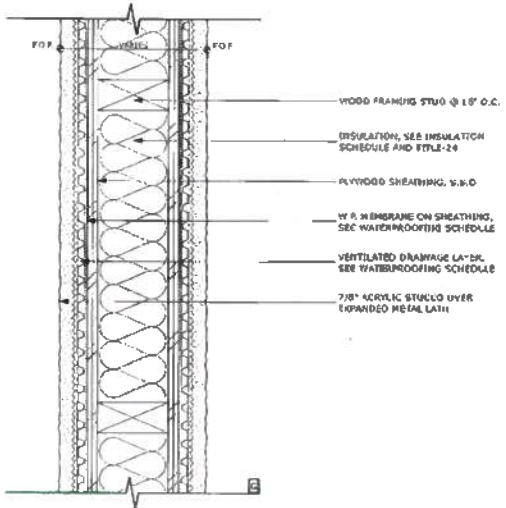
5 TYPE E - EXT. STUCCO WALL
 SCALE: 3/4" = 1'-0"



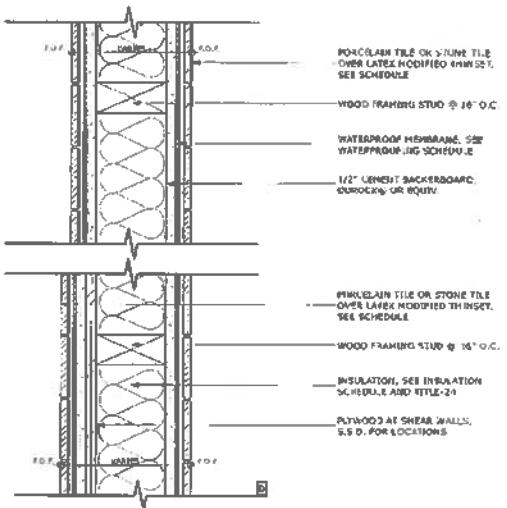
2 TYPE B - INT. 2-HOUR FIRE RATED
 SCALE: 3/4" = 1'-0"



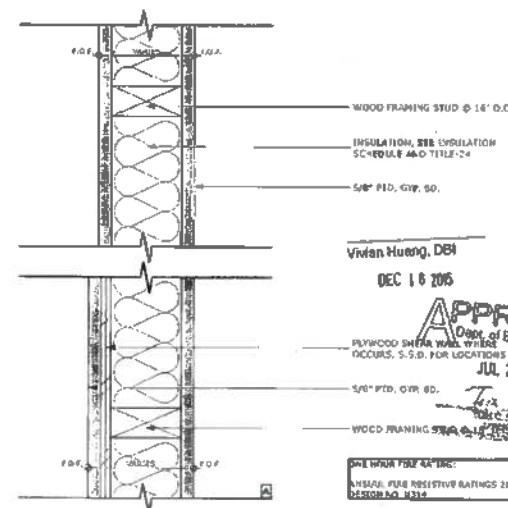
10 TYPE K - EXT. EXISTING STONE WALL
 SCALE: 3/4" = 1'-0"



7 TYPE G - EXT. DOUBLE-SIDED STUCCO
 SCALE: 3/4" = 1'-0"



4 TYPE D - INT. DOUBLE-SIDED TILE
 SCALE: 3/4" = 1'-0"



1 TYPE A - INT. 1-HOUR FIRE RATED
 SCALE: 3/4" = 1'-0"

BUILDING PERMIT

REVISIONS:	BY:

JOB #: 1322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 AS NOTED

APPROVED
 Date of Building Insp.
 JUL 25 2016
 Vivan Huang, DEB
 DEC 16 2015



TYPICAL WALL DETAILS



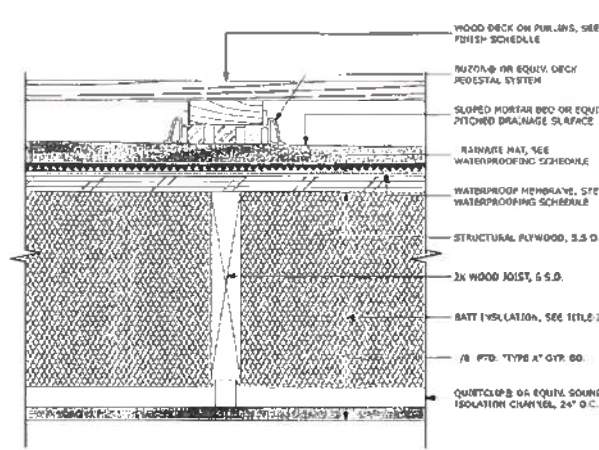
ADDENDUM #

NOV 12 2015

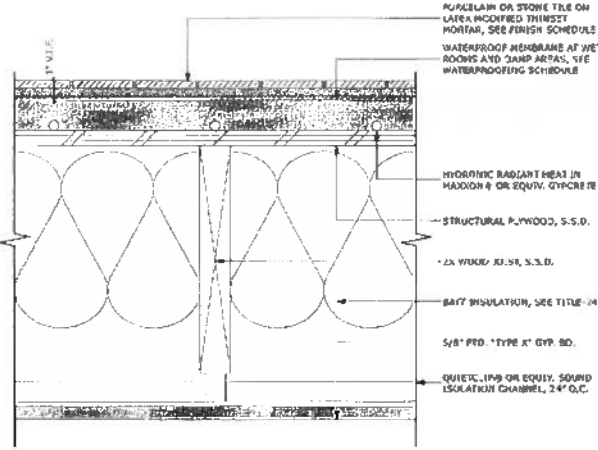
SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1287/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

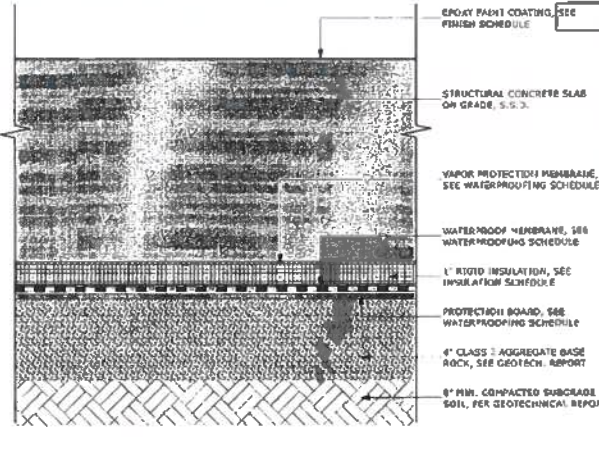
1400 BUTTER STREET, 8TH FLOOR
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E: INFO@BUTLERARMSDEN.COM
 T: 415-974-5294
 F: 415-971-5358



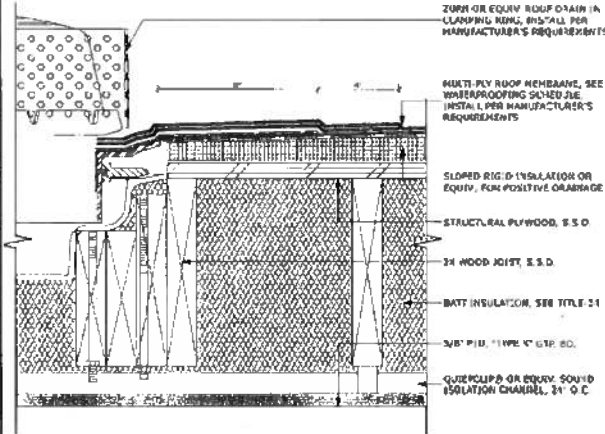
9 WOOD ROOF DECK ON PEDESTALS
 SCALE: 3" = 1'-0"



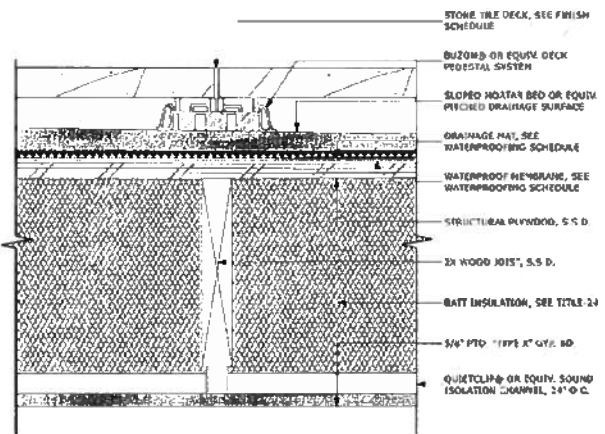
6 TYPE F - TILE FLOOR ON JOISTS
 SCALE: 3" = 1'-0"



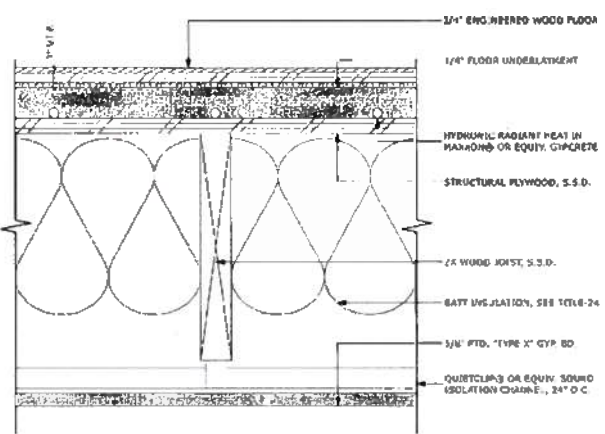
3 TYPE C - EPOXY COATED CONCRETE
 SCALE: 3" = 1'-0"



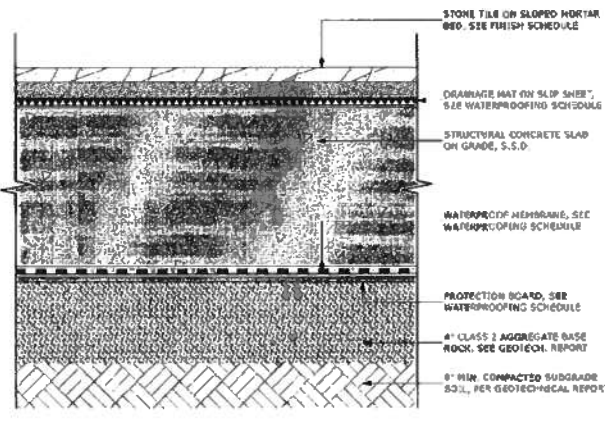
11 ROOF DRAIN AT MULTI-PLY ROOF
 SCALE: 3" = 1'-0"



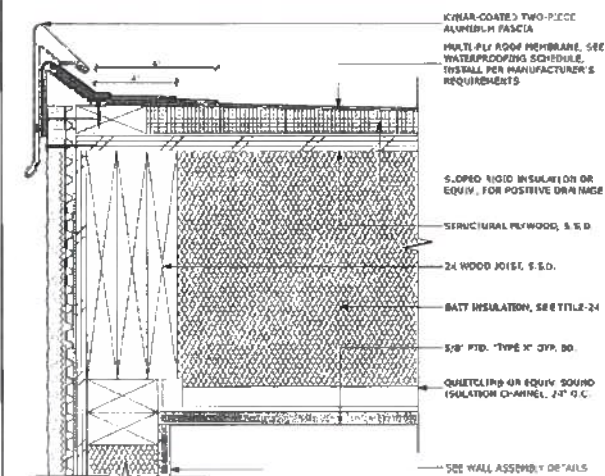
8 STONE ROOF DECK ON PEDESTALS
 SCALE: 3" = 1'-0"



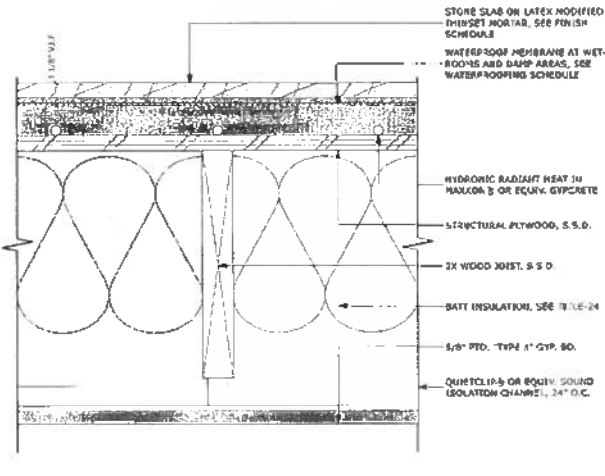
5 TYPE E - WOOD FLOOR ON JOISTS
 SCALE: 3" = 1'-0"



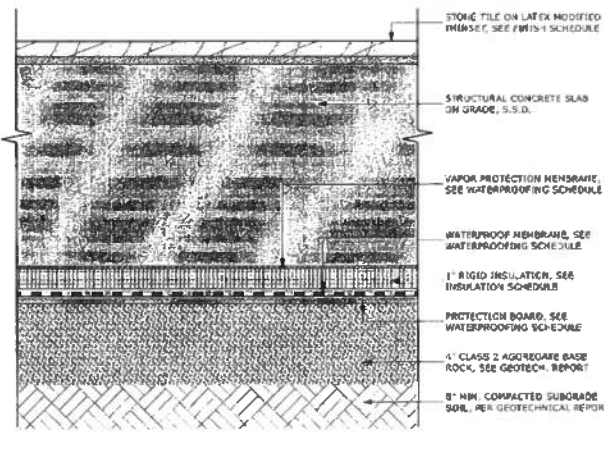
2 TYPE B - EXTERIOR STONE
 SCALE: 3" = 1'-0"



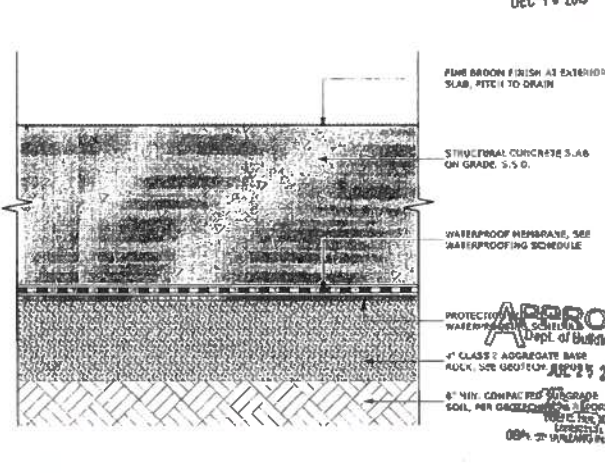
10 MULTI-PLY ROOF AT EXTERIOR WALL
 SCALE: 3" = 1'-0"



7 TYPE G - STONE FLOOR ON JOISTS
 SCALE: 3" = 1'-0"



4 TYPE D - STONE ON CONCRETE SLAB
 SCALE: 3" = 1'-0"



1 TYPE A - EXTERIOR FINISHED CONCRETE
 SCALE: 3" = 1'-0"

BUILDING PERMIT

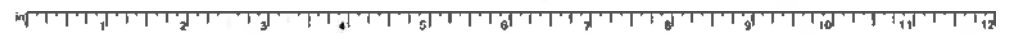
Vivian Huang, DBI Oct 14 2015	REVISIONS:	BY:

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 JUNE 5 2016

PROFESSIONAL ARCHITECT
 LINDA W. BUTLER
 STATE OF CALIFORNIA
 No. 23120

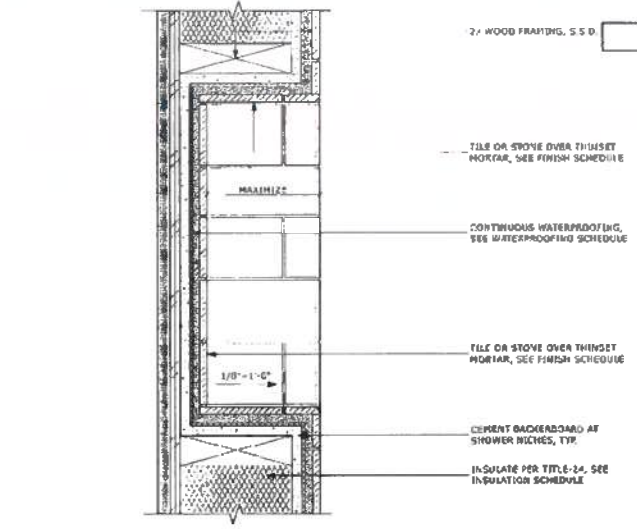
TYPICAL FLOOR/ROOF DETAILS



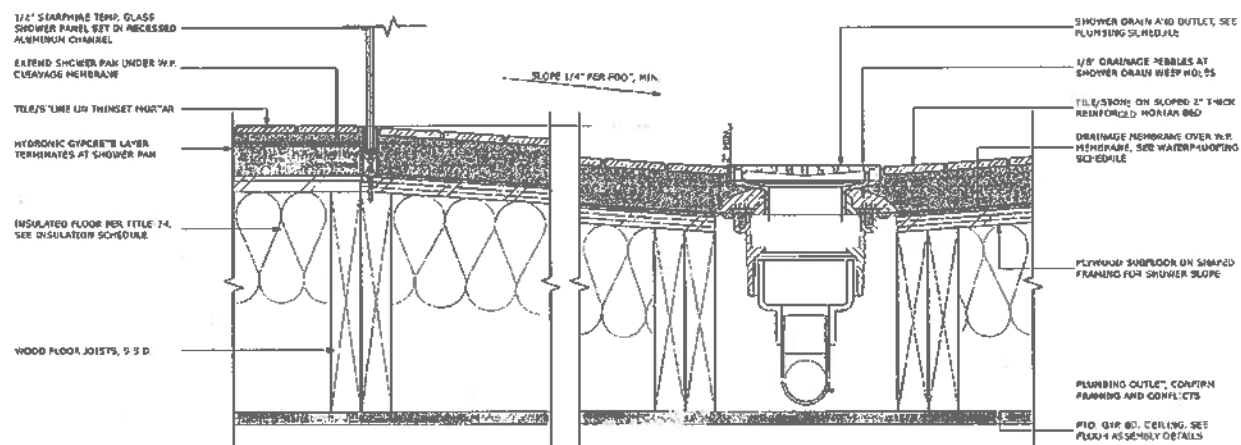
1410 SUTTER STREET 1ST FLOOR
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E INFO@BUTLERARMSDEN.COM
 T 415-921-5554
 F 415-971-5538

ADDENDUM #
 MAY 17, 2016
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

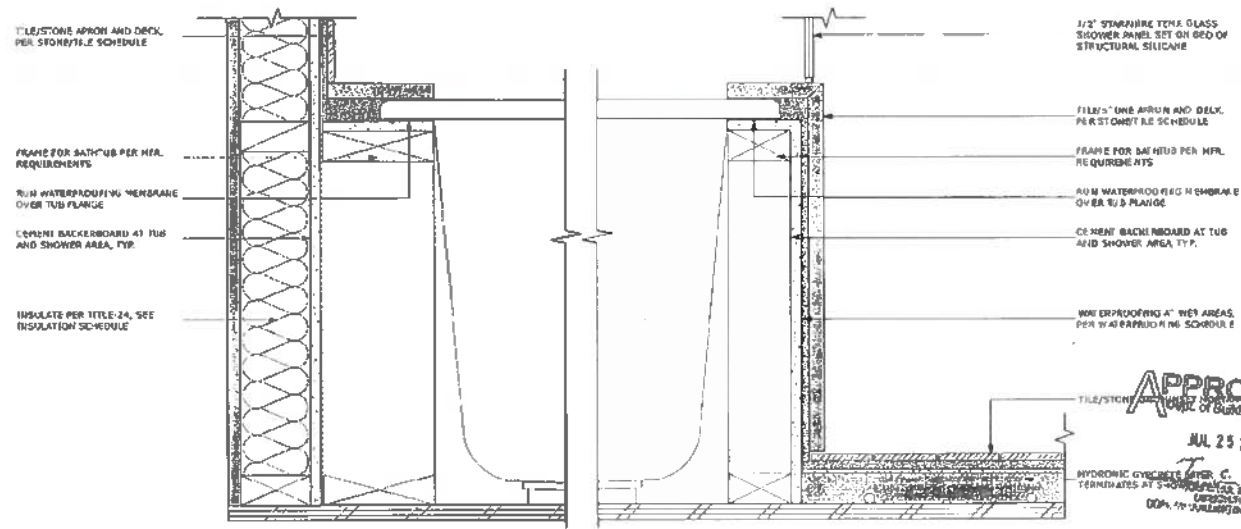
GREENWICH STREET RESIDENCE
 128 1/2 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



3 TYP. SHOWER NICHE
 SCALE: 3" = 1'-0"



2 TYP. SHOWER PAN AND SHOWER DRAIN
 SCALE: 3" = 1'-0"



1 TUB DECK AND APRON DETAIL
 SCALE: 3" = 1'-0"

BUILDING PERMIT

REVISIONS:	BY:

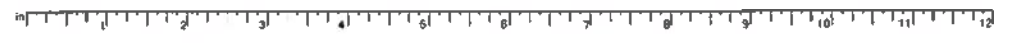
JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 JUL 25 2016
 DEPARTMENT OF BUILDING INSPECTION



Vivian Huang, DBI
 DEC 18 2015

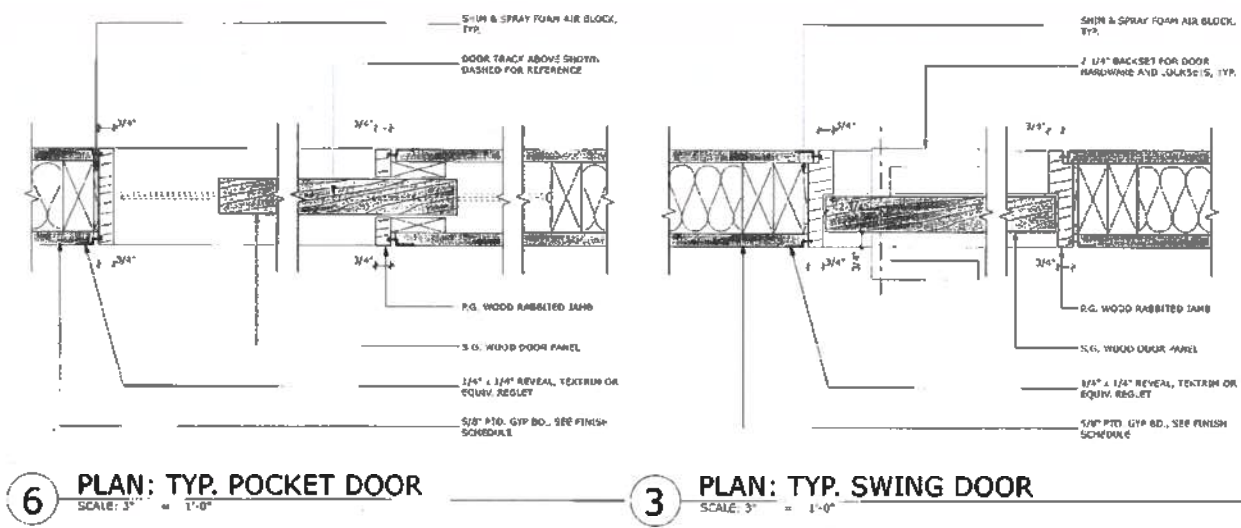
INT. DETAILS



100 SUTTER STREET 5TH FLOOR
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E INFO@BUTLERARMSDEN.COM
 T 415-474-5533
 F 415-474-5538

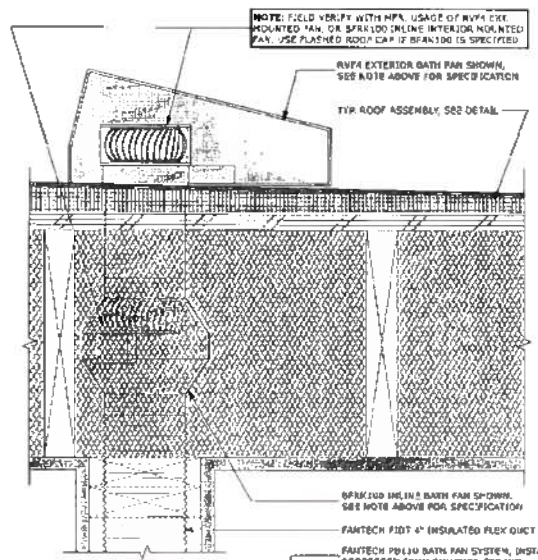
ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

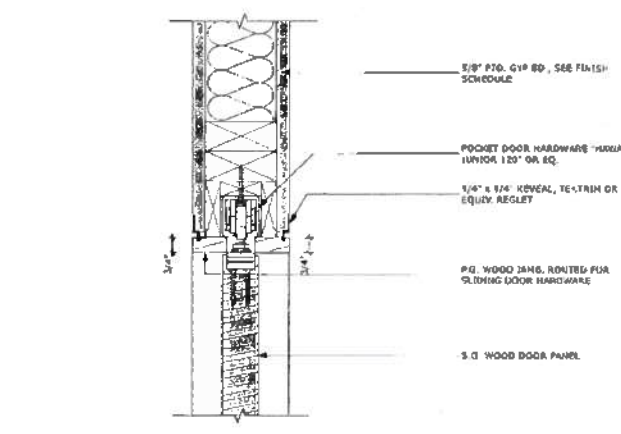


6 PLAN: TYP. POCKET DOOR
 SCALE: 3/8" = 1'-0"

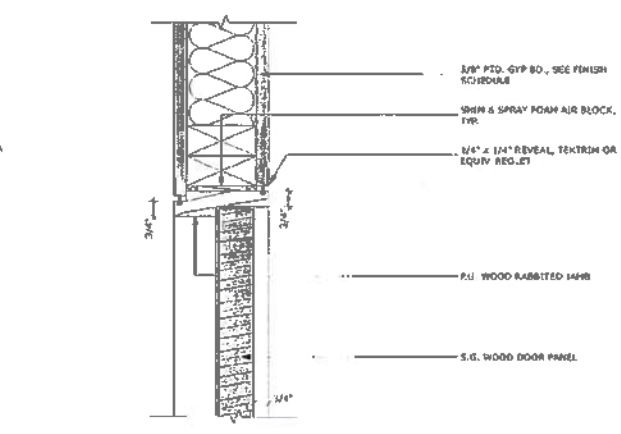
3 PLAN: TYP. SWING DOOR
 SCALE: 3/8" = 1'-0"



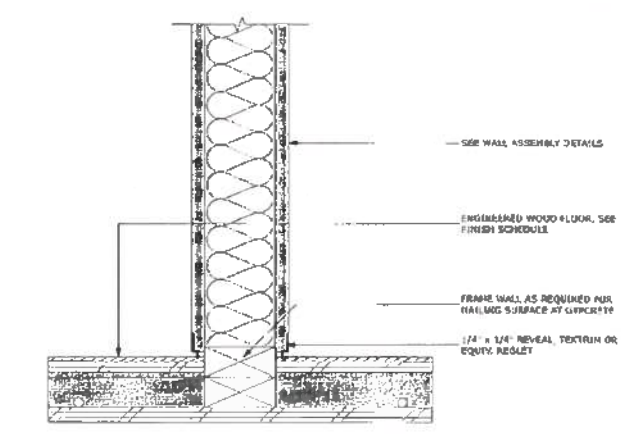
7 SECT: TYP. BATH FAN DETAIL
 SCALE: 3/8" = 1'-0"



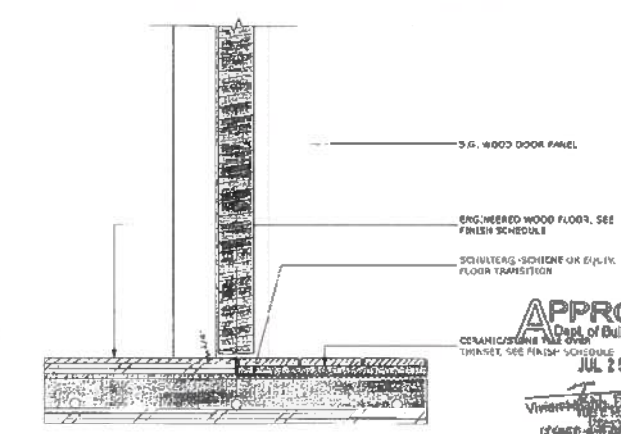
5 SECT: TYP. POCKET DOOR HEADER
 SCALE: 3/8" = 1'-0"



2 SECT: TYP. SWING DOOR HEADER
 SCALE: 3/8" = 1'-0"



4 TYP. REVEAL AT FLOOR
 SCALE: 3/8" = 1'-0"



1 FLOOR TRANSITION AT DOOR THRESHOLD INT. DETAILS
 SCALE: 3/8" = 1'-0"

BUILDING PERMIT

REVISIONS:	BY:

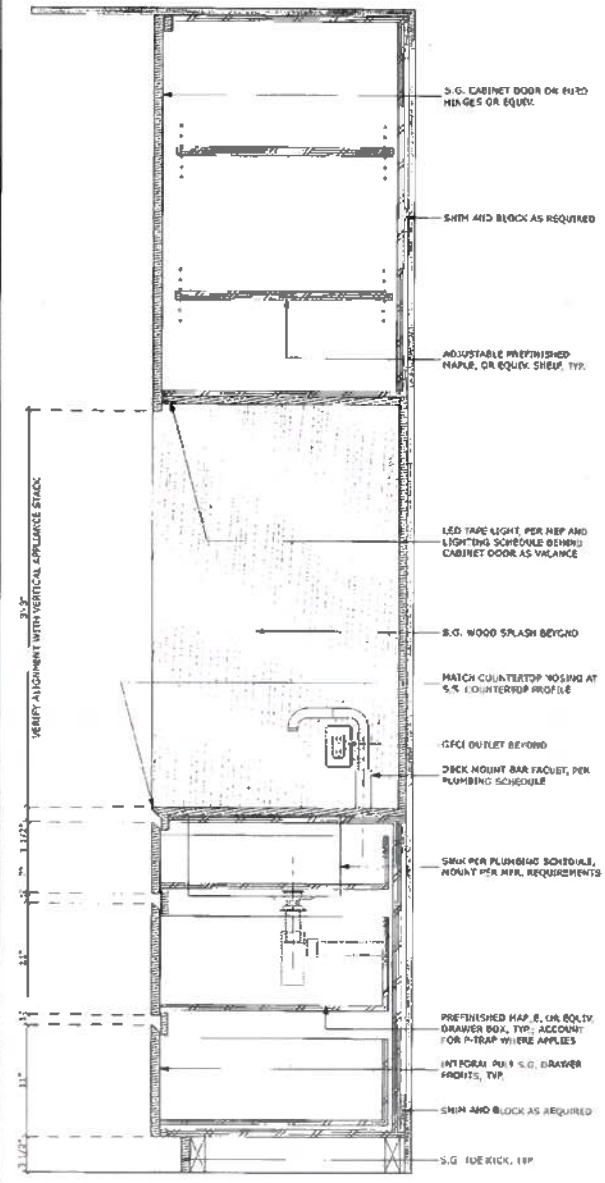
JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 25 2015
 CIVIL ENGINEER
 STATE OF CALIFORNIA

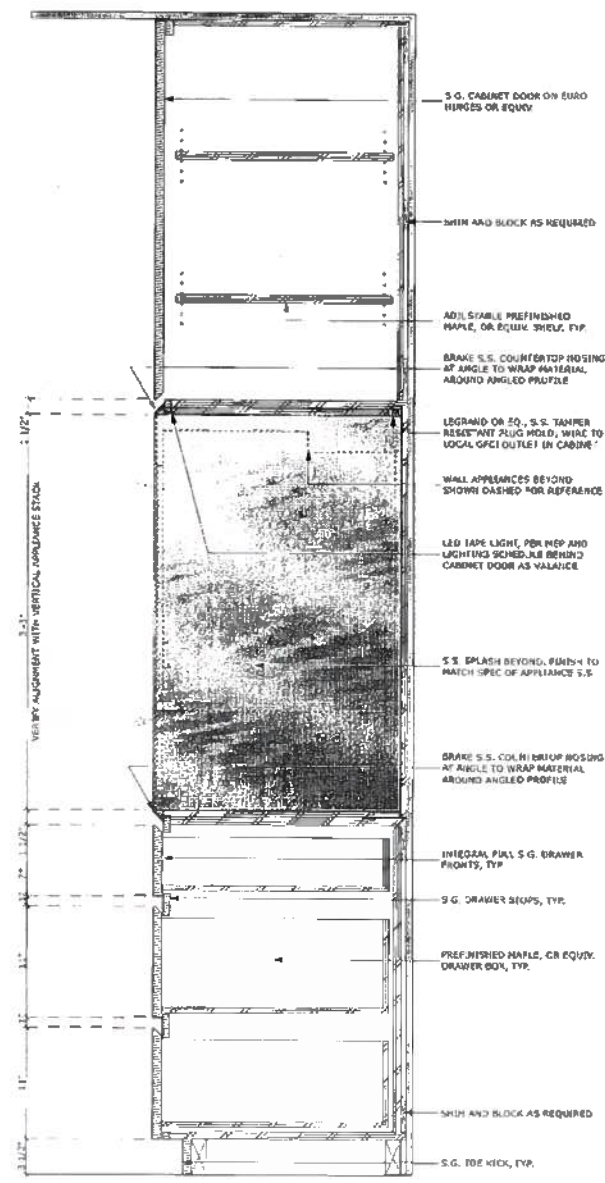
SEAL OF ARCHITECT
 BUTLER ARMSDEN
 ARCHITECTS
 STATE OF CALIFORNIA

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF:

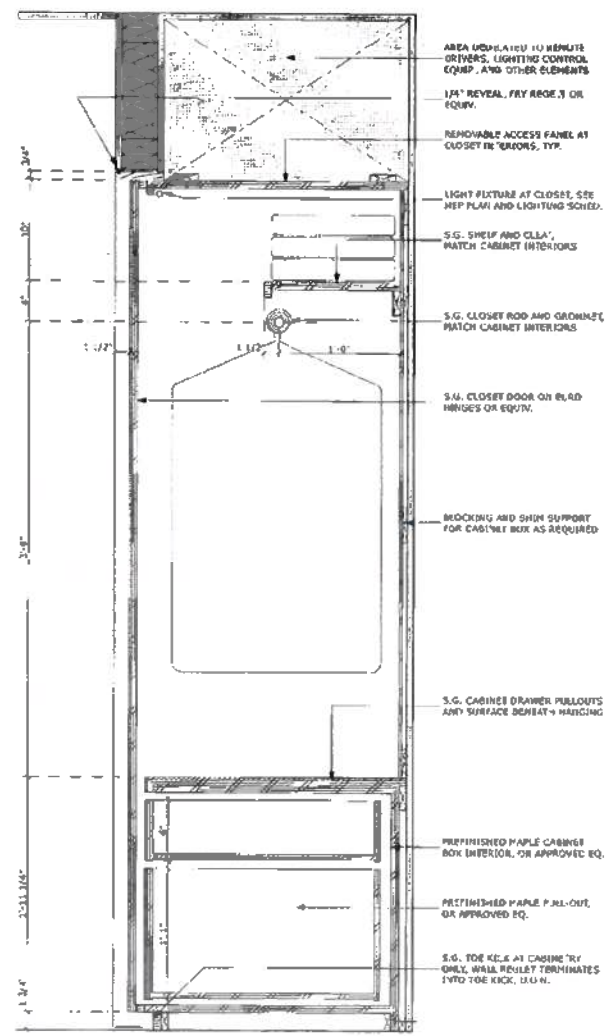
GREENWICH STREET RESIDENCE
 1287/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



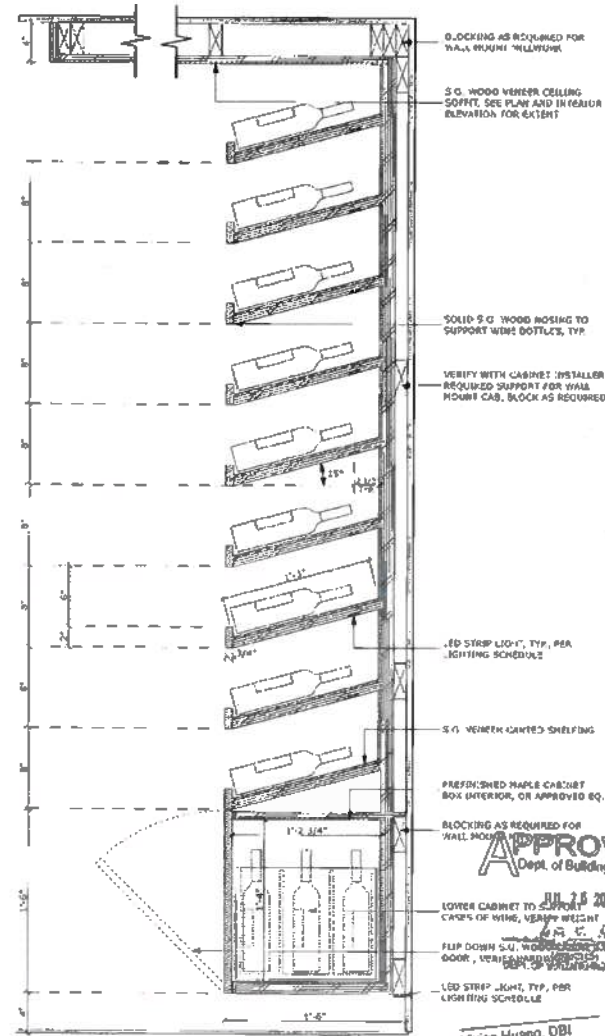
4 SECT: KITCHEN CABINET AT BAR
 SCALE: 1/12" = 1'-0"



3 SECT: TYP. KITCHEN MAIN CABINET
 SCALE: 1/12" = 1'-0"



2 SECT: TYP. CLOSET MILLWORK
 SCALE: 1/12" = 1'-0"



1 SECT: WINE ROOM MILLWORK
 SCALE: 1/12" = 1'-0"

BUILDING PERMIT

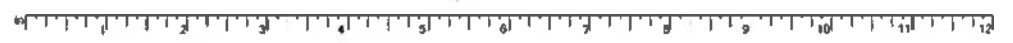
REVISIONS: _____ BY: _____

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED



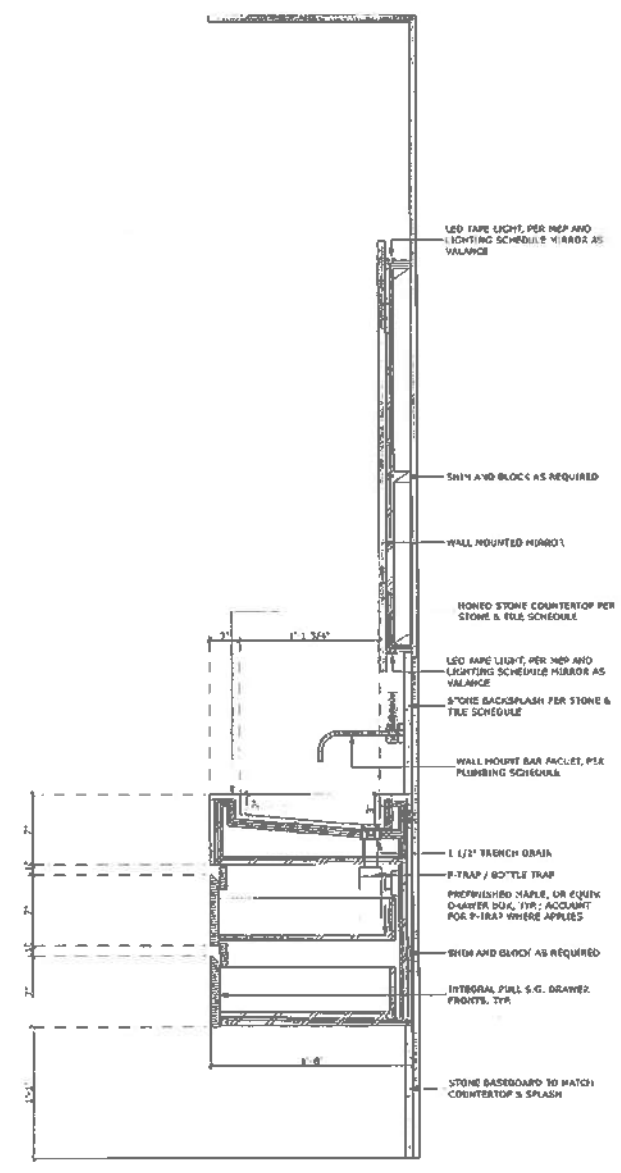
Vivian Huang, DBI
 DEC 14 2015

INT. DETAILS

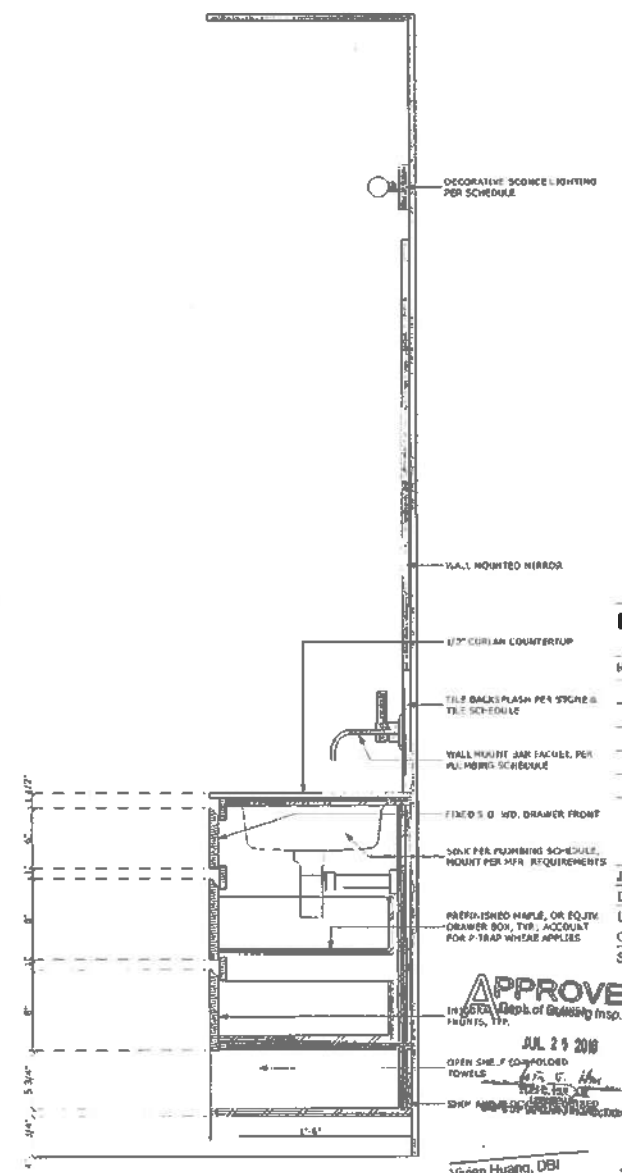


ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



2 SECT: MASTER BATH VANITY
 SCALE: 1 1/2" = 1'-0"



1 SECT: TYP. BATH VANITY
 SCALE: 1 1/2" = 1'-0"

BUILDING PERMIT

REVISIONS: _____ BY: _____

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 THE SECT. DEPT. OF BUILDING INSPECTION
 HUNTS, TYP.

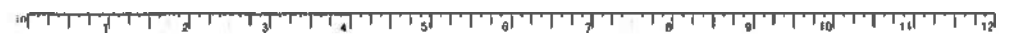
JUL 24 2016
 OPEN SHELF COMPOUNDED
 TOWELS
 1281/1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109

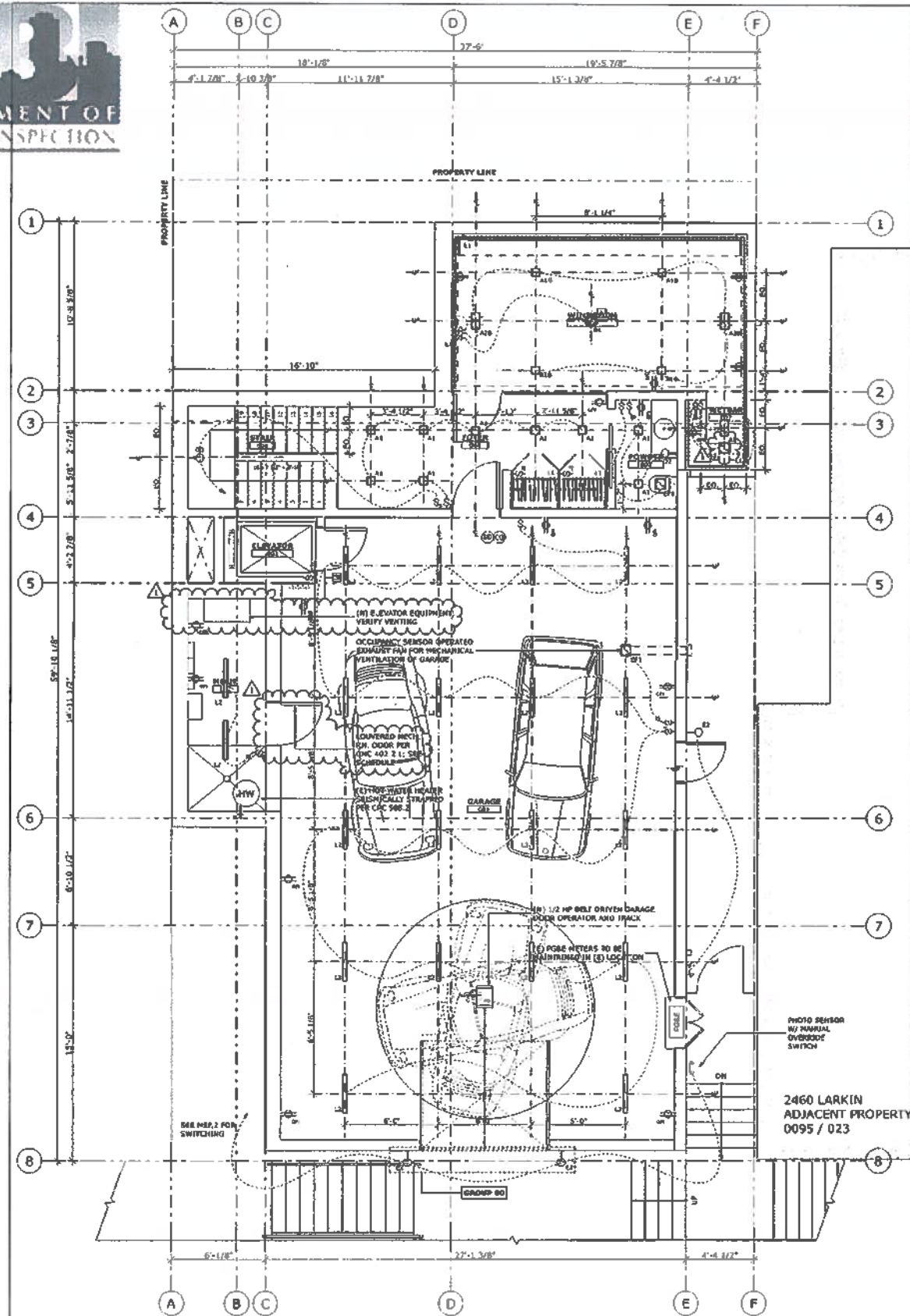
VERIEN HUANG, DBI
 DEC 10 2015

LEICISED ARCHITECT
 LEICISED ARCHITECT
 STATE OF CALIFORNIA

INT. DETAILS

A9.4





1 PROPOSED MEP BASEMENT
 SCALE: 1/4" = 1'-0"

LEGEND

CONTROLS	SWITCH	3-WAY SWITCH	4-WAY SWITCH	AMB SWITCH	OCCUPANT SENSOR SWITCH - MANUAL ON	ELEVATOR CALL BUTTON	LED LIGHTING CONTROL	ELECTRIC STRIKE	DIMMER SWITCH	3-WAY DIMMER SWITCH	4-WAY DIMMER SWITCH	AIR SWITCH	KEY PAD	DOOR CHIME	TIMER	DOOR BELL / BUZZER						
FIXTURES	SURFACE CLG. MTD. FLOOR.	SURFACE CLG. MTD. FLOOR.	SURFACE WALL MTD. FLOOR.	SURFACE WALL MTD. WATER PROOF	PENDANT	PENDANT FLOOR	PENDANT LOW VOLTAGE	FLOOR STRIP	TRACK	REC. CLG.	REC. CLG. LOW VOLTAGE	REC. WATER PROOF	REC. WALL	REC. WALL WATER PROOF	REC. FLOOR	REC. DIRECTIONAL	JUNCTION BOX	UNDERCABINET STRIP FLOOR	UNDERCABINET STRIP FLOOR	REC. CLG. DUAL LUMINAIRE	REC. CLG. TRIPLE LUMINAIRE	
OUTLETS	DUPLEX	SWITCHED DUPLEX	4-PLEX	220V	CLOCK OUTLET	FLOOR DUPLEX	GROUND FAULT INTERCEPTOR	WEATHER PROTECTED GFI	DEDICATED	CEILING OUTLET												
HVAC	FLR. SUPPLY REGISTER	CLG. SUPPLY REGISTER	WALL SUPPLY OR TOE KICK REGISTER	THERMOSTAT	FLR. RETURN REGISTER	RECESSED VENTILATOR	RECESSED VENTILATOR W/ LIGHT															
PLUMBING	HOSE BIB	GAS BIB	TANKLESS WATER HEATER	WATER FILTER																		
SECURITY / SAFETY	SMOKE DETECTOR	CARBON MONOXIDE DETECTOR	SPRINKLER HEAD	SECURITY CAMERA	MOTION SENSOR W/ PHOTO CELL																	
COMMUNICATIONS	TELEPHONE JACK	FLOOR TELEPHONE JACK	TV JACK	INTERCOM	DATA JACK	FLOOR DATA JACK	SPEAKER															

TITLE 24 2013 NOTES

ROOM	NOTES
BATHROOM, LAUNDRY ROOM, GARAGES, UTILITY ROOMS, CLOSETS LESS THAN 70 SQ. FT.	ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL BE CONTROLLED BY A MANUAL-ON VACANCY SENSOR PER SECTION 150(K)
KITCHEN	AT LEAST HALF OF THE INSTALLED WATTAGE OF LUMINAIRES SHALL BE HIGH EFFICACY AND ALL HIGH EFFICACY SHALL BE SWITCHED SEPARATELY. CABINETS SHALL USE MAXIMUM 20W PER LINEAR FOOT OF CABINET PER SECTION 150(K)
ADDITIONAL LOW EFFICACY LIGHTING	SHOW IF DWELLING UNIT <= 2,500 SQ. FT. 100W IF DWELLING UNIT > 2,500 SQ. FT. ALL LUMINAIRES IN GARAGE, LAUNDRY, UTILITY ROOM & CLOSETS MUST BE HIGH EFFICACY & CONTROLLED BY VACANCY SENSOR PER SECTION 150(K)
OTHER ROOMS & CLOSETS MORE THAN 70 SQ. FT.	ALL LUMINAIRES SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER.
OUTDOOR	ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES OR SHALL BE CONTROLLED BY A PHOTOCONTROL/ MOTION SENSOR COMBINATION WITH NO OVER RIDE MEETING THE REQUIREMENTS OF SECTION 150(K)
HARDWARE REQUIREMENT	
FLUORESCENT RECESSED CAN I.E. KITCHEN	FLUORESCENT RECESSED CAN, WITH ONE 25 WATT PIN-BASED COMPACT FLUORESCENT LAMP, MEETING THE ELECTRONIC BALLAST, MINIMUM EFFICACY, IC AND AIR TIGHT REQUIREMENTS OF SECTION 150(K)
INCANDESCENT RECESSED CAN I.E. DINING ROOM	INCANDESCENT RECESSED CAN MEETING THE LABELING, IC, AND AIR TIGHT REQUIREMENTS OF SECTION 150(K)
PENDANT	PENDANT CONTROLLED BY A DIMMER SWITCH MEETING THE REQUIREMENTS OF SECTION 150(K)
VACANCY SENSOR	MANUAL-ON, AUTOMATIC-OFF SENSOR MEETING THE REQUIREMENTS OF SECTION 150(K)
HIGH EFFICACY LAMPS	
<5W	30 lm/W
5 - 15W	40 lm/W
15 - 40W	50 lm/W
>40W	60 lm/W
VENTILATION	
KITCHEN	MIN. 100 CFM OR CEILING OR WALL EXHAUST FAN THAT SUPPLIES 5 AIR CHANGES PER HOUR
BATHROOM	MIN. 50 CFM PER ASHRAE 62.2
ALL HABITABLE ROOMS	VENTILATION EQUAL TO 1% OF FLOOR AREA BUT NOT LESS THAN 5 SQ. FT.
WHOLE HOUSE	VENTILATION EQUAL TO THAT PROVIDED BY ASHRAE EQUATION 4.1 CFM = HOUSE AREA x 0.01 + 7.5 x (#BEDROOMS + 1)

- INTERMITTENT FANS TO BE 3 SOME MAX.
- CONTINUOUS FANS TO BE 1 SOME MAX.
- WHOLE HOUSE FAN IN BATHROOM MUST BE LABELED "WHOLE HOUSE FAN"
- ALL FANS TO VENT DIRECTLY TO OUTSIDE
- ALL DUCT SIZES AS PER ASHRAE 62.2 TABLE 7.1
- INSTALLATION OF FANS OVER 125 CFM TO BE FIELD TESTED TO MEET THE REQUIREMENTS OF ASHRAE 62.2
- GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 & SFMC 802.6.2
- COMBUSTION AIR SHALL MEET REQUIREMENTS OF CMC CHAPTER 7
- ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM PROPERTY LINES AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5 AND PROVIDE BACK-DRAFT DAMPERS PER CMC 504.1
- DOMESTIC RANGE HOOD VENTS SHALL MEET REQUIREMENTS OF CMC 504.2 AND COMPLY WITH CMC TABLE 403.7
- DIRECT VENT APPLIANCES PER CMC 802.2.4 (PER MFR INSTALLATION INSTRUCTIONS) AND SFMC 802.6.2

- ### GENERAL ELEC. NOTES
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 - ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SITE VERIFICATION OF EXISTING CONDITIONS, AND PROPER ENGINEERING OF NEW/REVISED ELECTRICAL INSTALLATION.
 - ELECTRICAL SERVICE POWER TO BE EVALUATED FOR MEETING LIGHTING DESIGN AND EQUIPMENT REQUIREMENTS; PROPER POWER LEVEL SHALL BE PROVIDED.
 - ALL NEW ELECTRICAL ITEMS TO BE U.L. RATED.
 - ALL NEW ELECTRICAL EQUIPMENT AND APPLIANCES TO BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
 - NOTIFY ARCHITECT 24 HOURS PRIOR TO SETTING BOXES FOR RECESSED AND SURFACE MOUNTED FIXTURES, SWITCHES, JACKS, OUTLETS, AND CONTROL PANELS. SHALL BE DETERMINED IN THE FIELD BY A "WALK THROUGH" WITH THE OWNER AND THE ARCHITECT.
 - LIGHTING IN CLOSETS SHALL COMPLY WITH N.E.C. SECTION 410-A.
 - OUTLETS IN BATHROOMS, GARAGES, UNFINISHED BASEMENT AREAS, OUTDOORS, CRAWLSPACES AT OR BELOW GRADE LEVEL, KITCHEN COUNTERTOPS, AND WITHIN 6FT OF A SINK SHALL BE PROTECTED BY A GROUND-FAULT CIRCUIT INTERRUPTER (S).
 - INFORMATION REGARDING SIZING OF ELECTRICAL PANELS, LOCATION OF SUBPANELS, AND GROUNDING INFORMATION WILL BE SUBMITTED TO THE BUILDING INSPECTOR BY THE GENERAL CONTRACTOR PRIOR TO INSTALLATION.
 - ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM BUILDING WIRING WITH BATTERY BACK-UP.
 - ALL DIMENSIONS ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED.
 * MOUNT ALL OUTLETS, PHONE JACKS, AND TELEVISION CABLE JACKS VERTICALLY AT +12" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED IN DRAWINGS.
 * MOUNT ALL SWITCHES AND OUTLETS VERTICALLY AT +44" TO CENTERLINE ABOVE FINISH FLOOR IN BATHROOMS AND KITCHENS EXCEPT FOR THOSE DESIGNATED FOR APPLIANCES OR OTHERWISE NOTED IN DRAWINGS.
 * MOUNT ALL SWITCHES AT +42" TO CENTERLINE ABOVE FINISH FLOOR UNLESS OTHERWISE NOTED IN DRAWINGS.
 * VERTICALLY ALIGN SWITCHES AND OUTLETS WHERE SHOWN GROUPED ON PLAN.
 - ALL 120 VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARY, DEN, BEDROOM, SUNROOM, REC ROOMS, CLOSETS, HALLWAYS, OR SIM ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT
 - IN ALL AREAS SPECIFIED BY 2010 CALIFORNIA ELECTRICAL CODE - SECTION 210.52, ALL 125 VOLT, 15 & 20 AMP RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES.
- ### GENERAL HVAC NOTES
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 - HVAC CONTRACTOR SHALL BE RESPONSIBLE FOR SITE VERIFICATION OF EXISTING CONDITIONS, AND PROPER ENGINEERING OF HVAC INSTALLATION.
 - ALL NEW HVAC EQUIPMENT AND APPLIANCES TO BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
 - HVAC SYSTEM TO PROVIDE CONSTANT, EVEN TEMPERATURE THROUGHOUT HOUSE, CAPABLE OF MAINTAINING 70 DEGREES FAHRENHEIT AT 36" A.F.F. DAMPERS TO BE ACCESSIBLE FOR NECESSARY ADJUSTMENTS. BALANCING OF SYSTEM TO BE PROVIDED AND COORDINATED WITH REGISTER PLACEMENT.
 - ALL HEATING AND COOLING DUCTS, INCLUDING PLENUMS, SHALL HAVE R-3 INSULATION MINIMUM.
- ### GENERAL PLUMBING NOTES
- ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
 - PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR SITE VERIFICATION OF EXISTING CONDITIONS, AND PROPER ENGINEERING OF PLUMBING INSTALLATION.
 - ALL NEW PLUMBING FIXTURES AND FITTINGS TO BE INSTALLED ACCORDING TO MANUFACTURERS' RECOMMENDATIONS.
 - ALL SHOWER HEADS AND SINK FAUCETS TO BE 2.5 GPM MAX.
 - ALL SINK FAUCETS SHALL BE INSTALLED WITH AN AERATOR WITH A FLOW RESTRICTOR.
 - ALL TOILETS MUST BE ULTRA-LOW FLUSH (1.6 GPM).

BUTLER ARMSDEN ARCHITECTS
 1420 UTTER STREET
 SAN FRANCISCO, CA 94109
 GUTLER@BUTLERARMSDEN.COM
 T 415-474-8854
 F 415-474-8858

RECEIVED
 FEB 17 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR MICROFILMING
 ACCEPTED

BUILDING PERMIT

REVISIONS: BY:
 Δ REVISION - 01/20/2016 SR

JOB#: 1322
 DATE: 11/6/2015
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

APPROVED
 Dept. of Building Insp.
 JUL 23 2016
 T. C. HAN
 BUILDING INSPECTOR
 DEPT. OF BUILDING INSPECTION

BASEMENT FLOOR PLAN

MEP.1

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA 94109

RECEIVED
 FEB 12 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE CURRENT STANDARD FOR MICROFILMING
 ACCEPTED

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

Peter Tan, DBI
 FEB 12 2016

BUILDING PERMIT

REVISIONS:	BY:
REVISION - 01/20/2016	SR

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

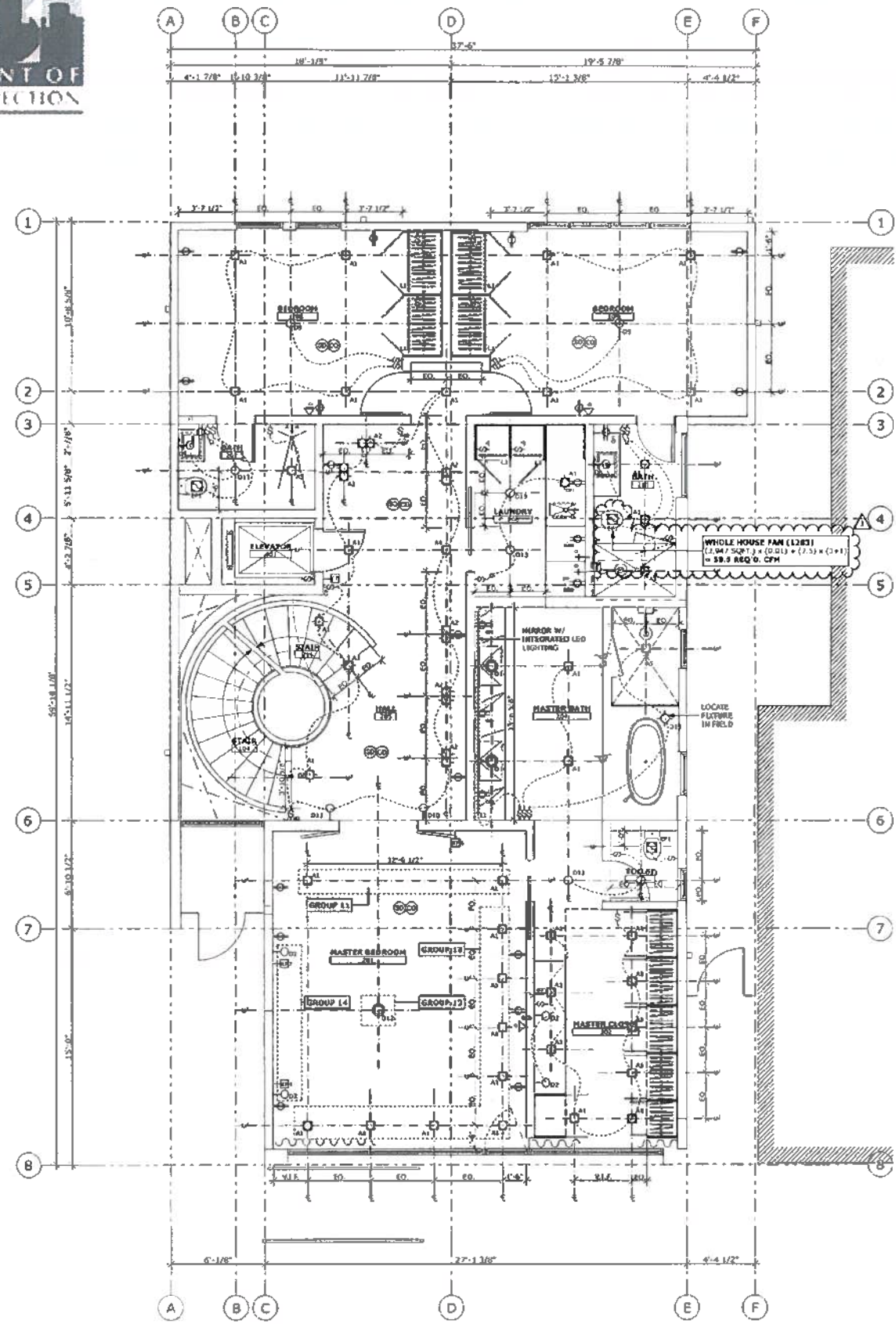
APPROVED
 Dept. of Building Insp.



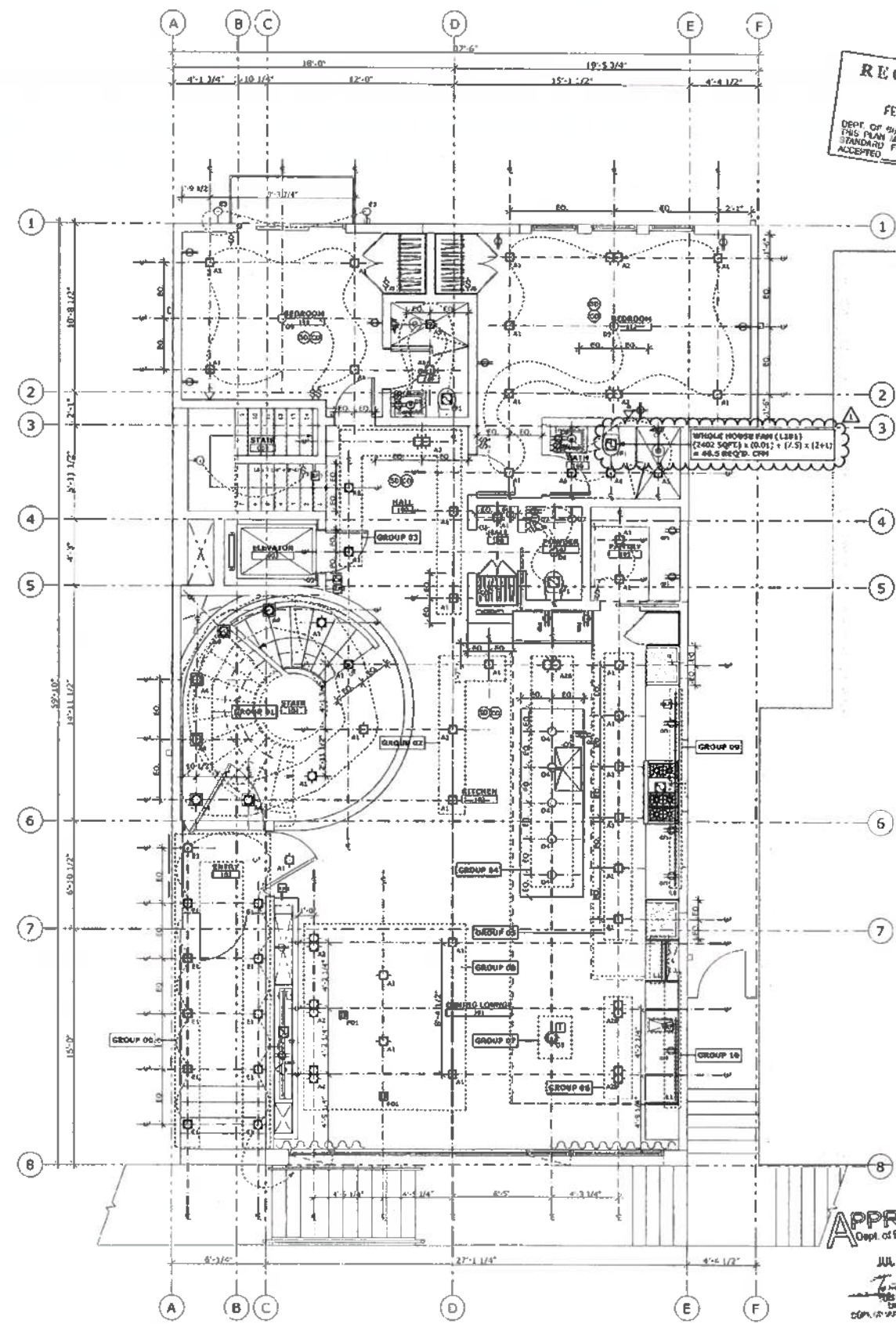
JUL 26 2016

FIRST
 SECOND FLOOR
 PLAN

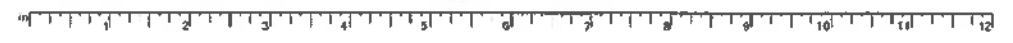
MEP.2



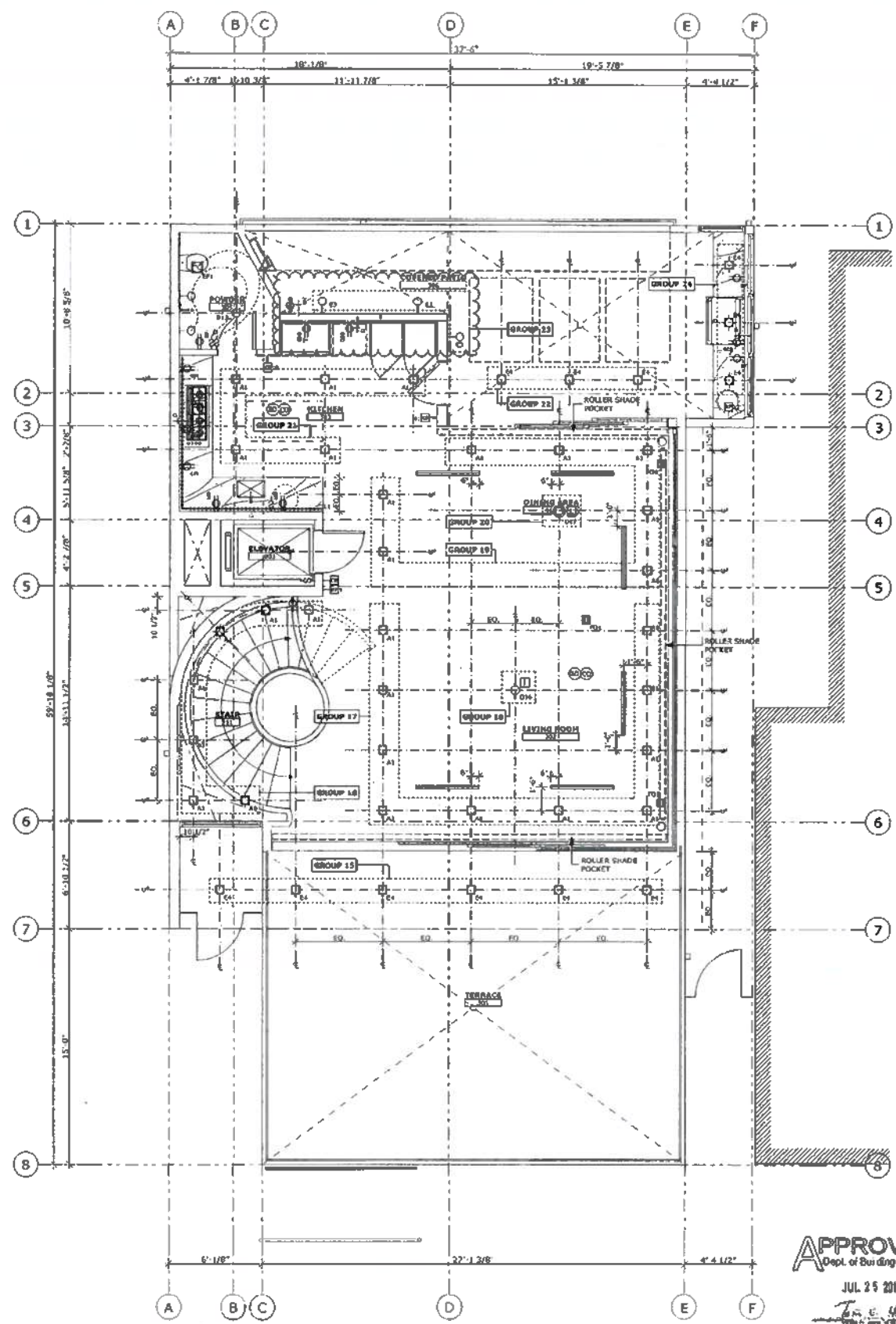
2 PROPOSED MEP SECOND FLOOR
 SCALE: 1/4" = 1'-0"



1 PROPOSED MEP FIRST FLOOR
 SCALE: 1/4" = 1'-0"



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 ARCHITECTS**
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 F: 415.774.5554
 V: 415.774.5557



- LEADING GROUP & KEYPAD CONTROL LEDS
- KEYPAD 15: GROUPS CONTROLLED
15 16 17 18 19 20 21
- KEYPAD 16: GROUPS CONTROLLED
19 20 21
- KEYPAD 18: GROUPS CONTROLLED
19 20 21 22 23 24
- KEYPAD 17: GROUPS CONTROLLED
19 20 21 22

RECEIVED
 FEB 12 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR MICROFILMING
 ACCEPTED

Peter Tan, DBI
 FEB 12 2016

BUILDING PERMIT

REVISIONS:	BY:
1 REVISION 01/20/2016	SR

JOB#:	1322
DATE:	11/6/2015
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.

JUL 29 2016
 Peter Tan, DBI
 Director



**THIRD FLOOR
 PLAN**

1 PROPOSED MEP THIRD FLOOR
 SCALE: 1/4" = 1'-0"

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



Edwin M. Lee, Mayor
 Tom C. Hui, S.E., C.B.O., Director

NOTICE

SPECIAL INSPECTION REQUIREMENTS

Please note that the Special Inspections shown on the approved plans and checked on the Special Inspections form issued with the permit are required for this project. The employment of special inspectors is the direct responsibility of the owner or the engineer/architect of record acting as the owner's representative.

These special inspections are required *in addition to* the called inspections performed by the Department of Building Inspection. The name of the special inspector shall be furnished to the district building inspector prior to start of work for which special inspection is required.

For questions regarding the details or extent of required inspection or tests, please call the Plan Checker assigned to this project or 415-558-6132. If there are any field problems regarding special inspection, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of special inspection compliance must be submitted to and approved by the Special Inspection Services staff. To avoid delays in this process, the project owner should request final compliance reports from the architect or engineer of record and/or special inspection agency soon after the conclusion of work requiring special inspection. **The permit will not be finalized without compliance with the special inspection requirements.**

STRUCTURAL OBSERVATION REQUIREMENTS

Structural observation shall be provided as required per Section 1704.5. **The building permit will not be finalized without compliance with the structural observation requirements.**

Special Inspection Services Contact Information

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: dbi.specialinspections@sfgov.org
4. In person: 3rd floor at 1660 Mission Street

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Special Inspection Services
 1660 Mission Street - San Francisco CA 94103
 Office (415) 558-6132 - FAX (415) 558-6474 - www.sfdbi.org

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION
 A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED STRUCTURAL DRAWING SET

JOB ADDRESS 1283 Greenwich Street APPLICATION NO. 201410179272 ADDENDUM NO. (S1)
 OWNER NAME _____ OWNER PHONE NO. (_____) _____

Employment of Special Inspection is the direct responsibility of the OWNER, or the engineer/architect of record acting as the owner's representative. Special inspector shall be one of those as prescribed in Sec.1704. Name of special inspector shall be furnished to DBI District Inspector prior to start of the work for which the Special Inspection is required. Structural observation shall be performed as provided by Section 1704.5. A preconstruction conference is recommended for owner/builder or designer/builder projects, complex and highrise projects, and for projects utilizing new processes or materials.

In accordance with Sec. 1701;1703;1704; 1705 (2013 SFBC), Special Inspection and/or testing is required for the following work:

- | | | |
|---|---|---|
| 1. <input checked="" type="checkbox"/> Concrete (Placement & sampling) | 6. <input checked="" type="checkbox"/> High-strength bolting | 18. Bolts installed in existing concrete masonry: |
| 2. <input checked="" type="checkbox"/> Bolts installed in concrete | 7. <input type="checkbox"/> Structural masonry | <input checked="" type="checkbox"/> Concrete <input type="checkbox"/> Masonry |
| 3. <input checked="" type="checkbox"/> Special moment-Resisting concrete frame | 8. <input type="checkbox"/> Reinforced gypsum concrete | <input checked="" type="checkbox"/> Pull/torque tests per SFBC Sec.1607C & 1615C |
| 4. <input checked="" type="checkbox"/> Reinforcing steel and prestressing tendons | 9. <input type="checkbox"/> Insulating concrete fill | 19. <input checked="" type="checkbox"/> Shear walls and floor systems used as shear diaphragms |
| 5. Structural welding: | 10. <input type="checkbox"/> Sprayed-on fireproofing | 20. <input checked="" type="checkbox"/> Holdowns |
| A. Periodic visual inspection | 11. <input type="checkbox"/> Piling, drilled piers and caissons | 21. Special cases: |
| <input checked="" type="checkbox"/> Single pass fillet welds 5/16" or smaller | 12. <input type="checkbox"/> Shotcrete | <input type="checkbox"/> Shoring |
| <input type="checkbox"/> Steel deck | 13. <input checked="" type="checkbox"/> Special grading, excavation And filling (Geo. Engineered) | <input type="checkbox"/> Underpinning: <input type="checkbox"/> Not affecting adjacent property |
| <input type="checkbox"/> Welded studs | 14. <input type="checkbox"/> Smoke-control system | <input type="checkbox"/> Affecting adjacent property: PA _____ |
| <input type="checkbox"/> Cold formed studs and joists | 15. <input type="checkbox"/> Demolition | <input type="checkbox"/> Others _____ |
| <input type="checkbox"/> Stair and railing systems | 16. <input type="checkbox"/> Exterior Facing | 22. <input type="checkbox"/> Crane safety (Apply to the operation of Tower cranes on highrise building) (Section 1705.21) |
| <input checked="" type="checkbox"/> Reinforcing steel | 17. Retrofit of unreinforced masonry buildings: | 23. <input type="checkbox"/> Others: "As recommended by professional of record" _____ |
| B. Continuous visual inspection and NDT (Section 1704) | <input type="checkbox"/> Testing of mortar quality and shear tests | |
| <input type="checkbox"/> All other welding (NDT exception: Fillet weld) | <input type="checkbox"/> Inspection of repointing operations | |
| <input type="checkbox"/> Reinforcing steel; and <input type="checkbox"/> NDT required | <input type="checkbox"/> Installation inspection of new shear bolts | |
| <input checked="" type="checkbox"/> Moment-resisting frames | <input type="checkbox"/> Pre-installation inspection for embedded bolts | |
| <input type="checkbox"/> Others _____ | <input type="checkbox"/> Pull/torque tests per SFBC Sec.1607C & 1615C | |

24. Structural observation per Sec. 1704.5 (2013 SFBC) for the following: Foundations Steel framing
 Concrete construction Masonry construction Wood framing
 Other: _____

25. Certification is required for: Glu-lam components

Prepared by: Randy Collins Phone: (415) 931-8460
 Engineer/Architect of Record *[Signature]*

Required information:
 FAX: (415) 931-8461 Email: randy@ftfengineering.com

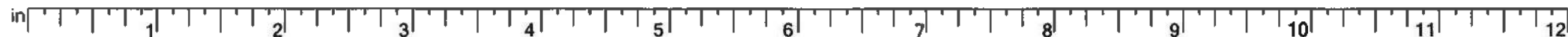
Vivian Huang, DBI

Review by: _____ Phone: (415) 558- 6133
 DBI Engineer or Plan Checker DEC 18 2015

APPROVAL (Based on submitted reports.)

DATE _____ DBI Engineer or Plan Checker / Special Inspection Services Staff

QUESTIONS ABOUT SPECIAL INSPECTION AND STRUCTURAL OBSERVATION SHOULD BE DIRECTED TO:
 Special Inspection Services (415) 558-6132; or dbi.specialinspections@sfgov.org; or FAX (415) 558-6474



STRUCTURAL NOTES:

- TEST MATERIAL:**
CONFORMS TO THE CALIFORNIA BUILDING CODE (CBC), EDITION, AND AMENDMENTS BY THE LOCAL JURISDICTION.
LOADS: BASED ON WEIGHTS OF EXISTING AND NEW MATERIALS.
ROOF (FLAT) = 20 PSF
FLOOR = 40 PSF
4. SEISMIC (ASCE 7-10):
Y = 0.154 W (LRFD)
SEISMIC DESIGN CATEGORY = D
IMPORTANCE FACTOR (I) = 1.0
REDUNDANCY FACTOR RHO (ρ) = 1.0
SITE CLASS = B
LAT., LONG. = (37.9007, -122.4207)
MAPPED VALUES:
S_s = 1.5
S_i = 0.634
SD_s = 1.00
SD_i = 0.42
SEISMIC VALUES:
R = 6.5 PLYWOOD SW
ANALYSIS PROCEDURE = LINEAR STATIC
5. WIND LOADS (ASCE 7-10 SIMPLIFIED PROCEDURE): N/A

II. STRUCTURAL DRAWINGS:

- NOTES, TYPICAL DETAILS AND SCHEDULES APPLY TO ALL STRUCTURAL WORK UNLESS NOTED OTHERWISE. FOR CONDITIONS NOT SPECIFICALLY SHOWN PROVIDE DETAILS OF A SIMILAR NATURE. VERIFY APPLICABILITY WITH THE ARCHITECT IF NEEDED.
- REVIEW ALL EXISTING FEATURES AND CONDITIONS UPON WHICH THESE DRAWINGS RELY.
- COMPARE STRUCTURAL DRAWINGS WITH THE VARIOUS OTHER DRAWINGS AND SPECIFICATIONS BEFORE COMMENCING THE WORK. NOTIFY THE ARCHITECT & ENGINEER OF ANY DISCREPANCIES AND DO NOT PROCEED WITH AFFECTED WORK UNTIL THEY ARE RESOLVED.
- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONAL INFORMATION.
- SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR INSERTS, SLEEVES, BLOCKOUTS AND OTHER CONDITIONS.
- SEE ARCHITECTURAL DRAWINGS FOR ALL WATERPROOFING AND DAMPROOFING DETAILS.

III. CONSTRUCTION:

- ALL WORK SHALL CONFORM TO CALIFORNIA BUILDING CODE, 2013 EDITION.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THIS BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF ANY SHORING, BRACING AND SCAFFOLDING REQUIRED TO COMPLETE THIS WORK. THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING, AND SCAFFOLDING IN ACCORDANCE WITH ALL NATIONAL, STATE AND LOCAL SAFETY ORDINANCES. SHORING AND BRACING SHALL REMAIN IN PLACE UNTIL FLOORS, ROOFS, WALLS, AND SHEATHING THAT AFFECT THE SHORED PORTION OF THE WORK HAVE BEEN ENTIRELY CONSTRUCTED. THE ARCHITECT'S (OR ENGINEER'S) PRESENCE OR REVIEW OF THE WORK DOES NOT INCLUDE THE ADEQUACY OF THE CONTRACTOR'S METHODS OR MEASURES.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND MINIMIZE MOVEMENT/SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS. THE CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR ALL SHORING, BRACING, AND SOIL RETENTION SYSTEMS NEEDED TO BRING THE PROJECT TO ITS PERMANENT (AS DESIGNED) CONDITION.
- THE CONTRACTOR'S TEMPORARY MEASURES SHALL BE ARRANGED OR DESIGNED SO AS TO NOT ALTER OR AFFECT THE PERMANENT STRUCTURE.
- THE IMPOSED CONSTRUCTION LOADS SHALL NOT BE MORE THAN DESIGN LIVE LOADS.
- WORK SHALL INCLUDE REPAIR AND/OR REPLACEMENT OF DEFECTIVE ITEMS.
- OPENINGS IN FLOORS, SHEAR WALLS, BEAMS, OR JOISTS LARGER THAN THOSE SHOWN ON TYPICAL DETAILS OR STRUCTURAL DRAWINGS SHALL BE REVIEWED BY STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK.

IV. EXISTING CONDITIONS:

- INFORMATION REGARDING EXISTING CONDITIONS IS PRESENTED FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE STARTING WORK AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
- THE REMOVAL CUTTING, DRILLING, ETC. OF EXISTING WORK SHALL BE PERFORMED WITH GREAT CARE AND SMALL TOOLS IN ORDER NOT TO JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING. IF STRUCTURAL MEMBERS NOT INDICATED FOR REMOVAL INTERFERE WITH THE NEW WORK, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY AND PRIOR APPROVAL OBTAINED BEFORE PROCEEDING WITH THE WORK.

V. EXCAVATION, UNDERPINNING AND SHORING:

- THE CONTRACTOR SHALL PROVIDE ALL MEASURES AND PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND MINIMIZE SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS. ANY DAMAGE TO NEW OR EXISTING CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS CAUSED BY CONSTRUCTION TECHNIQUES OR MOVEMENTS OF THE SOIL RETENTION SYSTEMS IS THE RESPONSIBILITY OF THE CONTRACTOR. DESIGN AND CONSTRUCTION OF TEMPORARY AND/OR PERMANENT UNDERPINNING, DURING EXCAVATION SHALL BE BY AN EXPERIENCED SUBCONTRACTOR WHO SPECIALIZES IN THIS TYPE OF WORK.

- SHORING, UNDERPINNING, AND EARTH RETENTION CALCULATIONS AND DRAWINGS, IF REQUIRED, SHALL BE PREPARED AND SUBMITTED TO THE SOILS ENGINEER AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION. CALCULATIONS AND DRAWINGS SHALL BE PREPARED UNDER THE SUPERVISION OF, AND SIGNED AND STAMPED BY A CIVIL ENGINEER LICENSED IN THE STATE OF CALIFORNIA. THE EXCAVATION SEQUENCES SHALL BE CONTROLLED TO MATCH THE REQUIREMENTS OF THE DESIGN OF THE SOIL RETENTION SYSTEM AND TO PERMIT MONITORING OF WALL AND GROUND MOVEMENTS.
- PRIOR TO ANY EXCAVATION OR INSTALLATION OF ELEMENTS OF THE SOIL RETENTION SYSTEM, THE CONTRACTOR SHALL ESTABLISH BENCH MARKS AROUND THE PERIMETER OF THE AREA TO BE EXCAVATED. THESE MARKS SHALL BE SURVEYED FOR VERTICAL AND HORIZONTAL MOVEMENT AT FREQUENT INTERVALS DURING ACTUAL EXCAVATION AND CONTINUING DURING EACH SUBSEQUENT PHASE OF THE WORK AND SUBMITTED TO THE ARCHITECT FOR INFORMATION. SEE THE SOILS REPORT FOR SPECIFIC RECOMMENDATIONS.
- THE OWNER'S SOIL TESTING LABORATORY SHALL REVIEW AND MONITOR THE EXCAVATION AND Dewatering. THE CONTRACTOR SHALL PROVIDE, INSTALL AND SURVEY:
A. BENCH MARKS ADJACENT TO AND AWAY FROM THE SITE PERIMETER FOR VERTICAL AND HORIZONTAL MOVEMENTS.

VI. FOUNDATIONS/SITE PREPARATION:

- FOUNDATION DESIGN IS BASED ON CHAPTER 18, CBC. (THE GEOTECHNICAL INVESTIGATION REPORT ENTITLED "PLANNED IMPROVEMENTS, 1281-1283 GREENWICH STREET, SAN FRANCISCO, CA", DATED 11/09/2013, BY H. ALLEN GRUEN)
- CONTINUOUS FOOTINGS:**
MAXIMUM SOIL PRESSURE = 2,000 PSF DL + LL
= 3,000 PSF DL + LL - SEISMIC/WIND
- ISOLATED FOOTINGS:**
MAXIMUM SOIL PRESSURE = 2,000 PSF DL + LL
= 3,000 PSF DL + LL - EO
- RETAINING WALLS:**
ACTIVE PRESSURE (LEVEL) = 40 PCF
ACTIVE PRESSURE (2:1) = 80 PCF
PASSIVE PRESSURE = 250 PSF
BEARING PRESSURE = 5,000 PSF
FRICTION COEFFICIENT = 0.4
- ALL SITE GRADING, FILLS AND SOIL PREPARATION SHALL CONFORM TO THE SOIL REPORT AND ALL WORK SHALL BE DONE UNDER THE SUPERVISION OF THE OWNER'S SOIL TESTING LABORATORY OR THE SOILS ENGINEER.
- FOOTINGS SHALL EXTEND TO SUCH DEPTH AS TO BEAR ON FIRM, UNDISTURBED SOIL. FOOTING DEPTHS SHOWN ON THE DRAWINGS ARE MINIMUM DEPTHS. FOOTINGS MAY BE POURED IN NEAT EXCAVATED TRENCHES, PROVIDED PRECAUTIONS ARE TAKEN TO INSURE NO CAVING OR SLUFFING OCCURS WHICH WILL RESULT IN UNSUITABLE BASE CONDITIONS OR INCLUSION OF SOIL MATERIAL IN THE CONCRETE WORK.
- MATERIALS FOR SUB-CAPILLARY BREAK UNDER CONCRETE SLABS ON GRADE SHALL BE FREE-DRAINING GRAVEL OR CRUSHED ROCK, NOT MORE THAN 25% OF ROCK MAY PASS A 2" SIEVE AND NOT MORE THAN 6% MAY PASS A 1/2" SIEVE. ROCK COURSE SHALL BE ROLLED TO A SMOOTH SURFACE. A 2" MINIMUM LAYER OF CLEAN, IMPORTED SAND SHALL BE PLACED OVER THE SUB-SLAB VAPOR BARRIER OR MEMBRANE. MOISTEN SAND JUST PRIOR TO POURING CONCRETE SLAB.
- BEFORE BACKFILLING BEHIND CONCRETE WALLS (BASEMENT WALLS, RETAINING WALLS, ETC.) CONCRETE SHALL HAVE ATTAINED FULL DESIGN STRENGTH AND ALL SUPPORTS (FLOORS, SLABS, BEAMS, ETC.) WHICH ARE REQUIRED FOR THE STABILITY OF THE WALL SHALL HAVE BEEN COMPLETED.
- FOOTING EXCAVATIONS SHALL BE CLEANED OF LOOSE SOILS. NO FOUNDATIONS SHALL BE POURED INTO OR AGAINST SUB-GRADE CONTAINING FREE WATER. DEWATERING, IF REQUIRED, MUST BE CAREFULLY AND PROPERLY DONE TO AVOID DISTURBING THE FOUNDATION SOILS. OVER-EXCAVATED AREA FOUNDATIONS MUST BE BACKFILLED WITH CONCRETE.
- A GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION PER GEOTECHNICAL REPORT RECOMMENDATIONS. INSPECTION AND TESTING REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT.

VII. CONCRETE WORK:

- CONTRACTOR SHALL SUBMIT FOR REVIEW BY THE ARCHITECT THE CONTRACTOR'S PROPOSED CONCRETE MIXES, DESIGNED BY THE CONCRETE SUPPLIER AND REVIEWED BY THE OWNER'S TESTING AGENCY. (INCLUDE INFORMATION TO SHOW CONFORMANCE WITH MATERIAL, STRENGTH, AND PROPORTIONING REQUIREMENTS OF THE CONTRACT DOCUMENTS.)
- CONTRACTOR SHALL INFORM THE ENGINEER AT LEAST 2 DAYS PRIOR TO POURING ANY STRUCTURAL CONCRETE FOR THE OPPORTUNITY TO REVIEW THE WORK PRIOR TO PLACEMENT.
- PROVIDE CONCRETE IN CONFORMANCE WITH THE FOLLOWING SPECIFICATIONS:

TYPE	COMPRESSIVE STRENGTH ^A	SLUMP ^B	W/C ^C RATIO	UNIT WT.
STRUCTURAL SLAB	3,000 PS	2 1/2" - 3 1/2"	0.45	145 PCF
FOOTINGS, PIERS, GRADE BEAMS & WALLS	3,000 PS	3 1/2" - 4 1/2"	0.55	145 PCF
SLAB ON GRADE	2,500 PS	3 1/2" - 4 1/2"	0.45	145 PCF

- ASTM C94 MINIMUM 28 DAY ULTIMATE COMPRESSIVE STRENGTH.
- MINIMUM CONSISTENT SLUMP WITH PROPER PLACING.
- WATER TO CEMENT RATIO.
- PROPORTION CONCRETE WITH A MINIMUM OF 20% AND A MAXIMUM OF 50% FLY ASH OR SLAG REPLACEMENT.
- USE WATER THAT IS CLEAN AND FREE FROM INJURIOUS AMOUNTS OF OILS, ACIDS, ALKALIS, SALTS, ORGANIC MATERIALS, OR OTHER SUBSTANCES DELETERIOUS TO CONCRETE OR REINFORCEMENT. NO CALCIUM CHLORIDE SHALL BE USED IN ANY CONCRETE.
- USE 3/4" AGGREGATE WHATEVER CLEARANCES PERMIT. USE 3/8" AGGREGATE ONLY WHERE NECESSARY FOR PROPER PLACING, SUCH AS IN THIN SECTIONS, ETC.
- WHERE NOT SHOWN ON STRUCTURAL DRAWINGS, REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND LOCATIONS OF SLAB AND WALL OPENINGS, SLAB EDGE LOCATIONS, INTERIOR CONCRETE WALLS AND CURBS, TOP OF FLOOR SLAB ELEVATIONS, SLAB DEPRESSIONS REQUIRED TO ACCOMMODATE FLOOR FINISH DETAILS, AND CONCRETE STAIRS.
- PIPES, SLEEVES, AND OTHER EMBEDDED ITEMS OTHER THAN ELECTRICAL CONDUIT LESS THAN 1" DIAMETER OTHER SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE OR INTERRUPT REINFORCING BARS UNLESS APPROVED BY ENGINEER OF RECORD.
- ALL REINFORCING EMBEDMENTS, INSERTS, ETC. SHALL BE POSITIVELY SECURED IN PROPER LOCATION BEFORE CONCRETE IS PLACED. PROVIDE SUFFICIENT SUPPORT TO PREVENT DISPLACEMENT DURING PLACING AND FINISHING OPERATIONS.
- ALL CONCRETE EXCEPT SLABS ON GRADE 6" THICK OR LESS SHALL BE MECHANICALLY VIBRATED SO AS TO COMPLETELY FILL THE FORMS WITHOUT CAUSING UNDESIRABLE SEGREGATION.
- HORIZONTAL CONSTRUCTION JOINTS SHALL BE LOCATED AS SHOWN ON THE DRAWINGS, AND THE HARDENED CONCRETE SURFACES SHALL BE CLEANED BY SAND-BLASTING OR OTHER APPROVED MEANS TO EXPOSE FIRMLY EMBEDDED AGGREGATES PRIOR TO POURING ADDITIONAL CONCRETE IN CONTACT WITH THESE SURFACES.
- VERTICAL CONSTRUCTION JOINTS SHALL BE FORMED AND KEYS AND NOT OVER 80 FEET APART. VERTICAL CONSTRUCTION JOINTS THROUGH BEAMS OR SLABS SHALL BE LOCATED BETWEEN THE 1/4 AND 3/4 POINTS OF THE SPAN. THE CONTRACTOR SHALL SUBMIT DETAILED DRAWINGS SHOWING THE LOCATIONS OF ALL CONSTRUCTION JOINTS AND CONTROL JOINTS.
- FORMS SHALL BE PROPERLY CONSTRUCTED CONFORMING TO CONCRETE SURFACES AS SHOWN ON THE DRAWINGS, SUFFICIENTLY TIGHT TO PREVENT LEAKAGE, SUFFICIENTLY STRONG AND BRACED TO MAINTAIN THEIR SHAPE AND ALIGNMENT UNTIL NO LONGER NEEDED TO SUPPORT THE CONCRETE. FORMS AND SHORING SHALL NOT BE REMOVED UNTIL THE CONCRETE HAS ATTAINED SUFFICIENT STRENGTH TO WITHSTAND ALL LOADS TO BE IMPOSED WITHOUT EXCESSIVE STRESS, CREEP, OR DEFLECTION.
- GENERAL CONTRACTOR TO COORDINATE SIZE AND LOCATION OF EQUIPMENT PADS WITH MECHANICAL CONTRACTOR.

VIII. CONCRETE REINFORCING STEEL:

- REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60 FOR ALL BAR SIZES AND ASTM A706 GRADE 60 FOR ALL WELDED BARS.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 IN FLAT SHEETS, AND IN SLABS MAY BE RAISED INTO POSITION DURING THE CONCRETE POURING OPERATION. LAP WIRE FABRIC 12" MINIMUM.
- ALL CONCRETE REINFORCEMENT SHALL BE DETAILED, FABRICATED, LABELED, SUPPORTED AND SPACED IN FORMS AND SECURED IN PLACE IN ACCORDANCE WITH THE PROCEDURES REQUIREMENTS OUTLINED IN THE LATEST EDITION OF THE "BUILDING CODE REQUIREMENTS FOR AND REINFORCED CONCRETE," ACI 318 AND THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES," ACI 315.
- UNLESS OTHERWISE NOTED, MAINTAIN COVERAGE TO FACE OF BARS AS FOLLOWS:
A. CONCRETE CAST AGAINST EARTH 3"
B. FORMED SURFACES EXPOSED TO EARTH OR WEATHER
NO. 5 AND SMALLER, WIRE MESH 1 1/2"
ALL OTHER BARS 2"
C. JOISTS, SUSPENDED SLABS, INTERIOR WALL SURFACES 2"
D. NO. 11 AND SMALLER 3/4"
E. NO. 14 AND LARGER 1 1/2"
F. COLUMNS, BEAMS 1 1/2"
- REINFORCING BARS BE CONTINUOUS WITH SPLICES ONLY WHERE SHOWN.
- FOR MINIMUM LAP LENGTH, SEE SCHEDULE UNLESS OTHERWISE NOTED. SPLICES TO BE STAGGERED SO THAT HALF OR LESS OF BARS ARE LAPPED AT ONE POINT.
- BAR SUPPORTS IN CONTACT WITH EXPOSED SURFACES SHALL BE PLASTIC TIPPED.
- BEAM AND SLAB REINFORCING SHALL NOT BE SLEEVED OR OTHERWISE INTERRUPTED EXCEPT AS SHOWN ON THE STRUCTURAL DRAWINGS. ALL WALLS AND SLABS SHALL BE DOWELED INTO FOOTINGS, WALLS, BEAMS, GIRDERS, COLUMNS OR SLABS WITH BARS OF THE SAME SIZE AND SPACING, UNLESS NOTED OTHERWISE.
- ADDITIONAL BARS SHALL BE PROVIDED AROUND ALL FLOOR AND WALL OPENINGS, AS SHOWN ON DETAILS.
- CHECKED SHOP DRAWINGS SHOWING REINFORCING DETAILS, INCLUDING BAR SIZES, SPACING AND PLACEMENT SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION.

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION:

EMPLOYMENT OF SPECIAL INSPECTOR IS THE DIRECT RESPONSIBILITY OF THE OWNER. SPECIAL INSPECTOR SHALL BE ONE OF THOSE AS PRESCRIBED IN SECTION 1701.2. STRUCTURAL OBSERVATION SHALL BE PERFORMED AS PROVIDED BY SECTION 1710. A PRECONSTRUCTION CONFERENCE IS RECOMMENDED FOR OWNER/BUILDER OR DESIGNER/BUILDER PROJECTS, COMPLEX AND HIGHRISE PROJECTS, AND FOR PROJECTS UTILIZING NEW PROFESSIONAL OR MATERIALS IN ACCORDANCE WITH SECTIONS 1701, 1703, AND 1704 (2013 CBC). SPECIAL INSPECTION AND/OR TESTING IS REQUIRED FOR THE FOLLOWING WORK:

- CONCRETE PLACEMENT SAMPLING
- BOLTS INSTALLED IN CONCRETE
- SPECIAL MOMENT RESISTING CONCRETE FRAME
- REINFORCING STEEL
- STRUCTURAL WELDING
 - PERIODIC VISUAL INSPECTION
 - SINGLE PASS FULL PEN WELDS
 - 1/2" OR SMALLER
 - STAIRS AND RAILING SYSTEM
 - STEEL DECK
 - WELDED STUDS
 - COLD FORMED STUDS AND JOISTS
 - REINFORCING STEEL
 - CONTINUOUS VISUAL INSPECTION AND NOT (SECTION 1704)
 - ALL OTHER WELDING (NOT EXCEPTION FILLET WELD)
 - REINFORCING STEEL AND NOT REQUIRED
 - MOMENT-RESISTING FRAMES
 - OTHERS
- HIGH STRENGTH BOLT, NUT
- STRUCTURAL MASONRY
- PLUMB, DILLED PIERS AND CASSON
- SHOTCRETE
- SPECIAL GRADING, EXCAVATION AND FILLING (SEE ENGINEER)
- BOLTS INSTALLED IN EXISTING CONCRETE OR MASONRY:
 - CONCRETE
 - MASONRY
 - PULL-OUT/LOAD TESTS PER CBC SEC. 1807C & 1815C
- SHEAR WALLS AND FLOOR SYSTEMS USED AS SHEAR DIAPHRAGMS
- HOLD-DOWNS
- STRUCTURAL OBSERVATION PER SEC. 1704 (2013 CBC) FOR THE FOLLOWING:
 - FOUNDATIONS
 - STEEL FRAMING
 - CONCRETE CONSTRUCTION
 - MASONRY CONSTRUCTION
 - WOOD FRAMING
 - OTHERS

ABBREVIATIONS:

A.S. ANCHOR BOLT	LONG. LONGITUDINAL
ADD'L. ADDITIONAL	MAX. MAXIMUM
ALT. ALTERNATE	MECH. MECHANICAL
ARCH. ARCHITECT	MFR. MANUFACTURER
BLDG. BUILDING	MIN. MINIMUM
BM. BENCHMARK	MISC. MISCELLANEOUS
BN. BOUNDARY NAIL	(N) NOT IN CONTRACT
BOT. BOTTOM	NEW NEW
C.I.P. CAST-IN-PLACE	N.C. NOMINAL
C.J. CONTROL JOINT	NO. NUMBER
C. CENTER LINE	N.T.S. NOT TO SCALE
CLR. CLEAR	O.C. ON CENTER
CLU. COLUMN	OPPOS. OPPOSITE HAND
COL. COLUMN	ORIG. ORIGINAL
CONC. CONCRETE	O.W.J. OPEN WEB JOIST
CONST. CONSTRUCTION	PART. PARTITION
CONT. CONTINUOUS	PERIM. PERIMETER
COU. DOUBLE	PERP. PERPENDICULAR
DET. DETAIL	PLATE, PROPERTY LINE
DIA. DIAMETER	PLY. PLYWOOD
DIAG. DIAGONAL	PSF POUNDS PER SQUARE FOOT
DL. DEAD LOAD	PSI POUNDS PER SQUARE INCH
DRG. DRAWINGS	R. RAD. RADIUS
EA. EACH	REF. REFERENCE
EL. ELEVATION	RET. RETURN
EMBED. EMBEDMENT	REIN. REINFORCING
EN. EDGE NAIL	REQ'D. REQUIRED
EQ. EQUAL	SEE ARCHITECTURAL DRAWINGS
EXIST. (E) EXISTING	SCHED. SCHEDULE
EXT. EXTERIOR	SEC. LANDSCAPE DRAWINGS
FIN. FINISH	S.E.C. SECTION
FIN. FINISH	SIM. SIMILAR
FL. FLOOR	S.N. SHEAR NAIL
FL. FLOOR	SLAB ON GRADE
FL. FLOOR	SPEC. SPECIFICATION
FT. FULL PENETRATION	SQ. SQUARE
FT. FOOT	STRUCT. STRUCTURAL
FTG. FOOTING	SW. SHEAR WALL
GA. GALVANIZED	SYMM. SYMMETRICAL
GL. GR DUNE	T & B TOP & BOTTOM
GLU-LAM. GLU-LAM BEAM	TUNG. & GROOVE TRUSS JOIST
H.S.D. HIGH-STRENGTH BOLT	TU. TYPICAL
HO. HOLD-DOWN	UNLESS NOTED OTHERWISE
HORIZ. HORIZONTAL	VERT. VERTICAL
IN. INCH	W/F WITH
LB. POUND	W/F. W/FLANGE
LOS. LIVE LOAD	W.P. WORKING POINT
LL. LONG LFC HORIZONTAL	
LLV. LONG LFC VERTICAL	

INDEX OF DRAWINGS:

- | | |
|---|---------------------------------|
| S-1.0 - GENERAL NOTES | S-3.1 - CONCRETE DETAILS II |
| S-1.1 - GENERAL NOTES | S-3.2 - CONCRETE DETAILS III |
| S-2.0 - GROUND FLOOR / BASEMENT FOUNDATION PLAN | S-4.0 - FRAMING DETAILS I |
| S-2.1 - SECOND FLOOR FRAMING PLAN | S-4.1 - FRAMING DETAILS II |
| S-2.2 - THIRD FLOOR FRAMING PLAN | S-4.2 - FRAMING DETAILS III |
| S-2.3 - FOURTH FLOOR FRAMING PLAN | S-5.0 - STEEL WITH WOOD DETAILS |
| S-2.4 - ROOF FRAMING PLAN | S-6.0 - MOMENT FRAME DETAILS |
| S-3.0 - CONCRETE DETAILS I | S-6.1 - STEEL DETAILS I |
| | S-6.2 - STEEL DETAILS II |

DESCRIPTION OF WORK:

- REMODEL OF EXISTING 2-UNIT BUILDING. LOWER THE BASEMENT, RECONFIGURING THE FRONT FACADE, RECONFIGURING INTERIOR WALLS ON ALL UNITS.



HTF ENGINEERING, INC
1916 McAllister Street
San Francisco, CA 94116
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GREENWICH STREET
RESIDENCE
ADDENDUM #
NOV 17 2015
1283 Greenwich Street
San Francisco, CA 94109
SITE PERMIT ADDENDUM FOR CONSTRUCTION OF:



Issue:	Date:
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015

Scale: AS NOTED
Job No. 14-100

General Notes

S-1.0

Vivan Huang, DBA
DEC 18 2015

JUL 21 2016

STRUCTURAL STEEL:

1. ALL WELDED IRON AND STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED ACCORDING TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," LATEST EDITION, AND THE "CODE FOR STANDARD PRACTICE FOR STEEL BRIDGES AND BRIDGES," LATEST EDITION.
2. BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP. PROVIDE CAMBERS AS INDICATED ON THE DRAWINGS.
3. AFTER FABRICATION, ALL STEEL SHALL BE CLEANED OF ALL RUST, LOOSE MILL SCALE AND OTHER FOREIGN MATERIALS AND A COAT OF PRIMER PAINT APPLIED.
4. THE STRUCTURAL STEEL CONTRACTOR WILL BE RESPONSIBLE FOR REVIEWING ALL STRUCTURAL STEEL DETAILS, WELDING SEQUENCES, AND FABRICATION AND ERECTION PROCEDURES WITH STEEL MANUFACTURER, FOR THE INTENDED USE OF STRUCTURAL STEEL.
5. THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT, FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAMS FOR ALL STRUCTURAL STEEL PRIOR FABRICATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY LOADING CONDITIONS DURING CONSTRUCTION AND SHALL PROVIDE BRACING AND SHORING WHERE REQUIRED.
7. THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
8. ALL ADDITIONAL STEEL REQUIRED BY THE CONTRACTOR FOR ERECTION PURPOSES AND SITE ACCESS OF STOCKPILED MATERIALS SHALL BE PROVIDED AT NO COST TO THE OWNER. ALL SUCH ADDITIONAL STEEL SHALL BE REMOVED BY THE CONTRACTOR UNLESS APPROVED BY THE OWNER IN WRITING.
9. EXCEPT WHERE OTHERWISE SHOWN, STEEL SECTIONS SHALL CONFORM TO THE FOLLOWING:
 - A. PLATES, BARS, ETC. ASTM A572, GRADE 50
 - B. WIDE FLANGE BEAMS AND COLUMNS. ASTM A992, GRADE 50
 - C. STRUCTURAL TUBES (RECTANGULAR OR SQUARE HSS) ASTM A500 GRADE B (Fy = 46ksi)
 - D. STRUCTURAL PIPES (ROUND HSS) ASTM A500 GRADE B (Fy = 42ksi)
 - E. TYPICAL (GRAVITY) BASE PLATES. ASTM A572, GRADE 50
 - F. ALL CONTINUITY, REINFORCING, AND SHEAR PLATES ASTM A572, GRADE 50
 - G. GUSSET PLATES, BARS AND BASE PLATES ASSOCIATED W/ MOMENT AND BRACED FRAMES. ASTM A572, GRADE 50
 - H. ANCHOR BOLTS (A.B.) A36 U.N.O.
 - I. MACHINE BOLTS (M.B.) A307
 - J. HIGH STRENGTH BOLTS (H.S.B.) A325X-SC, U.N.O.
10. WELDING OF STRUCTURAL STEEL:
 - A. ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF AWS CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION, LATEST EDITION, AND SHALL BE PERFORMED BY WELDERS CERTIFIED IN THE APPLICABLE PROCEDURE & POSITION.
 - B. ALL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH A WELDING PROCEDURE SPECIFICATION (WPS) THAT HAS BEEN REVIEWED BY THE ENGINEER OF RECORD AND THE TESTING AND INSPECTION AGENCY. THE WPS VARIABLES SHALL BE WITHIN THE PARAMETERS ESTABLISHED BY THE FILLER METAL MANUFACTURER.
 - C. BEFORE ERECTION, STEEL FABRICATOR SHALL SUBMIT TO THE ENGINEER, FOR REVIEW, SHOP DIAGRAMS OR WRITTEN PROCEDURES INDICATING FIELD WELDING SEQUENCES OF EACH INDIVIDUAL TYPE WELDED MOMENT CONNECTION AND FIELD WELDING SEQUENCES OF MOMENT CONNECTIONS AT EACH LEVEL.
 - D. E-70XX ELECTRODES SHALL BE USED AT ALL WELDED STEEL CONNECTIONS.
 - E. ALL WELDS USED IN MEMBERS AND CONNECTIONS IN THE SEISMIC FORCE RESISTING SYSTEM (S.F.R.S.) SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CHARPY V-NOTCH TOUGHNESS OF 20 FT-LB AT 0°F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION. SEE PLANS & DETAILS FOR CONNECTIONS DENOTED "SFRS."
 - F. WELD DAMS SHALL NOT BE USED.
 - G. ALL BUTT WELDING SHALL BE FULL PENETRATION WELDS UNLESS OTHERWISE NOTED. FILLET WELD SIZES NOT SHOWN SHALL BE AWS MINIMUM SIZES BASED ON THICKNESS OF MATERIALS BEING WELDED, BUT NOT LESS THAN 1/4".
 - H. ALL C.V.P. WELDS SHALL BE STARTED AND ENDED WITH A MINIMUM LENGTH OF ONE INCH ON WELD TABS ("RUN OFF" TABS) EXCEPT AT ACCESS HOLES IN BEAM/GIRDER WEBS. ALL WELD TABS SHALL BE REMOVED, THE AFFECTED AREA GROUND SMOOTH AND MAGNETIC PARTICLE TESTED FOR DEFECTS.
 - I. ALL C.V.P. GROOVE WELDS SHALL BE ULTRASONICALLY (UT) EXAMINED FOR THE FULL LENGTH, BACKING BAR REMOVAL AREAS AND FILLET WELDS ON CONTINUITY PLATES SHALL BE EXAMINED FOR THE FULL LENGTH BY THE MAGNETIC PARTICLE TESTING (MPT) METHOD.
 - J. ALL DEFECTIVE WELDS SHALL BE GROUND OUT, REPAIRED, AND RETESTED AT THE CONTRACTOR'S EXPENSE.
11. ALL STEEL TO STEEL BOLTED CONNECTIONS SHALL BE BOLTED WITH HIGH STRENGTH BOLTS CONFORMING TO ASTM A325. OTHER BOLTED CONNECTIONS SHALL BE BOLTED WITH UNFINISHED BOLTS CONFORMING TO ASTM A307. DRILL OR PUNCH HOLES FOR BOLTS. DO NOT MAKE OR ENLARGE HOLES BY BURNING.

12. WELDED STUDS SHALL BE HEADED STUDS CONFORMING TO ASTM A108-SBT. STUDS SHALL BE PLACED UNIFORMLY OVER BEAMS AND GIRDERS, UNLESS OTHERWISE NOTED.
13. BEAM TO GIRDER MOMENT CONNECTIONS AND BEAM OR GIRDER TO COLUMN, MOMENT CONNECTIONS ARE DESIGNATED ON PLANS THUS. SEE TYPICAL DETAILS:
14. MEMBERS NOT DESIGNATED ON FRAMING PLANS ARE SHOWN ON FRAME ELEVATIONS.
15. FOR A COMPLETE LIST OF REQUIRED "SPECIAL INSPECTIONS" SEE SHEET S-1.0 UNDER "SPECIAL INSPECTION AND STRUCTURAL OBSERVATION."
16. THE OWNER'S TESTING AGENCY SHALL PERFORM ALL SHOP AND FIELD INSPECTION AND TESTING, AS OUTLINED ABOVE AND IN SPECIFICATION AND AS REQUIRED BY THE BUILDING CODE.
17. THE STRUCTURAL STEEL FABRICATOR SHALL SCHEDULE ALL WORK TO ALLOW THE ABOVE TESTING REQUIREMENTS TO BE COMPLETED.

X. ROUGH CARPENTRY:

1. PROVIDE SAWN LUMBER IN CONFORMANCE WITH THE GRADING RULES OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB) FOR THE SPECIES AND GRADE DESIGNATED. MOISTURE CONTENT SHALL NOT EXCEED 18%.
2. PROVIDE DOUGLAS FIR-LARCH SAWN LUMBER UNLESS NOTED OTHERWISE, AS A MINIMUM, PROVIDE THE FOLLOWING GRADES:
 - JOISTS NO. 2
 - BEAMS AND HEADERS NO. 1
 - WALL STUDS STUD
 - POSTS NO. 1 & BETTER
 - SILLS, PLATES, AND BLOCKING NO. 2
3. PROVIDE ENGINEERED LUMBER IN CONFORMANCE WITH THE FOLLOWING SPECIFICATIONS:

ITEM	Fb (PSI)	Fv (PSI)	E (PSI)
PSL	2,900	290	2.0x10 ⁶
LM	2,600	285	1.9x10 ⁶
LSL	2,325	310	1.55x10 ⁶

4. PROVIDE PRESSURE-TREATED WOOD FOR ALL EXPOSED MEMBERS AND ALL MEMBERS IN CONTACT WITH CONCRETE, MASONRY, OR SOIL. ALL NAILS IN CONTACT WITH PRESSURE-TREATED LUMBER SHALL BE EITHER HOT-DIPPED GALVANIZED (MEETING ASTM A153 CLASS D) OR STAINLESS STEEL. ALL HARDWARE IN CONTACT WITH PRESSURE-TREATED LUMBER SHALL BE EITHER HOT-DIPPED GALVANIZED (MEETING ASTM A653 CLASS G185), OR STAINLESS STEEL.
5. AS A MINIMUM, ATTACH AND INTERCONNECT ALL FRAMING MEMBERS IN ACCORDANCE WITH THE NAILING SCHEDULE CONTAINED IN TABLE 2304.9.1 IN THE CALIFORNIA BUILDING CODE. NAILS MAY BE BOX OR COMMON WIRE, AS ALLOWED IN FOOTNOTES OF TABLE. NAILS CALLED FOR ON PLANS AND DETAILS SHALL BE COMMON WIRE. HOT-DIPPED GALVANIZED NAILS SHALL BE USED WHERE EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE-TREATED LUMBER.
6. PROVIDE FULL-DEPTH SOLID BLOCKING OR OTHER MEANS OF LATERAL SUPPORT AT ENDS AND BEARING POINTS OF ALL JOISTS, RAFTERS, BEAMS, AND HEADERS, AND AT INTERMEDIATE INTERVALS NOT TO EXCEED 8'-0".
7. DESIGNATIONS FOR HARDWARE ARE BASED ON SIMPSON STRONG-TIE CO., INC. SUBSTITUTION OF NON-SIMPSON HARDWARE IS NOT ACCEPTABLE.
8. INSTALL HARDWARE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. USE ALL SPECIFIED FASTENERS.
9. ALL NAILS SHALL BE COMMON WIRE NAILS. "SHORT" NAILS SUPPLIED BY SIMPSON STRONG-TIE SHALL ONLY BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, AND SHALL NOT BE USED WHEN ATTACHING THROUGH PLYWOOD TO FRAMING MEMBERS BEHIND.
10. PLYWOOD SUBFLOORING SHALL BE 3/4" APA RATED STUR-D-FLOOR SHEATHING (48/24), GROUP 1 EXPOSURE 1, UNLESS NOTED OTHERWISE. PANEL EDGES SHALL BE TONGUE AND GROOVED. LAY PANELS WITH FACE GRAIN ACROSS SUPPORT. STAGGER JOINTS. NAIL ALL SUPPORTED EDGES WITH 10d NAILS @ 6" O.C. AND AT ALL INTERIOR BEARINGS WITH 10d NAILS @ 10" O.C., UNLESS OTHERWISE NOTED. NAILS SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE PLYWOOD. MINIMUM SHEET WIDTH FOR PLYWOOD ON SHEAR WALLS SHALL BE 24".
11. PLYWOOD WALL SHEATHING SHALL BE 3/4" APA RATED SHEATHING, UNLESS NOTED OTHERWISE. ALL UNSUPPORTED EDGES SHALL BE BLOCKED. NAIL ALL PLYWOOD EDGES WITH 10d NAILS @ 6" AND INTERIOR BEARINGS WITH 10d NAILS @ 12" O.C., UNLESS OTHERWISE NOTED. NAILS SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE PLYWOOD. MINIMUM SHEET WIDTH FOR PLYWOOD ON SHEAR WALLS SHALL BE 24".
12. PLYWOOD ROOF SHEATHING SHALL BE 3/4" APA RATED SHEATHING. ALL ROOF SHEATHING SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO THE JOISTS. STAGGER JOINTS. NAIL ALL PLYWOOD EDGES WITH 10d NAILS @ 6" O.C. AND INTERIOR BEARINGS WITH 10d NAILS @ 12" O.C., UNLESS OTHERWISE NOTED. NAILS SHALL BE DRIVEN FLUSH, BUT SHALL NOT FRACTURE THE SURFACE OF PLYWOOD.

XI. EPOXY GROUTING:

1. WHERE EPOXY IS INDICATED ON PLANS OR DETAILS, USE HILTI RE-500 SD ADHESIVE (ICC ESR-2322), HILTI HIT-HY 200 (ICC ESR-3187), OR SIMPSON SET-XP ADHESIVE (ICC ESR-2508) FOR USE IN CONCRETE. (CONTRACTOR MAY SUBMIT OTHER EPOXY SYSTEMS FOR APPROVAL, ALONG WITH AN ICC-ES REPORT DEMONSTRATING COMPLIANCE WITH THE 2012 IBC FOR THE SPECIFIC PRODUCT.)
2. WHERE EPOXY IS INDICATED ON PLANS OR DETAILS, USE HILTI RE-500 SD ADHESIVE (ICC ESR-2322) FOR USE IN SOLID GROUTED MASONRY. (CONTRACTOR MAY SUBMIT OTHER EPOXY SYSTEMS FOR APPROVAL, ALONG WITH ICC-ES REPORT DEMONSTRATING COMPLIANCE WITH THE 2012 IBC FOR THE SPECIFIC PRODUCT.)
3. WHERE EPOXY IS INDICATED ON PLANS OR DETAILS, USE HILTI HY-HY 70 ADHESIVE ANCHOR SYSTEM (ICC ESR-3342) FOR USE IN UNREINFORCED MASONRY. PLASTIC MESH SCREEN TUBES SHALL BE USED AT ALL ANCHOR LOCATIONS PER ICC-3342. (CONTRACTOR MAY SUBMIT OTHER EPOXY SYSTEMS FOR APPROVAL, ALONG WITH ICC-ES REPORT DEMONSTRATING COMPLIANCE WITH THE 2012 IBC FOR THE SPECIFIC PRODUCT.)
4. DRILL HOLES TO EPOXY MANUFACTURER'S RECOMMENDED SIZE. CLEAN HOLES WITH A CIRCULAR WIRE OR NYLON BRUSH AND BLOW OUT WITH COMPRESSED AIR.
5. SLOWLY INSERT ROD OR BAR WHILE TURNING ONE FULL ROTATION. DO NOT DISTURB DOWEL UNTIL EPOXY HAS SET.

XII. TESTING AND INSPECTION:

1. SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN APPROVED INDEPENDENT TESTING AND INSPECTION AGENCY OR AS INDICATED BELOW. THE INSPECTION AGENCY SHALL BE RETAINED BY AND PAID FOR BY THE OWNER.
2. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER, PRIOR TO BEGINNING CONSTRUCTION, A DETAILED LIST OF "SPECIAL INSPECTION" ITEMS INDICATING THE SCOPE OF TESTING AND INSPECTION AND THE AGENCY OR ENGINEER PERFORMING THE WORK.
3. THE INSPECTION AGENCY SHALL PROVIDE INSPECTION REPORTS TO THE ARCHITECT & STRUCTURAL ENGINEER. THE REPORTS SHALL INCLUDE ANY ITEMS WHICH ARE IN NON-COMPLIANCE WITH THE DESIGN DOCUMENTS.
4. THE STRUCTURAL ENGINEER WILL REQUIRE A FINAL REPORT FROM THE INSPECTION AGENCY. THE REPORT NEEDS TO SHOW THAT ALL DEFICIENCIES MENTIONED IN EARLIER REPORTS HAVE BEEN CORRECTED. COPIES OF THE TESTING AND INSPECTION REPORT SHALL BE SENT TO THE BUILDING DEPARTMENT, ARCHITECT, STRUCTURAL ENGINEER AND OWNER.
5. PROVIDE "SPECIAL INSPECTIONS" FOR ALL ITEMS AS REQUIRED BY THE CALIFORNIA BUILDING CODE, 2013 EDITION, SEE SHEET S-1.0 UNDER "SPECIAL INSPECTION AND STRUCTURAL OBSERVATION."

- INSPECTIONS BY INDEPENDENT AGENCY:
- A. SPECIAL INSPECTION OF FOUNDATION EXCAVATIONS SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER.
 - B. CONCRETE PLACEMENT: DURING THE TAKING OF TEST SPECIMENS AND PLACING OF REINFORCED CONCRETE, EXCEPT CONCRETE WHERE THE SPECIFIED STRENGTH IS 2,500 PSI OR LESS, FOUR TEST CYLINDERS FROM EACH 150 CUBIC YARDS OR FRACTION THEREOF POURED IN ANY ONE DAY SHALL BE SECURED AND REPORTED BY AN INDEPENDENT TESTING AGENCY; ONE TO BE TESTED AT 7 DAYS, TWO AT 28 DAYS, AND THE FOURTH HELD IN RESERVE.
 - C. STRUCTURAL WELDING: ALL STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCING STEEL, SEE THE GENERAL NOTES SECTION FOR STRUCTURAL STEEL.
 - D. HIGH-STRENGTH BOLTING: PERIODIC INSPECTION, IN ACCORDANCE WITH CBC SECTION 1704.3.3, DURING ALL BOLT INSTALLATIONS AND TIGHTENING OPERATIONS.
 - E. WELDING OF THREADED ROD TO STEEL BEAM FOR HOLD-DOWN DEVICES.

- INSPECTIONS BY ENGINEER OF RECORD:
- F. BOLTS CAST IN CONCRETE: PRIOR TO AND DURING THE PLACEMENT OF CONCRETE AROUND BOLTS.
 - G. CONCRETE REINFORCING STEEL: DURING PLACING OF REINFORCING STEEL, EXCEPTION: THE SPECIAL INSPECTOR NEED NOT BE PRESENT DURING ENTIRE REINFORCING STEEL-PLACING OPERATIONS, PROVIDED HE/SHE HAS INSPECTED FOR CONFORMANCE WITH THE APPROVED PLANS PRIOR TO THE CLOSING OF FORMS OR THE DELIVERY OF CONCRETE TO THE JOBSITE.
 - H. PLYWOOD SHEAR WALLS - NAILING, CLIPS, STRAPS, HOLD-DOWNS.
 - I. NAILING FOR PLYWOOD DIAPHRAGMS.

XIII. STRUCTURAL OBSERVATIONS:

1. THE STRUCTURAL ENGINEER WILL REPORT ANY OBSERVED DEFICIENCIES TO THE OWNER, CONTRACTOR OR BUILDING OFFICIAL FOLLOWING SITE VISITS. THE STRUCTURAL ENGINEER SHALL PROVIDE A WRITTEN REPORT TO THE ARCHITECT AFTER EACH SITE VISIT. HOWEVER, THE STRUCTURAL ENGINEER'S SITE VISITS ARE NOT CONSIDERED AS INSPECTION VISITS. THE INSPECTION AGENCY RETAINED AND PAID FOR BY THE OWNER SHALL PROVIDE INSPECTION REPORTS TO THE ARCHITECT/STRUCTURAL ENGINEER. THE REPORTS SHALL INCLUDE ANY ITEMS WHICH ARE IN NON-COMPLIANCE WITH THE DESIGN DOCUMENTS.

2. AFTER THE STRUCTURAL ENGINEER RECEIVES THE FINAL REPORT, FROM THE SPECIAL INSPECTION AGENCY, HE WILL SUBMIT A FINAL SUMMARY REPORT DOCUMENTING SITE VISITS AND OBSERVATIONS, NOTING ANY DEFICIENCIES THAT CORRECTIVE WORK HAS BEEN COMPLETED, AND THAT CONSTRUCTION PROCEEDED IN ACCORDANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND APPLICABLE CODES AND REGULATIONS PER SECTION 1704 OF THE CALIFORNIA BUILDING CODE.
3. STRUCTURAL OBSERVATION BY THE DESIGN ENGINEER IS REQUIRED AT THE FOLLOWING PHASES, AND PRIOR TO COVERING WITH OTHER WORK:
 - A. BEFORE CLOSING OF FORMS - FOUNDATION REINFORCING AND BOLTS INSTALLED IN CONCRETE.
 - B. ALL STRUCTURAL STEEL MEMBERS AND CONNECTIONS (PRIOR TO COVERING WITH OTHER WORK).
 - C. PLYWOOD DIAPHRAGM NAILING - PRIOR TO COVERING WITH WALL FRAMING OR OTHER WORK.
 - D. PLYWOOD SHEAR WALL NAILING AND ALL RELATED HOLD DOWNS, STRAPS, CLIPS, ETC.
4. FOR A COMPLETE LIST OF REQUIRED "STRUCTURAL OBSERVATION" SEE SHEET S-1.0 UNDER "SPECIAL INSPECTION AND STRUCTURAL OBSERVATION."

APPROVED
Dept. of Building Insp.

JUL 23 2015
Vivian Huang, DEB

DEC 18 2015

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ENGINEERING

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1816 McAllister Street
San Francisco, CA 94115
tel - 415-931-8460
fax - 415-931-8461
www.htfengineering.com

ADDENDUM #
NOV 12 2015
STS PERMIT ADDENDUM FOR
CONSTRUCTION OF:

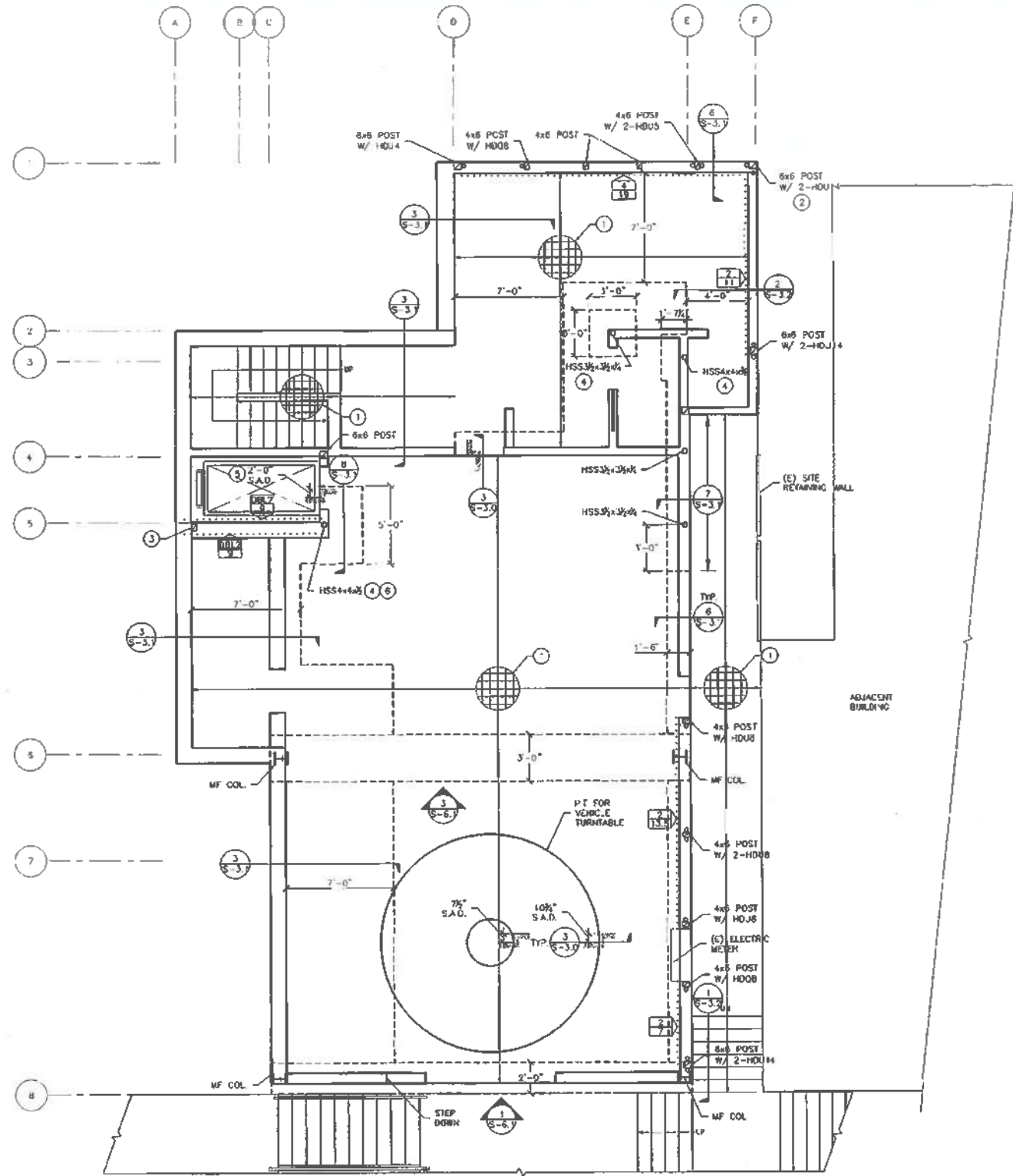
**GREENWICH STREET
RESIDENCE**
1283 Greenwich Street
San Francisco, CA 94109

Scale: AS NOTED
Job No. 14-100

General Notes

S-1.1

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LEGEND

- WALLS
- WALLS BELOW
- (N) FOUNDATION
- FOUNDATION BELOW
- HOLD DOWN
- X= DENOTES SW EDGE WALLING
- Y= DENOTES SW LENGTH IN FEET. REF. S-4.0 FOR FPD SW DETAILS.
- POST ABOVE AND BELOW
- POST ABOVE
- POST BELOW
- ① REFERS TO NOTE #
- STEEL BEAM
- I STEEL COLUMN

SHEET NOTES:

- ① 4" S.O.G. WITH #4 @ 12" O.C. EACH WAY. OVER VAPOR BARRIER, OVER 4" GRAVEL. SEE DETAIL 2/S-3.0
- ② SEE DETAIL 7/S-4.2
- ③ 4x6 P.T. CONNECTED TO CONCRETE WALL WITH 1/2" ANCHOR BOLTS @ 12" O.C.
- ④ SEE DETAIL 12/S-3.1
- ⑤ SEE DETAIL 3/S-3.0
- ⑥ SEE S.M. DETAIL 8/S-5.0

GENERAL NOTES:

1. SEE SHEETS S-4.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.
2. SEE SHEET S-3.0 FOR TYPICAL CONCRETE DETAILS.

1 GROUND FLOOR/BASEMENT FOUNDATION FLOOR PLAN

SCALE: 1/4" = 1'-0"



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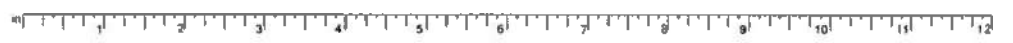
GREENWICH STREET RESIDENCE
 ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR CONSTRUCTION
 1283 Greenwich Street
 San Francisco, CA 94109

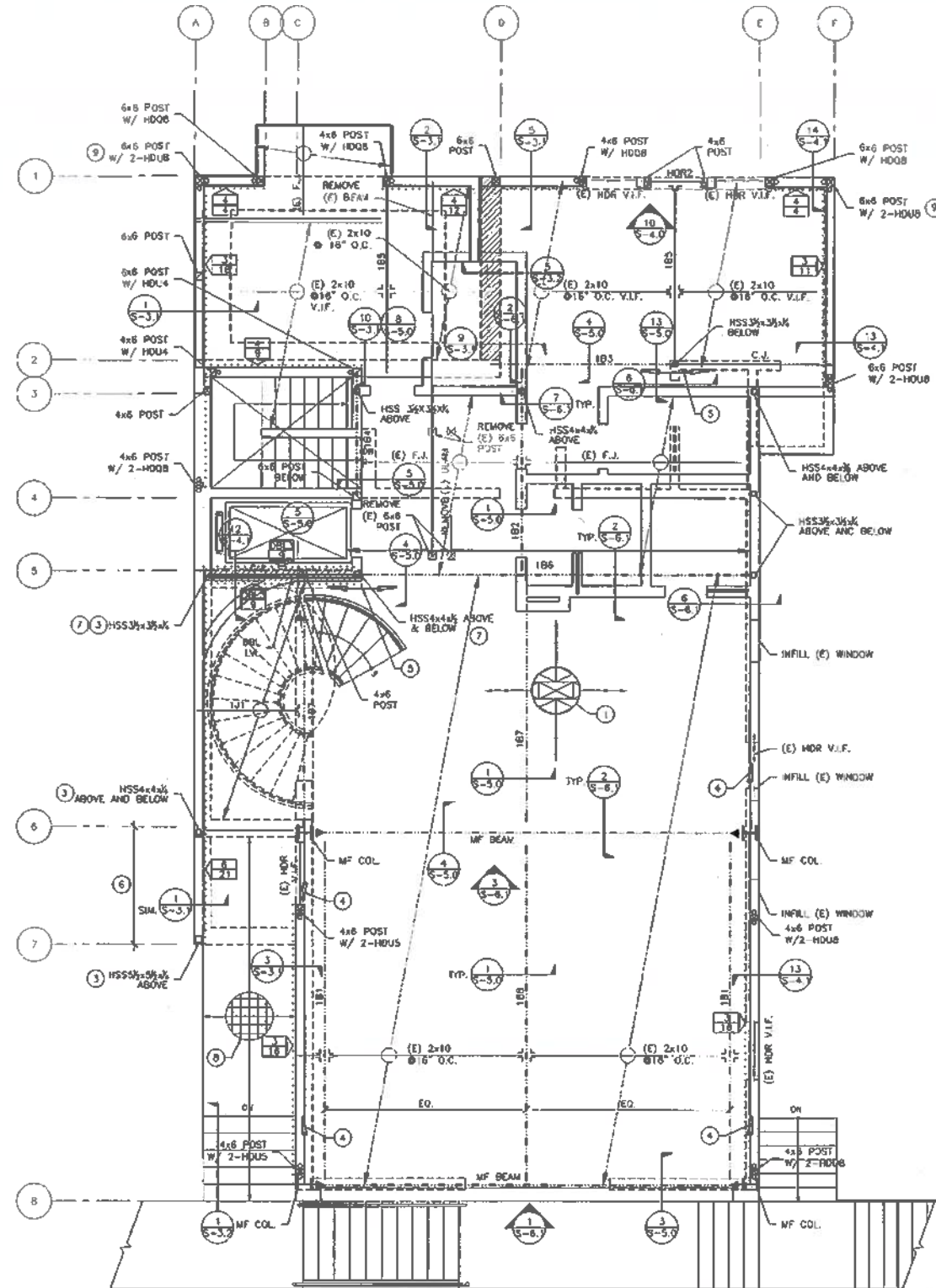


Issue:	Date:
Schematic Design	06.05.2014
CD-Coordination	08.13.2015
Building Permit Set	11.06.2015

Scale: AS NOTED
 Job No. 14-100
 Ground Floor/
 Basement Floor
 Foundation Plan

S-2.0





1 FIRST FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



LEGEND

- WALLS
- WALLS BELOW
- (N) FOUNDATION
- (H) FOUNDATION BELOW
- HOLD DOWN
- X= DENOTES SW EDGE NAILING
- Y= DENOTES SW LENGTH IN FEET. REF. S-4.0 FOR FWD SW DETAILS
- POST ABOVE AND BELOW
- POST ABOVE
- POST BELOW
- REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION

JOIST SCHEDULE			
MARK	SPACING	JOIST	NOTES
AJ1	16" O.C.	1 1/2" x 8" LVL	HU7

BEAM SCHEDULE			
MARK	SIZE	MATERIAL	NOTES
IB1	W10x33	A992 Gr.50	
IB2	W10x30	A992 Gr.50	
IB3	W10x30	A992 Gr.50	
IB4	W10x26	A992 Gr.50	
IB5	3 1/2" x 8"	PSL	MEMBRS.50
IB6	W10x50	A992 Gr.50	
IB7	W10x30	A992 Gr.50	
IB8	W10x45	A992 Gr.50	
HDR	SEE DETAIL 6/S-4.1		
HDR2	3 1/2" x 8"	PSL	

SHEET NOTES:

- BLOCKED PLYWOOD DIAPHRAGM PER DETAIL 1A2/S-4.1
- HOLD-DOWN ON STEEL BEAM PER DETAIL 8/S-4.0
- MASK PLATE PER DETAIL 11/S-3.1
- HOUS TO TOP PLATES LENGTH 6"-0" MIN.
- HOUS FROM C.J. TO STEEL BEAM
- 2x6 LVL STUD WALL
- SEE DET. 8/S-5.0
- 4" S.O.C. WITH #4 @ 12" O.C. EACH WAY OVER 4" GRAVEL. SEE DETAIL 2/S-3.0
- SEE DETAIL 7/S-4.2

GENERAL NOTES:

- SEE SHEETS S-4.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.

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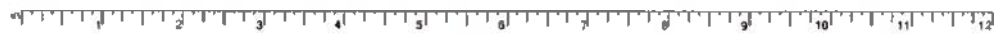
GREENWICH STREET RESIDENCE

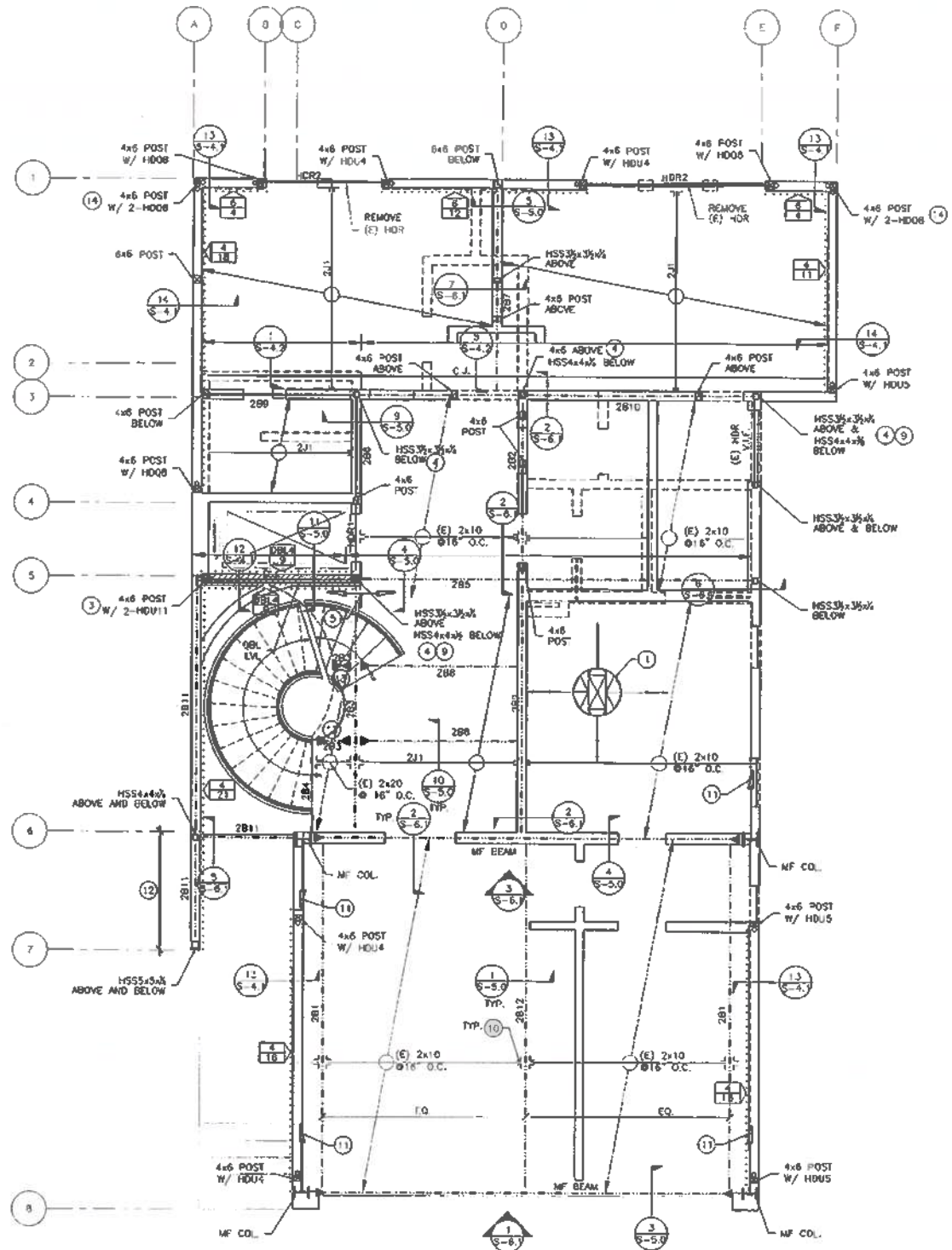
ADDENDUM #
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 SITE PERMIT/ADDENDUM FOR CONSTRUCTION OF:
 1283 Greenwich Street
 San Francisco, CA 94109

Scale: AS NOTED
 Job No. 14-1101

First Floor Framing Plan

S-2.1





1 SECOND FRAMING FLOOR PLAN

SCALE: 1/4" = 1'-0"



LEGEND

- WALLS
- - - WALLS BELOW
- HOLD DOWN
- ⊕ X = DENOTES SW EDGE HANGING, Y = DENOTES SW LENGTH IN FEET. REF: S-4.0 FOR FWD SW DETAILS.
- POST ABOVE AND BELOW
- POST ABOVE
- POST BELOW
- Ⓢ REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- ▨ INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
2J1	16" O.C.	1K1x9K1 LVL	HU7

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
2B1	W10x13	A992 Gr.50	
2B2	W10x30	A992 Gr.50	
2B3	W10x30	A992 Gr.50	
2B4	W10x30	A992 Gr.50	
2B5	W10x80	A992 Gr.50	
2B6	36"x44"	A992 Gr.50	
2B7	W10x26	A992 Gr.50	
2B8	I-S27x34	A500 Gr.46	
2B9	36"x44"	PSL	
2B10	W10x30	A992 Gr.50	
2B11	HSS36x48x5/8	A500 Gr.46	COLLECTOR
2B12	W10x45	A992 Gr.50	
HD01	SEE DETAIL	6/5-4.1	
HD02	36"x44"	PSL	

- SHEET NOTES:**
- 1 BLOCKED PLYWOOD DIAPHRAGM PER DETAIL 1&2/S-4.1
 - 2 HOLD-DOWN ON STEEL BEAM PER DETAIL 8/S-4.0
 - 3 SEE DETAIL 12/S-5.0
 - 4 STEEL BEAM ON HSS COLUMN PER DETAIL 6/S-6.1
 - 5 HDUS FROM C.J. TO STEEL BEAM
 - 6 HSS AS HOLD-DOWN PER DETAIL 8/S-5.0
 - 7 HOLD-DOWN PER DET. 12/S-5.0
 - 8 HSS PER DETAIL 6/S-5.0
 - 9 HSS COLUMN ON STEEL BEAM PER DETAIL 7/S-6.1
 - 10 U210 HANGER
 - 11 HDUS TO TOP PLATES, LENGTH 6'-0" MINIMUM
 - 12 2x6 LVL STUD WALL
 - 13 SEE SIM. UL AL 4A/S-6.1
 - 14 SEE DETAIL 7/S-4.2

GENERAL NOTES:

1. SEE SHEETS S-4.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.

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JUL 23 2015
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 2015
 2015

Vivian Huang, DBI
 DEC 18 2015



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**GREENWICH STREET
 RESIDENCE**
 ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF

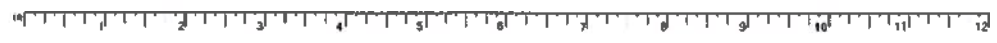


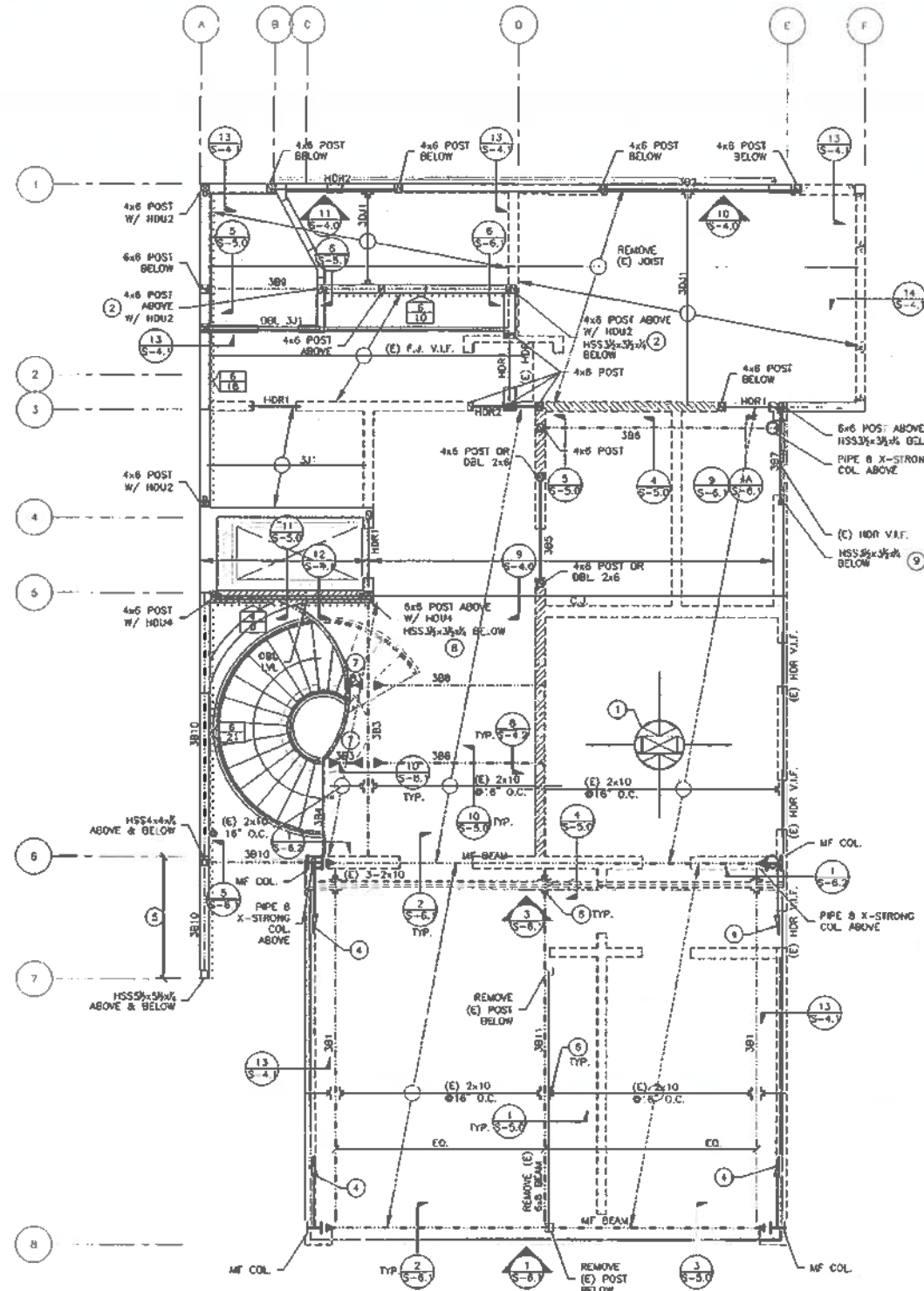
Issue:	Date:
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015

Scale: AS NOTED
 Job No. 14-100

Second Floor
 Framing Plan

S-2.2





1 THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"



LEGEND

- WALLS
- - - WALLS BELOW
- o HOLD DOWN
- X= DENOTES SW EDGE MARKING
- Y= DENOTES SW LEVOTI IN FEET
- REF. S-4.0 FOR FWD SW DETAILS.
- POST ABOVE AND BELOW
- POST ABOVE
- POST BELOW
- ① REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- ▨ INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION
- C.J. LVL COLLECTOR JOIST

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
3J1	16" O.C.	1 1/2" x 9 1/2" LVL	HJ7
3J1	16" O.C.	1 3/4" x 9 1/2" LVL	HJ7

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
3B1	W10x33	A992 Gr.50	
3B2	5 1/2" x 8 1/2"	PSL	
3B3	W10x30	A992 Gr.50	
3B4	W10x30	A992 Gr.50	
3B5	3 1/2" x 3 1/2"	PSL	
3B6	W10x45	A992 Gr.50	
3B7	W10x45	A992 Gr.50	
3B8	HSS 7 1/2 x 3 1/2	A500 Gr.48	
3B9	W10x39	A992 Gr.50	
3B10	HSS 5 1/2 x 3 1/2	A500 Gr.48	
3B11	W10x45	A992 Gr.50	COLLECTOR
HDR1	SEE DETAIL 6/S-4.1		
HDR2	3 1/2" x 9 1/2"	PSL	

STEEI NOTES:

- 1 BLOCKED PLYWOOD DIAPHRAGM PER DETAIL 1/2/S-4.1
- 2 HOLD-DOWN ON STEEL BEAM PER DETAIL 8/S-4.0
- 3 U210 HANGER
- 4 HOUS TO TOP PLATES, LENGTH 6"-0" MINIMUM
- 5 2x8 LVL STUD WALL
- 6 U210-3 HANGER
- 7 SEE SIM. DETAIL 4A/S-6.1
- 8 SEE DETAIL 12/S-5.0
- 9 SEE DETL 6/S-6.1

GENERAL NOTES:

1. SEE SHEETS S-4.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.

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 JUL 25 2015
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 DEC 10 2015

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GREENWICH STREET RESIDENCE

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR CONSTRUCTION OF

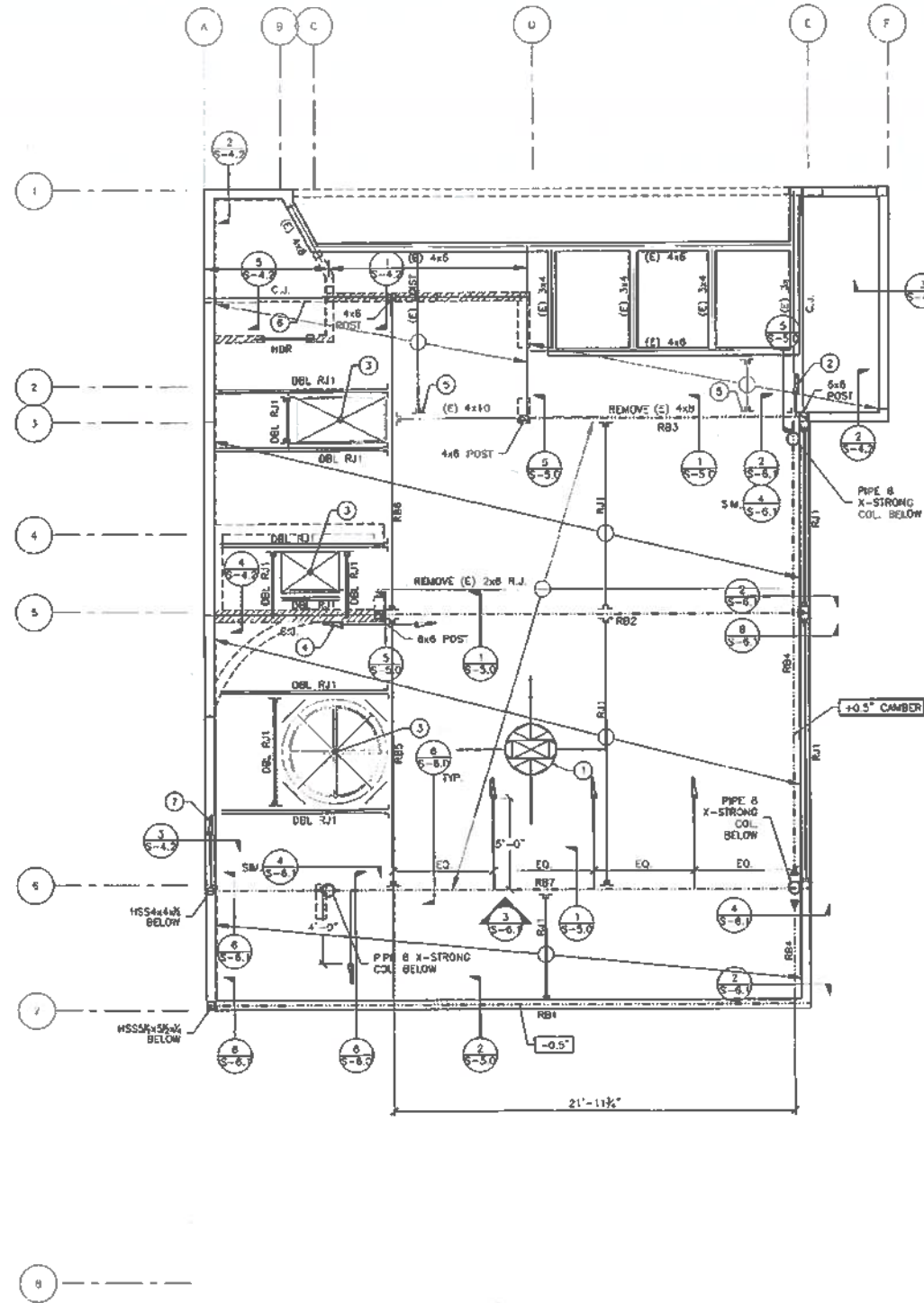
1283 Greenwich Street
 San Francisco, CA 94109

Issue: _____ Date: _____
 Schematic Design 06.05.2014
 CD Coordination 08.13.2015
 Building Permit Set 11.05.2015

Scale: AS NOTED
 Job No. 14-100

Third Floor Framing Plan

S-2.3



LEGEND

- WALLS
- - - WALLS BELOW
- o POST BELOW
- o REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- ▨ INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION
- C.J. LW. COLLECTOR JOIST

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
RJ1	16" O.C.	19 1/2"x9 1/2"	HU7 OR

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
RB1	W10x33	A992 Gr.50	CAMBER 0.5"
RB2	W10x33	A992 Gr.50	
RB3	W10x33	A992 Gr.50	(E)4x10 OK
RB4	W10x33	A992 Gr.50	CAMBER 0.5"
RB5	3x10"	PSL	LUS410
RB6	7"x9"	PSL	HGUS7.25
RB7	W10x45	A992 Gr.50	
HDR	SEE DETAIL	6/5-4.1	

- SHEET NOTES:**
- 1 BLOCKED PLYWOOD BRACING PER DETAIL 1A2/S-4.1
 - 2 HORIZONTAL HDUS FOR CONNECTION TO STEEL BEAM SEE DETAIL 6/5-9.0
 - 3 TYPICAL FLOOR OPENING PER DETAIL 3/S-4.1
 - 4 HDUS FROM C.J. TO STEEL BEAM
 - 5 (H) U210 TYPE HANGER
 - 6 CS16 CONTINUOUS STRAP FROM G.L. "A" TO G.L. "C" ON TOP OF PLYWOOD
 - 7 HDUS TO "OP PLATES PER DETAIL 6/5-4.2

GENERAL NOTES:

1. SEE SHEET S-4.1 FOR TYPICAL FRAMING DETAILS.

1 ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



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 JUL 25 2016
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GREENWICH STREET RESIDENCE
 ADDENDUM #
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 SITE PERMIT ADDENDUM FOR CONSTRUCTION UP
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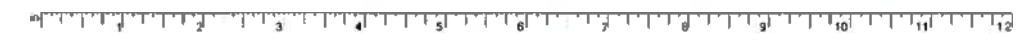


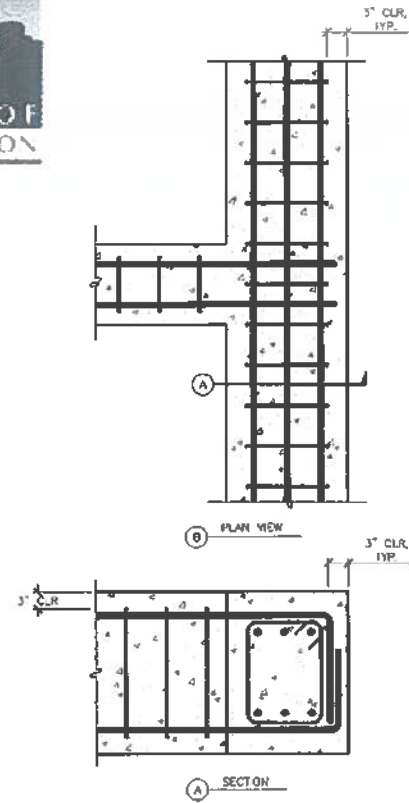
Name:	Date:
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015

Scale: AS NOTED
 Job No. 14-100

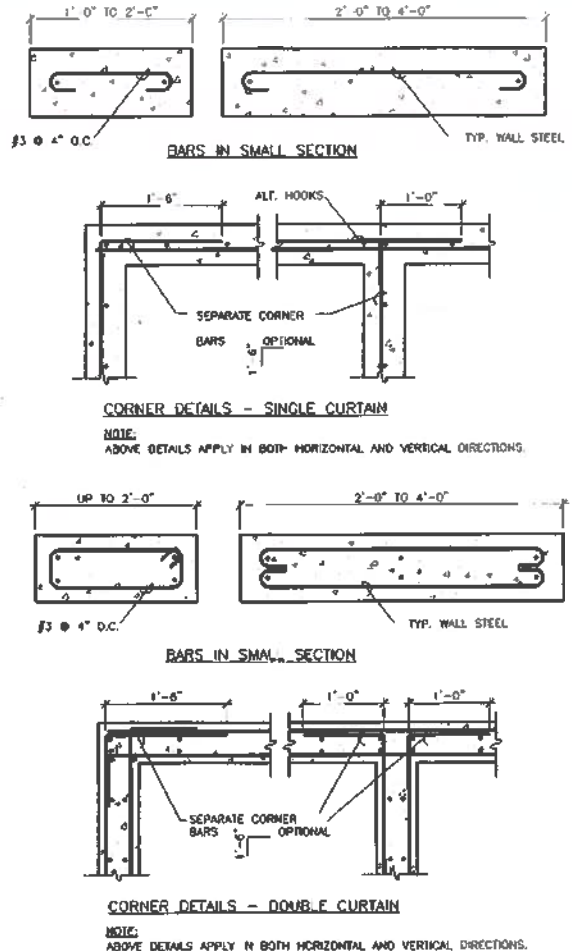
Roof Framing Plan

S-2.4

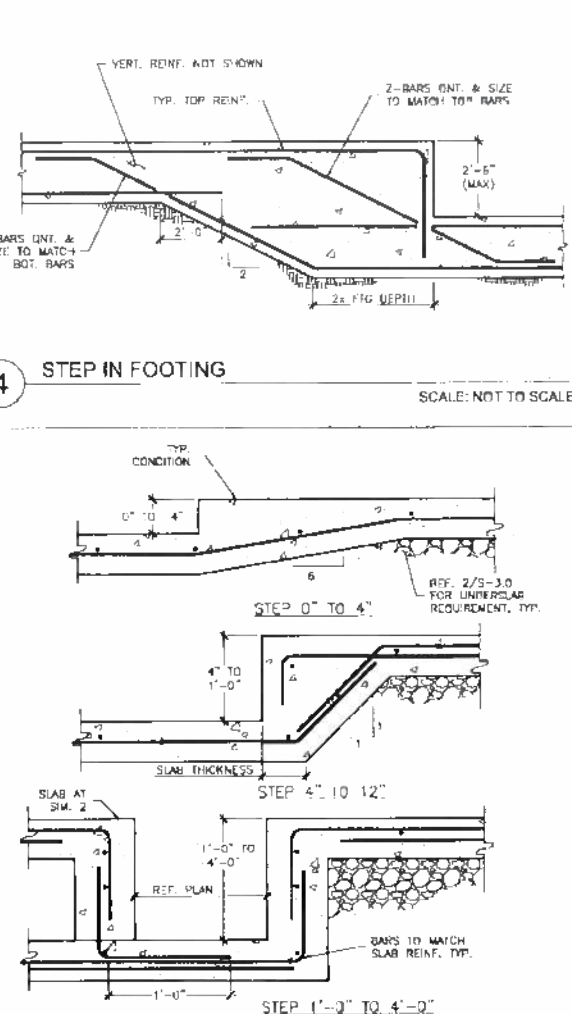




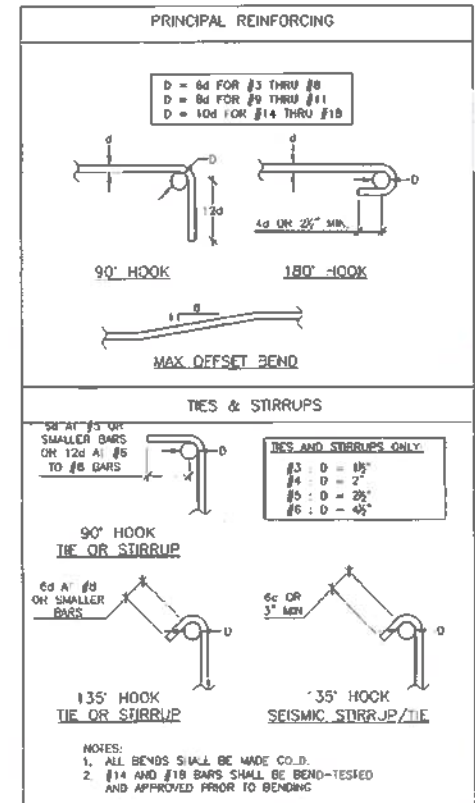
7 PRIMARY REINF. AT GRADE BEAM INTERSECTION
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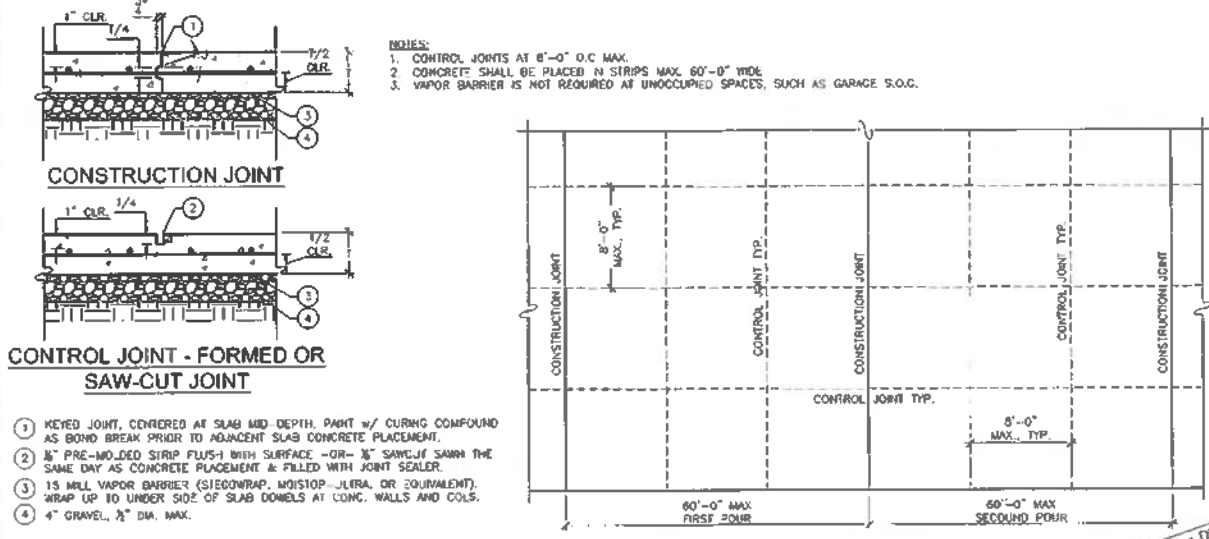
5 WALL REINFORCING
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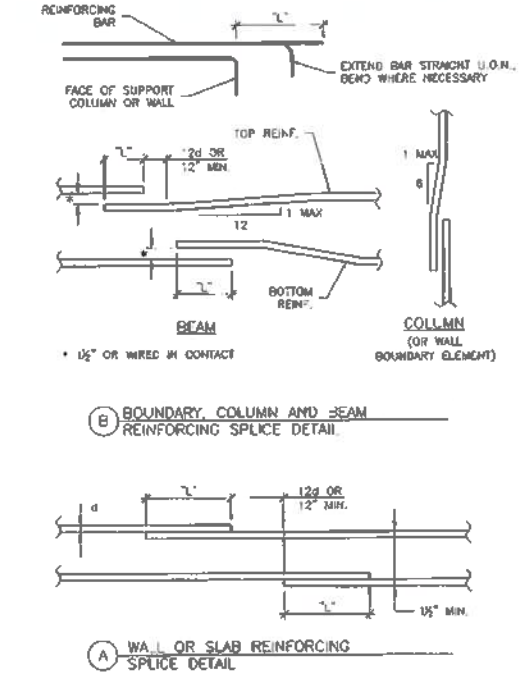
3 TYPICAL STEP IN SLAB ON GRADE DETAILS
 SCALE: 1-1/2"=1'-0"



6 STANDARD HOOK & TIE DETAILS
 SCALE: NOT TO SCALE



2 CONCRETE SLAB PLACEMENT ON GRADE METHOD
 SCALE: NOT TO SCALE



REINFORCING BAR SPLICE AND STRAIGHT DEVELOPMENT LENGTHS SCHEDULE
 NORMAL WEIGHT CONCRETE REF: AC 318-11

REINFORCING BAR SIZE (CR. NO.)	DEVELOPMENT LENGTHS, L (IN)										
	#3	#4	#5	#6	#7	#8	#9	#10	#11		
CLASS A & STRAIGHT DEVELOPMENT LENGTHS, L (IN)	2,500	23"	31"	39"	47"	69"	78"	88"	98"	107"	
	OTHER	18"	24"	30"	36"	53"	60"	70"	85"	95"	
CLASS B, L (IN)	2,500	30"	41"	51"	61"	89"	101"	114"	127"	139"	
	OTHER	23"	31"	39"	47"	68"	78"	88"	98"	107"	
CLASS C, L (IN)	2,500	28"	37"	46"	56"	81"	93"	104"	116"	127"	
	OTHER	21"	28"	36"	43"	62"	71"	80"	89"	98"	
CLASS D, L (IN)	2,500	24"	32"	40"	48"	70"	80"	90"	100"	110"	
	OTHER	18"	25"	31"	37"	54"	62"	69"	77"	85"	

NOTE: PROVIDE 30% LONGER LAP LENGTH FOR LIGHTWEIGHT CONCRETE.

NOTES:
 1. CLASS "A" SPLICES SHALL BE USED WHEN ONE-HALF OR LESS OF THE TOTAL REINFORCEMENT IS SPLICED WITHIN THE REQUIRED LAP LENGTH.
 2. CLASS "B" SPLICES SHALL BE USED WHEN MORE THAN ONE-HALF OF THE TOTAL REINFORCEMENT IS SPLICED WITHIN THE REQUIRED LAP LENGTH.
 3. DB = NOMINAL DIAMETER OF A BAR.
 4. TOP BARS ARE HORIZONTAL REINFORCING WITH MORE THAN 12" OF CONCRETE BELOW THE BAR.
 5. OTHER BARS ARE ALL VERTICAL, ALL HORIZONTAL WALL REINFORCING, AND HORIZONTAL REINFORCING WITH LESS THAN 12" OF CONCRETE BELOW BAR.
 6. SMALLER BAR LAP LENGTH MAY BE USED WHEN SPLICING DIFFERENT SIZES OF BARS.
 7. LAP SPLICES ARE NOT PERMITTED IF MECHANICAL SPLICES ARE BUNDLED TOGETHER.
 8. NON-CONTACT LAP SPLICES SHALL NOT BE SPACED TRANSVERSELY FURTHER APART THAN 20% OF THE REQUIRED LAP LENGTH OR 6 INCHES.
 9. LAP TOP BARS AT MIDSPAN AND BOTTOM BARS AT SUPPORTS UNLESS OTHERWISE SHOWN.
 10. BUNDLED BAR SPLICES:
 11. INDIVIDUAL BAR SPLICES WITHIN THE BUNDLE SHALL NOT OVERLAP EACH OTHER.
 12. INCREASE LAP LENGTH 20% AT THREE BARS.
 13. INCREASE LAP LENGTH 33% AT FOUR BARS.

4 REINFORCING BAR SPLICE SCHEDULE AND NOTES
 SCALE: NOT TO SCALE

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GREENWICH STREET RESIDENCE

ADDENDUM #
 NOV 12 2015
 SITE PERMIT ADDENDUM FOR CONSTRUCTION OF:

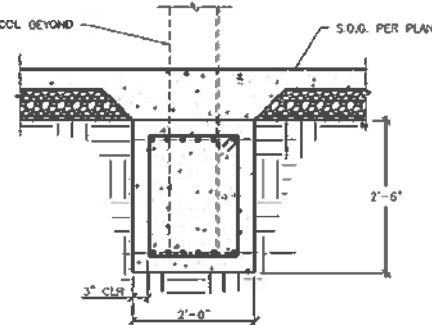
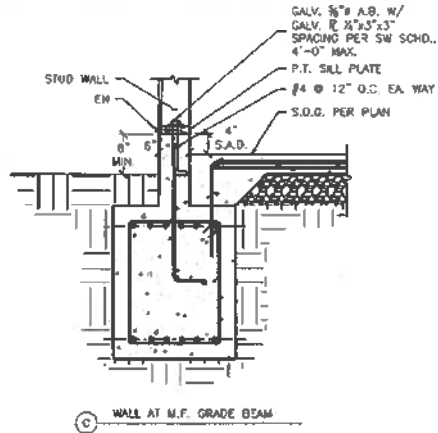
1283 Greenwich Street
 San Francisco, CA 94109

Issue: Schematic Design Date: 06.05.2014
 CD Coordination Date: 08.13.2015
 Building Permit Set Date: 11.06.2015

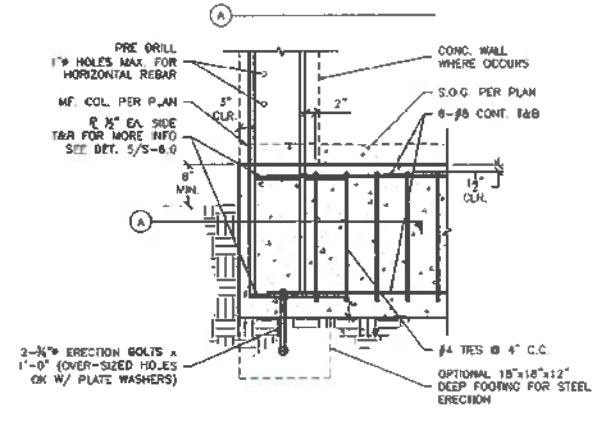
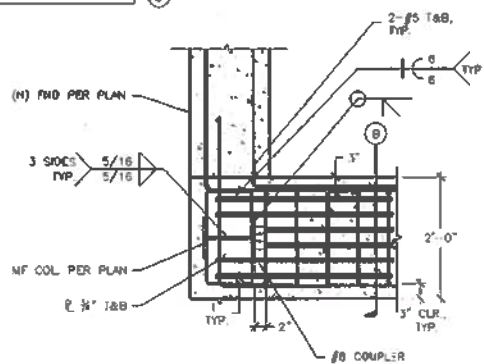
Scale: AS NOTED
 Job No. 14-100

Concrete Details I

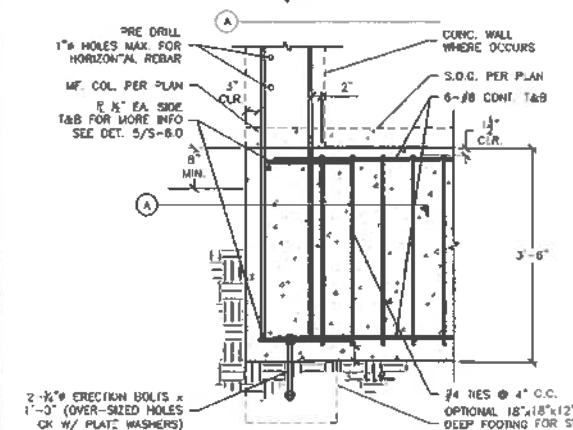
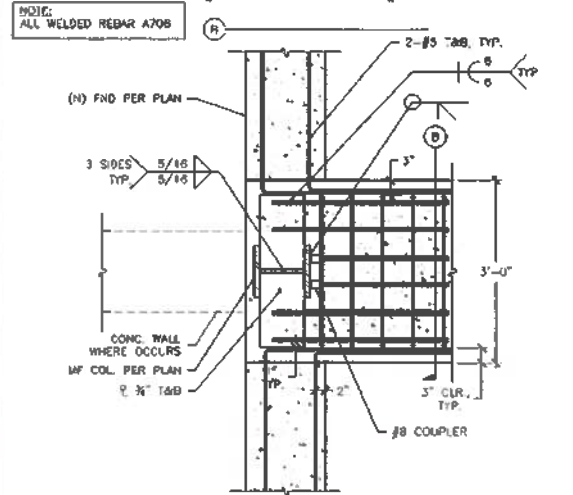
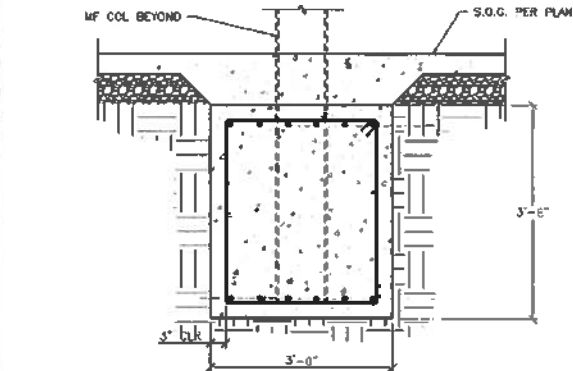
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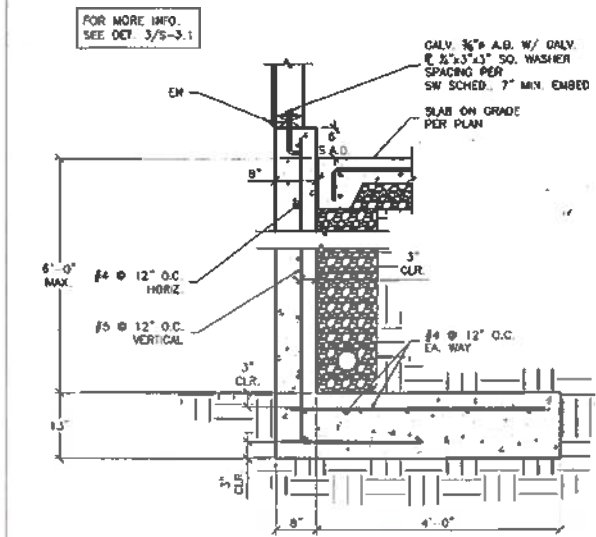
NOTE:
ALL WELDED REBAR A706



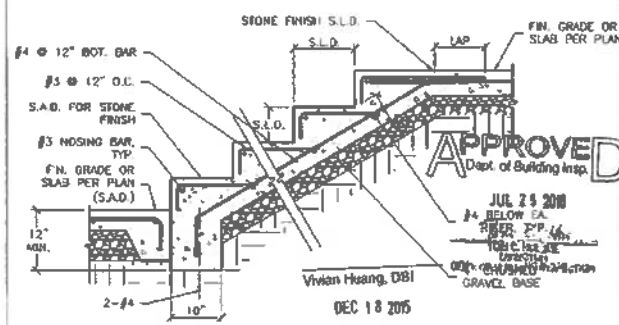
5 CONCRETE STAIR ON GRADE
 SCALE: 3/4" = 1'-0"



8 M.F. ANCHORAGE DETAIL AT GRID LINE 6
 SCALE: 3/4" = 1'-0"



9 SITE RETAINING WALL DETAIL
 SCALE: 3/4" = 1'-0"



10 CONCRETE STAIR ON GRADE
 SCALE: 3/4" = 1'-0"

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GREENWICH STREET
 RESIDENCE
 1283 Greenwich Street
 San Francisco, CA 94109

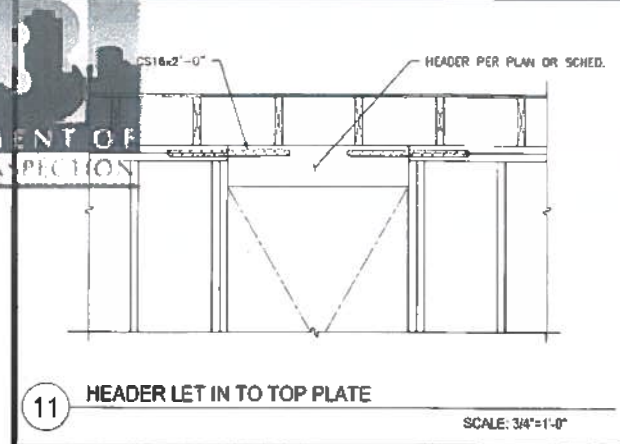


Issue:	Date:
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	1.06.2015

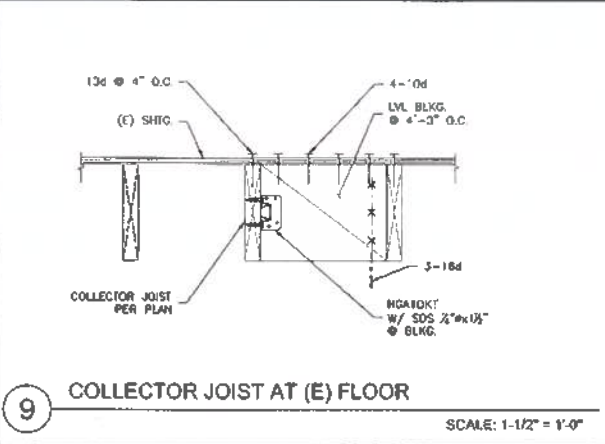
Scale: AS NOTED
 Job No. 14-100

Concrete
 Details III

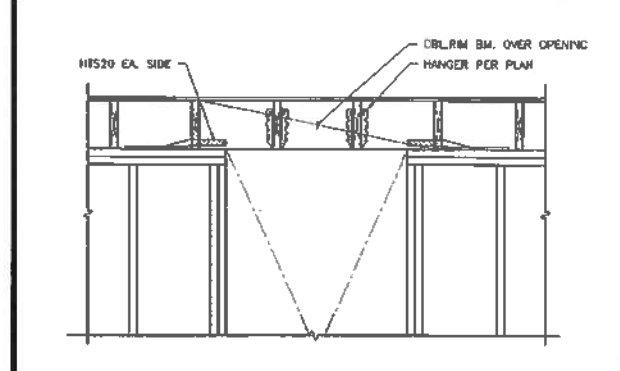
S-3.2



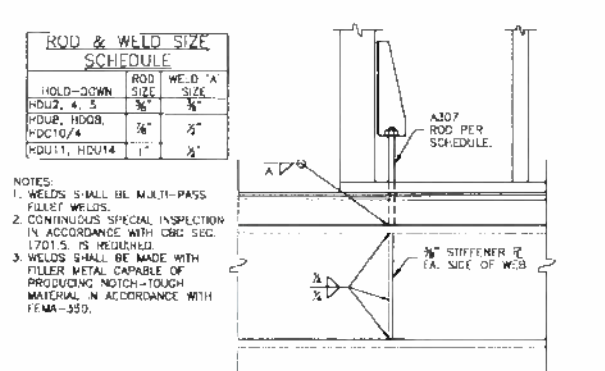
11 HEADER LET IN TO TOP PLATE
 SCALE: 3/4"=1'-0"



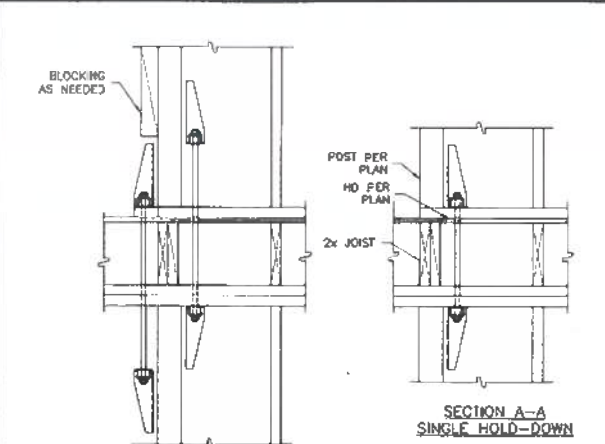
9 COLLECTOR JOIST AT (E) FLOOR
 SCALE: 1-1/2"=1'-0"



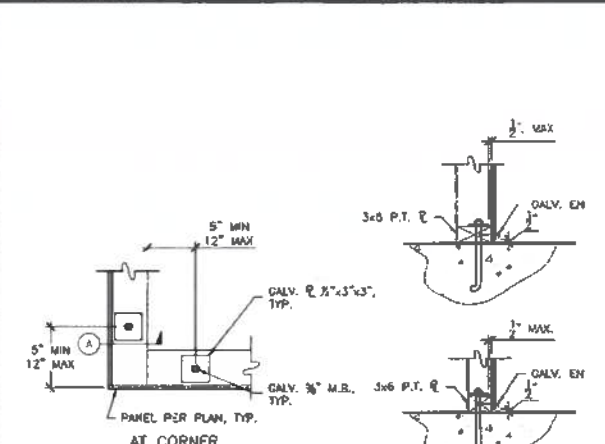
10 TYPICAL STUD WALL FRAMING ELEVATION
 SCALE: 3/4"=1'-0"



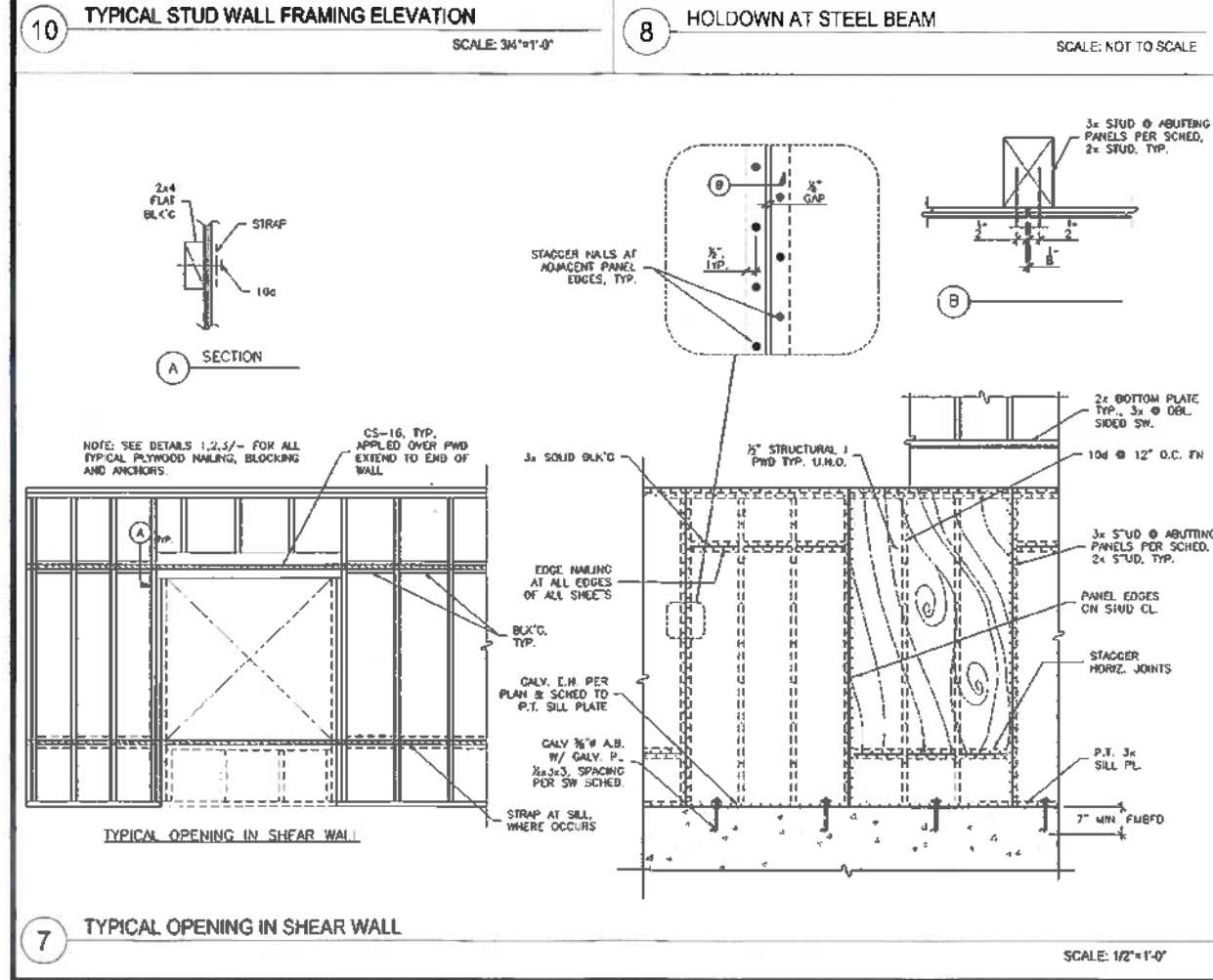
8 HOLDOWN AT STEEL BEAM
 SCALE: NOT TO SCALE



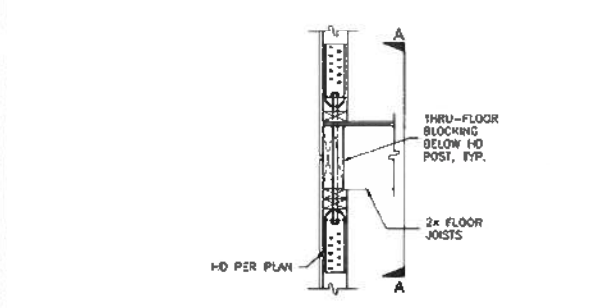
6 TYPICAL HOLDDOWN BETWEEN FLOORS
 SCALE: NOT TO SCALE



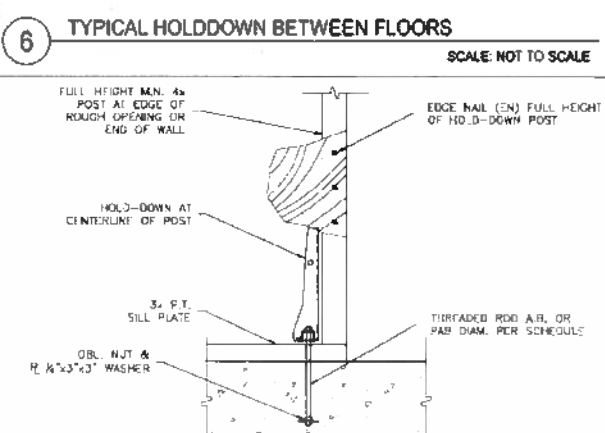
3 TYPICAL ANCHOR BOLT PLATES
 SCALE: NOT TO SCALE



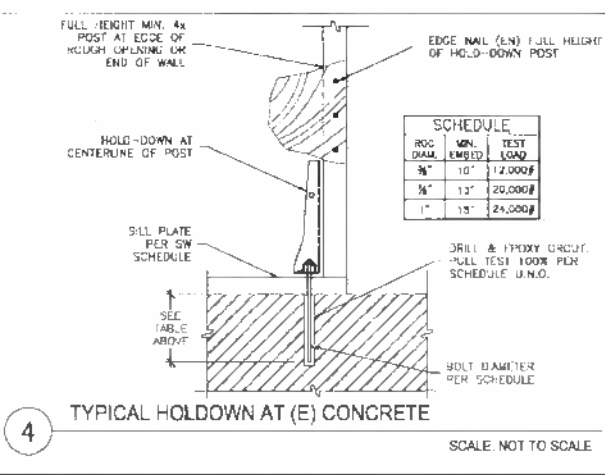
7 TYPICAL OPENING IN SHEAR WALL
 SCALE: 1/2"=1'-0"



4 TYPICAL HOLDDOWN AT (E) CONCRETE
 SCALE: NOT TO SCALE



5 TYPICAL HOLD DOWN AT (N) CONCRETE
 SCALE: NOT TO SCALE



4 TYPICAL HOLDDOWN AT (E) CONCRETE
 SCALE: NOT TO SCALE

HOLDOWN SCHEDULE

SIMPSON MODEL NO.	ANCHOR BOLT DIA.	ANCHOR EMBED.	DRILL & EPOXY EMBED.	POST MIN.	PAB
HDU2	3/8"	12"	10"	4x4	5
HDU4,5	5/8"	12"	10"	4x4	5
HDU8	7/8"	15"	13"	4x4	7
HDU8	7/8"	15"	13"	4x4	7
HDU10/4	7/8"	15"	13"	4x4	7
HDU11	1"	18"	15"	6x6	8
HDU14	1"	18"	15"	6x6	8

NOTES:
 1. ANCHOR BOLT MATERIAL SHALL BE ASTM A36 THREADED ROD OR ASTM A307 OR BETTER BOLTS, U.N.O.
 2. CONCRETE ANCHOR EMBEDMENT IS INTO CONCRETE FOOTING, WALL OR SLAB (NOT INCLUDING CURB HEIGHT) U.N.O.
 3. PROVIDE ALL REQUIRED FASTENERS TO POST PER STUDS PER SIMPSON CATALOG AND ICC ESR 2330 REPORT.

2 HOLDOWN SCHEDULE
 SCALE: NOT TO SCALE

SHEAR WALL SCHEDULE

TYPE	PANEL THICKNESS	100 EDGE NAILING (EN)	A35 CLIP	15d SILL NAILS (SN)	SOS 2x4x4 SILL CLONN	3/8" SILL BOLTS	SPECIAL FRAMING
1	1/2"	2" O.C.	8" O.C.	4" O.C.	4" O.C.	16" O.C.	PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES
2	1/2"	3" O.C.	8" O.C.	3" O.C.	6" O.C.	24" O.C.	PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES
3	1/2"	4" O.C.	8" O.C.	4" O.C.	8" O.C.	32" O.C.	PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES
4	1/2"	6" O.C.	12" O.C.	6" O.C.	12" O.C.	48" O.C.	
5	1/2" EA. SIDE	3" O.C.	N/A	N/A	3" O.C.	12" O.C.	SEE 5-5-NOTES 6 & 7.
6	1/2" EA. SIDE	4" O.C.	5" O.C.	N/A	4" O.C.	16" O.C.	SEE 5-5-NOTES 6 & 7.

NOTES:
 1. ALL PANELS SHALL BE APA PRS STRUC I PLYWOOD.
 2. NAILS SHALL BE 10d COMMON (32D 140).
 3. BLOCK ALL UNSUPPORTED EDGES OF SHEATHING PANELS.
 4. FIELD NAILING IS 10d @ 12" O.C. TYPICAL.
 5. SILL BOLTS SHALL HAVE A 2x4x4 GALVANIZED PLATE WASHER & SHALL BE EMBEDDED 7" MIN. INTO CONCRETE, NOT INCLUDING CURB HEIGHT.
 6. AT DOUBLE-SIDED SHEARWALLS PANEL JOINTS SHALL BE OFFSET TO DIFFERENT FRAMING MEMBERS AT DOUBLE-SIDED SHEAR WALLS.
 7. AT DOUBLE-SIDED SHEARWALLS PROVIDE 3x FRAMING FOR ALL STUDS AT BOTTOM PLATES, TOP PLATES, RM JOISTS, STUDS, AND BLOCKING (INC. THROUGH BLOCKING).
 Vivian Huang, DBI
 DEC 18 2015

1 SHEAR WALL SCHEDULE
 SCALE: NOT TO SCALE

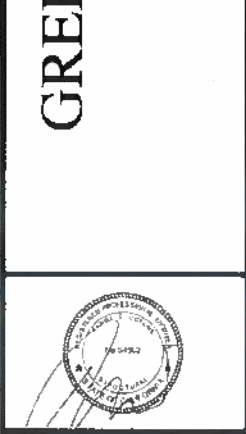
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GREENWICH STREET RESIDENCE

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 San Francisco, CA 94109

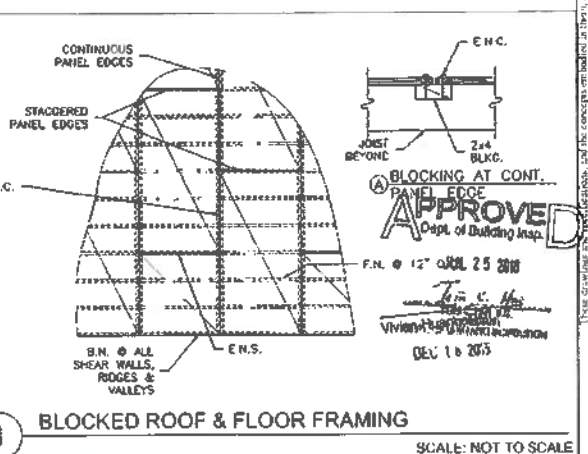
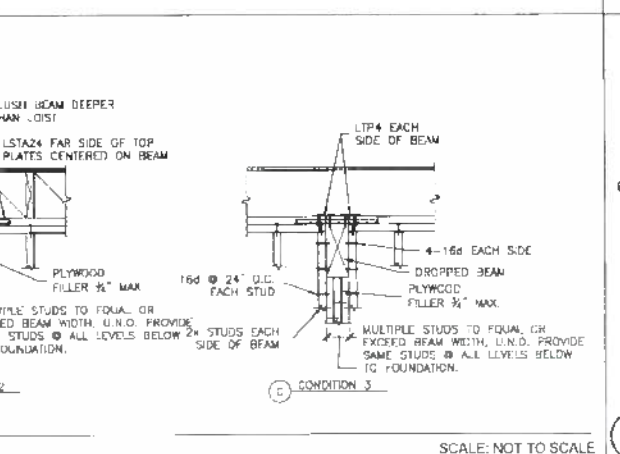
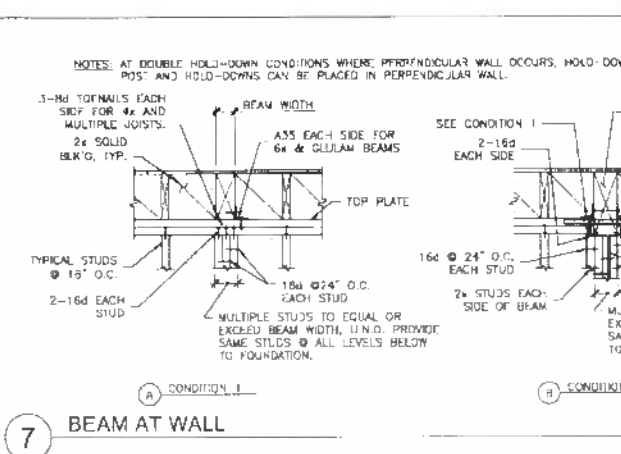
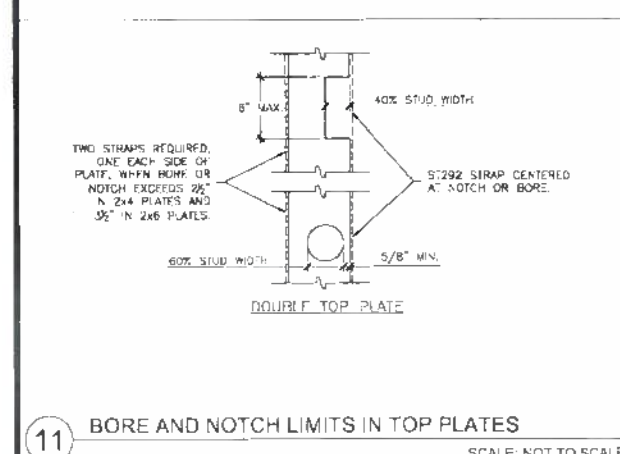
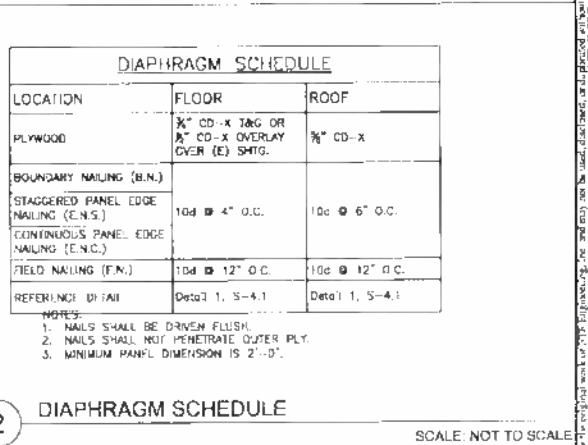
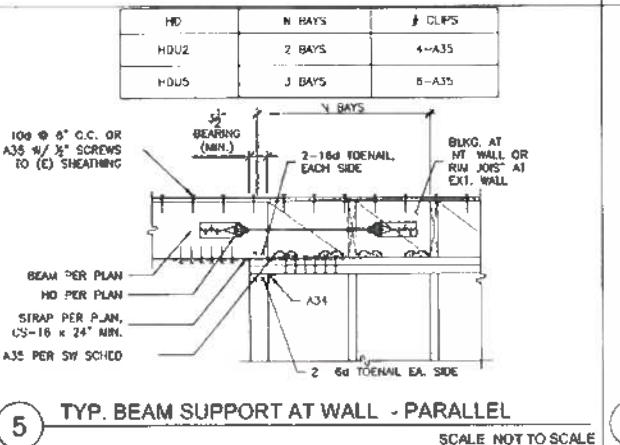
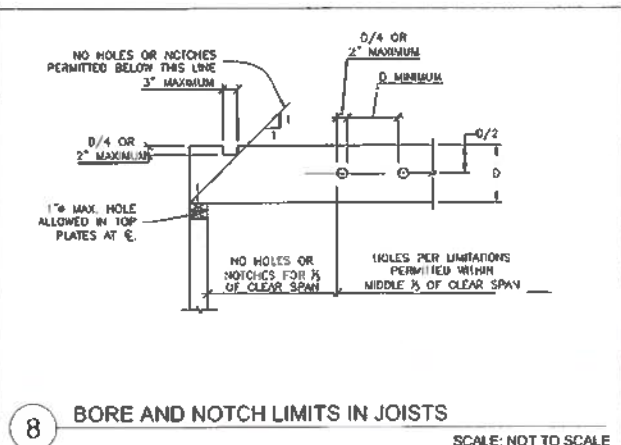
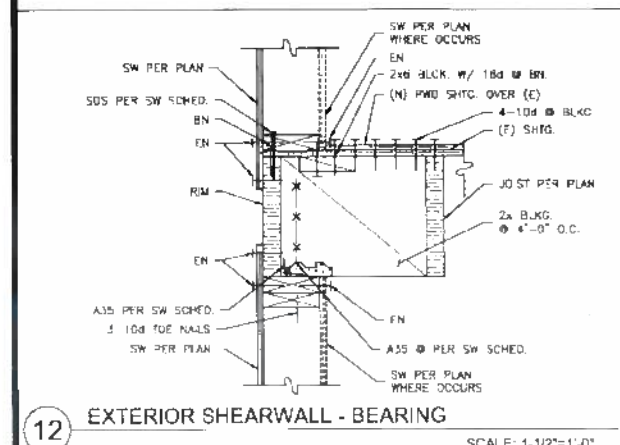
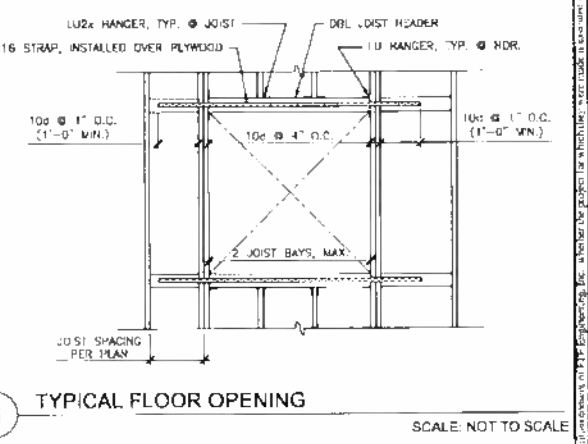
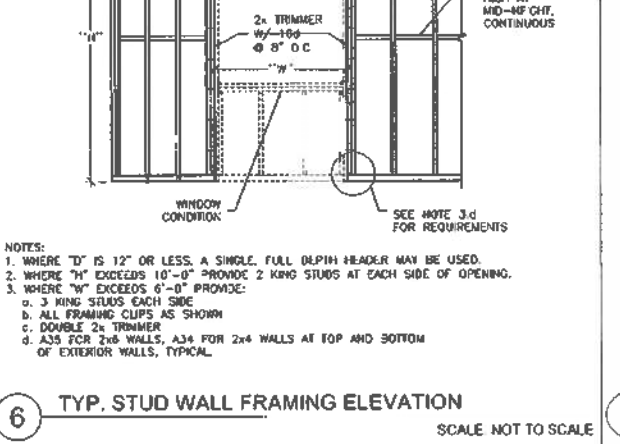
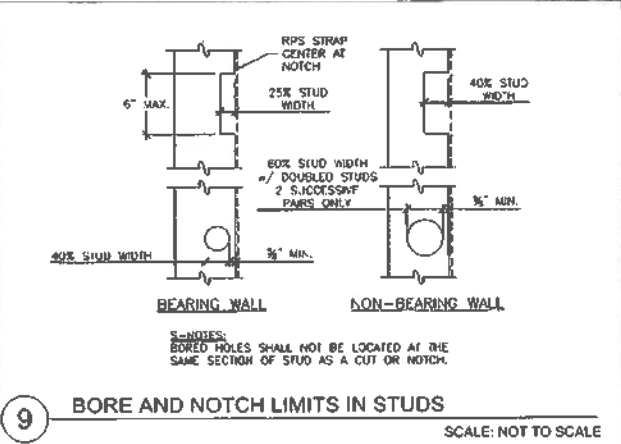
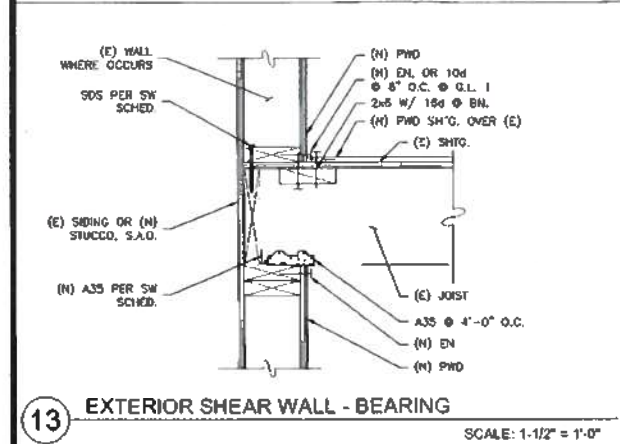
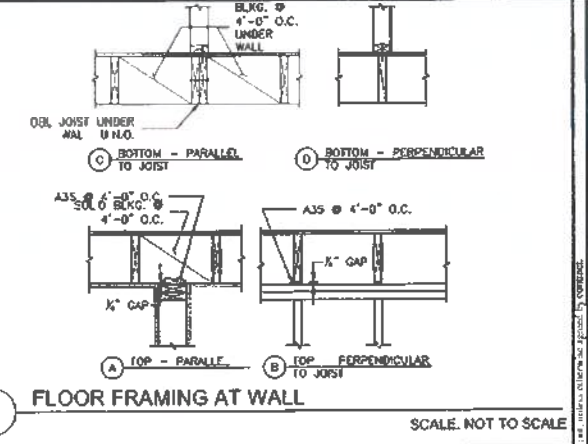
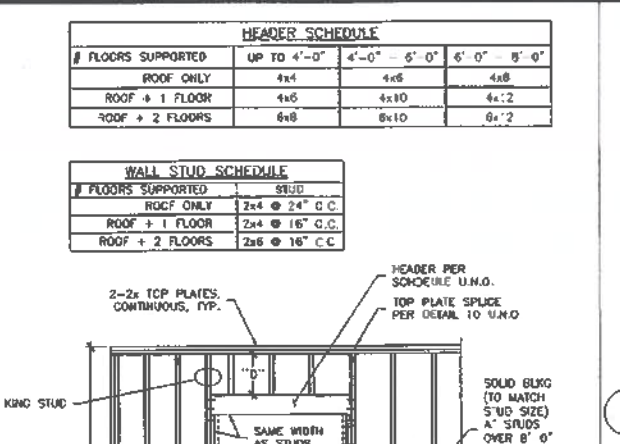
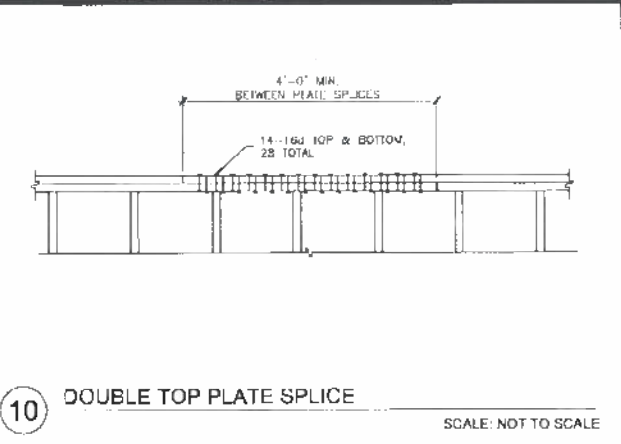
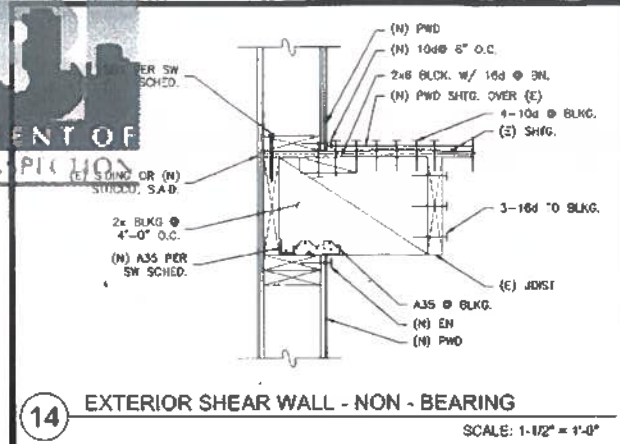


Scale: AS NOTED
 Job No. 14-100

Issue	Date
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015

Framing Details I

S-4.0



HEADER SCHEDULE

# FLOORS SUPPORTED	UP TO 4'-0"	4'-0" - 6'-0"	6'-0" - 8'-0"
ROOF ONLY	4x4	4x6	4x8
ROOF + 1 FLOOR	4x6	4x10	4x12
ROOF + 2 FLOORS	6x6	6x10	6x12

WALL STUD SCHEDULE

# FLOORS SUPPORTED	STUD
ROOF ONLY	2x4 @ 24" O.C.
ROOF + 1 FLOOR	2x4 @ 16" O.C.
ROOF + 2 FLOORS	2x6 @ 16" O.C.

DIAPHRAGM SCHEDULE

LOCATION	FLOOR	ROOF
PLYWOOD	3/4" CD-X 1x6 OR 3/4" CD-X OVERLAY OVER (E) SHTG.	3/4" CD-X
BOUNDARY NAILING (B.N.)		
STAGGERED PANEL EDGE NAILING (E.N.S.)	10d @ 4" O.C.	10c @ 6" O.C.
CONTINUOUS PANEL EDGE NAILING (E.N.C.)		
FIELD NAILING (F.N.)	10d @ 12" O.C.	10c @ 12" O.C.
REFER TO PLAN	Detail 1, 3-4-1	Detail 1, 3-4-1

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GREENWICH STREET RESIDENCE

1283 Greenwich Street
 San Francisco, CA 94109

ADDENDUM #
 NOV 12, 2015
 SITE PERMIT ADDENDUM FOR CONSTRUCTION OF

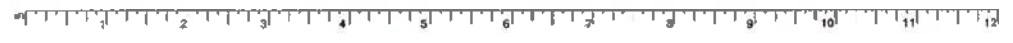


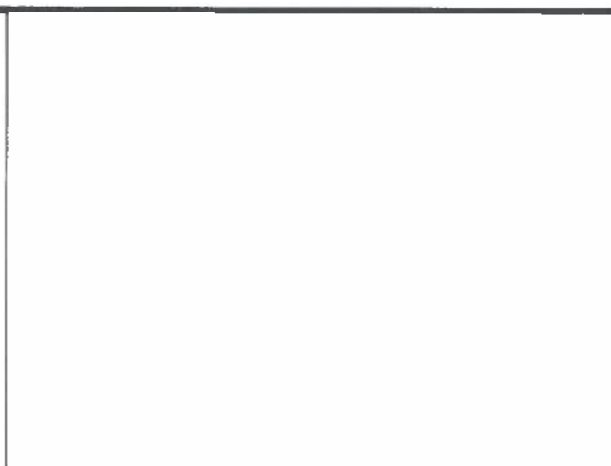
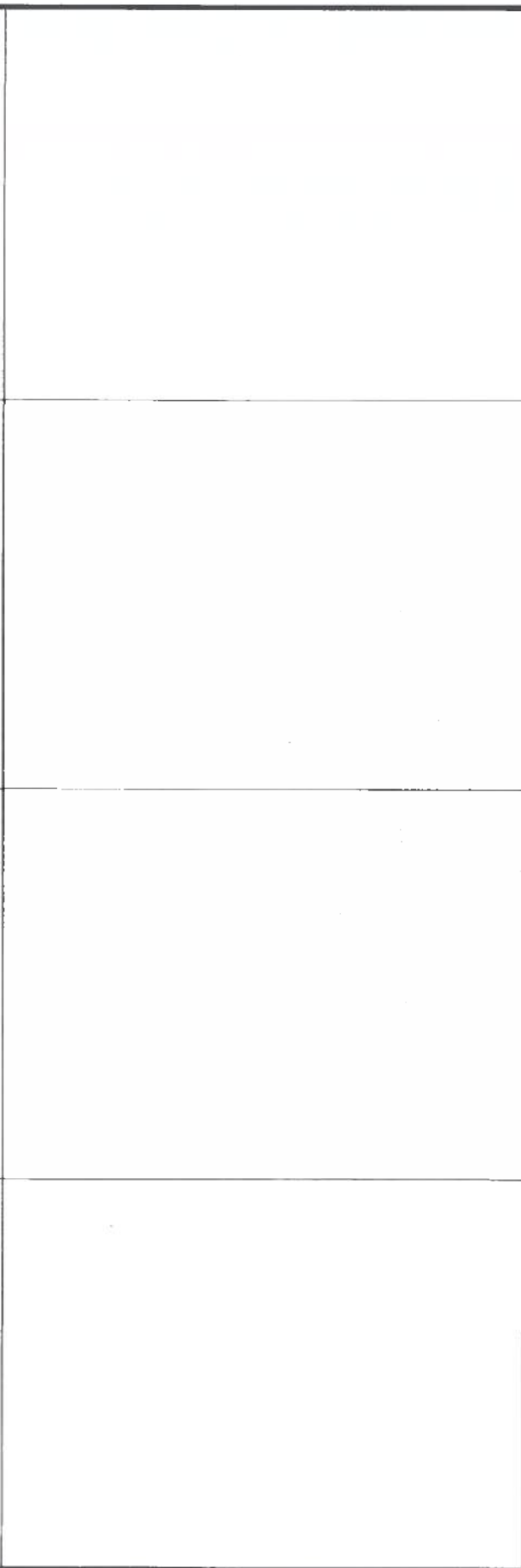
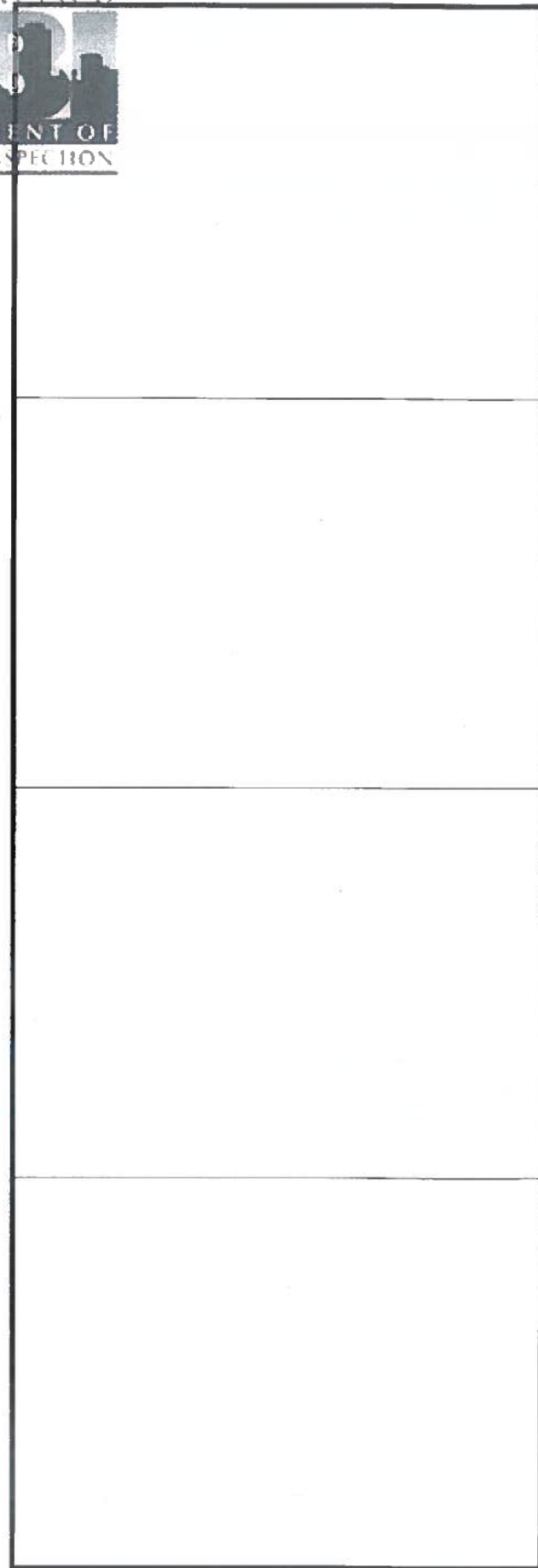
Issue:	Date:
Schematic Design	06.02.2014
C/D Coordination	08.13.2015
Building Permit Set	11.06.2015

Scale: AS-NOTED
 Job No. 14-100

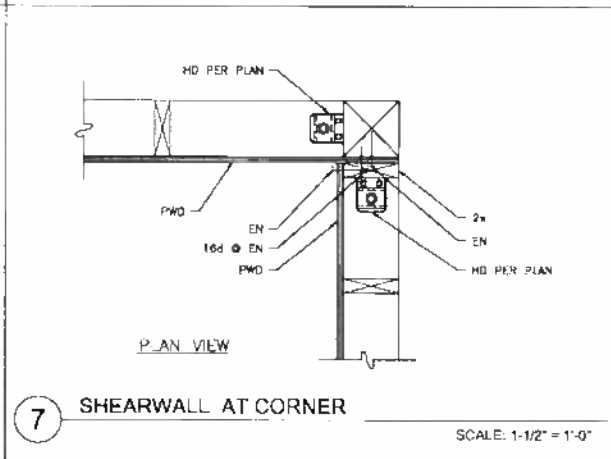
Framing Details II

S-4.1

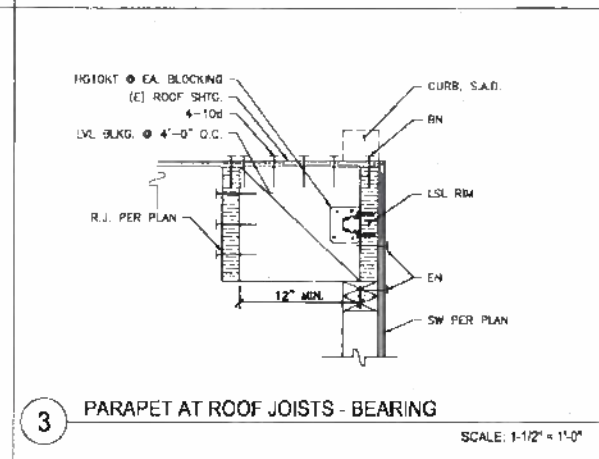




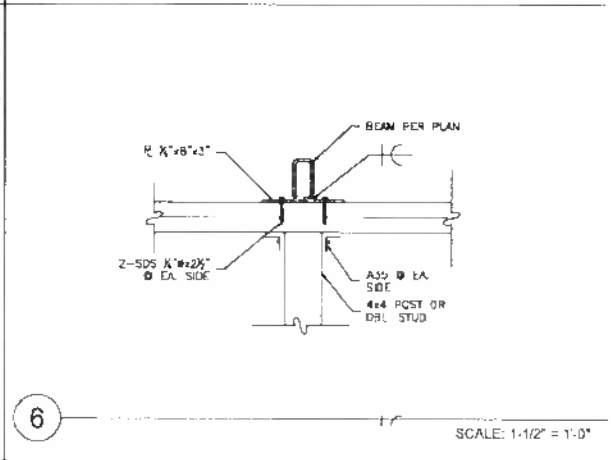
4 EXTERIOR SHEARWALL - BEARING
 SCALE: 1-1/2" = 1'-0"



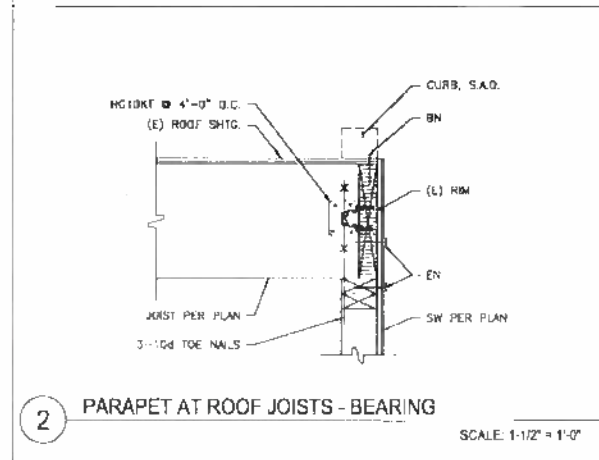
7 SHEARWALL AT CORNER
 SCALE: 1-1/2" = 1'-0"



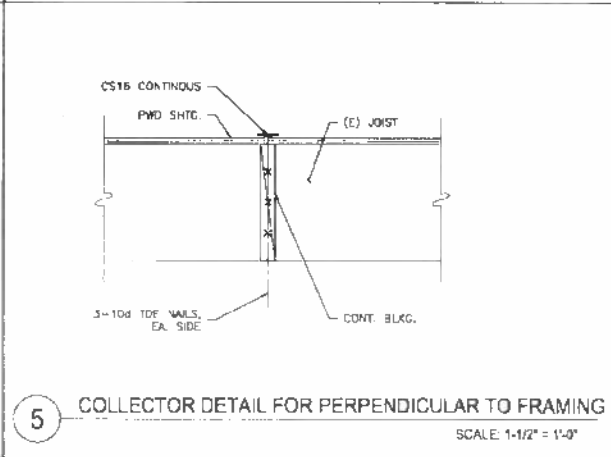
3 PARAPET AT ROOF JOISTS - BEARING
 SCALE: 1-1/2" = 1'-0"



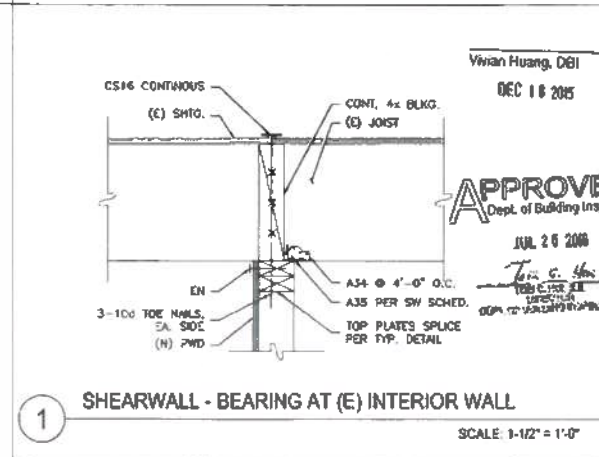
6 SHEARWALL AT CORNER
 SCALE: 1-1/2" = 1'-0"



2 PARAPET AT ROOF JOISTS - BEARING
 SCALE: 1-1/2" = 1'-0"



5 COLLECTOR DETAIL FOR PERPENDICULAR TO FRAMING
 SCALE: 1-1/2" = 1'-0"



1 SHEARWALL - BEARING AT (E) INTERIOR WALL
 SCALE: 1-1/2" = 1'-0"

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**GREENWICH STREET
 RESIDENCE**

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 SITE PERMIT ADDENDUM FOR
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1283 Greenwich Street
 San Francisco, CA 94109



Issue:	Date:
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015

Vivian Huang, DBI
 DEC 16 2015

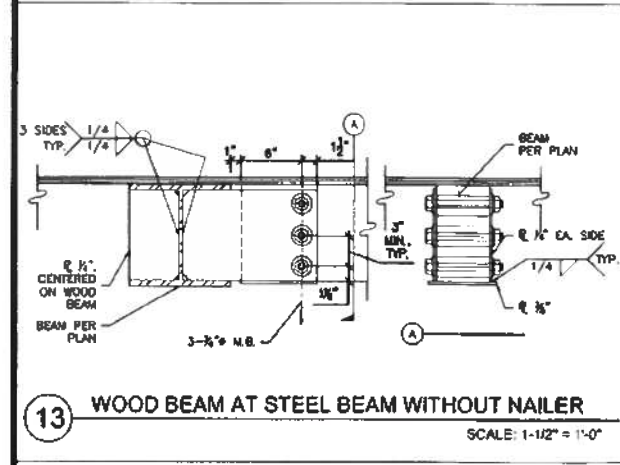
APPROVE
 Dept. of Building Insp.

JUL 26 2016
 Tom C. [Signature]

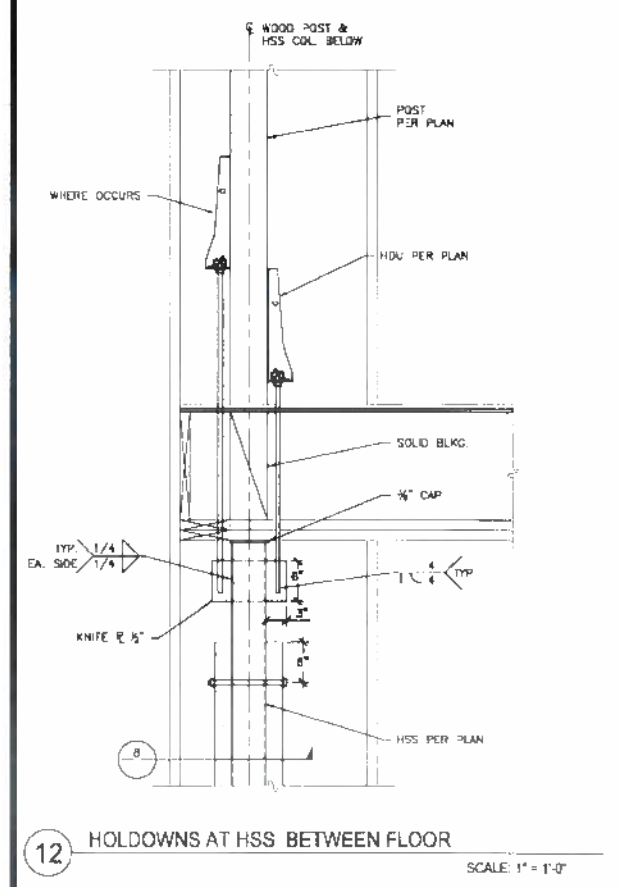
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 Job No. 14-100

Framing Detail III

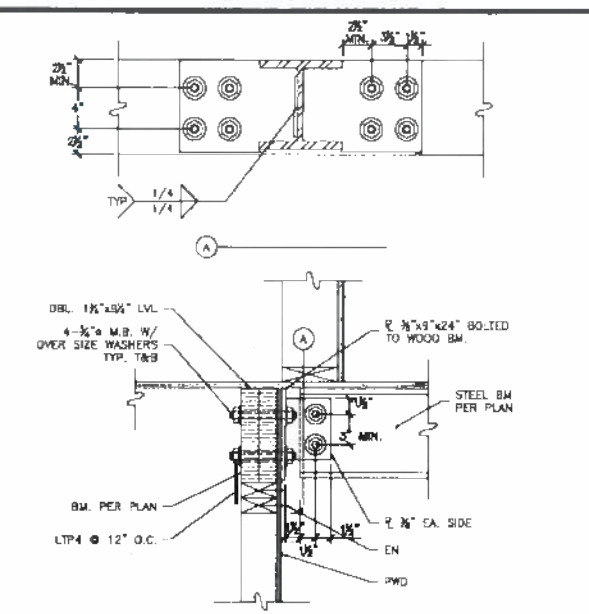
S-4.2



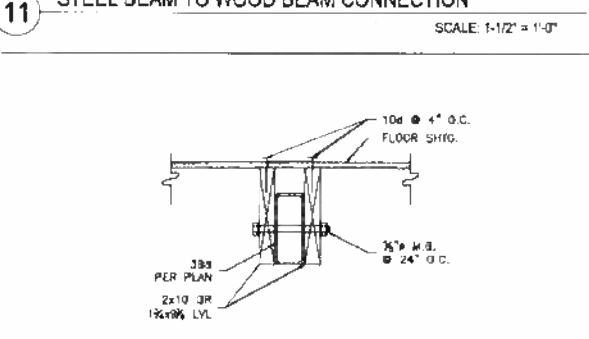
13 WOOD BEAM AT STEEL BEAM WITHOUT NAILER
 SCALE: 1-1/2" = 1'-0"



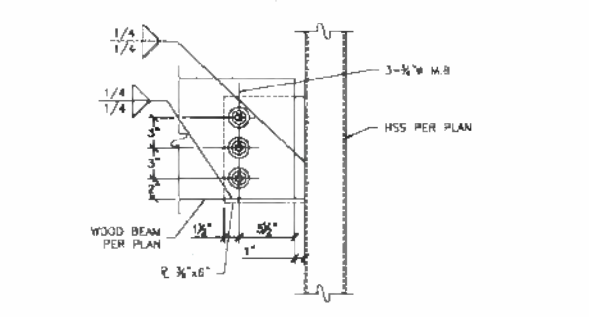
12 HOLD-DOWNS AT HSS BETWEEN FLOOR
 SCALE: 1" = 1'-0"



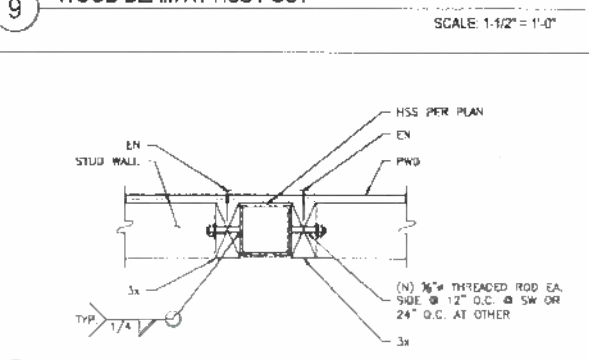
11 STEEL BEAM TO WOOD BEAM CONNECTION
 SCALE: 1-1/2" = 1'-0"



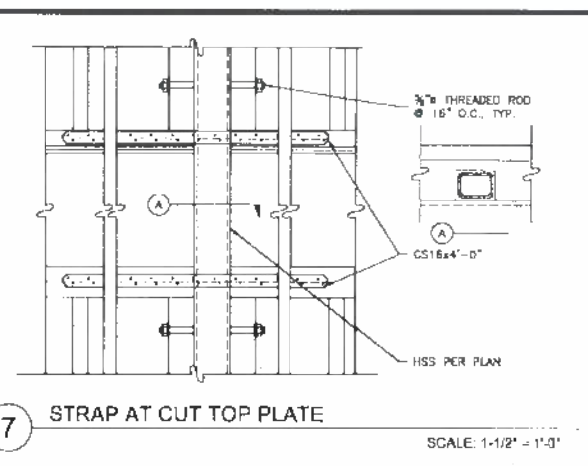
10 DRAG BEAM AT STAIRS
 SCALE: 1-1/2" = 1'-0"



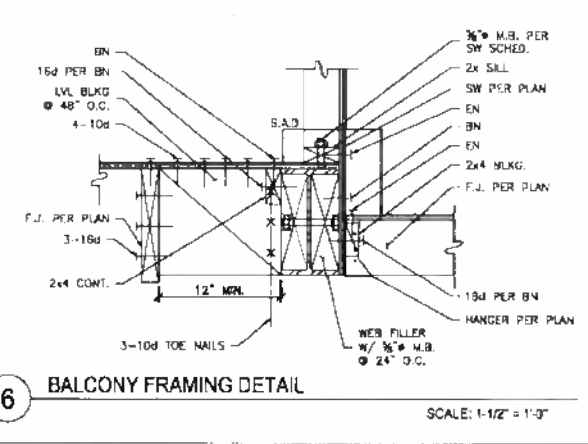
9 WOOD BEAM AT HSS POST
 SCALE: 1-1/2" = 1'-0"



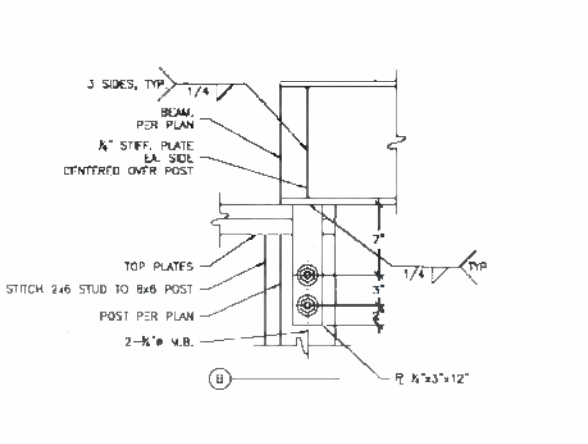
8 HSS AS PWD SW HOLD-DOWN
 SCALE: 1 1/2" = 1'-0"



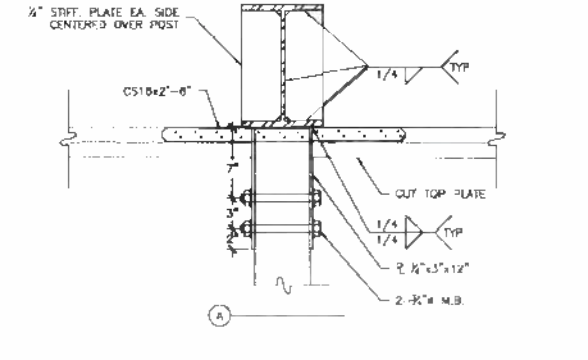
7 STRAP AT CUT TOP PLATE
 SCALE: 1-1/2" = 1'-0"



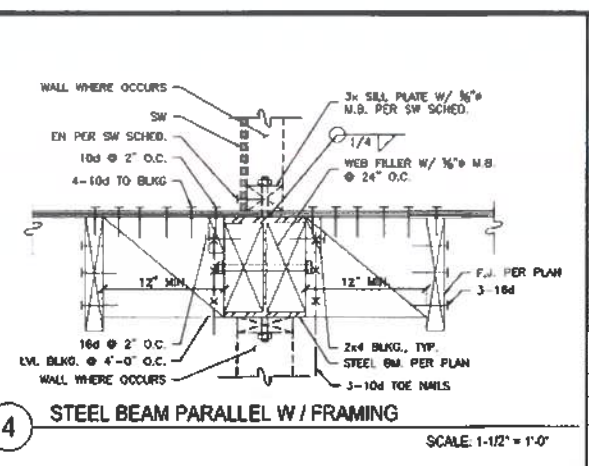
6 BALCONY FRAMING DETAIL
 SCALE: 1-1/2" = 1'-0"



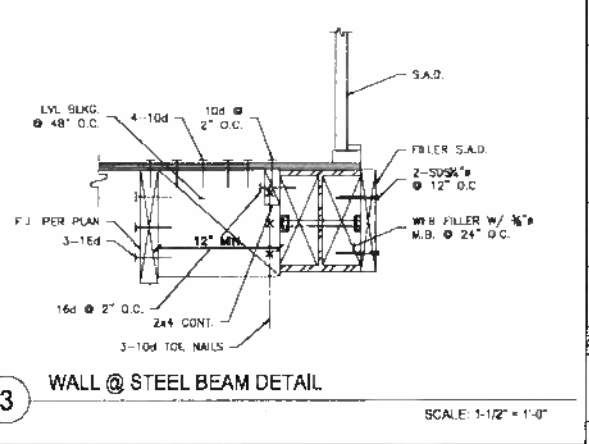
5 STEEL BEAM AT WOOD POST
 SCALE: 1 1/2" = 1'-0"



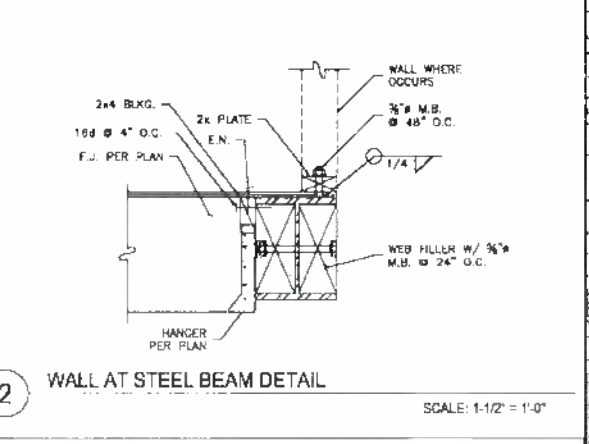
4 STEEL BEAM PARALLEL W/ FRAMING
 SCALE: 1-1/2" = 1'-0"



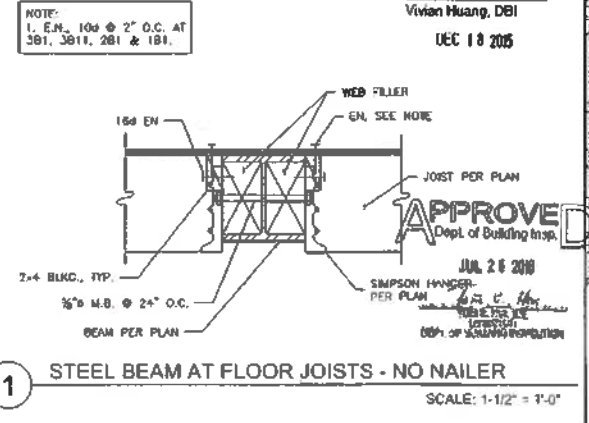
3 WALL @ STEEL BEAM DETAIL
 SCALE: 1-1/2" = 1'-0"



2 WALL AT STEEL BEAM DETAIL
 SCALE: 1-1/2" = 1'-0"



1 STEEL BEAM AT FLOOR JOISTS - NO NAILER
 SCALE: 1-1/2" = 1'-0"



1 STEEL BEAM AT FLOOR JOISTS - NO NAILER
 SCALE: 1-1/2" = 1'-0"

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GREENWICH STREET RESIDENCE

ADDENDUM #
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Issue:	Date:
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Steel With Wood Details

S-5.0



FRAMING NOTES:
MOMENT FRAME BEAM-COLUMN CONNECTIONS SHALL BE REDUCED BEAM SECTION (RBS) CONNECTIONS, IN ACCORDANCE WITH AISC 341-10 AND AISC 358-10. MINIMUM REQUIREMENTS FOLLOW:

1. ALL WELDS SHALL BE PERFORMED IN ACCORDANCE WITH AISC 341-10 APPENDIX W. USED IN MEMBERS AND CONNECTIONS OF THE SEISMIC LOAD RESISTING SYSTEM SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM V-NOTCH (OWN) TOUGHNESS OF 20 FT-LB AT 7° F. SEE BELOW FOR REQUIREMENTS FOR DEMAND-CRITICAL WELDS.

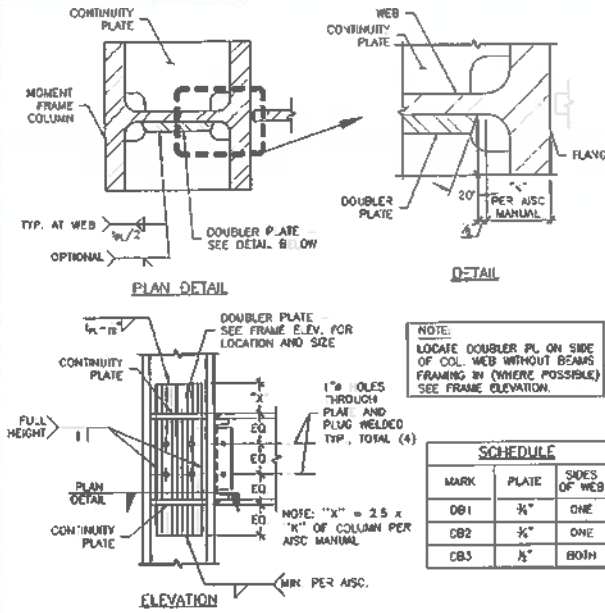
2. THE "PROTECTED ZONE" IS DESIGNATED, IT SHALL COMPLY WITH THE FOLLOWING:
A. WITHIN THE PROTECTED ZONE, DISCONTINUITIES CREATED BY FABRICATION OR ERECTION OPERATIONS, SUCH AS TACK WELDING, ERECTION AIDS, AIR-ARC GROUNDING AND REMOVAL CUTTING SHALL BE REPAIRED AS REQUIRED BY THE ENGINEER OF RECORD.
B. WELDED SHEAR STUDS AND METAL DECKING ATTACHMENTS THAT PENETRATE THE BEAM FLANGE SHALL NOT BE PLACED ON BEAM FLANGES WITHIN THE PROTECTED ZONE. DECKING ARC SPOT WELDS AS REQUIRED TO SECURE DECKING SHALL BE PERMITTED.
C. WELDED, BOLTED, SCREWED OR SHOT-IN ATTACHMENTS FOR PERIMETER ANGLES, EXTERIOR PACKAGES, PARTITIONS, QUIET WORK, PIPING OR OTHER CONSTRUCTION SHALL NOT BE PLACED WITHIN THE PROTECTED ZONE.

3. MAXIMUM INTER-PASS TEMPERATURES SHALL NOT EXCEED 550° F, MEASURED AT A DISTANCE NOT EXCEEDING 3 INCHES FROM THE START OF THE WELD PASS.

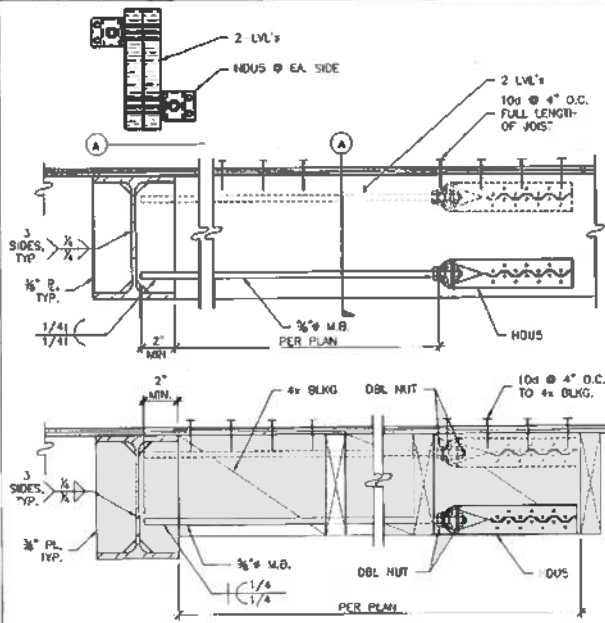
4. NO "WELD DAMPS" ARE ALLOWED.

5. WHERE PRACTICABLE, WELD TABS SHALL EXTEND BEYOND THE EDGE OF THE JOINT A MINIMUM OF 1" OR THE THICKNESS OF THE PART, WHICHEVER IS GREATER. EXTENSIONS NEED NOT EXCEED 2". WHERE USED, WELD TABS SHALL BE REMOVED TO WITHIN 1/8" OF THE BASE METAL SURFACE, EXCEPT AT CONTINUITY PLATES, WHERE REMOVAL TO WITHIN 1" OF THE PLATE EDGE IS ACCEPTABLE, AND THE END OF THE WELD FINISHED. REMOVAL SHALL BE BY AIR CARBON ARC CUTTING, GRINDING, CHIPPING, OR THERMAL CUTTING. THE PROCESS SHALL BE CONTROLLED TO MINIMIZE ORANGE OXIDATION. THE EDGES WHERE WELD TABS HAVE BEEN REMOVED SHALL BE FINISHED TO A SURFACE ROUGHNESS OF 500 MICRO INCHES OR BETTER. GRINDING TO A FLUSH CONDITION IS NOT REQUIRED.

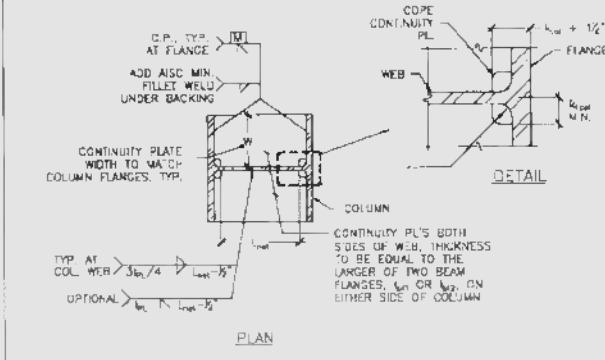
6. BOTTOM FLANGE WELD SEQUENCING USING WELD ACCESS HOLES TO FACILITATE CJP GROOVE WELDS OF BEAM BOTTOM FLANGES TO COLUMN FLANGES OR CONTINUITY PLATES. THE GROOVE WELD SHALL BE SEQUENCED AS FOLLOWS:
A. STARTS AND STOPS SHALL NOT BE PLACED DIRECTLY UNDER THE BEAM WEB.
B. EACH LAYER SHALL BE CIRCLED ACROSS THE FULL WIDTH OF THE FLANGE BEFORE BEGINNING THE NEXT LAYER.
C. FOR EACH LAYER, THE WELD STARTS AND STOPS SHALL BE ON THE OPPOSITE SIDE OF THE BEAM WEB, AS COMPARED TO THE PREVIOUS LAYER.
D. ADDITIONAL WELDING PROVISIONS FOR DEMAND CRITICAL WELDS ONLY:
A. THE FOLLOWING WELDS ARE DEMAND-CRITICAL WELDS:
I. CJP WELDS BETWEEN COLUMNS AND BASE PLATES.
II. CJP WELDS OF BEAM FLANGES TO COLUMN.
III. WELDS OF SHEAR PLATE SHEAR CONNECTOR TO COLUMNS.
IV. WELDS OF BEAM WEBS TO COLUMNS.
V. COLUMN SPICE WELDS.
B. ALL DEMAND-CRITICAL WELDS SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CVN TOUGHNESS OF 20 FT-LB AT 70° F AND 40 FT-LB AT 70° F.
C. WELDING PROCESS SHALL BE LIMITED TO SMAW, GMAW, FCAW, AND SAW.
D. ELECTRODES SHALL BE PROVIDED IN PACKAGING THAT LIMITS THE ABILITY OF THE ELECTRODE TO ABSORB MOISTURE.
E. TESTING AND INSPECTION REQUIREMENTS:
A. INSPECTION POINTS AND FREQUENCIES SHALL BE AS PROVIDED IN THE FOLLOWING TABLES. THE FOLLOWING ENTRIES ARE USED IN THE TABLES:
OBSERVE (O) - THE INSPECTOR SHALL OBSERVE THESE FUNCTIONS ON A RANDOM, DAILY BASIS. WELDING OPERATIONS NEED NOT BE DELAYED PENDING OBSERVATIONS.
PERFORM (P) - THESE INSPECTIONS SHALL BE PERFORMED PRIOR TO THE FINAL ACCEPTANCE OF THE ITEM.
DOCUMENT (D) - THE INSPECTOR SHALL PREPARE REPORTS INDICATING THAT THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. FOR SHOP FABRICATION, THE REPORTS SHALL INDICATE THE PIECE MARK OF THE PIECE INSPECTED. FOR FIELD WORK, THE REPORT SHALL INDICATE THE REFERENCE GRID LINES AND FLOOR OR ELEVATION INSPECTED. WORK NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS AND WHETHER THE NONCOMPLIANCE HAS BEEN SATISFACTORILY REPAIRED SHALL BE NOTED IN THE INSPECTION REPORT.
B. VISUAL INSPECTION OF WELDING SHALL BE THE PRIMARY METHOD USED TO CONFIRM THAT THE PROCEDURES, MATERIALS, AND WORKMANSHIP INCORPORATED IN CONSTRUCTION ARE THOSE THAT HAVE BEEN SPECIFIED AND APPROVED FOR THE PROJECT.
C. REQUIRED NON-DESTRUCTIVE TESTING:
I. X-RAY: WHEN WELDING OF DOUBLER PLATES, CONTINUITY PLATES, OR STIFFENERS HAS BEEN PERFORMED IN THE K-AREA, THE WEB SHALL BE TESTED FOR CRACKS USING MAG PARTICLE TESTING (MT). THE MT INSPECTION AREA SHALL INCLUDE THE K-AREA BASE METAL WITHIN 3" OF THE WELD.
II. CJP GROOVE WELDS: MT SHALL BE PERFORMED ON 100% OF CJP GROOVE WELDS, AND MT SHALL BE PERFORMED ON 25% OF ALL BEAM-TO-COLUMN CJP GROOVE WELDS.
III. RBS SECTION REPAIR: MT SHALL BE PERFORMED ON ALL WELD AND ADJACENT AREA OF THE RBS PLASTIC HINGE REGION THAT HAS BEEN REPAIRED BY WELDING, OR THE BASE METAL OF THE RBS PLASTIC HINGE REGION IF A SHARP NOTCH HAS BEEN REMOVED BY GRINDING.
IV. WELD TAB REMOVAL SITES: MT SHALL BE PERFORMED ON THE ENDS OF WELDS FROM WHICH THE WELD TABS HAVE BEEN REMOVED, EXCEPT FOR CONTINUITY PLATE WELD TABS.



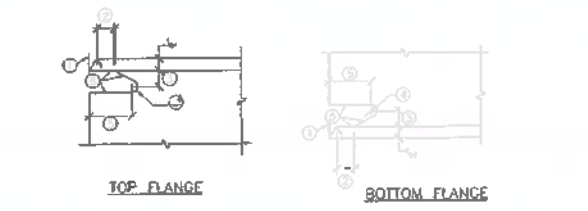
7 WEB DOUBLER PLATE (S.F.R.S.) SCALE: NOT TO SCALE



6 BEAM FLANGE AT (N) CONSTRUCTION SCALE: 1-1/2" = 1'-0"



5 CONTINUITY PLATE (S.F.R.S.) SCALE: NOT TO SCALE



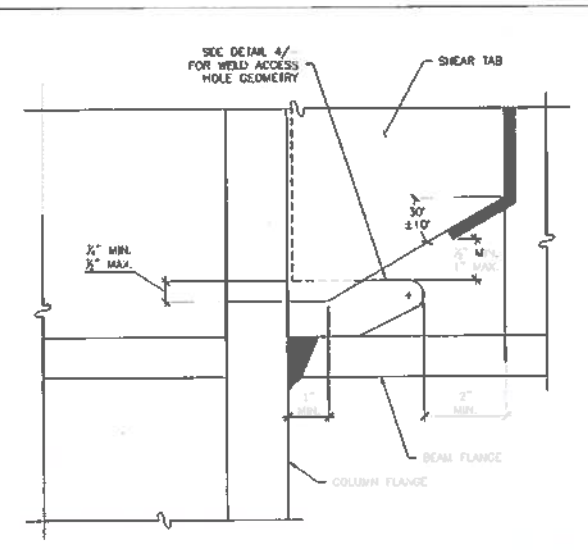
NOTES:
1. BEVEL AS REQUIRED BY AWS D1.1 FOR SELECTED GROOVE WELD PROCEDURE.
2. LARGER OF 1/4" OR 2", (PLUS 1/4", OR MINUS 1/4")
3. 3/8" TO 1/2" MINIMUM (±1/4")
4. 3/8" RADIUS, MIN.
5. 3/8" (±1/4")
6. THE ACCESS HOLE SHALL BE GROUND SMOOTH TO A SURFACE ROUGHNESS VALUE NOT TO EXCEED 500 MICROINCHES, AND SHALL BE FREE OF NOTCHES AND GOUGES. FOR THIS PURPOSE, A NOTCH OR GOUGE IS ANY DEPRESSION DEEPER THAN THE OVERALL SURFACE ROUGHNESS.

NOTCHES OR GOUGES PRESENT FROM THERMAL CUTTING SHALL BE REMOVED BY GRINDING, FAIRED TO A SLOPE OF NOT MORE THAN 1:5 AGAINST A STRAIGHT CUT SURFACE, OR TO A RADIUS OF NOT LESS THAN 1/4" IF IN THE CURVED PORTION OF THE CUT SURFACE. THE DEPTH OF NOTCHES AND GOUGES THAT MAY BE REPAIRED BY GRINDING IS NOT LIMITED, PROVIDED THE REQUIRED DIMENSIONS, INCLUDING TOLERANCES, OF THE ACCESS HOLE ARE MAINTAINED.

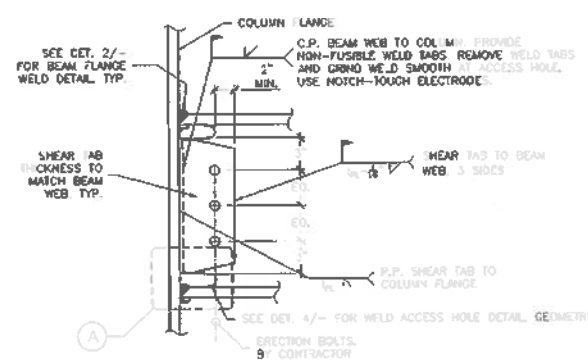
NOTCHES DEEPER THAN CAN BE REPAIRED BY GRINDING (AS ABOVE) MAY BE REPAIRED BY WELDING. PRIOR TO WELDING, THE NOTCH OR GOUGE SHALL BE GROUND TO PROVIDE A SMOOTH CONTOUR WITH A RADIUS NOT LESS THAN 1/4". THE REPAIR AREA SHALL BE PREHEATED TO A TEMPERATURE BETWEEN 400° F AND 550° F, MEASURED AT THE POINT OF WELDING IMMEDIATELY PRIOR TO WELDING. FILLER METAL MEETING THE REQUIREMENTS FOR SEISMIC WELD DEMAND CATEGORIES A AND B SHALL BE USED. A WRITTEN REPAIR WPS FOR THE APPLICATION SHALL BE FOLLOWED. FOLLOWING COMPLETION OF WELDING, THE AREA SHALL BE GROUND SMOOTH AND FLUSH TO MEET THE CONTOUR AND FINISH REQUIREMENTS FOR THE ACCESS HOLES, WITH FAIRING OF THE WELDING SURFACE TO ADJOINING SURFACES.

PRIOR TO ACCEPTANCE, THE WELD ACCESS HOLE SHALL BE INSPECTED USING MAGNETIC PARTICLE TESTING (MT) OR LIQUID PENETRANT TESTING (LPT) AND SHALL BE FREE OF CRACKS. IF A WELDED REPAIR HAS BEEN PERFORMED, MAGNETIC PARTICLE TESTING (MT) SHALL BE PERFORMED.

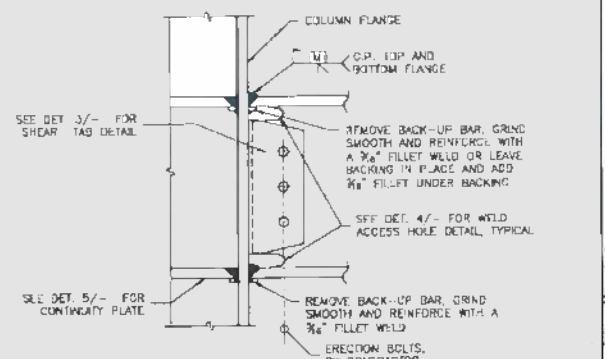
4 WELD ACCESS HOLE (S.F.R.S.) SCALE: NOT TO SCALE



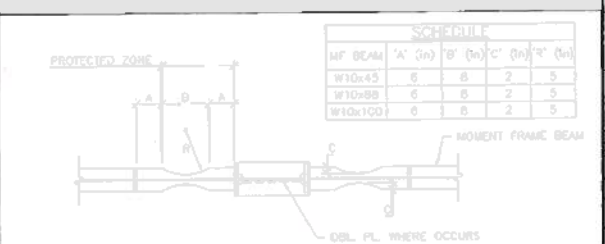
3 SHEAR TAB WELD (S.F.R.S.) SCALE: NOT TO SCALE



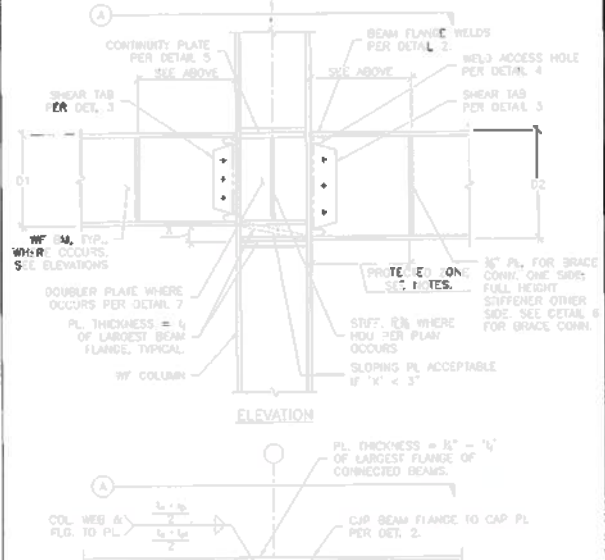
2 BEAM FLANGE WELD (S.F.R.S.) SCALE: NOT TO SCALE



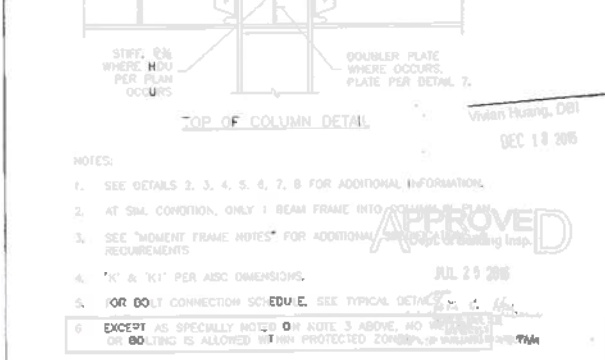
1 RBS-W BEAM TO COLUMN BEAM MOMENT CONNECTION (S.L.F.R.S.) SCALE: 3/4" = 1'-0"



9 MOMENT FRAME NOTES SCALE: NOT TO SCALE



8 COLUMN SPLICE (S.F.R.S.) SCALE: NOT TO SCALE



9 MOMENT FRAME NOTES SCALE: NOT TO SCALE

FTF ENGINEERING, INC.
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San Francisco, CA 94115
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ADDENDUM #
NOV 13 2015
SITE PERMIT ADDENDUM
CONSTRUCTION OF

**GREENWICH STREET
RESIDENCE**
1283 Greenwich Street
San Francisco, CA 94109



Name: _____ Date: _____
Schematic Design: 06.03.2014
CD Construction: 08.13.2015
Building Permit Set: 11.06.2015

Scale: AS NOTED
Job No. 14-100

Moment Frame
Details
S-6.0

APPROVED
JUL 23 2015

HTF
 ENGINEERING

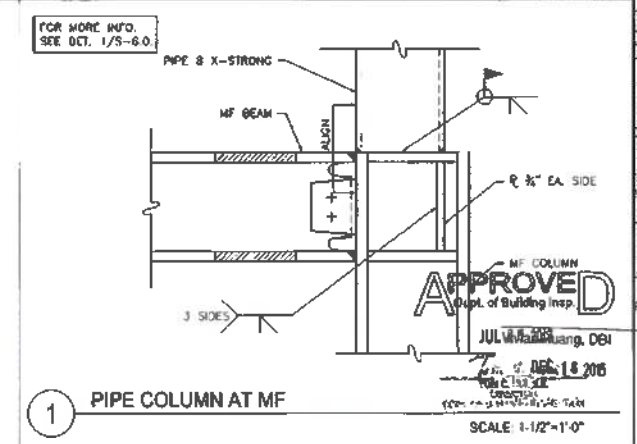
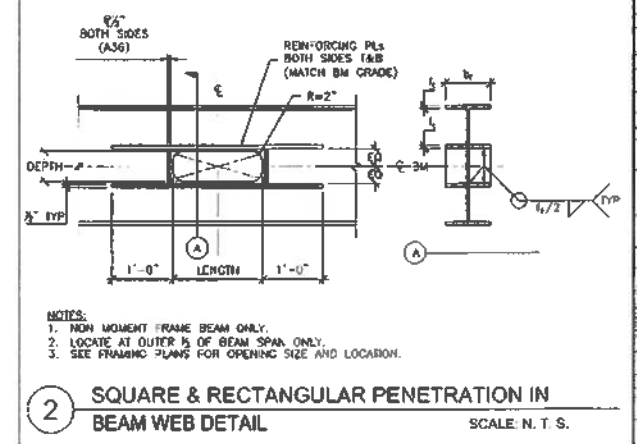
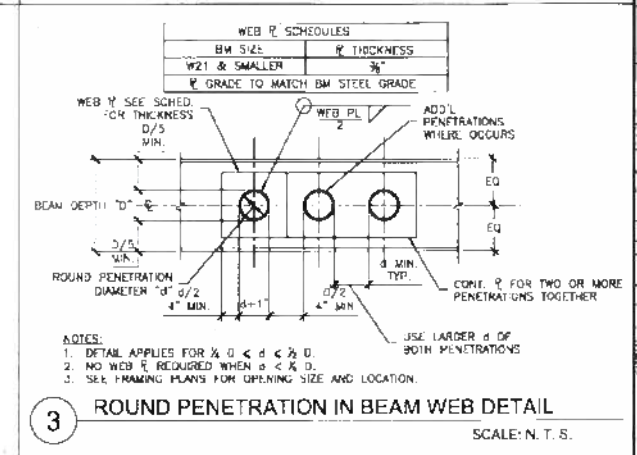
HTF ENGINEERING, INC
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**GREENWICH STREET
 RESIDENCE**

ADDENDUM #
 NOV 12 2015

SITE PERMIT ADDENDUM FOR
 CONSTRUCTION OF

1283 Greenwich Street
 San Francisco, CA 94109



Issue:	Date:
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015

Scale: AS NOTED
 Job No. 14-100

Steel Details II

S-6.2

GENERAL NOTES

- CONTRACTOR SHALL VISIT JOB SITE, VERIFY FIELD CONDITIONS, REVIEW PLAN AND SPECIFICATIONS AND INCLUDE IN HIS PRICE THE NECESSARY COST TO CONSTRUCT THIS PROJECT IN ACCORDANCE WITH THE MECHANICAL DRAWINGS AND SHALL MEET ALL APPLICABLE CODES AND REGULATIONS.
- ALL MATERIALS AND EQUIPMENT FURNISHED AND INSTALLED SHALL BE NEW, FREE FROM DEFECTS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER. THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIAL AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.
- CONTRACTOR IS TO REVIEW THE PLANS OF OTHER DISCIPLINES AND COORDINATE WITH THE WORK OF OTHER TRADES PRIOR TO INSTALLATION. TO AVOID ANY CONFLICT BETWEEN DUCTS, CONDUITS, SPRINKLERS, PIPING, LIGHTING FIXTURES, ETC. NO EXTRAS WILL BE ALLOWED FOR CORRECTION OF CONFLICTS DUE TO LACK OF COORDINATION.
- THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION OF PIPING, DUCT WORK OR DIFFUSERS.
- THE CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCY OR CONFLICTS IN THE PLANS OR THE SITE CONDITIONS. ALL NECESSARY CHANGES MUST BE APPROVED IN WRITING BY THE ARCHITECT BEFORE START OF WORK.
- CONTRACTOR TO SUBMIT CATALOG CUT SHEETS OF ALL THE MATERIAL AND EQUIPMENT TO BE USED AND WORKING SHOP DRAWINGS FOR APPROVAL BEFORE START OF WORK.
- SUPPORTS FOR ALL PIPING AND DUCTWORK SHALL BE IN ACCORDANCE WITH LATEST SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING SYSTEMS" AND UMC.
- CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THE WORK.
- MHC ENGINEERS SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND PERFORMANCE OF ANY EXISTING WORK TO REMAIN.
- GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 & SFMC 802.8.2. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
- GAS VENTS SHALL BE A MINIMUM OF 4 FT. FROM THE PROPERTY LINE.
- ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.
- DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC 504.2 AND COMPLY WITH CMC TABLE 403.7.
- DIRECT VENT APPLIANCES PER CMC 802.2.4 (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS) AND SFMC 802.6.2.

HVAC GENERAL NOTES

- VERIFY EXACT SIZE AND LOCATION OF OPENINGS THROUGH BEAMS, CONCRETE WALLS AND SLABS WITH STRUCTURAL ENGINEER, PRIOR TO INSTALLATION OR PURCHASE.
- SEAL ALL AIR PLENUMS, DUCT SHAFTS AND PENETRATIONS AIRTIGHT.
- FLEX DUCTS MAY BE USED IN BETWEEN JOISTS AND AT CONNECTION TO DIFFUSERS. FLEX DUCT SHALL BE LISTED AND LABELED UMC 10-1 (UL 181).
- SEE STRUCTURAL DRAWINGS FOR MINIMUM DISTANCE BETWEEN PIPE SLEEVES AND OTHER PENETRATIONS OF STRUCTURAL SLABS AND WALLS.
- PROVIDE NECESSARY TRANSITION PIECES UNDER BEAMS TO AVOID CONFLICT WITH CEILING, LIGHTS, PIPING, ETC. AS REQUIRED.
- ALL EXHAUST AND SUPPLY AIR DUCTWORK SHALL BE SHEET METAL.
- ALL SEAMS AND CONNECTIONS IN DUCTWORK AND INSULATION SHALL BE SEALED PER SMACNA STANDARD.
- ALL MATERIALS AND EQUIPMENT INSTALLED ABOVE CEILING SHALL BE NON-COMBUSTIBLE AND U.L. APPROVED. ALL WIRING SHALL BE NON-COMBUSTIBLE OR SHALL BE ENCLOSED IN METAL CONDUIT.
- CONTRACTOR SHALL COORDINATE WITH ARCHITECT BEFORE PURCHASING DIFFUSERS AND REGISTERS TO VERIFY SIZE, TYPE AND FINISH. COORDINATE LOCATIONS WITH LIGHTING AND REFLECTED CEILING PLANS.
- COMBUSTION AIR DUCTS WILL TERMINATE WITHIN THE UPPER 12" OF THE ENCLOSURE AND THE LOWER OPENING IS WITHIN THE LOWER 12" OF THE ENCLOSURE.
- LINING MATERIALS INSTALLED WITHIN DUCTS TO HAVE MOLD, HUMIDITY, AND EROSION RESISTANT SURFACE THAT MEETS THE REQUIREMENTS OF 2013 CMC 605.0.
- INSULATION MATERIALS SHALL HAVE A FLAME SPREAD OF NOT MORE THAN 25 AND SMOKE DEVELOPED NOT EXCEEDING 50 WHEN TESTED AS A COMPOSITE INSTALLATION PER 2013 CMC 605.0.

KITCHEN NOTES

- GREASE DUCT MATERIALS. GREASE DUCTS AND PLENUMS SERVING A TYPE I HOOD SHALL BE CONSTRUCTED OF AT LEAST 0.055-INCH THICK (1.40MM) (NO. 16 MANUFACTURER'S STANDARD GAGE) STEEL OR STAINLESS AT LEAST 0.044 INCH (1.09MM) IN THICKNESS PER UMC 507.3.
- JOINTS AND SEAMS OF GREASE DUCTS. JOINTS AND SEAMS SHALL BE MADE WITH A CONTINUOUS LIQUID-TIGHT WELD OR BRAZE MADE ON THE EXTERNAL SURFACE OF THE DUCT SYSTEM PER UMC 507.3.2.
- GREASE DUCT SUPPORTS. DUCT BRACING AND SUPPORTS SHALL BE OF NONCOMBUSTIBLE MATERIAL, SECURELY ATTACHED TO THE STRUCTURE AND DESIGNED TO CARRY GRAVITY AND LATERAL LOADS WITHIN THE STRESS LIMITATIONS OF THE BUILDING CODE (FOR DSAVS, OSHPD 1.4.2) OR CALIFORNIA BUILDING CODE. BOLTS, SCREWS, RIVETS AND OTHER MECHANICAL FASTENERS SHALL NOT PENETRATE DUCT WALLS PER UMC 507.3.3.

4. CLEANOUTS AND OTHER OPENINGS. GREASE DUCT SYSTEMS SHALL NOT HAVE OPENINGS THEREIN OTHER THAN THOSE REQUIRED FOR PROPER OPERATION AND MAINTENANCE OF THE SYSTEM. ANY PORTION OF SUCH SYSTEM HAVING SECTIONS UNACCESSIBLE FROM THE DUCT ENTRY OR DISCHARGE SHALL BE PROVIDED WITH ADEQUATE CLEANOUT OPENINGS. CLEANOUT OPENINGS SHALL BE EQUIPPED WITH TIGHT-FITTING DOORS CONSTRUCTED OF STEEL HAVING A THICKNESS NOT LESS THAN THAT REQUIRED FOR THE DUCT. DOORS SHALL BE EQUIPPED WITH A SUBSTANTIAL METHOD OF LATCHING, SUFFICIENT TO HOLD THE DOOR TIGHTLY CLOSED. DOORS SHALL BE SO DESIGNED THAT THEY CAN BE OPENED WITHOUT THE USE OF A TOOL PER UMC 507.5.

5. DUCT ENCLOSURE. A GREASE DUCT SERVING A TYPE I HOOD WHICH PENETRATES A CEILING, WALL OR FLOOR SHALL BE ENCLOSED IN A DUCT ENCLOSURE FROM A POINT OF PENETRATION A DUCT MAY ONLY PENETRATE EXTERIOR WALLS AT LOCATIONS WHERE UNPROTECTED OPENINGS ARE PERMITTED BY THE BUILDING CODE. DUCT ENCLOSURES SHALL BE AT LEAST ONE-HOUR FIRE-RESISTIVE CONSTRUCTION IN ALL BUILDINGS AND SHALL BE OF TWO-HOUR FIRE-RESISTIVE CONSTRUCTION IN TYPES I AND II FIRE-RESISTIVE BUILDINGS. THE DUCT ENCLOSURE SHALL BE SEALED AROUND THE DUCT AT THE POINT OF PENETRATION AND VENTED TO THE EXTERIOR THROUGH WEATHER-PROTECTED OPENINGS. THE ENCLOSURE SHALL BE SEPARATED FROM THE DUCT BY AT LEAST 6 INCHES FOR NONCOMBUSTIBLE OR LIMITED-COMBUSTIBLE CONSTRUCTION AND NOT LESS THAN 18 INCHES FOR COMBUSTIBLE CONSTRUCTION PER CMC 510.7.2.3.

6. FIRE-RESISTIVE ACCESS OPENING. PROVIDE CLEANOUT OPENINGS LOCATED IN DUCTS WITHIN A FIRE-RESISTIVE SHAFT OR ENCLOSURE. ACCESS OPENINGS SHALL BE PROVIDED IN THE SHAFT OR ENCLOSURE AT EACH CLEANOUT POINT. THESE ACCESS OPENINGS SHALL BE EQUIPPED WITH TIGHT-FITTING SLIDING OR HINGED DOORS WHICH ARE EQUAL IN FIRE-RESISTIVE PROTECTION TO THAT OF THE SHAFT OR ENCLOSURE PER CMC 510.3.4.4.

7. AIR VELOCITY. GREASE DUCT SYSTEMS SERVING A TYPE I HOOD SHALL HAVE AN AIR VELOCITY WITHIN THE DUCT SYSTEM OF NOT LESS THAN 500 FEET PER MINUTE AND NOT TO EXCEED 2,500 FEET PER MINUTE PER CMC 511.2.1.

8. CLEARANCES. EXPOSED GREASE DUCT SYSTEMS SERVING A TYPE I HOOD SHALL HAVE A CLEARANCE OF AT LEAST EIGHTEEN (18) INCHES (457mm) TO COMBUSTIBLE MATERIAL, THREE (3) INCHES (76mm) TO LIMITED-COMBUSTIBLE MATERIAL, AND ZERO (0) INCHES (0 mm) TO NON-COMBUSTIBLE CONSTRUCTION PER PER CMC 507.2.

9. EXHAUST OUTLETS. EXHAUST OUTLETS FOR GREASE DUCTS SERVING COMMERCIAL FOOD HEAT-PROCESSING EQUIPMENT SHALL EXTEND THROUGH THE ROOF UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. SUCH EXTENSION SHALL BE AT LEAST 40 INCHES ABOVE THE ROOF SURFACE, AT LEAST 10 FEET FROM PARTS OF THE SAME OR CONTIGUOUS BUILDING, ADJACENT PROPERTY LINE OR AIR INTAKE OPENING INTO ANY BUILDING, AND SHALL BE LOCATED AT LEAST 10 FEET ABOVE THE ADJOINING GRADE LEVEL PER CMC 510.8.2.

10. DUCT SYSTEMS SERVING A TYPE I HOOD SHALL BE SO CONSTRUCTED AND INSTALLED THAT GREASE CANNOT BECOME POCKETED IN ANY PORTION THEREOF, AND THE SYSTEM SHALL SLOPE NOT LESS THAN 1/4 INCH VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) TOWARD THE HOOD OR TOWARD AN APPROVED GREASE RESERVOIR. A VERTICAL DISCHARGE FAN SHALL BE MANUFACTURED WITH AN APPROVED DRAIN OUTLET AT THE BOTTOM OF THE HOUSING TO PERMIT DRAINAGE OF GREASE TO AN APPROVED COLLECTION DEVICE.

SUBSTITUTIONS

A. BRAND OR TRADE NAMES ARE USED TO ESTABLISH MINIMUM STANDARDS OF QUALITY AND PERFORMANCE ONLY. PRODUCTS OF OTHER MANUFACTURERS MAY BE SUBSTITUTED ONLY WITH WRITTEN APPROVAL OF THE OWNER. SUBSTITUTE PRODUCTS SHALL HAVE PERFORMANCE AND MATERIAL CHARACTERISTICS EQUAL TO OR BETTER THAN THOSE SPECIFIED AND/OR SCHEDULED.

B. APPROVAL OF A SUBSTITUTION DOES NOT AUTHORIZE ANY DEVIATION FROM THE UTILITY, SIZE, OR FUNCTION OF THE SPECIFIED ITEM, UNLESS SPECIFICALLY POINTED OUT AND APPROVAL IS REQUESTED IN THE LETTER OF SUBMITTAL. RESPONSIBILITY FOR CONFLICTS DUE TO SPACE LIMITATIONS IS NOT RELIEVED BY APPROVAL OF A SUBSTITUTION. IF REVISION OF WIRING, PIPING, OR ARRANGEMENT OF OTHER EQUIPMENT IS REQUIRED BECAUSE OF A SUBSTITUTION, SUCH REVISIONS SHALL BE ACCOMPLISHED AT NO CHARGE IN CONTRACT COST. SUBMIT SHOP DRAWINGS OF ALL REVISIONS TO THE ARCHITECT/ENGINEER/OWNER FOR APPROVAL.

C. UNLESS OTHERWISE SHOWN OR SPECIFIED, ALL MATERIAL SHALL BE NEW, FULL WEIGHT, STANDARD, OF THE BEST QUALITY OF ITS KIND, AND SATISFACTORY TO THE ARCHITECT AND ENGINEER.

HVAC LEGEND

SYMBOL	DESCRIPTION
	M DUCT SIZE (DIAMETER)
	- DUCT SIZE (WIDTH x DEPTH)
	RA/EXH/TF RETURN AIR / EXHAUST AIR / TRANSFER AIR @ DENOTES DIFFUSER TYPE # DENOTES CFM
	SA/OA SUPPLY AIR / OUTDOOR AIR @ DENOTES DIFFUSER TYPE # DENOTES CFM
	- EQUIPMENT TAG

TAG	MAKE	MODEL	NOMINAL TONS @ ARI	COOLING CAP.		ELECTRICAL				TOTAL INPUT WATTS	DIMENSIONS HxWxD	NET WEIGHT LBS	LOCATION	REMARKS
				TOT MBH	MBH	V	PH	HZ	MCA					
CU1	DAIKIN	FXZ-8B4BN	4	4800	N/A	230	1	60	32	5780	53 1/2" x 37 1/2" x 13 1/2"	278	ROOF	1,2
CU2	DAIKIN	FXZ-8B4BN	4	4800	N/A	230	1	60	32	5780	53 1/2" x 37 1/2" x 13 1/2"	278	ROOF	1,2

1. PROVIDE DISCONNECT SWITCH AND CONVENIENCE OUTLET

TAG	MAKE	MODEL	FAN DATA CFM	COOLING CAP.		ELECTRICAL				DIMENSIONS HxWxD	NET WEIGHT LBS	LOCATION		REMARKS
				TOT MBH	MBH	V	PH	HZ	MCA			FLOOR	ROOM	
FC 1-1	DAIKIN	SEZ-KD09NA4.TH	317	8100	N/A	230	1	60	0.9	7 1/8" x 27 1/2" x 24 1/2"	51	8	WINE ROOM 006	1,2
FC 1-2	DAIKIN	SEZ-KD09NA4.TH	317	8100	N/A	230	1	60	0.9	7 1/8" x 27 1/2" x 24 1/2"	51	1	BATH 110	1,2
FC 1-3	DAIKIN	SEZ-KD09NA4.TH	317	8100	N/A	230	1	60	0.9	7 1/8" x 27 1/2" x 24 1/2"	51	1	DINING LOUNGE 101	1,2
FC 1-4	DAIKIN	SEZ-KD09NA4.TH	317	8100	N/A	230	1	60	0.9	7 1/8" x 27 1/2" x 24 1/2"	51	2	LAUNDRY 206	1,2
FC 2-1	DAIKIN	SEZ-KD12NA4.TH	368	11500	N/A	230	1	60	0.9	7 1/8" x 27 1/2" x 29"	90	2	MASTER CLOSET 202	1,2
FC 2-2	DAIKIN	SEZ-KD12NA4.TH	368	11500	N/A	230	1	60	0.9	7 1/8" x 27 1/2" x 29"	90	3	DINING AREA 304	1,2
FC 2-3	DAIKIN	SEZ-KD12NA4.TH	635	17200	N/A	230	1	60	0.9	7 1/8" x 27 1/2" x 40 1/2"	62	3	DINING AREA 304	1,2

1. COMPLETE WITH FILTER, DISCONNECT, FLEX CONNECTIONS, VIBRATION ISOLATOR
2. RUN FCU POWER FROM ASSOCIATED CONDENSING UNIT

TAG	MAKE	MODEL	CFM	S.P. (ft)	ELECTRICAL				DIMENSIONS HxWxD OR DIAxH	WEIGHT (LBS)	LOCATION	FLOOR	REMARKS
					V	PH	HZ	WATTS					
EF1	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	POWDER 005	8	1,2
EF2	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	MECH. 002	8	1,3
EF3	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	BATH 110	1	1,2
EF4	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	BATH 106	1	1,3
EF5	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	POWDER 107	1	1,2
EF6	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	BATH 207	2	1,2
EF7	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	LAUNDRY 206	2	1,2
EF8	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	BATH 210	2	1,3
EF9	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	MASTER BATH 204	2	1,2
EF10	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	TOILET 203	2	1,2
EF11	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	POWDER 305	3	1,2
EF12	PANASONIC	FV-08VQC5	80	0.10	120	1	60	15.8	16 1/2" x 14 1/2" x 11 1/2"	12.6	WETBAR 007	8	1,2

1. COMPLETE WITH DISCONNECT, FLEX CONNECTIONS, VIBRATION ISOLATOR
2. FAN TO BE RUN CONTINUOUSLY
3. FAN TO BE RUN CONTINUOUSLY

TAG	MAKE	MODEL	DIMENSIONS	MAX CFM	REMARK
SAG1	TITUS	FL-10	4"	220	1-SLOT
SAG2	TITUS	FL-10	4"	400	2-SLOT
SAG3	ARCHITECTURAL	GRILLE	208	12"x6"	1/2" BY 1/2" BAR
RAG1	TITUS	MLR-30	4"	624	5-SLOT
RAG2	ARCHITECTURAL	GRILLE	208	20"x8"	1/2" BY 1/2" BAR
RAG3	TITUS	MLR-30	2"	332	6-SLOT

RECEIVED
FEB 17 2015
DEPT. OF BUILDING
THIS PLAN SHEET IS IN
STANDARD FOR ADOPTED
MHC ENGINEERS
1283 GREENWICH STREET
SAN FRANCISCO, CA 94109
415.774.9979

1283 GREENWICH ST.
1283 GREENWICH STREET
SAN FRANCISCO, CA 94109

MECHANICAL GENERAL
NOTES, LEGENDS, DETAILS,
SCHEDULES, AND PLANS

Peter Tan, DBI
FEB 12 2015

APPROVED
Dept. of Building Insp

JUL 25 2015
J. Tan
1283 GREENWICH STREET
SAN FRANCISCO, CA 94109



DATE	12.15.2015
ISSUE	01.25.2016
PLAN CHECK/RESP	
DATE	
ISSUE	
PLAN CHECK/RESP	
DATE	
ISSUE	
PLAN CHECK/RESP	

M.O.

RADIANT FLOOR BOILER

MODEL	TANK CAPACITY GALLONS	HEATING CAP. BTU	ENERGY FACTOR	DIMENSIONS HxW	NET WEIGHT LBS	LOCATION	REMARKS
GPVX-50	50	62000	0.7	61 1/4 X 24 1/2	212	MECHANICAL ROOM	1, 2, 3, 4

1. PROVIDE WITH DISCONNECT.
 2. PROVIDE WITH BALL VALVES AT HIWSR AND GAS LINES.
 3. PROVIDE WITH CONDENSATE NEUTRALIZER KIT AND DRAIN TO FLOOR DRAIN.
 4. PROVIDE WITH TEMPERATURE AND PRESSURE RELIEF VALVE AND DRAIN TO FLOOR DRAIN.

MANIFOLD

TAG	MAKE	MODEL	QTY	NOMINAL TRUNK SIZE	NUMBER OF LOOPS	MAX TRUNK FLOW (GPM)	MAX OPERATING PRESSURE PSI (@ 176°F)	REMARKS
MF1	WATTS	D3803002SS-KIT	1	1	2	12.0	87.0	1,2
MF2	WATTS	D3803003SS-KIT	1	1	3	12.0	87.0	1,2
MF3	WATTS	D3803003SS-KIT	1	1	3	12.0	87.0	1,2
MF4	WATTS	D3803002SS-KIT	1	1	2	12.0	87.0	1,2
MF5	WATTS	D3803003SS-KIT	1	1	3	12.0	87.0	1,2

1. INSTALLATION LOCATION TO BE PROVIDED WITH ACCESS PANEL FOR SERVICE.
 2. BALANCE SYSTEM AT BALANCING VALVES PROVIDED AT MANFOLD.

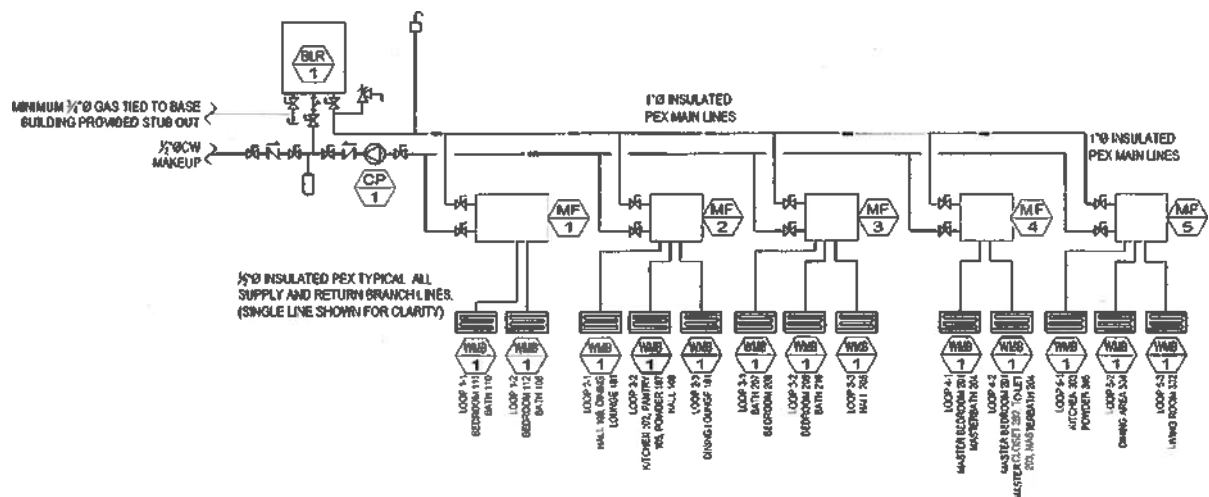
CIRCULATION PUMP

TAG	MAKE	MODEL	GPM	FEET OF HEAD	ELECTRICAL			LOCATION	REMARKS
					V	PH	HZ		
CP1	GRUNDFOS	UPS40-240	26	48	230	1	60	MECHANICAL ROOM	1

1. PROVIDE WITH DISCONNECT, ISOLATION BALL VALVES.

RADIANT TUBING LOOP LENGTH

ZONE	LOOP	LENGTH
ZONE 1	1-1	158
	1-2	193
ZONE 2	2-1	303
	2-2	225
	2-3	276
ZONE 3	3-1	225
	3-2	242
	3-3	184
ZONE 4	4-1	285
	4-2	237
ZONE 5	5-1	214
	5-2	231
	5-3	231



1 RADIANT SCHEMATIC DIAGRAM
 MO.1 SCALE: 1/8"

RECEIVED
 FEB 12 2016
 DEPT OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR MICROFILMING

MHC ENGINEERS
 ARCHITECTS
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109
 PH: 415.774.1237

1283 GREENWICH ST.
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109

**MECHANICAL DETAILS AND
 SCHEDULES**

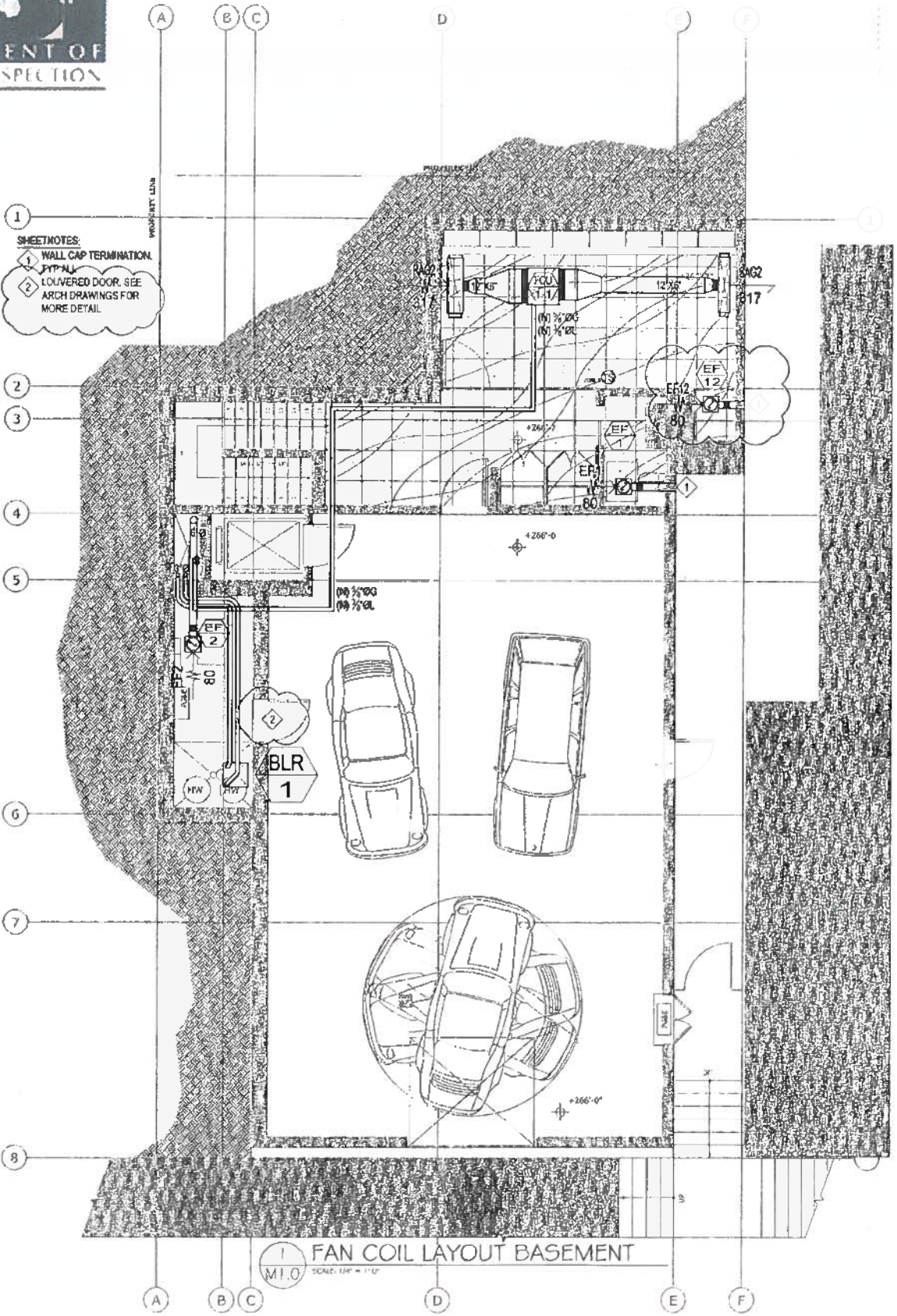


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 Dept. of Building Inspection

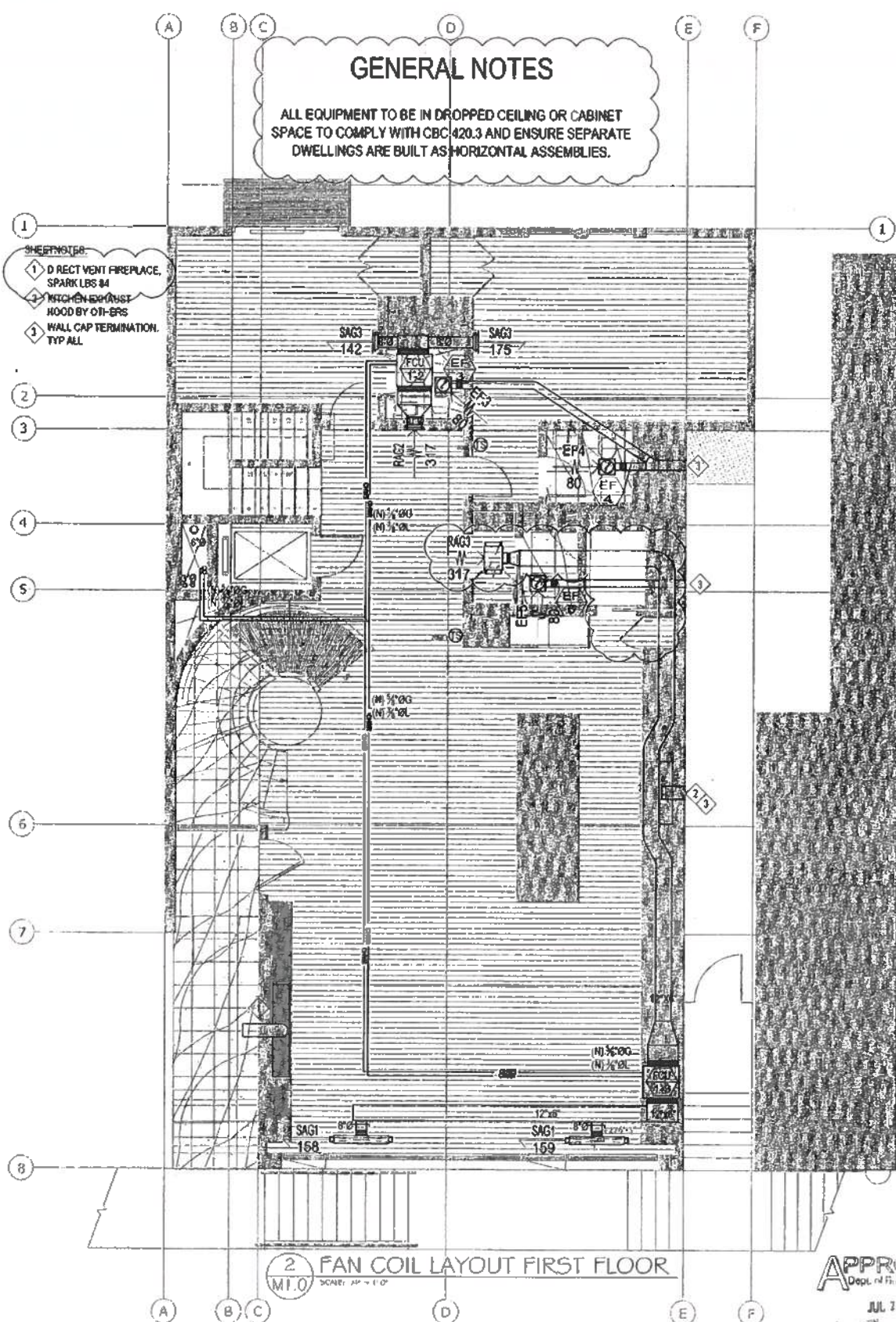
JUL 25 2016
 AS NOTED
 T.M.
 100% OF WORK REVIEWED

04/23/2016
 AS NOTED
 ZTSB0
 MHC-0415-000

MO.1



1 FAN COIL LAYOUT BASEMENT
 M1.0 SCALE: 1/4" = 1'-0"



2 FAN COIL LAYOUT FIRST FLOOR
 M1.0 SCALE: 1/4" = 1'-0"

GENERAL NOTES
 ALL EQUIPMENT TO BE IN DROPPED CEILING OR CABINET SPACE TO COMPLY WITH CBC 420.3 AND ENSURE SEPARATE DWELLINGS ARE BUILT AS HORIZONTAL ASSEMBLIES.

RECEIVED
 FEB 12 2015
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY STANDARDS FOR MECHANICAL ENGINEERING
 PETER TAN, DBI

1283 GREENWICH ST.
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109

MECHANICAL COOLING
 PLAN - BASEMENT AND
 FIRST FLOOR

Peter Tan, DBI
 FEB 12 2015

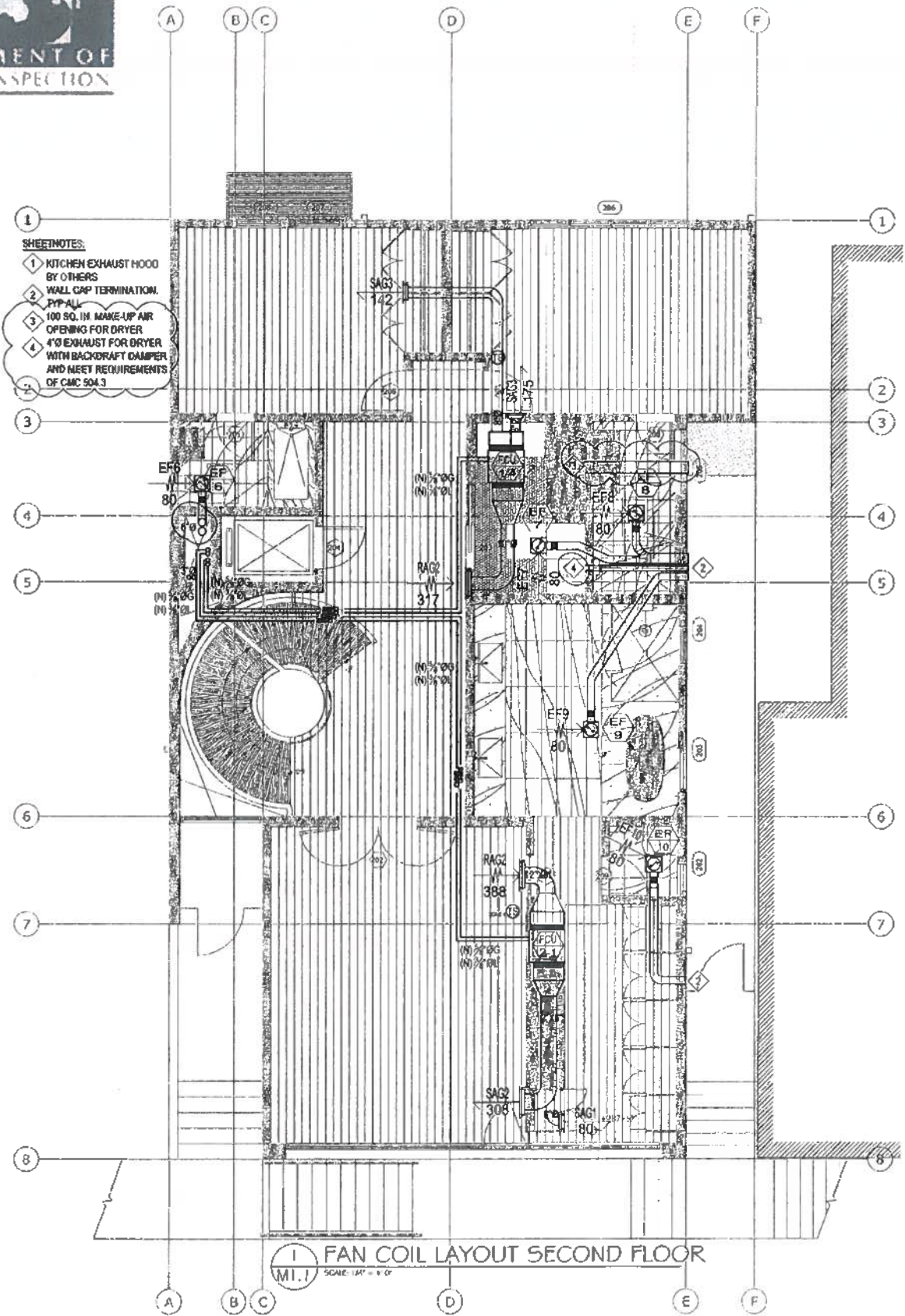
APPROVED
 Dept. of Building Inspection



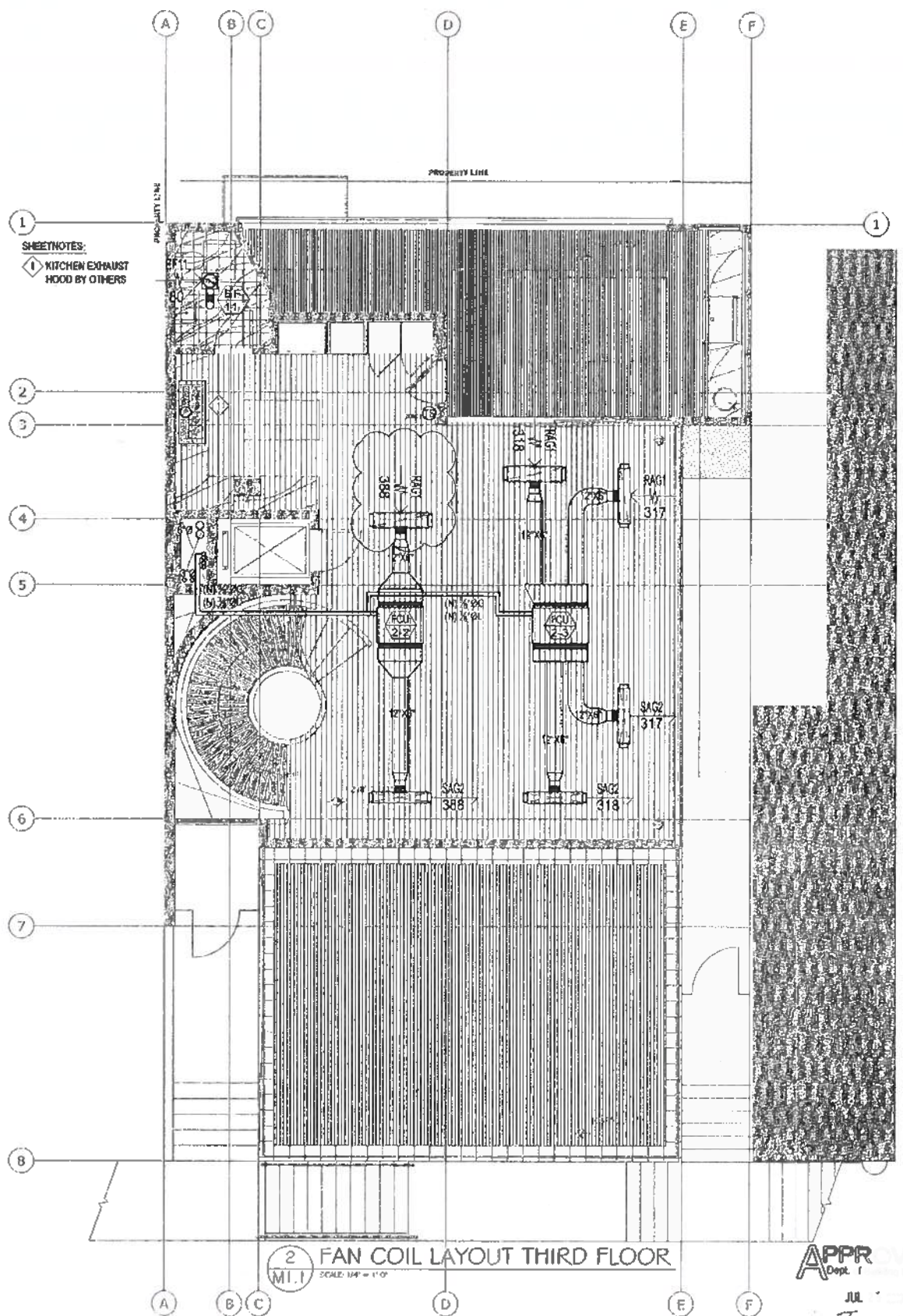
01/20/2015
 AS NOTED
 2/15/2015
 MHC 0015-030

M1.0





1 FAN COIL LAYOUT SECOND FLOOR
 M1.1 SCALE: 1/4" = 1'-0"



2 FAN COIL LAYOUT THIRD FLOOR
 M1.1 SCALE: 1/4" = 1'-0"

RECEIVED
 FEB 12 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR MECHANICAL
 ENGINEERS

1283 GREENWICH ST.
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94108

MECHANICAL COOLING
 PLAN - SECOND FLOOR
 AND THIRD FLOOR

Peter Tam, DBP
 FEB 12 2016

APPR
 Dept. 1
 JUL
 [Signature]

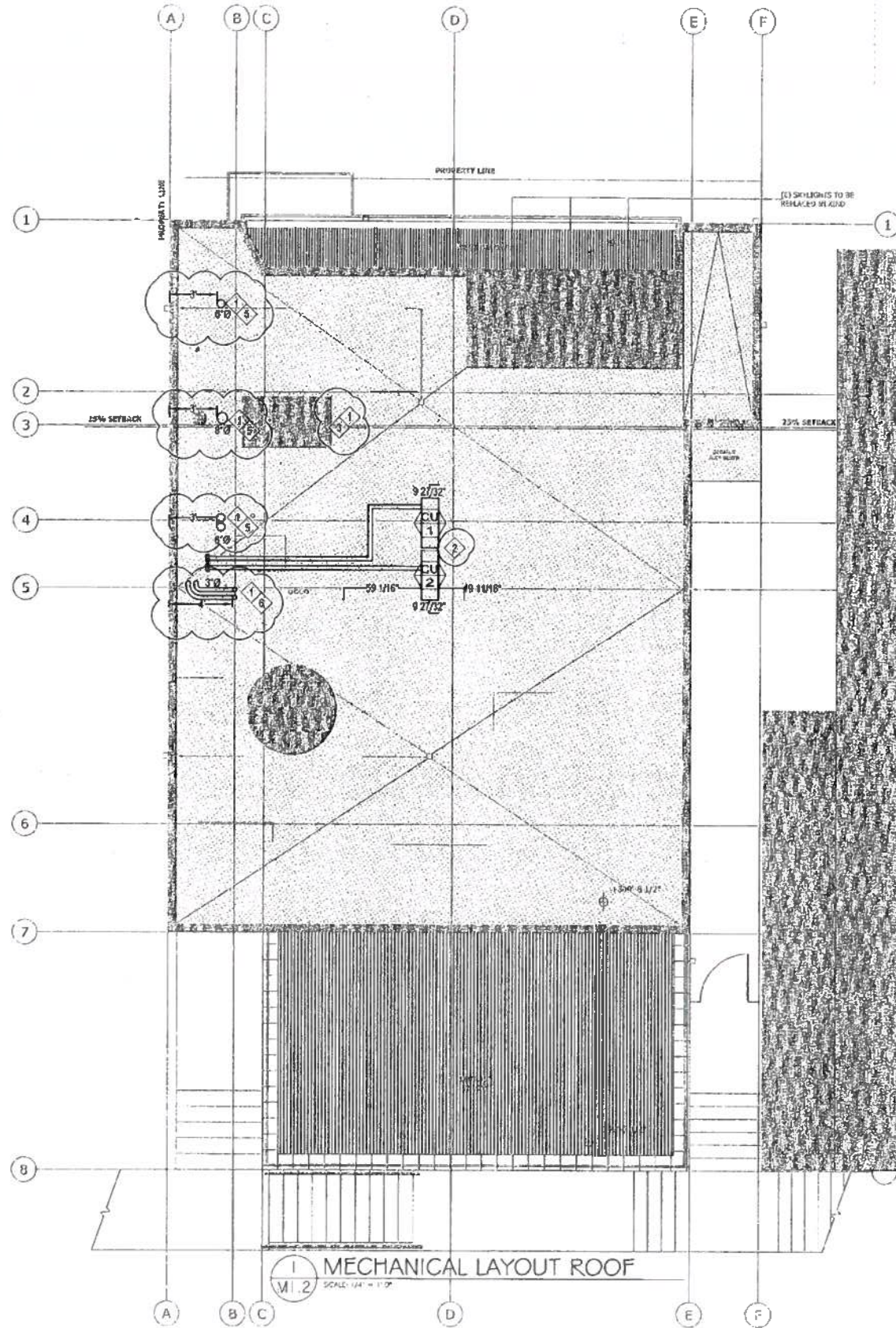


DATE	DESCRIPTION
02/12/16	AS NOTED
02/12/16	REVISION
02/12/16	MHC 0015-020

M1.1



- 1. LOCATION OF EXHAUST VENTS TO BE MAINTAINED AT ALL TIMES TO BE MAINTAINED AT ALL TIMES TO BE MAINTAINED AT ALL TIMES
- 2. SEE ARCH DRAWINGS FOR LOCATION OF EXTERIOR ACCESS LADDER.
- 3. EXHAUST VENTS TO BE A MINIMUM OF 3 FT. FROM PROPERTY LINE.
- 4. GAS VENTS TO BE A MINIMUM OF 4 FT. FROM PROPERTY LINE.



ELEVATOR VENT AREA CALC	
AREA OF ELEVATOR HOIST WAY (SQ. FT.)	18.1
MINIMUM AREA OF VENT PER AREA OF HOIST WAY	0.035
MINIMUM AREA OF VENT PER CALCULATION (SQ. FT.)	0.634
MINIMUM AREA OF VENT PER CBC 3004.3 (SQ. FT.)	3.0
AREA OF VENT (SQ. FT.)	3.0

1
 M1.2
 SCALE: 1/4"

Peter Tan, DBI
 FEB 12 2016

RECEIVED
 FEB 12 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE STANDARD FOR AN APPROVED MECHANICAL PLAN

ISSUE	DATE
PERMIT SET	12.15.2015
PLAN CHECK PREP	01.20.2016

1283 GREENWICH ST.
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109

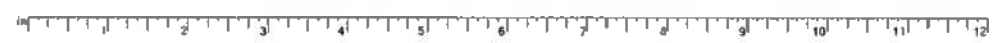
MECHANICAL PLAN - ROOF

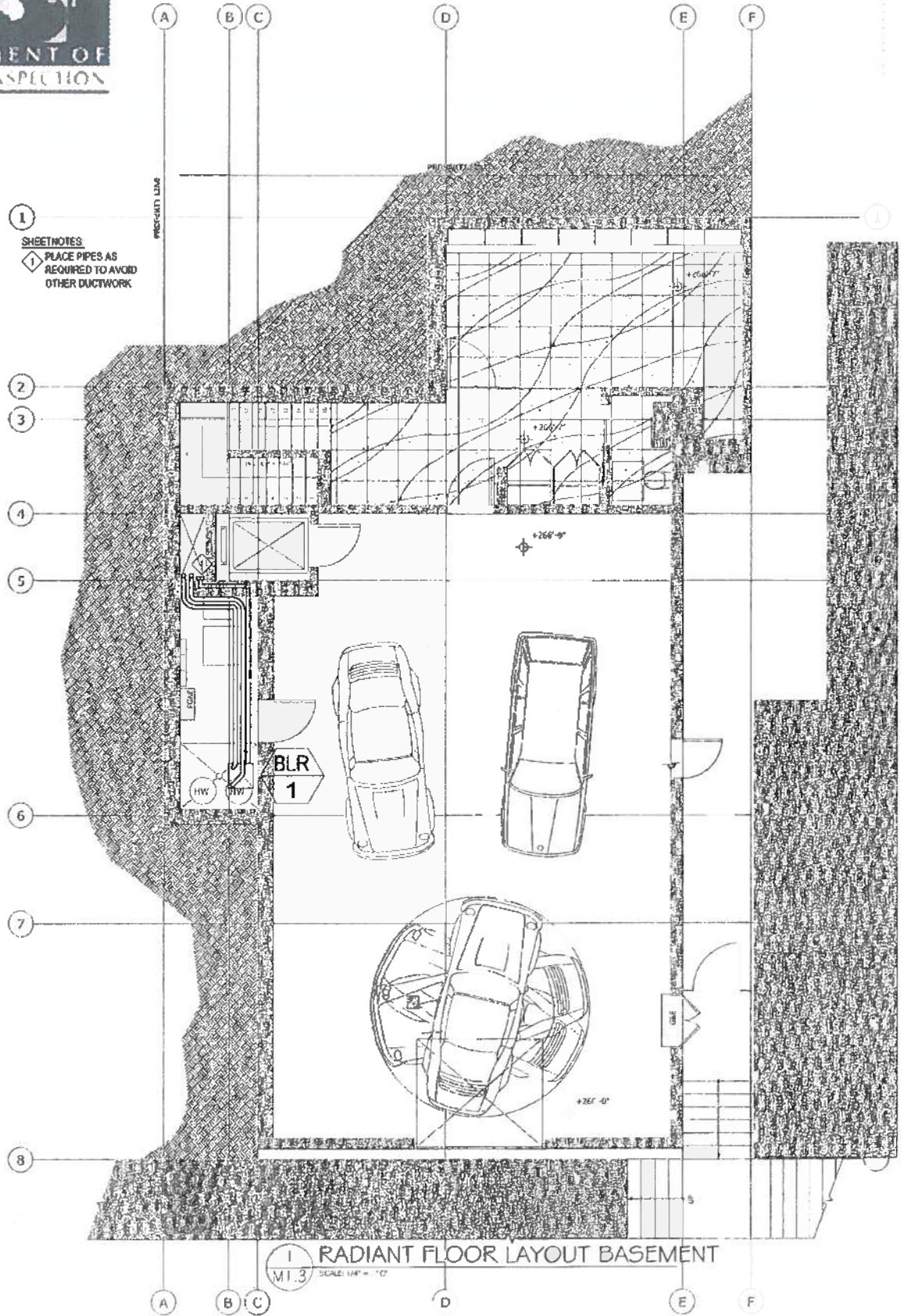


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 Dept. of Building Inspection

JUL 25 2015
 [Signature]

M1.2

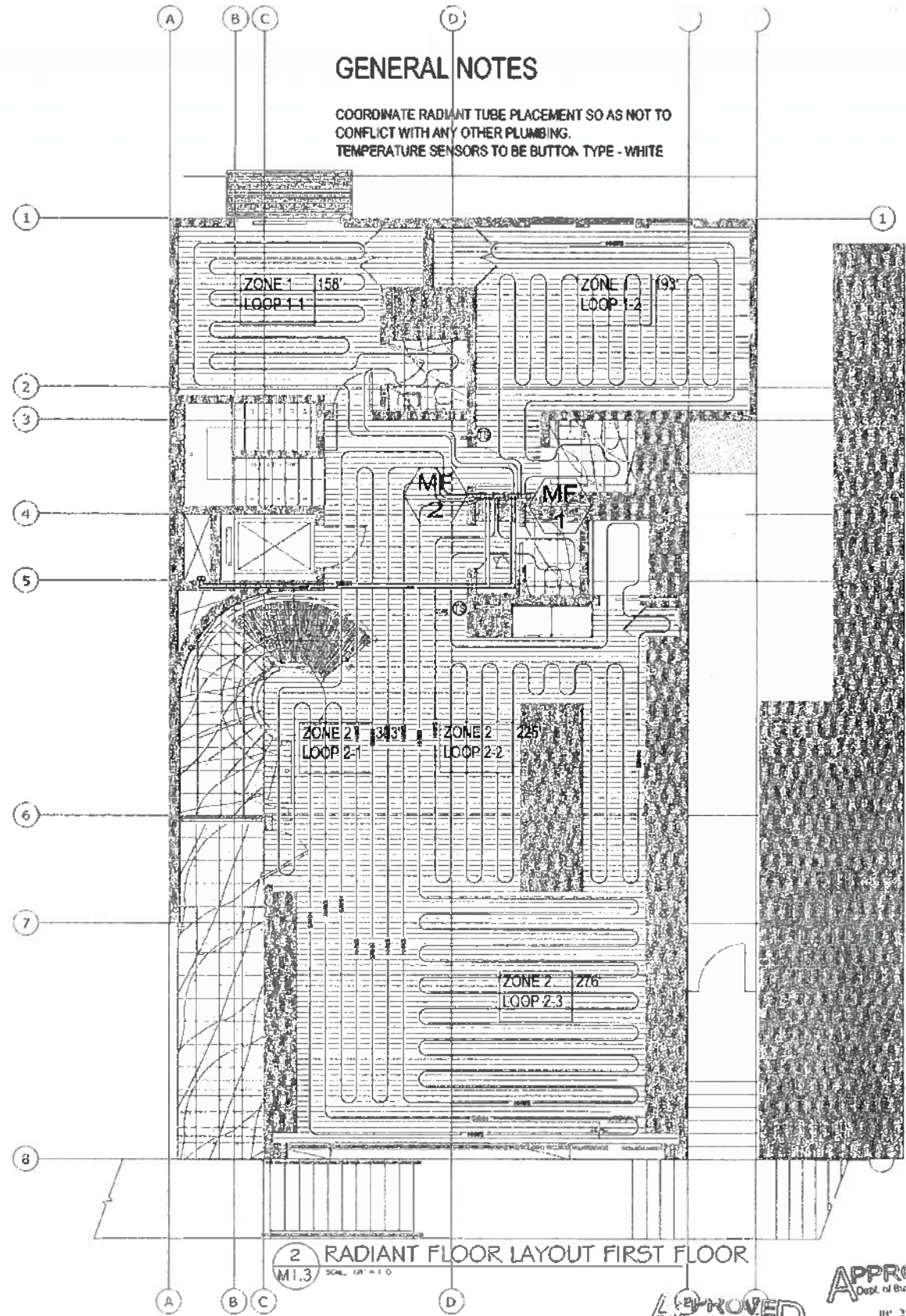




1 RADIANT FLOOR LAYOUT BASEMENT
 M1.3 SCALE: 1/4" = 1'-0"

GENERAL NOTES

COORDINATE RADIANT TUBE PLACEMENT SO AS NOT TO
 CONFLICT WITH ANY OTHER PLUMBING.
 TEMPERATURE SENSORS TO BE BUTTON TYPE - WHITE



2 RADIANT FLOOR LAYOUT FIRST FLOOR
 M1.3 SCALE: 1/4" = 1'-0"

RECEIVED
 FEB 12 2018
 DEPT. OF BUILDING INSPECTION
 THIS PLAN SET IS IN ACCORDANCE WITH THE STANDARD FOR ANCHORAGE
 ACCEPTED
 M1.3

1283 GREENWICH ST.
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109

MECHANICAL HEATING
 PLAN - BASEMENT AND
 FIRST FLOOR

17th, DBI
 12 2018



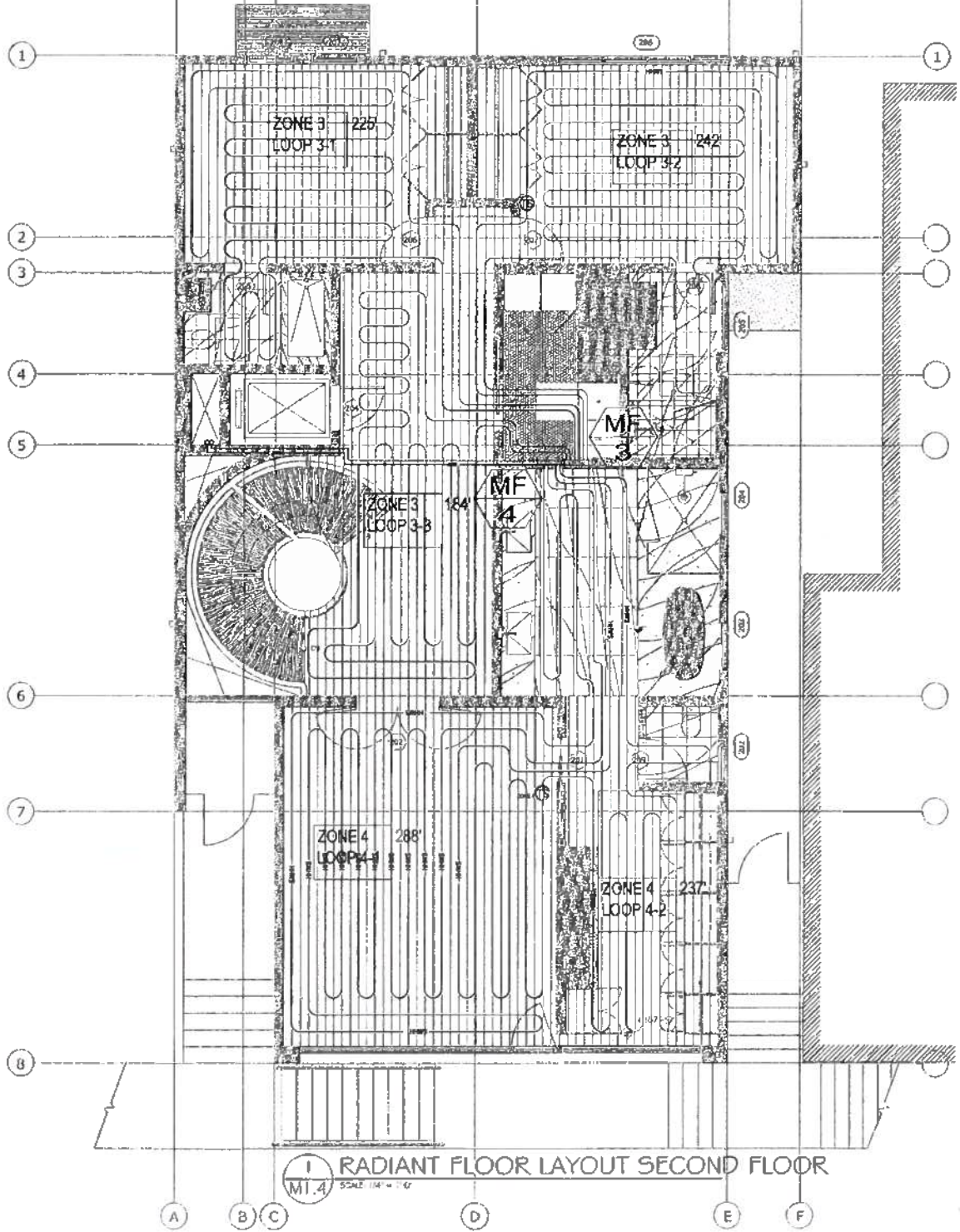
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 Dept. of Building Inspection
 JUL 25 2018
 [Signature]

M1.3



GENERAL NOTES

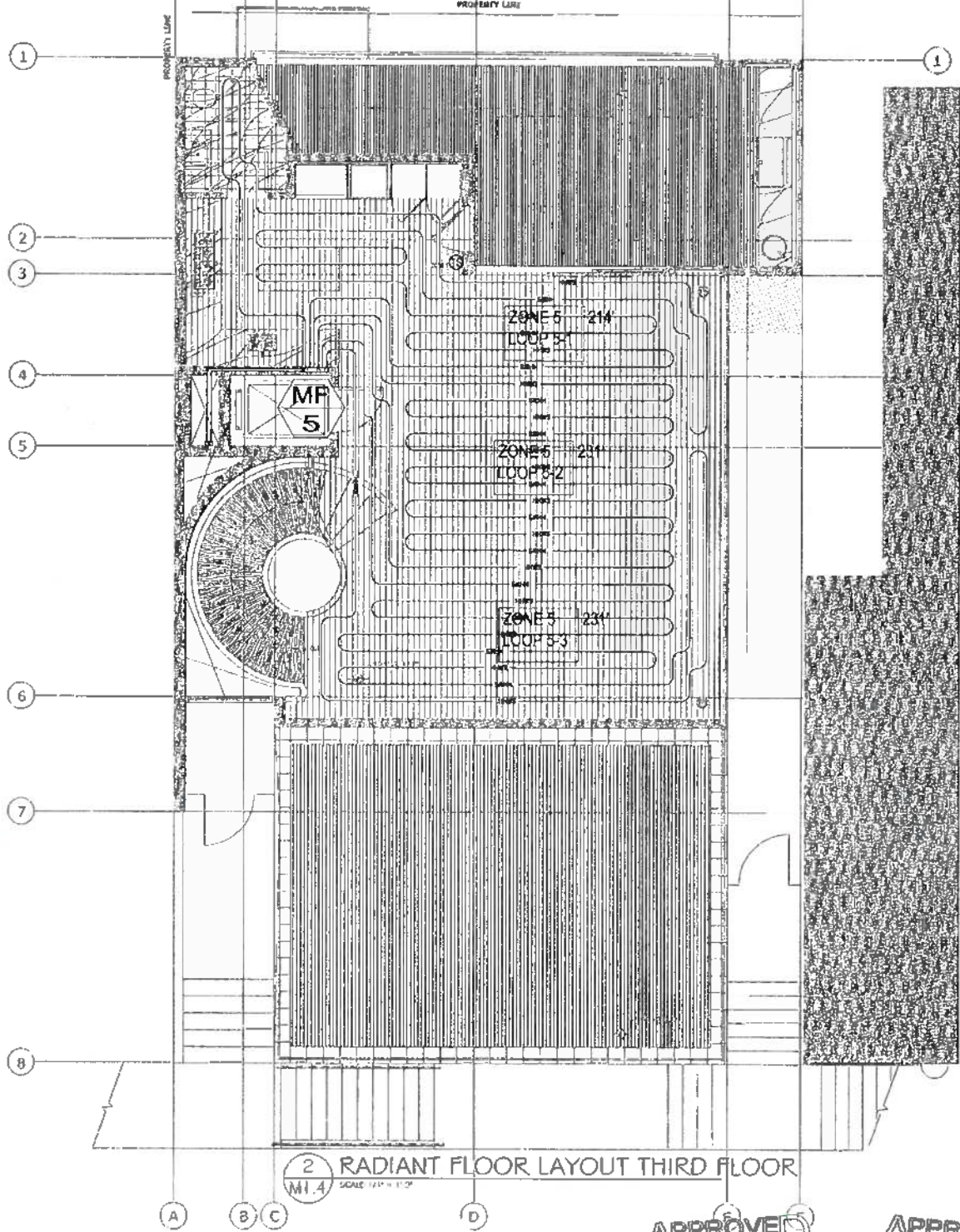
COORDINATE RADIANT TUBE PLACEMENT SO AS NOT TO
 CONFLICT WITH ANY OTHER PLUMBING.
 TEMPERATURE SENSORS TO BE BUTTON TYPE - WHITE



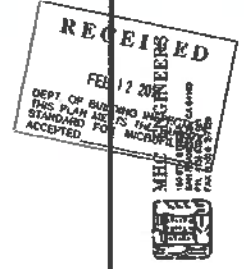
1 RADIANT FLOOR LAYOUT SECOND FLOOR
 M1.4 SCALE 1/4" = 1'-0"

GENERAL NOTES

COORDINATE RADIANT TUBE PLACEMENT SO AS NOT TO
 CONFLICT WITH ANY OTHER PLUMBING.
 TEMPERATURE SENSORS TO BE BUTTON TYPE - WHITE



2 RADIANT FLOOR LAYOUT THIRD FLOOR
 M1.4 SCALE 1/4" = 1'-0"



1283 GREENWICH ST.
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109

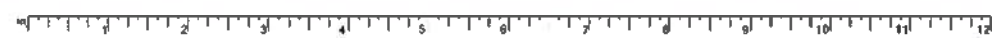
MECHANICAL HEATING
 PLAN - SECOND FLOOR
 AND THIRD FLOOR

Peter Tan, DBI
 FEB 12 2016



APPROVED
 Dept. of Building Insp.
 JUL 25 2015
 APPR
 Dept. of
 JU

M1.4





Edwin M. Lee, Mayor
 Tom C. Hui, S.E., C.B.O., Director

IS MEP-03
 Attachment RB

TITLE-24 LOW-RISE RESIDENTIAL ENERGY INSPECTION (BUILDING)

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 1281/83 GREENWICH STREET APPLICATION NO. 2014-1017-9272 ADDENDUM NO. 1

ENGINEER/ARCHITECT/DESIGNER NAME MENG HSIU CHEN PHONE NO. (415) 512 - 7141

NOTICE

**TITLE-24 ENERGY INSPECTION REQUIREMENTS
 LOW-RISE RESIDENTIAL (BUILDING)**

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required *in addition to* the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Building Inspector or 415-558-6570.

Before final building inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. **The permit will not be finalized without compliance with the energy inspection requirements.**

Energy Inspection Services Contact Information

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: dbi.energyinspections@sfgov.org
4. In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at <http://energy.ca.gov/title24/2013standards/>

Information Sheet MEP-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. MEP-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

Energy Inspection Services
 1660 Mission Street - San Francisco CA 94103
 Office (415) 558-6132 - FAX (415) 558-6474 - www.sfgov.org/dbi (website)

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the building elements in this project:

1. Installation

Envelope

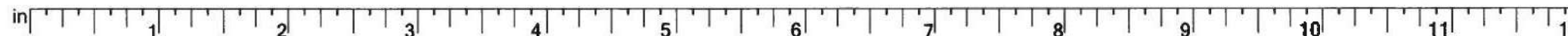
- CF2R ENV-01-E Non HERS - Fenestration & Site built Fenestration (IB1)
- CF2R ENV-02-E Non HERS - Envelope Air Sealing Requirements (IB2)
- CF2R ENV-03-E Non HERS - Insulation Installation (IB3)
- CF2R ENV-04-E Non HERS - Roofing; Radiant Barrier (IB4)
- CF2R ENV-20a-H HERS - Building Envelope Air Leakage Single Point Test with Manual Meter (IB5)
- CF2R ENV-20b-H HERS - Building Envelope Air Leakage Single Point Test with Automatic Meter (IB6)
- CF2R ENV-20c-H HERS - Building Envelope Air Leakage Multi Point Test (IB7)
- CF2R ENV-20d-H HERS - Building Envelope Air Leakage Repeated Single Point with Manual Meter (IB8)
- CF2R ENV-20e-H HERS - Building Envelope Air Leakage Repeated Single Point with Automatic Meter (IB9)
- CF2R ENV-21-H HERS - High Quality Insulation Installation (QII) Framing Stage for Batt, Loose Fill, and SPF (IB10)
- CF2R ENV-22-H HERS - High Quality Insulation Installation (QII) Ceiling/Roof Deck (IB38)
- CF2R ENV-23-H HERS - High Quality Insulation Installation (QII) Insulation (IB11)
- CF2R ENV-24-H HERS - High Quality Insulation Installation (QII) Framing Stage for SIP and ICF (IB39)

Mechanical

- CF2R-MCH-01a-E Space conditioning systems ducts and fans Performance (IB12)
- CF2R-MCH-01b-E Space conditioning systems ducts and fans Prescriptive (IB40)
- CF2R-MCH-01c-E Space conditioning systems ducts and fans Prescriptive Newly Constructed Buildings (IB41)
- CF2R-MCH-02-E Non HERS - Whole house fan (IB13)
- CF2R-MCH-20a-H HERS - Duct Leakage - New Systems (IB14)
- CF2R-MCH-20b-H HERS - Duct Leakage - Low Leakage Ducts in Conditioned Space (compliance credit) (IB15)
- CF2R-MCH-20c-H HERS - Duct Leakage - Low Leakage Air-Handling Units (IB16)
- CF2R-MCH-20d-H HERS - Duct Leakage - Altered System (IB17)
- CF2R-MCH-20e-H HERS - Duct Leakage - Sealing All Accessible Leaks (IB42)
- CF2R-MCH-21-H HERS - Duct Location Verification (compliance credit) (IB18)
- CF2R-MCH-22a-H HERS - Forced Air System Fan Efficacy All Zones Calling (IB19)
- CF2R-MCH-22b-H HERS - Forced Air System Fan Efficacy Every Zonal Control Mode (IB43)
- CF2R-MCH-23a-H HERS - Forced Air System Airflow Rate All Zones Calling (IB20)
- CF2R-MCH-23b-H HERS - Forced Air System Airflow Rate Every Zonal Control (IB44)
- CF2R-MCH-23c-H HERS - Forced Air System Airflow Rate Alternative Compliance (IB45)
- CF2R-MCH-23d-H HERS - Forced Air System Airflow Rate Measurement Only (IB46)
- CF2R-MCH-24a-H HERS - Building Envelope Air Leakage Single-Point Test with Manual Meter (IB47)
- CF2R-MCH-24b-H HERS - Building Envelope Air Leakage Single-Point Test with Automatic Meter (IB48)
- CF2R-MCH-24c-H HERS - Building Envelope Air Leakage Multi-Point Test (IB49)
- CF2R-MCH-24d-H HERS - Building Envelope Air Leakage Repeated Single Point with Manual Meter (IB50)
- CF2R-MCH-24e-H HERS - Building Envelope Air Leakage Repeated Single Point with Automatic Meter (IB51)
- CF2R-MCH-25a-H HERS - Refrigerant Charge Verification - Superheat Method (IB21)
- CF2R-MCH-25b-H HERS - Refrigerant Charge Verification - Subcooling (IB22)
- CF2R-MCH-25c-H HERS - Refrigerant Charge Verification - Weigh-in Procedure (IB23)
- CF2R-MCH-25d-H HERS - Refrigerant Charge Verification - Charge Indicator Display (CID) (IB24)
- CF2R-MCH-25e-H HERS - Refrigerant Charge Verification - Winter Setup for Standard Charge Verification (IB25)
- CF2R-MCH-25f-E Refrigerant Charge Verification - New package unit with factory charge (IB26)
- CF2R-MCH-26-H HERS - Verified EER or SEER (IB27)
- CF2R-MCH-27a-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (IB28)
- CF2R-MCH-27b-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (IB29)
- CF2R-MCH-27c-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (IB30)
- CF2R-MCH-27d-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (IB52)
- CF2R-MCH-28-H HERS - Return Duct And Filter Design (IB31)
- CF2R-MCH-29-H HERS - Buried Ducts and Deeply Buried Ducts (IB32)

APPROVED
 Dept. of Building Insp.

JUL 25 2016





Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

NOTE: This page left intentionally blank.

2. Verification

Mechanical

- CF3R ENV-20a-H HERS - Building Envelope Air Leakage Single Point Test with Manual Meter (VB1)
- CF3R ENV-20b-H HERS - Building Envelope Air Leakage Single Point Test with Automatic Meter (VB2)
- CF3R ENV-20c-H HERS - Building Envelope Air Leakage Multi Point Test (VB3)
- CF3R ENV-20d-H HERS - Building Envelope Air Leakage Repeated Single Point with Manual Meter (VB4)
- CF3R ENV-20e-H HERS - Building Envelope Air Leakage Repeated Single Point with Automatic Meter (VB5)
- CF3R ENV-21-H HERS - High Quality Insulation Installation (QII) Framing Stage - wood frame (VB6)
- CF3R ENV-22-H HERS - High Quality Insulation Installation (QII) Ceiling/Roof Deck (VB34)
- CF3R ENV-23-H HERS - High Quality Insulation Installation (QII) Insulation (VB7)
- CF3R ENV-24-H HERS - High Quality Insulation Installation (QII) Framing Stage - SIP and ICF (VB35)
- CF3R-MCH-20a-H HERS - Duct Leakage - New Systems (VB8)
- CF3R-MCH-20b-H HERS - Duct Leakage - Low Leakage Ducts in Conditioned Space (compliance credit) (VB9)
- CF3R-MCH-20c-H HERS - Duct Leakage - Low Leakage Air-Handling Units (VB10)
- CF3R-MCH-20d-H HERS - Duct Leakage - Altered System (VB11)
- CF3R-MCH-20e-H HERS - Duct Leakage - Sealing All Accessible Leaks (VB36)
- CF3R-MCH-21-H HERS - Duct Location Verification (compliance credit) (VB12)
- CF3R-MCH-22a-H HERS - Forced Air System Fan Efficacy All Zones Calling (VB13)
- CF3R-MCH-22b-H HERS - Forced Air System Fan Efficacy Every Zonal Control Mode (VB37)
- CF3R-MCH-23a-H HERS - Forced Air System Airflow Rate All Zones Calling (VB14)
- CF3R-MCH-23b-H HERS - Forced Air System Airflow Rate Every Zonal Control (VB38)
- CF3R-MCH-23c-H HERS - Forced Air System Airflow Rate Alternative Compliance (VB39)
- CF3R-MCH-23d-H HERS - Forced Air System Airflow Rate Measurement Only (VB40)
- CF3R-MCH-24a-H HERS - Building Envelope Air Leakage Single-Point Test with Manual Meter (VB41)
- CF3R-MCH-24b-H HERS - Building Envelope Air Leakage Single-Point Test with Automatic Meter (VB42)
- CF3R-MCH-24c-H HERS - Building Envelope Air Leakage Multi-Point Test (VB43)
- CF3R-MCH-24d-H HERS - Building Envelope Air Leakage Repeated Single-Point with Manual Meter (VB44)
- CF3R-MCH-24e-H HERS - Building Envelope Air Leakage Repeated Single-Point with Automatic Meter (VB45)
- CF3R-MCH-25a-H HERS - Refrigerant Charge Verification - Superheat Method (VB15)
- CF3R-MCH-25b-H HERS - Refrigerant Charge Verification - Subcooling (VB16)
- CF3R-MCH-25c-H HERS - Refrigerant Charge Verification - Weigh-in Procedure (VB17)
- CF3R-MCH-25d-H HERS - Refrigerant Charge Verification - Charge Indicator Display (CID) (VB18)
- CF3R-MCH-25e-H HERS - Refrigerant Charge Verification - Winter Setup for Standard Charge Verification (VB19)
- CF3R-MCH-26-H HERS - Verified EER or SEER (VB21)
- CF3R-MCH-27a-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (VB22)
- CF3R-MCH-27b-H HERS - Mechanical Ventilation - Continuous Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (VB23)
- CF3R-MCH-27c-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Fan Vent Rate Method (VB24)
- CF3R-MCH-27d-H HERS - Mechanical Ventilation - Intermittent Whole-Building Mechanical Ventilation Airflow - Total Vent Rate Method (VB46)
- CF3R-MCH-28-H HERS - Return Duct And Filter Grille Design (VB25)
- CF3R-MCH-29-H HERS - Supply Duct Surface Area and R-Value, Buried Ducts; Deeply Buried Ducts (VB27)

APPROVED
Dept. of Building Insp.
JUL 25 2016
Tom C. Hui
Director
DBI - BUILDING INSPECTOR

Prepared by: [Signature] Date: 01/20/16
Engineer/Architect of Record/ Designer Signature

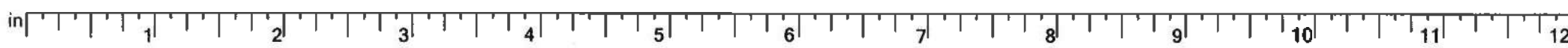
Required information:
Fax: 415 512-7120 Email: MHC@MHCENGR.COM

Review by: _____ Phone: (415) 558-
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

DATE _____ DBI Building Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@sfgov.org; or FAX (415) 558-6474





Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

Attachment RE

TITLE-24 LOW RISE RESIDENTIAL ENERGY INSPECTION (ELECTRICAL)
A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 1281/83 GREENWICH STREET APPLICATION NO. 2014-1017-9272 ADDENDUM NO. 1

ENGINEER/ARCHITECT/DESIGNER NAME MENG HSIU CHEN PHONE NO. (415) 512 - 7141

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the electrical elements in this project:

1. Installation

Electrical

- CF2R-LTG-01-E Lighting types and controls for single family buildings (IE1)
- CF2R-LTG-02-E Lighting types and controls for multifamily buildings (IE2)

Solar

- CF2R-SPV-01a-E Photovoltaic systems compliance credit (IE3)
- CF2R-SPV-01b-E Photovoltaic systems exceptions to solar ready area requirements (IE4)
- CF2R-SPV-01c-E Photovoltaic systems PV compliance credit and exemptions (IE5)

APPROVED
Dept. of Building Insp.
JUL 25 2016
Tom C. Hui
S.E., C.B.O.
Director

NOTICE

**TITLE-24 ENERGY INSPECTION REQUIREMENTS
LOW-RISE RESIDENTIAL (ELECTRICAL)**

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required *in addition to* the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Electrical Inspector or 415-558-6570.

Before final electrical inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. **The permit will not be finalized without compliance with the energy inspection requirements.**

Energy Inspection Services Contact Information

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: dbi.energyinspections@sfgov.org
4. In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at <http://energy.ca.gov/title24/2013standards/>

Information Sheet MEP-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. MEP-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

Prepared by: [Signature] Date: 01/20/16
Engineer/Architect of Record/ Designer Signature

Required information:
Fax: 415 674-5558 Email: BUTLER@BUTLERARMSDEN.COM

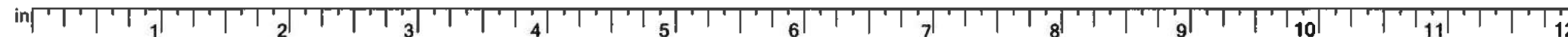
Review by: [Signature] Phone: (415) 558-
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

DATE _____ DBI Electrical Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@sfgov.org; or FAX (415) 558-6474

Energy Inspection Services
1660 Mission Street - San Francisco CA 94103
Office (415) 558-6132 - FAX (415) 558-6474 - www.sfgov.org/dbi (website)





Edwin M. Lee, Mayor
Tom C. Hui, S.E., C.B.O., Director

Attachment RP

TITLE-24 LOW-RISE RESIDENTIAL SPECIAL INSPECTION (PLUMBING)

A COPY OF THIS DOCUMENT SHALL BE KEPT WITH THE APPROVED DRAWING SET

JOB ADDRESS 1281/83 GREENWICH STREET APPLICATION NO. 2014-1017-9272 ADDENDUM NO. 1

ENGINEER/ARCHITECT/DESIGNER NAME MENG HSIU CHEN PHONE NO. (415) 512 - 7141

Ensuring the completion of installation documentation as well as the required acceptance/verification testing is the direct responsibility of the undersigned. Installation documentation must be completed by the contractor performing the installation. Verification testing must be completed by a certified HERS rater.

In accordance with the requirements of the 2013 California Energy Code, the following documentation is required for the plumbing work in this project:

1. Installation

Plumbing

- CF2R-PLB-01-E DHW Non-HERS - Multifamily Central Hot Water System Distribution (IP6)
- CF2R-PLB-02-E DHW Non-HERS - Single Dwelling Unit Hot Water System Distribution (IP5)
- CF2R-PLB-03-E DHW Non-HERS - Pool and Spa System (IP7)
- CF2R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (IP9)
- CF2R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (IP8)

Solar

- CF2R-STH-01-E Solar Water Heating System (IP1)

Mechanical

- CF2R-MCH-04-E Non HERS - Evaporative coolers (IP2)

2. Verification

- CF3R-PLB-21-H DHW HERS - HERS Multifamily Central Hot Water System Distribution (VP2)
- CF3R-PLB-22-H DHW HERS - HERS Single Dwelling Unit Hot Water System Distribution (VP3)

APPROVED
Dept. of Building Insp.

JUL 25 2016

Tom C. Hui
DIRECTOR
DEPT. OF BUILDING INSPECTION

NOTICE

**TITLE-24 ENERGY INSPECTION REQUIREMENTS
LOW-RISE RESIDENTIAL (PLUMBING)**

Please note that Certificates of Installation and/or Verification are required for this project, as indicated on this form issued with this permit. Ensuring the accurate completion of this documentation is the direct responsibility of the engineer/architect of record. This documentation is required *in addition to* the called inspections performed by the Department of Building Inspection.

For questions regarding the details or extent of required documentation or testing, and if there are any field problems regarding documentation or testing, please call your District Plumbing Inspector or 415-558-6570.

Before final plumbing inspection is scheduled, documentation of energy compliance "Certificate of Installation, Acceptance, and Verification" must be completed and signed by the responsible person in charge. **The permit will not be finalized without compliance with the energy inspection requirements.**

Energy Inspection Services Contact Information

1. Telephone: (415) 558-6132
2. Fax: (415) 558-6474
3. Email: dbi.energyinspections@sfgov.org
4. In person: 3rd floor at 1660 Mission St.

Note: We are moving towards a 'paperless' mode of operation. All special inspection submittals, including final letters, may be emailed (preferred) or faxed. We will also be shifting to a paperless fax receipt mode.

Installation and Verification certificates can be found on the California Energy Commission website at <http://energy.ca.gov/title24/2013standards/>

Information Sheet MEP-06 provides submittal instructions for the Title-24 installation, verification, and acceptance energy certificates. MEP-06 may be found on the SFDBI website at <http://sfdbi.org/information-sheets>

Prepared by: *[Signature]* Date: 01/20/16
Engineer/Architect of Record/ Designer Signature

Required information:
Fax: 415 674-5558 Email: BUTLER@BUTLERARMSDEN.COM

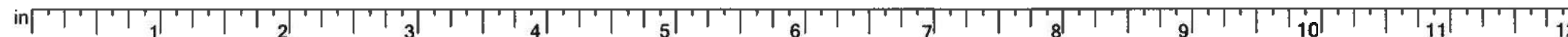
Review by: *[Signature]* Phone: (415) 558-
DBI Engineer or Plan Checker

APPROVAL (Based on submitted reports)

DATE _____ DBI Plumbing Inspector or Energy Inspection Services Staff

QUESTIONS ABOUT TITLE-24 ENERGY INSPECTION SHOULD BE DIRECTED TO:
Energy Inspection Services (415) 558-6132; or, dbi.energyinspections@sfgov.org ; or FAX (415) 558-6474

Energy Inspection Services
1660 Mission Street- San Francisco CA 94103
Office (415) 558-6132 - FAX (415) 558-6474 - www.sfgov.org/dbi (website)



Plan Set for Permit No. 2016/12/06/4294



ABBREVIATIONS

Table of abbreviations for building components, materials, and construction terms.

SYMBOLS

Table of symbols for drawing details, sections, elevations, and construction features.

GENERAL NOTES

- List of general notes regarding construction standards, materials, and compliance with local building codes.

PROJECT TEAM

Architect: Butler Armsden Architects; Geotechnical Engineer: Earth Mechanical; Structural Engineer: PFF Engineering; Mechanical Engineer: PWC Engineers; General Contractor: Crown Construction.

VICINITY MAP



PROJECT DATA

Table containing project data including block, lot, zone, height limit, occupancy, and area calculations for existing and proposed construction.

CODES

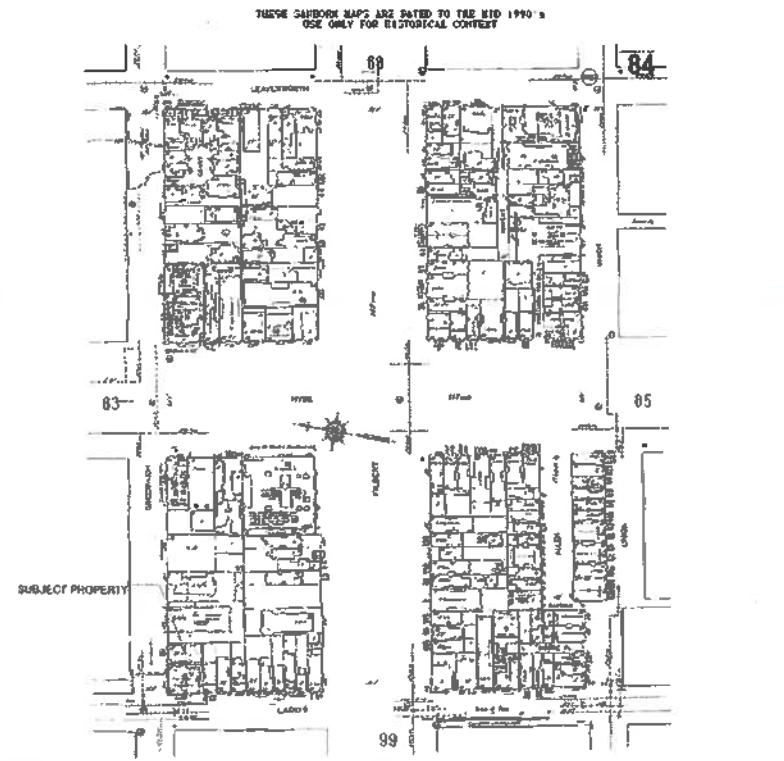
- List of applicable building codes: 2013 CA Bldg. Code, 2013 S.F. Bldg. Code & Amendments, 2013 CA Energy Code, etc.

SCOPE OF WORK

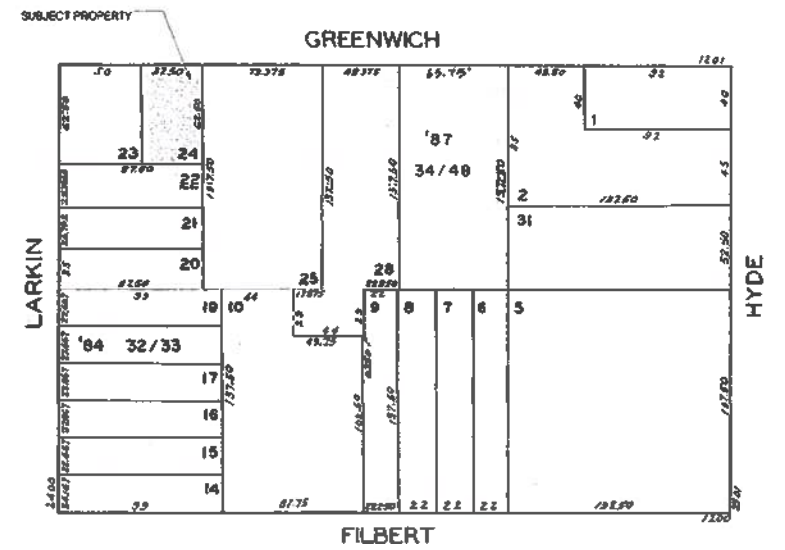
Description of the scope of work: variance to enclose a portion of an existing partially enclosed rear deck.

SHEET INDEX

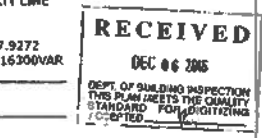
- Index of sheets including architectural (A0.0-A3.3), structural (S1.0-S6.1), and mechanical (M0.0-M1.3) drawings.



2 BLOCK MAP - 0070 / 001



1 BLOCK MAP - 0095 / 024



VARIANCE

Table for variance tracking with columns for revisions and dates.



TITLE SHEET

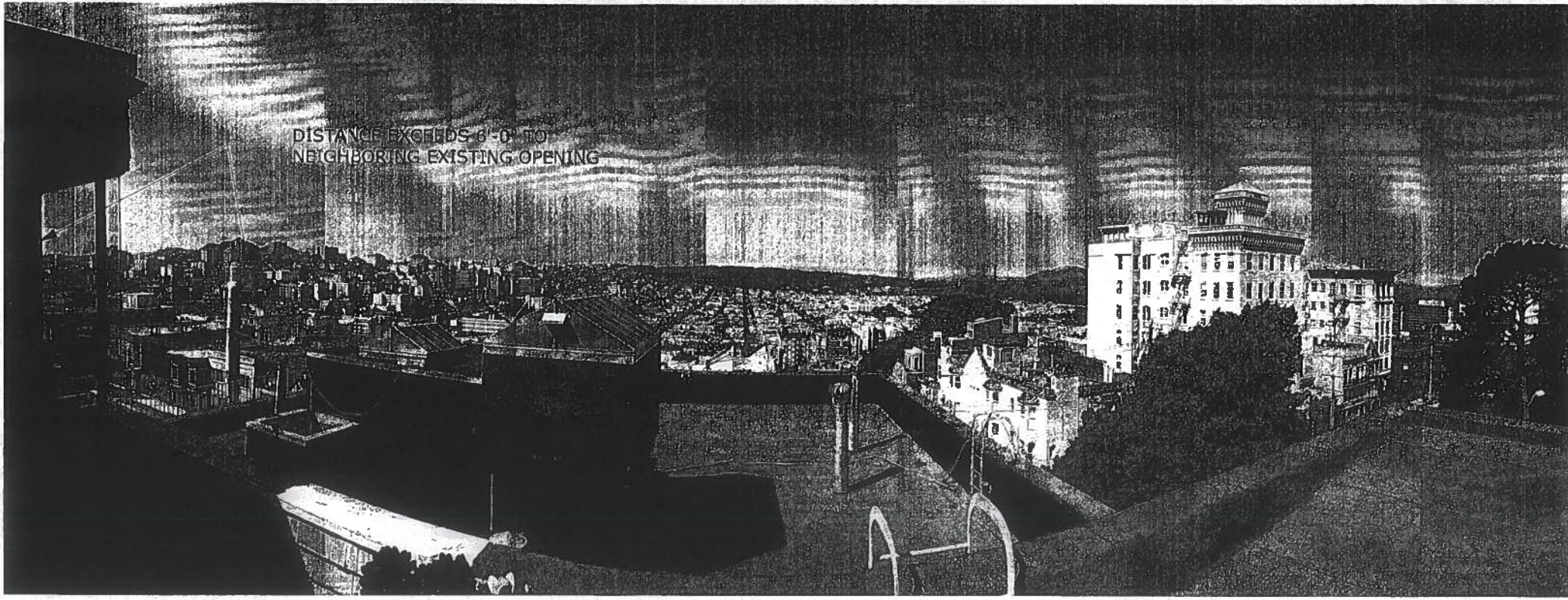
A0.0

GREENWICH STREET RESIDENCE 1283 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA 2016-12-06-4294



180 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 E: INFO@BUTLERARMSDEN.COM
 T: 415-971-5351
 F: 415-974-0389

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



RECEIVED
 DEC 06 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR DIGITIZING
 /ACCEPTED

VARIANCE

REVISIONS:	BY:

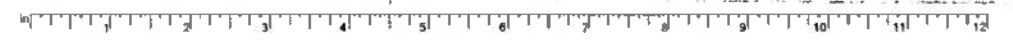
APPROVED
 Dept. of Building Insp.
 MAR 24 2017
 Jim C. Han
 CHIEF OF BLDG. INSPECTION
 DEPT. OF BUILDING INSPECTION

JOB#:	1322
DATE:	12/06/2016
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

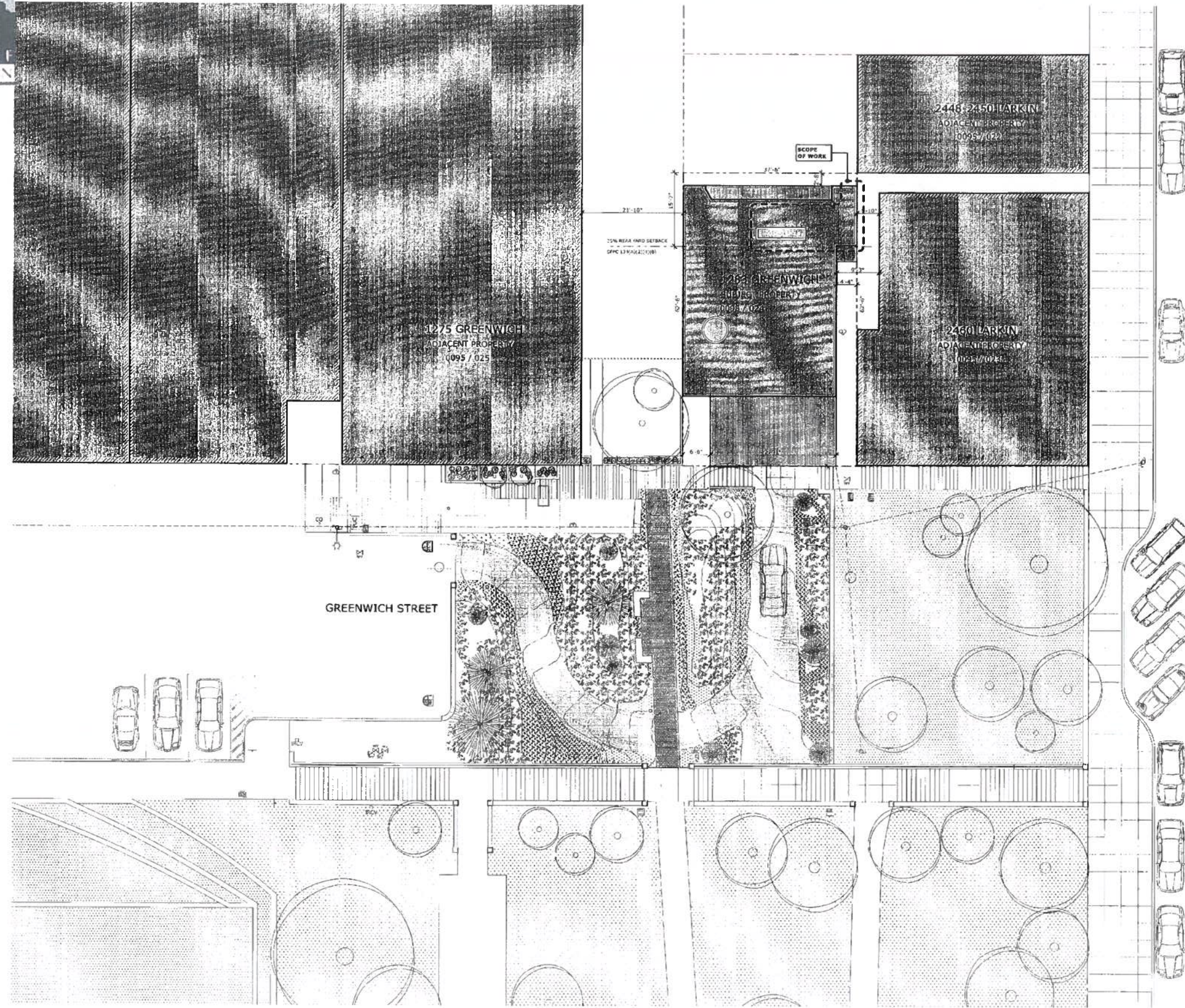
JIMMY CHEUNG, DBA
 FEB 22 2017



EXISTING
 PHOTOS



GREENWICH STREET RESIDENCE
1283 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



RECEIVED
DEC 06 2006
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
/ ACCEPTED

VARIANCE

REVISIONS:	BY:

APPROVED
Dept. of Building Insp.
MAR 24 2017
Tom C. Ho
DIRECTOR
DEPT. OF BUILDING INSPECTION
12-6-16
Approved Planning Dept. Cary Grub

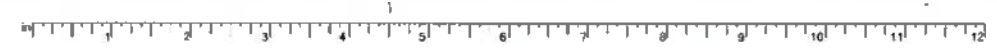
JOB#:	1322
DATE:	12/06/2016
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

JIMMY CHEUNG, DBI
FEB 22 2017



SITE PLAN

1 PROPOSED SITE PLAN
SCALE: 1" = 10'



1400 SUTTER STREET
SAN FRANCISCO, CA 94109
AT: ELIZABETH@BUTLERARMSDEN.COM
E: INFO@BUTLERARMSDEN.COM
T: 415-474-2554
F: 415-474-5555

Variance Decision

Date: August 17, 2016
Case No: 2015-01608VAR
Project Address: 1281-1283 GREENWICH STREET
Zoning: R2C-1 (Residential Medium Density-Dwelling)
Block/Lot: 46-X Height and Bulk District
Applicant: Dave Swain
Applicant Address: Butler Armsden Architects
1430 Sutter Street, 6th Floor
San Francisco, CA 94109
Owner: Jeremy Rick
1281 Greenwich Street
San Francisco, CA 94107
Staff Contact: Carly Greb - (415) 775-9138
cgreb@sfplanning.org

DESCRIPTION OF VARIANCE - REAR YARD VARIANCE SOUGHT:
The proposal is to fully enclose a partially enclosed patio space at the top floor within the required rear yard of an existing three-story-over garage, one-unit building. The existing building is considered non-complying, as the existing rear yard setback is approximately the last two feet, eight inches of lot depth.

Section 134 of the Planning Code requires a rear yard set in an RM-2 Zoning District to be equivalent to 15 percent of the total lot depth at grade level and at each ascending story of the building. The rear yard requirement may be reduced based on the condition of adjacent lots, but in no case shall be reduced to less than a depth equal to 25% of lot depth or 15 feet, whichever is greater.

The subject property is approximately 62.5 feet deep and requires a rear yard of 28 feet of lot depth (45%), which may be averaged to a lot depth of 15 feet, seven inches. The project proposes to enclose a partially enclosed patio within the last 15 feet, seven inches of lot depth, which would expand the building envelope and enlarge the non-complying structure. Therefore, a variance from Section 134 is required.

PROCEDURAL BACKGROUND:
1. The Project is exempt from the California Environmental Quality Act ("CEQA") as a Class 1 categorical exemption.
2. The Zoning Administrator held a public hearing on Variance Application No. 2015-01608VAR on July 25, 2016.

www.sfpd.org

Variance Decision August 17, 2016 CASE NO. 2015-01608VAR 1281-1283 Greenwich Street

FINDING 2.
The zoning of such conditional and extraordinary circumstances the literal enforcement of specified provisions of this Code would result in a practical difficulty of unnecessary hardship caused by or attributed to the applicant or the owner of the property.

Requirement Met.
A. Since the existing building is a non-complying structure partially within the required rear yard, the building envelope could not be expanded without a variance. The project proposes a partial expansion of the building envelope to accommodate an improved kitchen. Literal enforcement of the Planning Code would preclude the owner from developing this property in the manner proposed and would result in an unnecessary hardship with no compensating public benefit.

FINDING 3.
That such variance is necessary for preservation and enjoyment of a substantial property right of the subject property, presented by other property in the same class of district.

Requirement Met.
A. Granting this variance will allow the subject property owner to restore a portion of an existing detached deck, which is underutilized, to a consistent interior space. The scope of work is a minor modification to an existing condition, and could be achieved without a variance on standards set forth in the R2C-2 Zoning Ordinance.

FINDING 4.
That the granting of such variance will not be materially detrimental to the public welfare or to the property or improvements in the vicinity.

Requirement Met.
A. Granting the variance would improve the livability of the subject property and would not be materially detrimental to the public welfare or materially injurious to the neighboring property. The existing patio is currently enclosed on three sides. Covering the enclosed deck into interior space would not create additional building volume above the street or from adjacent properties.

FINDING 5.
The granting of such variance will be in harmony with the general purpose and intent of this Code and will not adversely affect the General Plan.

Requirement Met.
The Planning Department is not aware of any opposition to the subject project.

PLANNING DEPARTMENT 3

Variance Decision August 17, 2016 CASE NO. 2015-01608VAR 1281-1283 Greenwich Street

If the City has not previously given notice of an earlier discretionary approval of the project, the Planning Commission's adoption of this Motion, Resolution, Ordinance, Review Action or the Zoning Administrator's Variance Decision Letter constitutes the approval or conditional approval of the development and the City hereby gives NOTICE that the 90-day period under Government Code Section 66020 has begun. If the City has already given NOTICE that the 90-day approval period has begun for the subject development, then this document does not re-commence the 90-day approval period.

APPEAL: Any aggrieved person may appeal this variance decision to the Board of Appeals within ten (10) days after the date of the issuance of this Variance Decision. For further information, please contact the Board of Appeals in person at 1666 Mission Street, 3rd Floor (Room 300) or call 578-6880.

Very truly yours,
Scott F. Sanchez
Zoning Administrator

THIS IS NOT A PERMIT TO COMMENCE ANY WORK OR CHANGE OCCUPANCY. PERMITS FROM APPROPRIATE DEPARTMENTS MUST BE SECURED BEFORE WORK IS STARTED OR OCCUPANCY IS CHANGED.

PLANNING DEPARTMENT 5

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

- Minor modifications as determined by the Zoning Administrator may be permitted.
- The owner of the subject property shall record on the land records of the City and County of San Francisco the conditions attached to the Variance decision as a Notice of Special Restrictions in a form approved by the Zoning Administrator.
- This Variance Decision and the recorded Notice of Special Restrictions shall be reproduced on the Index Sheet of the construction plans submitted with the Site or Building Permit Application for the Project. This Index Sheet of the construction plans shall reference the Variance Case Number.

The use of said property contrary to these special restrictions shall constitute a violation of the Planning Code, and the release, modification or termination of these restrictions shall be void unless notice thereof is recorded on the Land Records by the Zoning Administrator of the City and County of San Francisco; except that in the event that the zoning standards above are modified so as to be less restrictive and the uses therein restricted are thereby permitted and in conformity with the provisions of the Planning Code, this document would no longer be in effect and would be void and null.

Approved: Scott F. Sanchez (Print Name)
Date: October 10, 2016 at San Francisco, California

Approved: Jeremy Rick (Print Name)
Date: October 10, 2016 at San Francisco, California

Approved: Carly Greb (Print Name)
Date: October 10, 2016 at San Francisco, California

Each signature must be acknowledged by a notary public before recording; add Notary Public Certification and Official Notary Seal(s).

Page 2 of 2

NOTICE OF SPECIAL RESTRICTIONS UNDER THE PLANNING CODE

RECORDING REQUESTED BY
And When Recorded Mail To:
Name: JEREMY RICKS
Address: 335 MONTGOMERY ST. SUITE 350
City: SAN FRANCISCO
State: CA ZIP: 94111

JEREMY ADAM RICKS is owner(s) of that certain real property situated in the City and County of San Francisco, State of California above particularly described as follows: (or see attached sheet marked "Exhibit A" on which property is more fully described)

**BEING ASSESSOR'S BLOCK: 0695, LOT: 024,
COMMONLY KNOWN AS: 1281-1283 GREENWICH STREET;**

hereby give notice that there are special restrictions on the use of said property under Part D, Chapter 8 of the San Francisco Municipal Code (Planning Code).

Said restrictions consist of conditions attached to Variance Application No. 2015-01608VAR granted by the Zoning Administrator of the City and County of San Francisco on August 17, 2016, to fully enclose a partially enclosed patio at the top floor that will extend into the required rear yard of the three-story-over garage depth.

- The restrictions and conditions of which notice is hereby given are:**
- Any future physical expansion, even in the buildable area, shall be reviewed by the Zoning Administrator to determine if the expansion is compatible with existing neighborhood character and scale. If the Zoning Administrator determines that there would be a significant or extraordinary impact, the Zoning Administrator shall require either notice to adjacent and/or affected property owners or a new Variance application be sought and justified.
 - The proposed project must meet the conditions and all applicable City Codes. In case of conflict, the more restrictive controls apply.

Page 1 of 2

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual(s) who signed the document to which this certificate is attached, and not the individual's, accuracy, or validity of that document.

State of California
County of San Diego

on October 10, 2016 before me, Carmen E. Burbado, Notary Public (Print name and title of the officer)

personally appeared Jeremy Adam Ricks who presented to me on the basis of satisfactory evidence to be the person(s) whose name(s) appears subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that he/she/they are the person(s) whose name(s) appears on the instrument, or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: [Signature] (Seal)

RECEIVED
DEC 06 2016
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

REVISIONS:	BY:

JOB #: 1322
DATE: 12/06/2016
DRAWN: JSR / OS
CHECKED: LB
SCALE: AS NOTED

APPROVED
Dept. of Building Insp.
MAR 24 2017
12-6-16
Carly Greb
DEPT. OF BUILDING INSPECTION
JEREMY CHEUNG, DBI
FEB 22 2017



PLANNING DOCUMENTS

A0.3

GREENWICH STREET RESIDENCE
1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

ATTACHMENT A



DEPARTMENT OF BUILDING INSPECTION
City & County of San Francisco
1640 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION

DATE SUBMITTED: _____ (Note: This form shall be recorded as part of the premiss construction records of the property)

If no permit application has been filed, a Preapplication Review Fee is required for review of a request for local equivalency or modification, per SFBC Table 1A-B, Item 5. Additional fees may be required by Fire Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application #: 2016.1206.4294

Property Address: 1283 GREENWICH STREET

Block and Lot: 0095/024, Occupancy Group: R-3, Type of Construction: V-B, No. of Stories: 4

Describe Use of Building: TWO-FAMILY RESIDENCE WITH SHARED PARKING GARAGE

Under the authority of the 2013 San Francisco Building Code, Sections 104A.2.7 and 104A.2.8, the 2013 San Francisco Mechanical Code, Section 103.9, the 2013 San Francisco Electrical Code, Section 89.117, and the 2013 San Francisco Plumbing Code, Section 301.2, the undersigned requests modification of the provisions of these codes and/or approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regular Code Requirements (specify Code and Sections)

CRC 2016, SECTION 705.8.1, ALLOWABLE AREA OF OPENINGS, FIRE SEPARATION DISTANCE 3 TO LESS THAN 5 FEET, 15% ALLOWABLE PROTECTED OPENINGS.

CRC 2016, TABLE 705.8, MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION.

Proposed Modification or Alternate

APPROVED VARIANCE SCOPE REQUIRES MODIFICATION AND REPLACEMENT OF EXISTING UNRATED EXTERIOR PROPERTY LINE WINDOWS. PROPOSED MODIFICATION INCLUDES NEW FIXED NON-OPERABLE 45-MINUTE STEEL FIRE-RATED PROPERTY LINE WINDOW IN EXISTING LOCATION IN ALTERED ARRANGEMENT. WINDOWS WILL UTILIZE EXISTING OPENING WIDTH AND FAR EXCEED THE REQUIRED MINIMUM OF 8'-0" HORIZONTAL AND VERTICAL SEPARATION TO ADJACENT HOME.

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Bulletin, Code Ruling, reference, case reports, expert opinions, etc., which support this request. The Department may require that an approved consultant be hired by the applicant to perform tests or analysis and to submit an evaluation report to the Department for consideration.

THE EXISTING UNRATED PROPERTY LINE WINDOW IS INSUFFICIENT TO RETAIN FOR THE EXPANDED CONDITIONED SPACE, AND COMPLETING A FIRE-RATED WALL ASSEMBLY WHILE MAINTAINING THE EXISTING WINDOWS WOULD BE IMPRACTICAL. REFERENCE SHEETS A2.1, A2.2, AND A2.3 FOR COMPLIANCE WITH BUILDING CODE REQUIREMENTS FOR NEW UNITS.

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER
Print Name: JEREMY RICKS LEWIS BUTLER
Signature: _____
Telephone: 858.752.3375 415.674.5554



PLAN REVIEWER COMMENTS:

RECOMMENDATIONS: (signed/affiliated by)

Approve	Approve with conditions	Disapprove
---------	-------------------------	------------

Plan Reviewer: _____
Division Manager: _____
By Director of Bldg. Inspection: _____
By Fire Marshal: _____

CONDITIONS OF APPROVAL, or OTHER COMMENTS

Recording Requested By And When Recorded

Return To: DIRECTOR, DEPARTMENT OF BUILDING INSPECTION
1640 MISSION STREET, SAN FRANCISCO, CA 94103-2414

DECLARATION OF USE LIMITATION

I, JEREMY RICKS, owner of the herein described property, commonly known as 1283 GREENWICH STREET in San Francisco, Assessor's Block No. 0095, Lot No. 024 hereby consent to the within described limitations that:

In the event that the property located at 2450 LARKIN STREET, commonly known as Block No. 05, Lot No. 22 is improved in such a manner that the openings in the building located at 1283 GREENWICH do not comply with the San Francisco Building Code, then said openings shall be closed off or protected as required by the Director of the Department of Building Inspection.

The herein limitations shall be binding on me/our until amended by conforming to the San Francisco Building Code Requirements.

Signature: _____
Date of Execution: 4/1/12

NOTARY ACKNOWLEDGMENT

STATE OF CALIFORNIA
County of SAN FRANCISCO
On January 19, 2017 before me, ANITA LOPEZ, I personally appeared JEREMY RICKS

who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and who acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument, the property of the entity upon behalf of which the property was executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

Signature: _____
Notary Public in and for said County and State



ATTACHMENT C

SAN FRANCISCO ADMINISTRATIVE CODE
CHAPTER 23: REAL PROPERTY TRANSACTIONS
ARTICLE V: LOT LINE WINDOW AGREEMENTS

Sec. 23.45. Authority of Director of Property.
Sec. 23.46. Determination of Value.
Sec. 23.47. Requirements for Lot Line Window Agreements.
Sec. 23.48. Fees and Fee Payments.

SEC. 23.45. AUTHORITY OF DIRECTOR OF PROPERTY.

An owner of Real Property adjoining Real Property of the City may request that the City consent to openings in building walls on the owner's Real Property that are closer to the common property line than the distances prescribed in the San Francisco Building Code by filing with the Director of Property an original and two copies of a written application, together with plans, specifications and other supporting documents, and paying the required application fee. Upon such filing, the Director of Property shall investigate the application and consult with the department that has jurisdiction over the Real Property. Copies of the application and its supporting documents shall be delivered by the Director of Property to the Department of City Planning and the Director of Building Inspection for review and comment as that department and that bureau may deem appropriate. If the department having jurisdiction over the Real Property approves and the Director of Property concludes that it is in the best interest of the City to give the requested consent, the Director of Property is authorized to approve and execute a lot line window agreement which complies with all of the provisions of this Article.

(Formerly Sec. 23.27, added by Ord. 53845, App. 12/19/95, amended and renumbered by Ord. 57401, File No. 001965, App. 3/2/2001)

SEC. 23.46. DETERMINATION OF VALUE.

The Director of Property shall determine a monthly fee for the privilege of installing the openings in building walls that are made possible by the City's consent. The monthly fee shall be based upon an appraisal by the Director of Property of the enhancement in fair market value of the building owner's Real Property that will result from installation of the proposed openings in building walls.

If the original monthly fee based upon the Director of Property's appraisal is more than \$50 the agreement shall provide for payment by the building owner, in advance, of the monthly fee so determined by the Director of Property. The monthly fee may, at the Director of Property's discretion, be payable monthly, quarterly, semi-annually or annually. The agreement shall contain a provision for annual adjustments of the monthly fee to reflect increases or decreases in the Consumer Price Index for all Urban Consumers for the San Francisco-Oakland Metropolitan Area and a provision for a re-determination of the monthly fee by the Director of Property, upon the same appraisal basis as the original fee determination, at the end of each five-year period.

If the original monthly fee based upon the Director of Property's appraisal is \$50 or less, a one-time fee of \$1,000 shall be paid by the building owner and no monthly fees shall be payable.

(Formerly Sec. 23.28, added by Ord. 53845, App. 12/19/95, amended and renumbered by Ord. 57401, File No. 001965, App. 3/2/2001)

SEC. 23.47. REQUIREMENTS FOR LOT LINE WINDOW AGREEMENTS.

All lot line window agreements shall comply with the following requirements:

- The building to which the agreement relates shall comply with the Building Code and all other applicable codes, ordinances and regulations of the City and with all applicable federal and state laws and regulations.
- The building shall be constructed or remodelled in conformity with the plans and specifications submitted with the application for a lot line window agreement and shall be used for the purposes stated in the application.
- The agreement shall be terminable at any time, with or without cause and without penalty, by either party. The termination will not be effective, however, unless the terminating party gives at least 90 days prior written notice of termination which is mailed or delivered to the other party. The notice of termination shall contain the legal descriptions of both properties and shall be acknowledged by the terminating party. The notice of termination may be recorded by either party at any time and, after the termination date, the recorded notice shall be conclusive proof of termination of the agreement.
- The building owner shall agree that, in the event the agreement is revoked, the openings covered by the agreement shall be protected or closed, as required by the Building Code, and the building otherwise modified as may be necessary to comply with these Building Code requirements that become applicable because of protecting or closing the openings.
- The building owner shall indemnify the City, its officers, employees and agents, against all liabilities that may result from or be connected with the agreement.
- During the life of the agreement, the building owner shall maintain comprehensive personal liability insurance with limits satisfactory to the Risk Manager of the City and with the City, its officers, agents and employees named as additional insureds.
- The agreement shall be binding upon and inure to the benefit of the parties, their successors and assigns.
- The agreement shall be executed by both parties and shall contain the legal descriptions of both properties. The Director of Property shall execute the agreement for and on behalf of the City, provided the agreement has been previously approved by the City Attorney and the head of the department having jurisdiction over the City's Real Property. The agreement shall be acknowledged by both parties and the Director of Property shall cause the agreement to be recorded.

(Formerly Sec. 23.29, added by Ord. 53845, App. 12/19/95, amended and renumbered by Ord. 57401, File No. 001965, App. 3/2/2001)

SEC. 23.48. FEES AND FEE PAYMENTS.

The application fee which is to accompany each application shall be \$2,500 unless changed by appropriate action of the Board of Supervisors. If the Director of Property determines, after his investigation of the application, that the application fee is inadequate to cover the cost of preparing and processing an agreement, the Director of Property shall notify the building owner of the additional amount that is required. The additional amount shall be paid by the building owner as a prerequisite to preparation and processing of an agreement by the Real Estate Department.

The Real Estate Department is authorized to collect the fees due under lot line window agreements and shall deposit such fees to the credit of the department having jurisdiction over the City's Real Property.

The application fees and any additional amounts required to cover the cost of preparing and processing agreements shall be deposited to the credit of the Real Estate Department.

(Formerly Sec. 23.30, added by Ord. 53845, App. 12/19/95, amended and renumbered by Ord. 57401, File No. 001965, App. 3/2/2001)

1450 SUTTER STREET
SAN FRANCISCO, CA 94109
BUTLERARMSOEN.COM
R INFO@BUTLERARMSOEN.COM
T 415-474-5554
F 415-514-5568

GREENWICH STREET RESIDENCE
1283 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



VARIANCE

REVISIONS:	BY:



JOB#:	1322
DATE:	12/06/2016
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

JIMMY CHEUNG, DEI

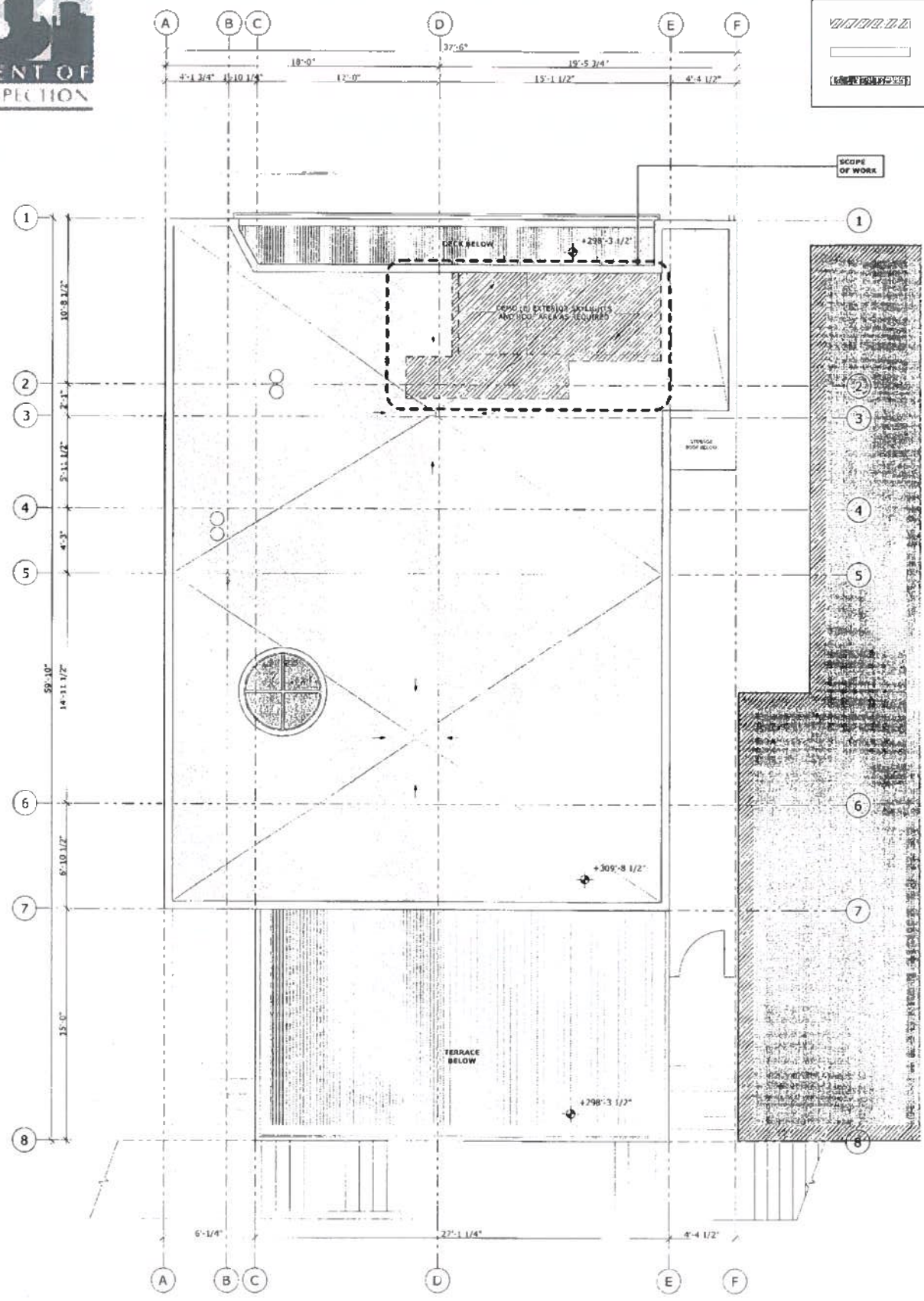
FEB 22 2017

DBI DOCUMENTS

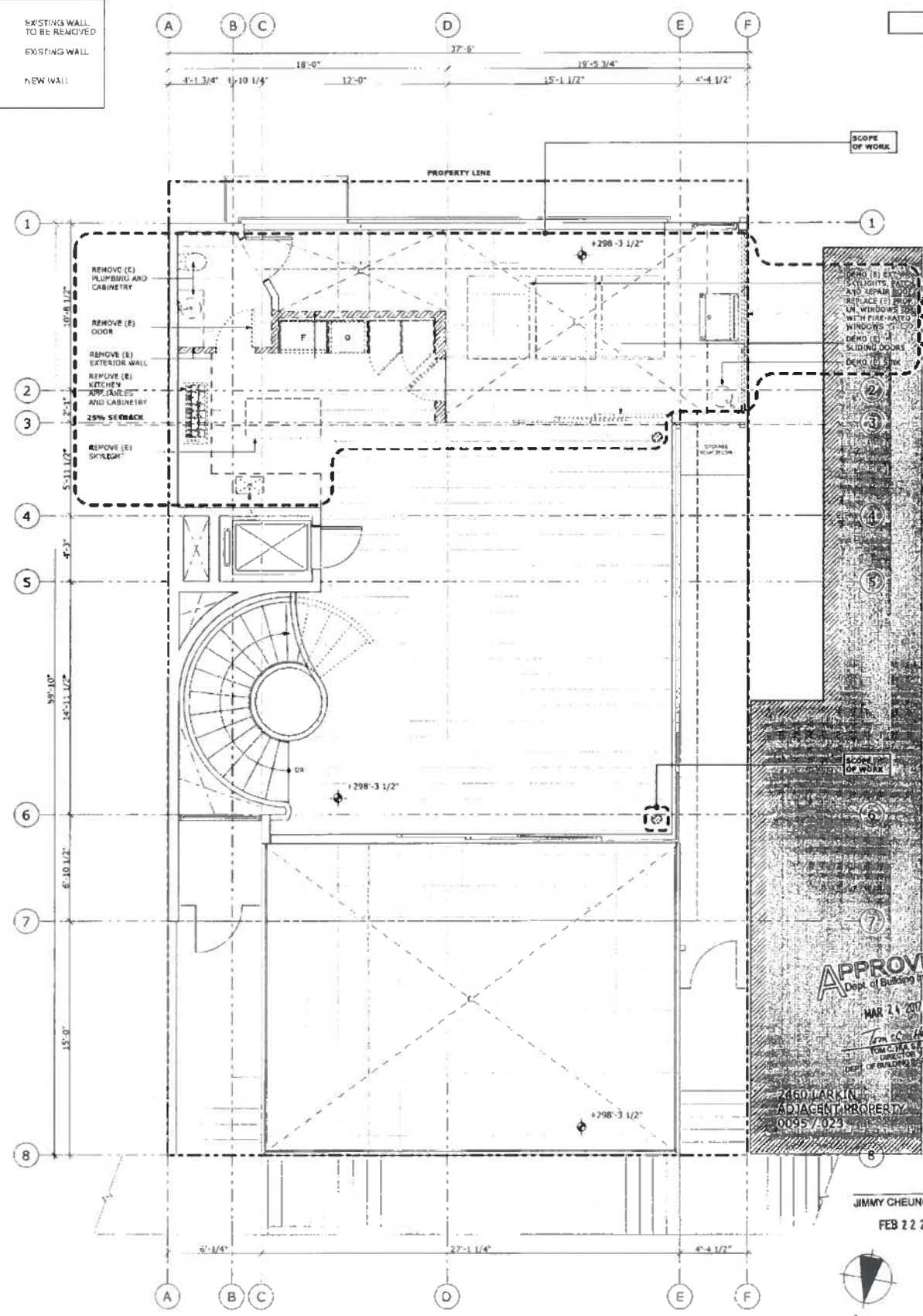
1100 BUTLER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 C: 415-774-5554
 F: 415-774-5557

WALL LEGEND

	EXISTING WALL TO BE REMOVED
	EXISTING WALL
	NEW WALL



2 DEMO ROOF PLAN
 SCALE: 1/4" = 1'-0"



1 DEMO THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

RECEIVED
 DEC 06 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR DIGITIZING / COPIED

VARIANCE

REVISIONS: _____ BY: _____

APPROVED
 Dept. of Building Insp.
 MAR 21 2017

2460 LARKIN
 ADJACENT PROPERTY
 0095 / 023

JOB#: 1322
 DATE: 12/06/2016
 DRAWN: SR / DS
 CHECKED: LB
 SCALE: AS NOTED

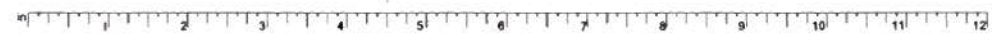
JIMMY CHEUNG, DBI
 FEB 22 2017

**THIRD FLOOR &
 ROOF DEMO
 PLAN**

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

12-16-16
 Approved Planning Dept. Carly Geub

A1.1



GENERAL DEMOLITION NOTES

1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
3. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
4. DEMOLISH ALL REDUNDANT HVAC EQUIPMENT, INCLUDING PIPING, DUCTWORK, RADIANT PANELS, AND BASEBOARD HEATERS. SAVE AND CATALOGUE DECORATIVE GRILLES FOR STORAGE AND RE-USE.
5. DEMOLISH REDUNDANT PLUMBING IN WALL OR FLOOR CAVITIES OPENED FOR CONSTRUCTION.
6. DEMOLISH ALL ABANDON INTERIOR ELECTRICAL THROUGHOUT.
7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE, REMOVE WINDOW HARDWARE, U.O.N.
8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
9. DEMOLISH ALL FLOOR FINISHES, INCLUDING CARPET, VINYL, AND TILE. WOOD FLOORS TO REMAIN, U.O.N. PROTECT DURING CONSTRUCTION.
10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

**BUTLER ARMSDEN
 ARCHITECTS**

640 SUTTER STREET
 SAN FRANCISCO, CA 94109
 317 FARMERS BUILDING
 3 INPOB@BUTLERARMSDEN.COM
 T 415-471-8854
 F 415-471-8554

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

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 UNDER THIS
 SCOPE
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 REFERENCE
 ONLY**

VARIANCE

REVISIONS: BY:

APPROVED
 Dept. of Building Insp.

MAR 24 2017

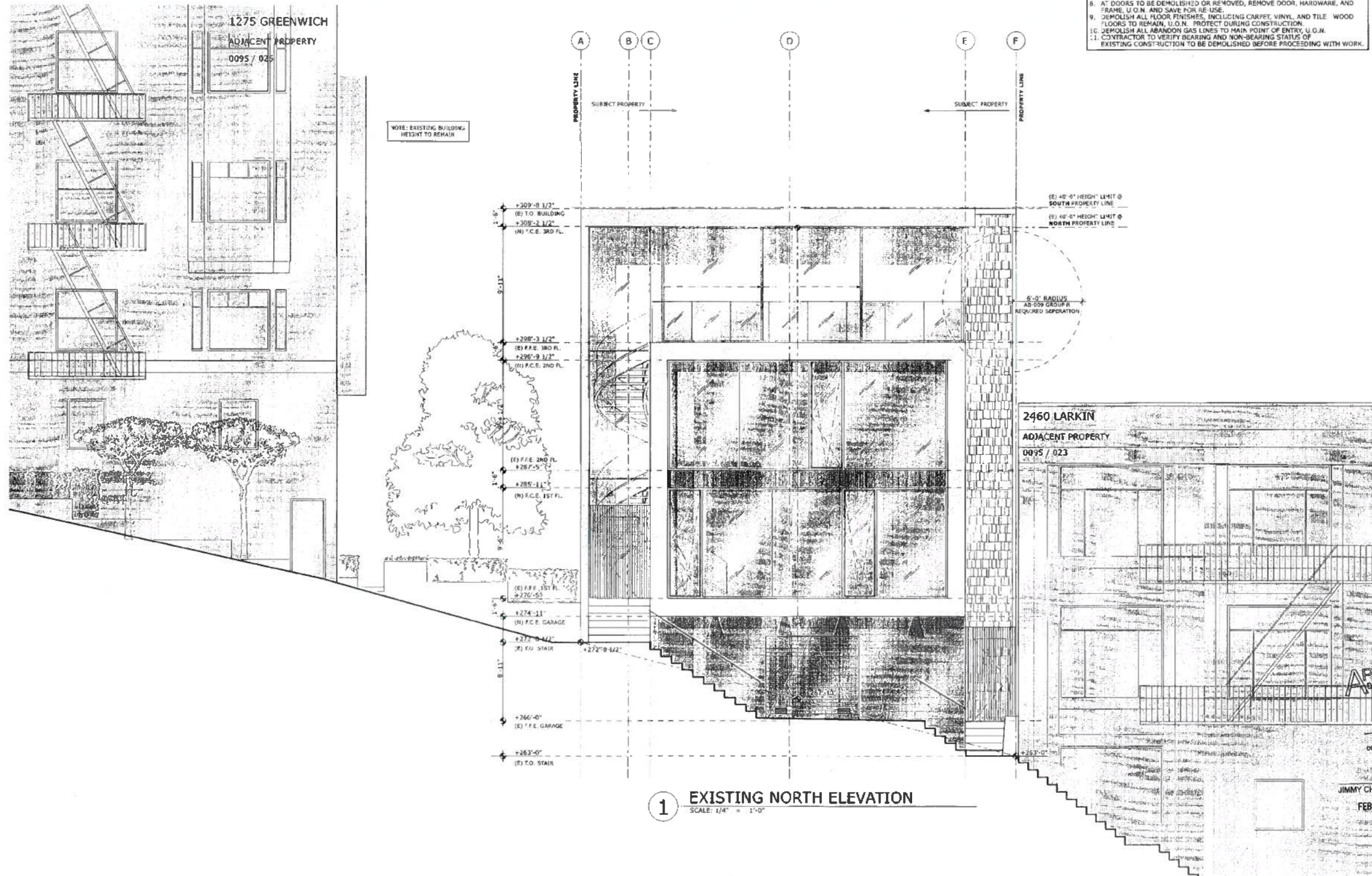
JIMMY CHEUNG, DBI
 FEB 22 2017

PROJECT NO:	1322
DATE:	12/06/2016
DESIGNER:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED



**DEMO NORTH
 ELEVATION**

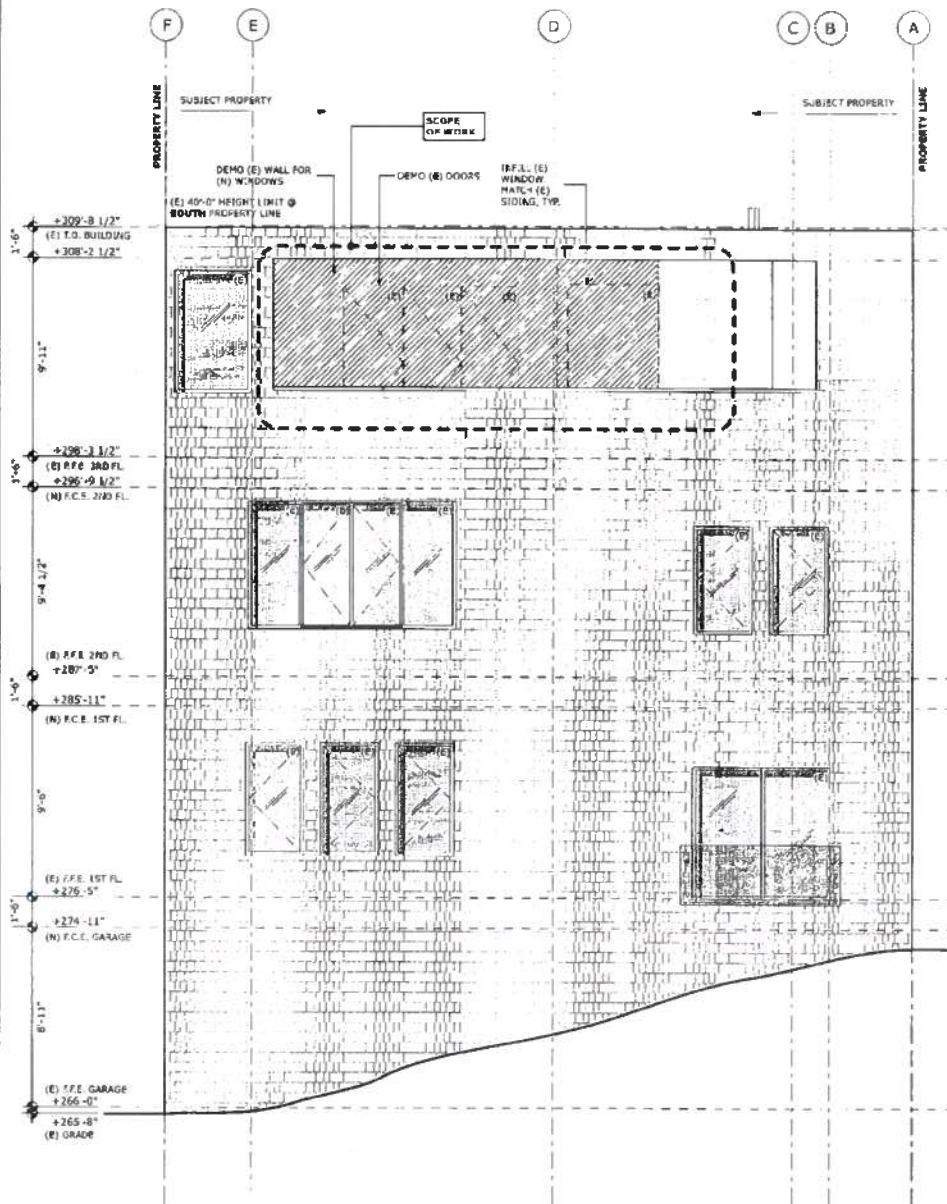
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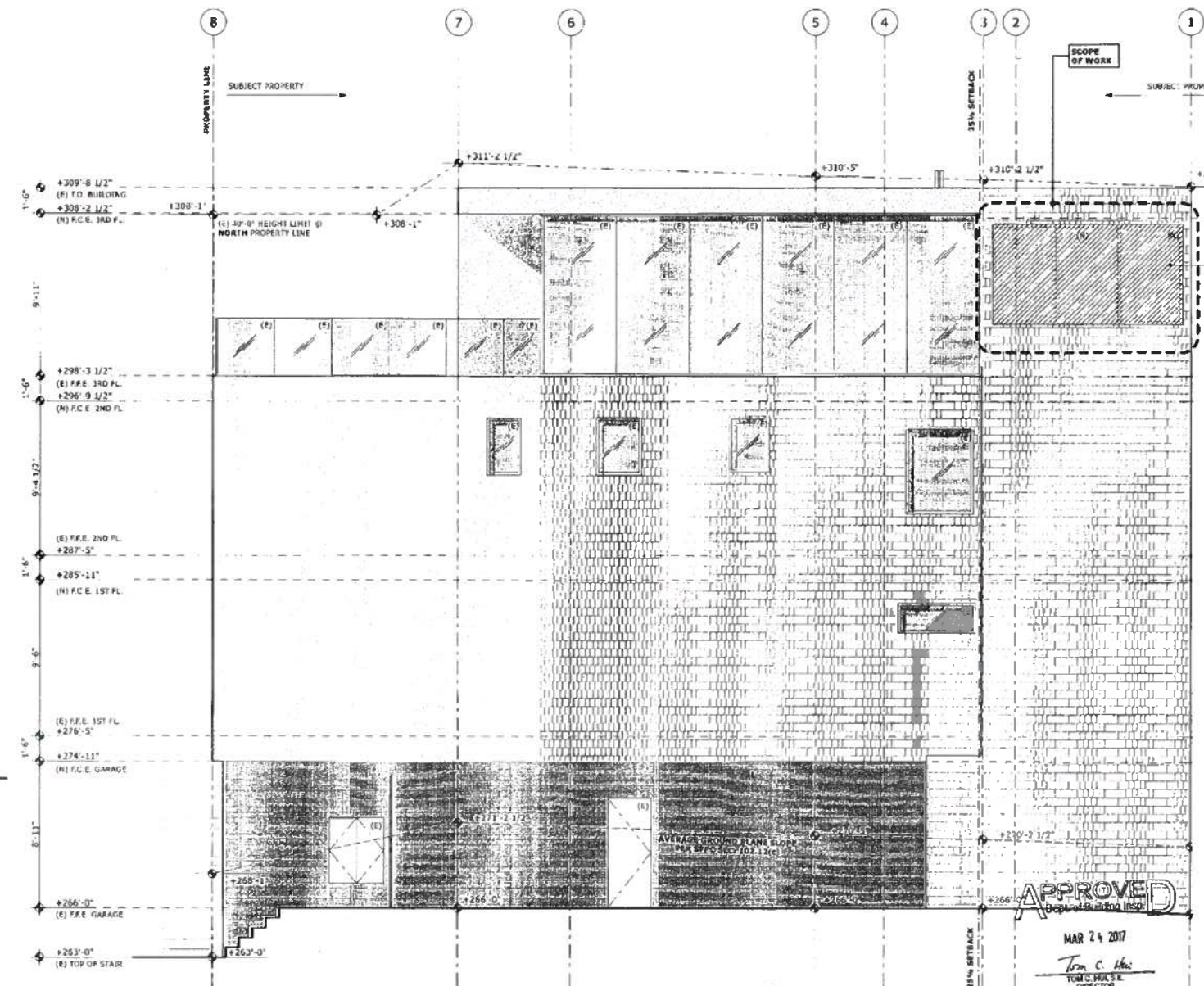
BUTLER ARMSDEN ARCHITECTS
 1420 SUTTER STREET
 SAN FRANCISCO, CA 94109
 (415) 774-5554
 F: 415-774-5558

- GENERAL DEMOLITION NOTES**
1. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ADJACENT PROPERTY AND LANDSCAPE PLANTING TO REMAIN.
 2. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
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 7. DEMOLISH ALL WINDOW COVERINGS AND RELATED HARDWARE, REMOVE WINDOW HARDWARE, U.O.N.
 8. AT DOORS TO BE DEMOLISHED OR REMOVED, REMOVE DOOR, HARDWARE, AND FRAME, U.O.N. AND SAVE FOR RE-USE.
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 10. DEMOLISH ALL ABANDON GAS LINES TO MAIN POINT OF ENTRY, U.O.N.
 11. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



1 DEMO SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 DEMO WEST ELEVATION
 SCALE: 1/4" = 1'-0"

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 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR GRITZING
 CREDITED

VARIANCE

REVISIONS:	BY:

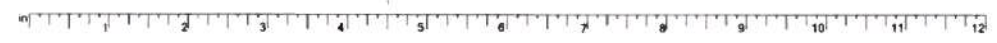
APPROVED
 MAR 24 2017
 Tom C. Hsieh
 TOM CHANG
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

JOB#:	1322
DATE:	12/06/2016
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

Approved Planning Dept. Cary Geb
 JIMMY CHEUNG, CEI
 FEB 22 2017



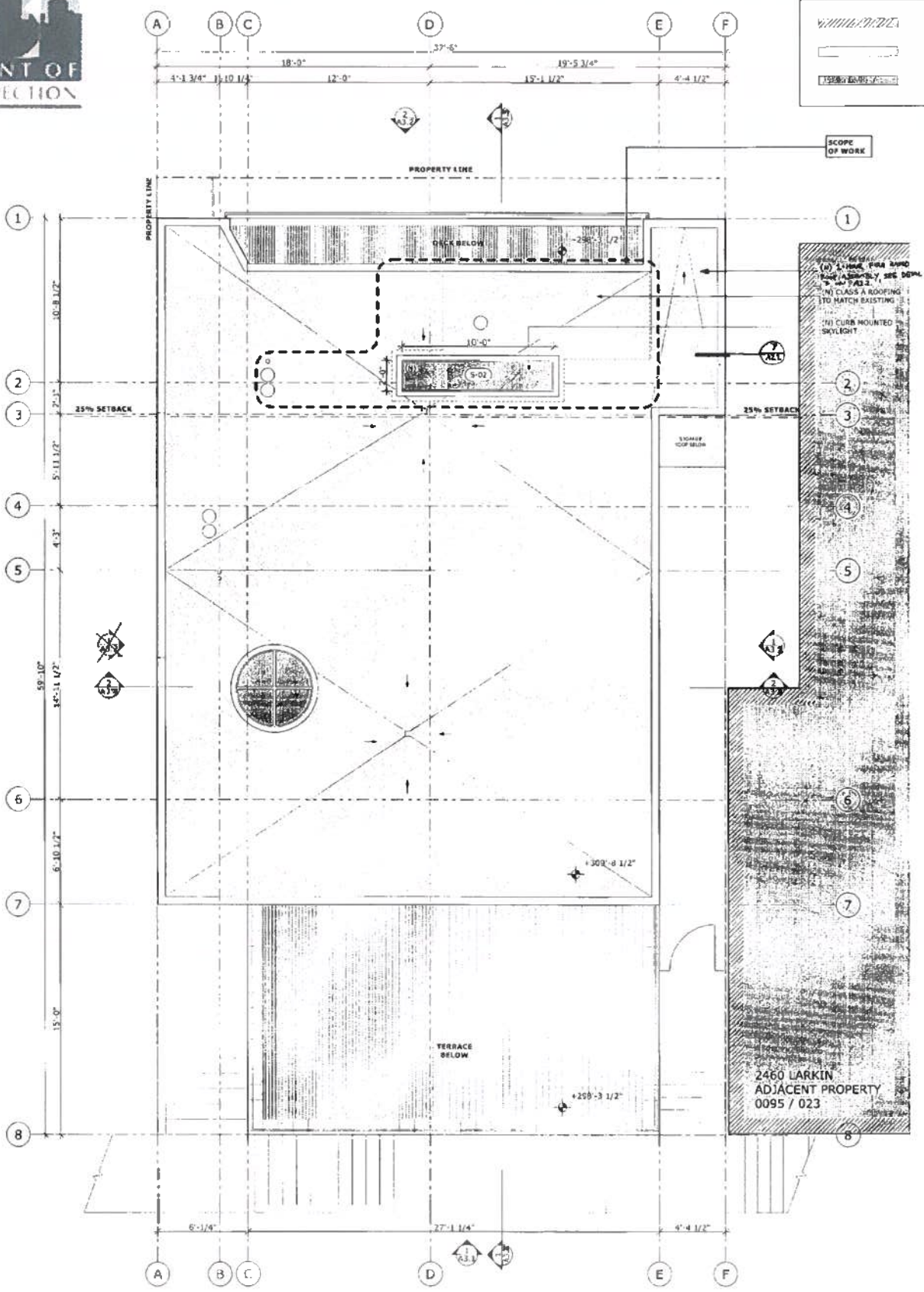
DEMO ELEVATIONS



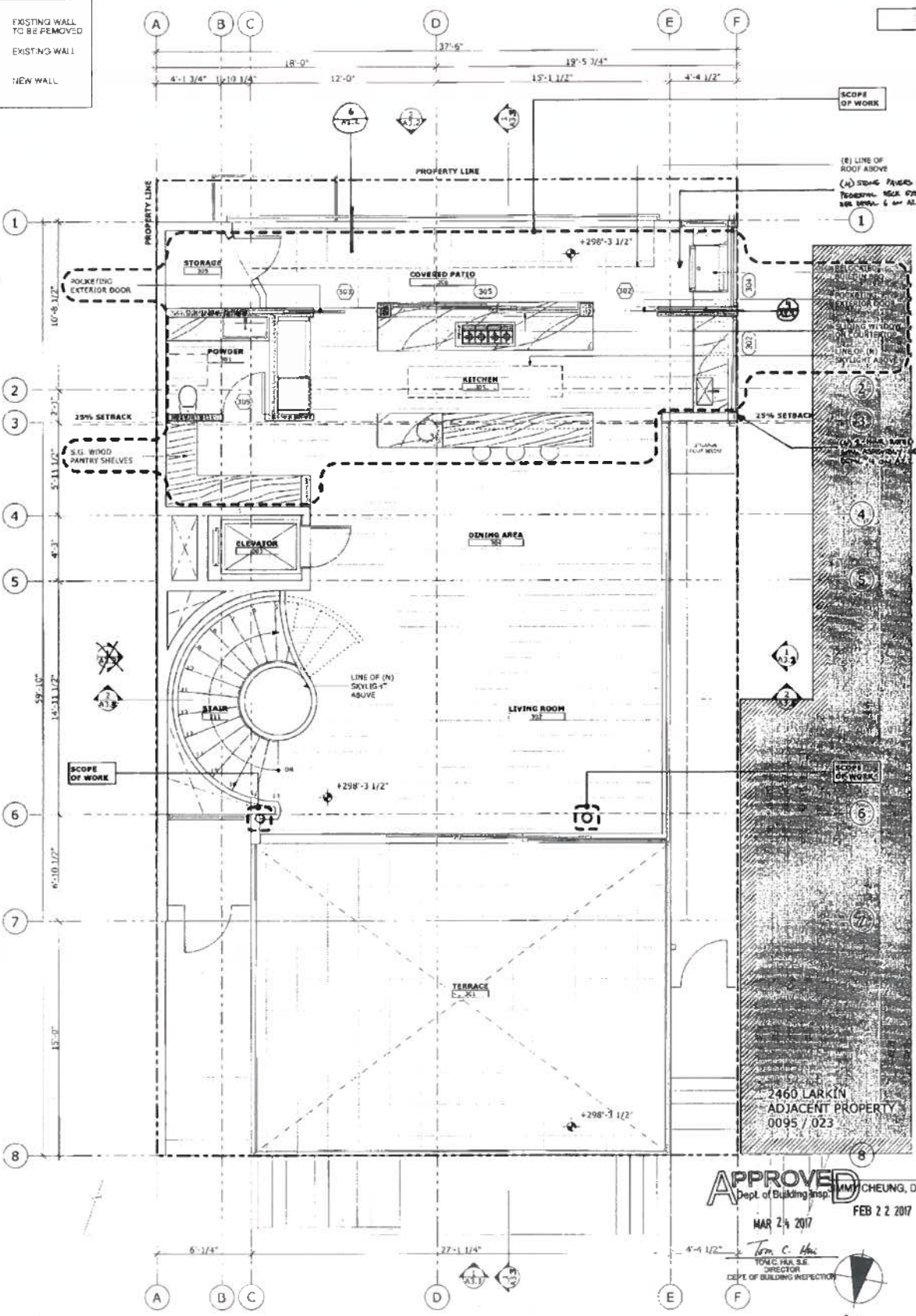
1409 BUTLER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 P: 415-974-5551
 F: 415-974-5558

WALL LEGEND

- EXISTING WALL TO BE REMOVED
- EXISTING WALL
- NEW WALL



2 PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"



3 PROPOSED THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

SCOPE OF WORK
 (E) LINE OF ROOF ABOVE
 (H) 2X8x8 PILING ON
 TOWER. SEE 07510-1,
 SEE DRAW. 6 & 01.2.

Timothy Nagata, DBI
 DEC 12 2016

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 ACCEPTED

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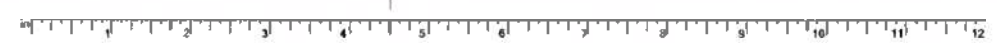
REVISIONS:	BY:
JOB#:	1322
DATE:	12/06/2016
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CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 MAR 24 2017
 TONY C. HUI
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

APPROVED
 BUTLER ARMSDEN
 ARCHITECTS
 FEB 22 2017
 STATE OF CALIFORNIA

THIRD FLOOR &
 ROOF
 PROPOSED PLAN

A2.1



1420 SUTTER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN@GMAIL.COM
 INFO@BUTLERARMSDEN.COM
 T 415-691-5554
 F 415-691-5555

GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

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 ARCHITECTURE

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 ONLY**

VARIANCE

REVISIONS:	BY:

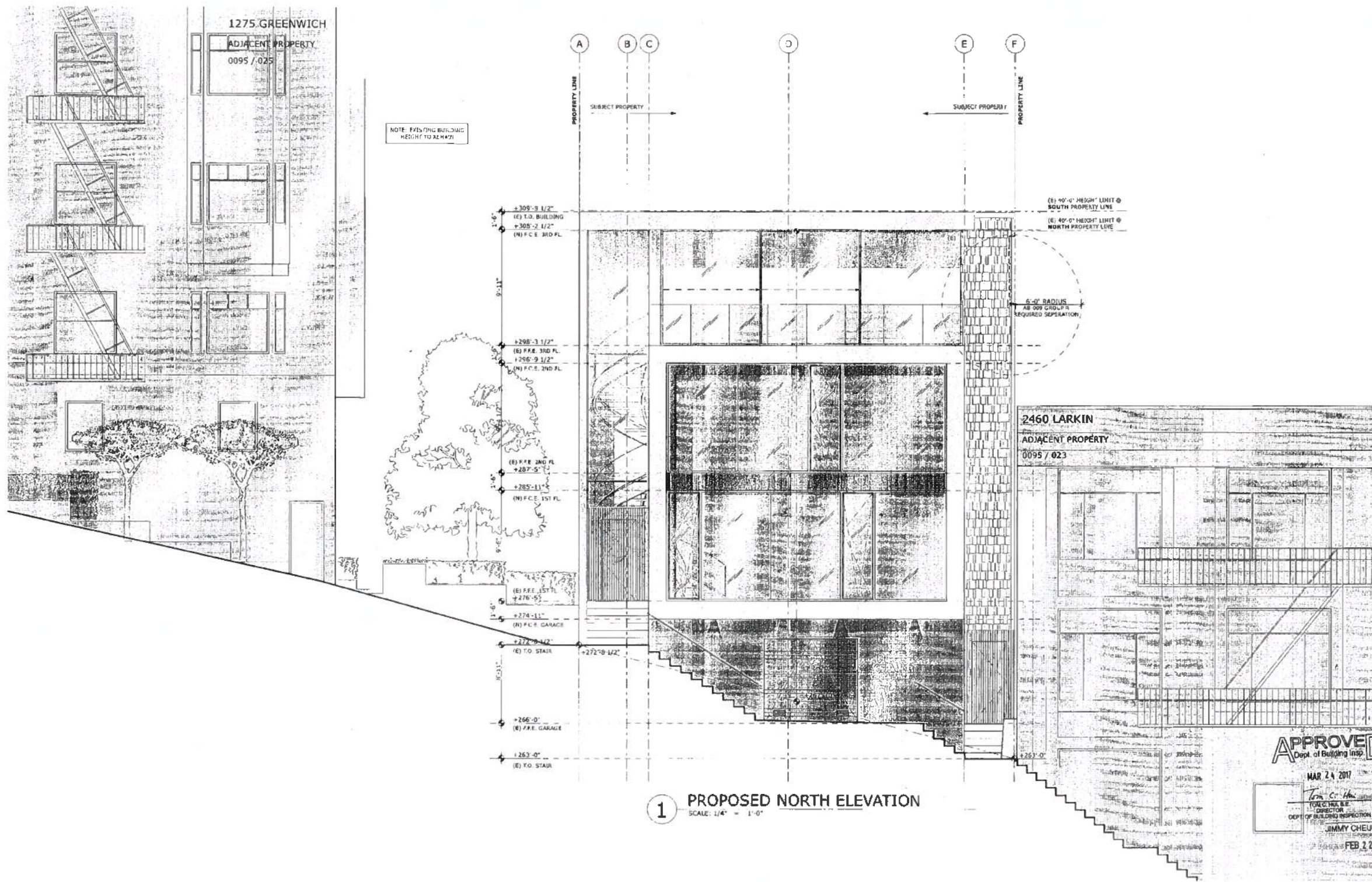
JOB#:	1322
DATE:	12/06/2016
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

APPROVED
 Dept. of Building Insp.
 MAR 24 2017
 Jimmy Cheung, DBI
 DIRECTOR
 DEPT. OF BUILDING INSPECTION
 FEB 22 2017

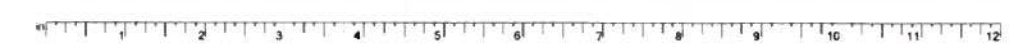
**PROPOSED
 NORTH
 ELEVATION**

Approved Planning Dept. Carly Gub

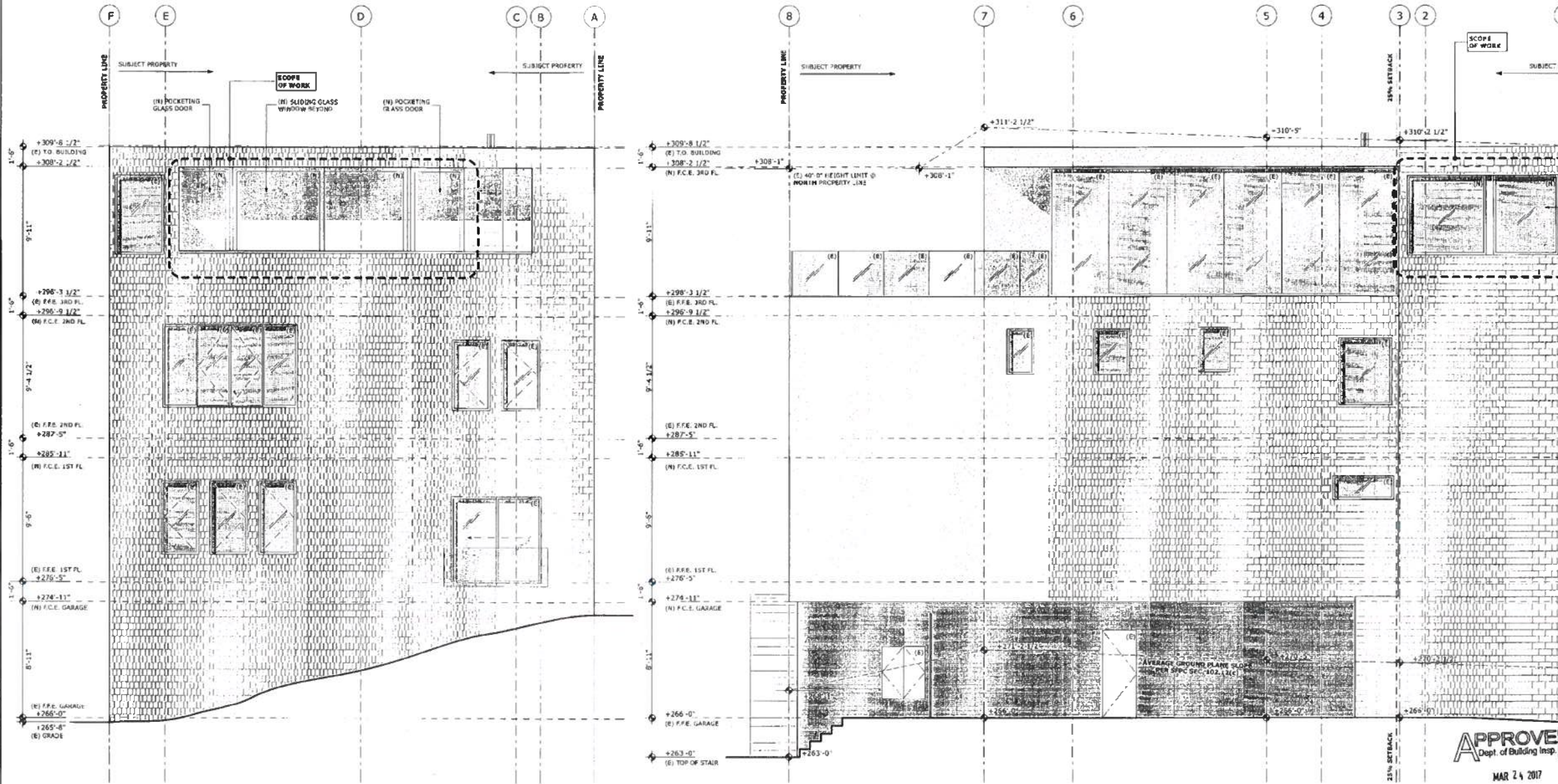
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1 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



GREENWICH STREET RESIDENCE
 1281 / 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



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 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR CREDITING
 ACCEPTED

VARIANCE

REVISIONS:	BY:

JOB#:	1322
DATE:	12/06/2016
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED

2 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

1 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

APPROVED
 Dept. of Building Insp.

MAR 24 2017
 Tom C. Hui
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

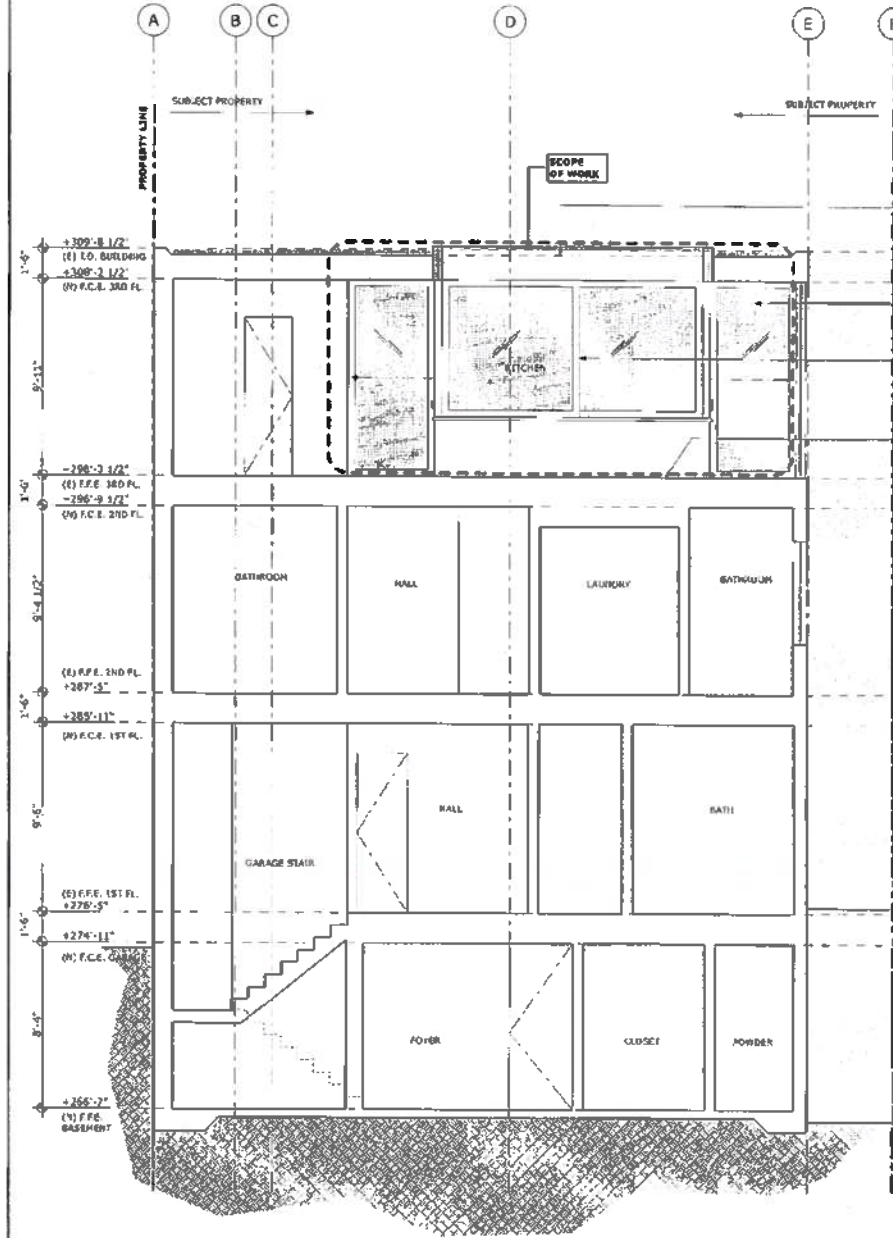
JIMMY CHEUNG, DBI
 FEB 22 2017



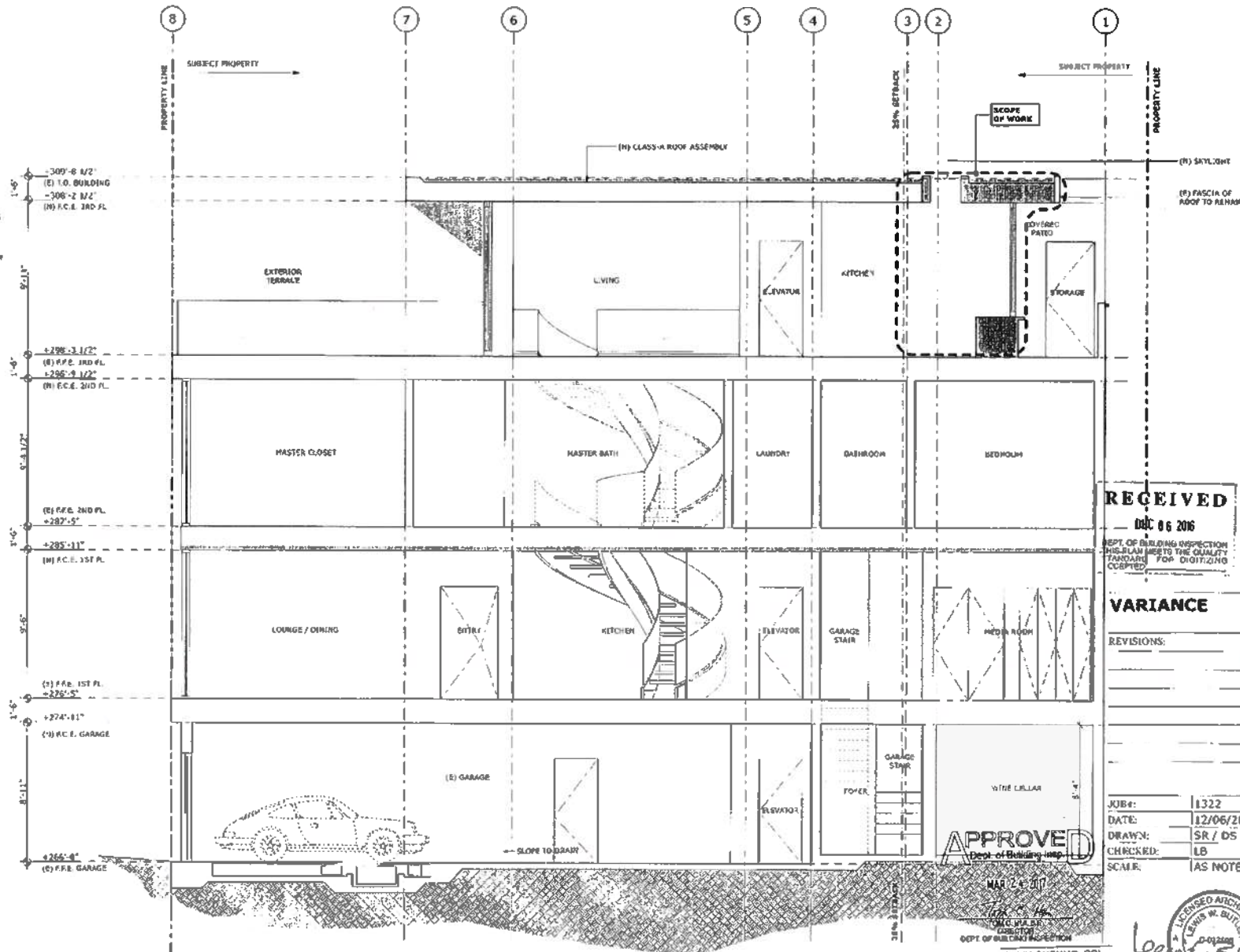
Approved Planning Dept.
 12-10-16
 Carly Grob

PROPOSED ELEVATIONS

GREENWICH STREET RESIDENCE
 1287 / 1289 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



2 PROPOSED EAST / WEST SECTION
 SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH / SOUTH SECTION
 SCALE: 1/4" = 1'-0"

RECEIVED
 DEC 06 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARDS FOR DIGITIZING
 COPIES

VARIANCE

REVISIONS:	BY:

APPROVED
 Dept. of Building Insp.

MAR 24 2017
 JIMMY CHEUNG, DBI
 FEB 22 2017
 Approved Printing Dept. Carly Chen

PROPOSED SECTIONS



STRUCTURAL NOTES:

CRITERIA: CALIFORNIA BUILDING CODE (CBC), 2013 EDITION, AND AMENDMENTS... LOCAL JURISDICTION... LOADS: BASED ON WEIGHTS OF EXISTING AND NEW MATERIALS... LIVE LOADS: ROOF (FLAT) = 20 PSF, FLOOR = 40 PSF... SEISMIC (ASCE 7-10): Y = 0.154 W (LRFD), SEISMIC DESIGN CATEGORY = D, IMPORTANCE FACTOR (I) = 1.0, REDUNDANCY FACTOR RHO (ρ) = 1.0, SITE CLASS = B, LAT., LONG. = (37.8007, -122.4207), MAPPED VALUES: Ss = 1.5, S1 = 0.834, SDs = 1.00, SD1 = 0.42, SEISMIC VALUES: R = 6.5 PLYWOOD SW, R = 8 SSMF, R = 2.5 SSCC, LINEAR STATIC ANALYSIS PROCEDURE... WIND LOADS (ASCE 7-10 SIMPLIFIED PROCEDURE): N/A

STRUCTURAL DRAWINGS:

- 1. NOTES, TYPICAL DETAILS AND SCHEDULES APPLY TO ALL STRUCTURAL WORK UNLESS NOTED OTHERWISE... 2. REVIEW ALL EXISTING FEATURES AND CONDITIONS UPON WHICH THESE DRAWINGS RELY... 3. COMPARE STRUCTURAL DRAWINGS WITH THE VARIOUS OTHER DRAWINGS AND SPECIFICATIONS BEFORE COMMENCING THE WORK... 4. DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONAL INFORMATION... 5. SEE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS AND SPECIFICATIONS FOR INSERTS, SLEEVES, BLOCKOUTS AND OTHER CONDITIONS... 6. SEE ARCHITECTURAL DRAWINGS FOR ALL WATERPROOFING AND DAMPROOFING DETAILS.

CONSTRUCTION:

- 1. ALL WORK SHALL CONFORM TO CALIFORNIA BUILDING CODE, 2013 EDITION... 2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THIS BUILDING... 3. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND MINIMIZE MOVEMENT/SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS... 4. THE CONTRACTOR'S TEMPORARY MEASURES SHALL BE ARRANGED OR DESIGNED SO AS TO NOT ALTER OR AFFECT THE PERMANENT STRUCTURE... 5. THE IMPOSED CONSTRUCTION LOADS SHALL NOT BE MORE THAN DESIGN LIVE LOADS... 6. WORK SHALL INCLUDE REPAIR AND/OR REPLACEMENT OF DEFECTIVE ITEMS... 7. OPENINGS IN FLOORS, SHEAR WALLS, BEAMS, OR JOISTS LARGER THAN THOSE SHOWN ON TYPICAL DETAILS OR STRUCTURAL DRAWINGS SHALL BE REVIEWED BY STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK.

EXISTING CONDITIONS:

- 1. INFORMATION REGARDING EXISTING CONDITIONS IS PRESENTED FOR REFERENCE ONLY... 2. THE REMOVAL, CUTTING, DRILLING, ETC. OF EXISTING WORK SHALL BE PERFORMED WITH GREAT CARE AND SMALL TOOLS IN ORDER NOT TO JEOPARDIZE THE STRUCTURAL INTEGRITY OF THE BUILDING... 3. IMMEDIATELY AND PRIOR APPROVAL OBTAINED BEFORE PROCEEDING WITH THE WORK.

EXCAVATION, UNDERPINNING AND SHORING:

- 1. THE CONTRACTOR SHALL PROVIDE ALL MEASURES AND PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND MINIMIZE SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS... 2. DESIGN AND CONSTRUCTION OF TEMPORARY AND/OR PERMANENT UNDERPINNING DURING EXCAVATION SHALL BE BY AN EXPERIENCED SUBCONTRACTOR WHO SPECIALIZES IN THIS TYPE OF WORK.

- 3. SHORING, UNDERPINNING, AND EARTH RETENTION CALCULATIONS AND DRAWINGS, IF REQUIRED, SHALL BE PREPARED AND SUBMITTED TO THE SOILS ENGINEER AND STRUCTURAL ENGINEER FOR REVIEW... 4. THE EXCAVATION SEQUENCES SHALL BE CONTROLLED TO MATCH THE REQUIREMENTS OF THE DESIGN OF THE SOIL RETENTION SYSTEM AND TO PERMIT MONITORING OF WALL AND GROUND MOVEMENTS... 5. PRIOR TO ANY EXCAVATION OR INSTALLATION OF ELEMENTS OF THE SOIL RETENTION SYSTEM, THE CONTRACTOR SHALL ESTABLISH BENCH MARKS AROUND THE PERIMETER OF THE AREA TO BE EXCAVATED... 6. THE OWNER'S SOIL TESTING LABORATORY SHALL REVIEW AND MONITOR THE EXCAVATION AND DEWATERING... A. BENCH MARKS ADJACENT TO AND AWAY FROM THE SITE PERIMETER FOR VERTICAL AND HORIZONTAL MOVEMENTS.

FOUNDATIONS/ SITE PREPARATION:

- 1. FOUNDATION DESIGN IS BASED ON CHAPTER 18, CDC, (THE GEOTECHNICAL INVESTIGATION REPORT ENTITLED "PLANNED IMPROVEMENTS, 1281-1293 GREENWICH STREET, SAN FRANCISCO, CA", DATED 11/09/2013, BY I.L. ALLEN GRUEN... 2. CONTINUOUS FOOTINGS: MAXIMUM SOIL PRESSURE = 2,000 PSF DL + LL, = 3,000 PSF DL + LL + SEISMIC/WIND... ISOLATED FOOTINGS: MAXIMUM SOIL PRESSURE = 2,000 PSF DL + LL, = 3,000 PSF DL + LL + EQ... RETAINING WALLS: ACTIVE PRESSURE (LEVEL) = 40 PCF, ACTIVE PRESSURE (2:1) = 60 PCF, PASSIVE PRESSURE = 250 PSF, BEARING PRESSURE = 5,000 PSF, FRICTION COEFFICIENT = 0.4... 3. ALL SITE GRADING, FILLS AND SOIL PREPARATION SHALL CONFORM TO THE SOIL REPORT AND ALL WORK SHALL BE DONE UNDER THE SUPERVISION OF THE OWNER'S SOIL TESTING LABORATORY OR THE SOILS ENGINEER... 4. FOOTINGS SHALL EXTEND TO SUCH DEPTH AS TO BEAR ON FIRM, UNDISTURBED SOIL... 5. MATERIALS FOR SUB-CAPILLARY BREAK UNDER CONCRETE SLABS ON GRADE SHALL BE FREE-DRAINING GRAVEL OR CRUSHED ROCK... 6. BEFORE BACKFILLING BEHIND CONCRETE WALLS (BASEMENT WALLS, RETAINING WALLS, ETC.) CONCRETE SHALL HAVE ATTAINED FULL DESIGN STRENGTH AND ALL SUPPORTS (FLOORS, STAIRS, BEAMS, ETC.) WHICH ARE REQUIRED FOR THE STABILITY OF THE WALL SHALL HAVE BEEN COMPLETED... 7. FOOTING EXCAVATIONS SHALL BE CLEANED OF LOOSE SOILS... 8. A GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING AND FOUNDATION PHASE OF CONSTRUCTION...

STRUCTURAL STEEL:

- 1. MISCELLANEOUS IRON AND STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED ACCORDING TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," LATEST EDITION... 2. ALL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP... 3. AFTER FABRICATION, ALL STEEL SHALL BE CLEANED OF ALL RUST... 4. THE STRUCTURAL STEEL CONTRACTOR WILL BE RESPONSIBLE FOR REVIEWING ALL STRUCTURAL STEEL DETAILS, WELDING SEQUENCES, AND FABRICATION AND ERECTION PROCEDURES WITH STEEL MANUFACTURER... 5. THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT, FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAMS... 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY LOADING CONDITIONS DURING CONSTRUCTION... 7. THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

- 5. ALL ADDITIONAL STEEL REQUIRED BY THE CONTRACTOR FOR ERECTION PURPOSES AND SITE ACCESS OF STOCKPILED MATERIALS SHALL BE PROVIDED AT NO COST TO THE OWNER... 9. EXCEPT WHERE OTHERWISE SHOWN, STEEL SECTIONS SHALL CONFORM TO THE FOLLOWING: A. PLATES, BARS, ETC. ASTM A572, GRADE 50... B. WIDE FLANGE BEAMS AND COLUMNS. ASTM A992, GRADE 50... C. STRUCTURAL TUBES (RECTANGULAR OR SQUARE HSS) ASTM A500 GRADE B (Fy = 46ksi)... D. STRUCTURAL PIPES (ROUND HSS) ASTM A500 GRADE B (Fy = 42ksi)... E. TYPICAL (GRAVITY) BASE PLATES. ASTM A572, GRADE 50... F. ALL CONTINUITY, REINFORCING, AND SHEAR PLATES... G. GUSSET PLATES, BARS AND BASE PLATES ASSOCIATED W/ MOMENT AND BRACED FRAMES. ASTM A572, GRADE 50... H. ANCHOR BOLTS (A.B.) ASTM A36 U.N.O... I. MACHINE BOLTS (M.B.) A307... J. HIGH STRENGTH BOLTS (H.S.B.) A325X-SC, U.N.O... 10. WELDING OF STRUCTURAL STEEL: A. ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF AWS CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION... B. CONTINUOUS VISUAL INSPECTION AND NOT (SECTION 1704)... C. BEFORE ERECTION, STEEL FABRICATOR SHALL SUBMIT TO THE ENGINEER, FOR REVIEW, SHOP DIAGRAMS OR WRITTEN PROCEDURES... D. E-70XX ELECTRODES SHALL BE USED AT ALL WELDED STEEL CONNECTIONS... E. ALL WELDS USED IN MEMBERS AND CONNECTIONS IN THE SEISMIC FORCE RESISTING SYSTEM (S.F.R.S.) SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CHARPY V-NOTCH TOUGHNESS OF 20 FT-LB AT 0°F... F. WELD JAWS SHALL NOT BE USED... G. ALL JOINT WELDING SHALL BE FULL PENETRATION WELDS UNLESS OTHERWISE NOTED... H. ALL C.J.P. WELDS SHALL BE STARTED AND ENDED WITH A MINIMUM LENGTH OF ONE INCH ON WELD TABS... I. ALL C.J.P. GROOVE WELDS SHALL BE ULTRASONICALLY (UT) EXAMINED FOR THE FULL LENGTH... J. ALL DEFECTIVE WELDS SHALL BE GROUND OUT, REPAIRED, AND REWELDED AT THE CONTRACTOR'S EXPENSE... 11. ALL STEEL TO STEEL BOLTED CONNECTIONS SHALL BE BOLTED WITH HIGH STRENGTH BOLTS CONFORMING TO ASTM A325... 12. WELDED STUDS SHALL BE HEADED STUDS CONFORMING TO ASTM A108-58T... 13. BEAM TO GIRDER MOMENT CONNECTIONS AND BEAM OR GIRDER TO COLUMN MOMENT CONNECTIONS ARE DESIGNATED ON PLANS... 14. MEMBERS NOT DESIGNATED ON FRAMING PLANS ARE SHOWN ON FRAME ELEVATIONS... 15. FOR A COMPLETE LIST OF REQUIRED "SPECIAL INSPECTIONS" SEE SHEET S-1.0 UNDER "SPECIAL INSPECTION AND STRUCTURAL OBSERVATION"... 16. THE OWNER'S TESTING AGENCY SHALL PERFORM ALL SHOP AND FIELD INSPECTION AND TESTING... 17. THE STRUCTURAL STEEL FABRICATOR SHALL SCHEDULE ALL WORK TO ALLOW THE ABOVE TESTING REQUIREMENTS TO BE COMPLETED.

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION:

EMPLOYMENT OF SPECIAL INSPECTION IS THE DIRECT RESPONSIBILITY OF THE OWNER... SPECIAL INSPECTION SHALL BE PERFORMED AS PROVIDED BY SECTION 1702... TESTING IS REQUIRED FOR THE FOLLOWING WORK:

- 1. CONCRETE PLACEMENT SAMPLING... 2. BOLTS INSTALLED IN CONCRETE... 3. SPECIAL MOMENT-RESISTING CONCRETE FRAME... 4. REINFORCING STEEL... 5. STRUCTURAL WELDING... 6. HIGH STRENGTH BOLTING... 7. STRUCTURAL MASONRY... 8. PILING, DRILLED PIERS AND CASSON... 9. SHOTCRETE... 10. SPECIAL GRADING EXCAVATION AND PILING (GEOTECHNICAL)... 11. BOLTS INSTALLED IN EXISTING CONCRETE OR MASONRY... 12. SHEAR WALLS AND FLOOR SYSTEMS USED AS SHEAR DIAPHRAGMS... 13. HOLD DOWNS... 14. STRUCTURAL OBSERVATION PER SEC. 1704 (2013 CBC) FOR THE FOLLOWING: FOUNDATIONS, STEEL FRAMING, CONCRETE CONSTRUCTION, MASONRY CONSTRUCTION, WOOD FRAMING, OTHERS.

ABBREVIATIONS:

Table with 2 columns: Abbreviation and Definition. Includes terms like A.B., ALT., ARCH., BLDG., BR., BN., BOT., C.J.P., C.P., C.J.P., C.L., CLR., CMU, COL., CONC., CONST., CONT., DET., DIA., DWG., EA., EL., EMBED., EN., EQ., EXIST., EXT., FDN., FIN., FL., FN., FP., FT., FIG., GA., GALV., GL., H.S.B., HD., HORIZ., IN., LB., LOS., LL., LH., LV.



MAR 21 2017

INDEX OF DRAWINGS:

- S-1.0 - GENERAL NOTES
S-1.1 - GENERAL NOTES
S-2.0 - GROUND FLOOR / BASEMENT FOUNDATION PLAN
S-2.1 - SECOND FLOOR FRAMING PLAN
S-2.2 - THIRD FLOOR FRAMING PLAN
S-2.3 - FOURTH FLOOR FRAMING PLAN
S-2.4 - ROOF FRAMING PLAN

- S-3.0 - CONCRETE DETAILS / STEEL & WOOD FRAMING DETAILS
S-4.0 - FRAMING DETAILS I
S-4.1 - FRAMING DETAILS II
S-6.1 - STEEL DETAILS I

JIMMY CHEUNG, DBI
FEB 22 2017

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GREENWICH STREET RESIDENCE
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DEPT. OF BUILDING INSPECTION
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Var. Bldg. Permit Set 12.06.2016

Scale: AS NOTED
Job No. 14-100

General Notes

S-1.0

IX. ROUGH CARPENTRY:

1. PROVIDE SAWN LUMBER IN CONFORMANCE WITH THE GRADING RULES OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB) FOR THE SPECIES AND GRADE DESIGNATED. MOISTURE CONTENT SHALL NOT EXCEED 18%.
2. PROVIDE DOUGLAS FIR-LARCH SAWN LUMBER UNLESS NOTED OTHERWISE. AS A MINIMUM, PROVIDE THE FOLLOWING GRADES:
 JOISTS..... NO. 2
 BEAMS AND HEADERS..... NO. 1
 WALL STUDS..... STUD
 POSTS..... NO. 1 & BETTER
 SILLS, PLATES, AND BLOCKING..... NO. 2
3. PROVIDE ENGINEERED LUMBER IN CONFORMANCE WITH THE FOLLOWING SPECIFICATIONS:

ITEM	Fb (PSI)	Fv (PSI)	E (PSI)
PSL	2,900	290	2.0x10 ⁶
LVL	2,600	285	1.9x10 ⁶
LSL	2,325	310	1.55x10 ⁶

4. PROVIDE PRESSURE-TREATED WOOD FOR ALL EXPOSED MEMBERS AND ALL MEMBERS IN CONTACT WITH CONCRETE, MASONRY, OR SOIL. ALL NAILS IN CONTACT WITH PRESSURE-TREATED LUMBER SHALL BE EITHER HOT-DIPPED GALVANIZED (MEETING ASTM A153 CLASS D) OR STAINLESS STEEL. ALL HARDWARE IN CONTACT WITH PRESSURE-TREATED LUMBER SHALL BE EITHER HOT-DIPPED GALVANIZED (MEETING ASTM A653 CLASS G185), OR STAINLESS STEEL.
5. AS A MINIMUM, ATTACH AND INTERCONNECT ALL FRAMING MEMBERS IN ACCORDANCE WITH THE NAILING SCHEDULE CONTAINED IN TABLE 2304.9.1 IN THE CALIFORNIA BUILDING CODE. NAILS MAY BE BOX OR COMMON WIRE, AS ALLOWED IN FOOTNOTES OF TABLE. NAILS CALLED FOR ON PLANS AND DETAILS SHALL BE COMMON WIRE. HOT-DIPPED GALVANIZED NAILS SHALL BE USED WHERE EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE-TREATED LUMBER.
6. PROVIDE FULL-DEPTH SOLID BLOCKING OR OTHER MEANS OF LATERAL SUPPORT AT ENDS AND BEARING POINTS OF ALL JOISTS, RAFTERS, BEAMS, AND HEADERS, AND AT INTERMEDIATE INTERVALS NOT TO EXCEED 8'-0".
7. DESIGNATIONS FOR HARDWARE ARE BASED ON SIMPSON STRONG-TIE CO., INC. SUBSTITUTION OF NON-SIMPSON HARDWARE IS NOT ACCEPTABLE.
8. INSTALL HARDWARE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. USE ALL SPECIFIED FASTENERS.
9. ALL NAILS SHALL BE COMMON WIRE NAILS. "SHORT" NAILS SUPPLIED BY SIMPSON STRONG-TIE SHALL ONLY BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, AND SHALL NOT BE USED WHEN ATTACHING THROUGH PLYWOOD TO FRAMING MEMBERS BEHIND.
10. PLYWOOD SUBFLOORING SHALL BE 3/4" APA RATED STUR-D FLOOR SHEATHING (48/24), GROUP 1 EXPOSURE 1, UNLESS NOTED OTHERWISE. PANEL EDGES SHALL BE TONGUE AND GROOVED. LAY PANELS WITH FACE GRAIN ACROSS SUPPORT. STAGGER SIDE JOINTS. NAIL ALL SUPPORTED EDGES WITH 10d NAILS @ 6" O.C. AND AT ALL INTERIOR BEARINGS WITH 10d NAILS @ 10" O.C., UNLESS OTHERWISE NOTED. NAILS SHALL BE RINGSHANK OR SCREW NAILS DRIVEN FLUSH. GLUE PLYWOOD TO ALL SUPPORTS AND AT TONGUE AND GROOVE JOINTS IN ACCORDANCE WITH APA GLUED FLOOR SYSTEM.
11. PLYWOOD WALL SHEATHING SHALL BE 1/2" APA RATED SHEATHING, UNLESS NOTED OTHERWISE. ALL UNSUPPORTED EDGES SHALL BE BLOCKED. NAIL ALL PLYWOOD EDGES WITH 10d NAILS @ 6" AND INTERIOR BEARINGS WITH 10d NAILS @ 12" O.C., UNLESS OTHERWISE NOTED. NAILS SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE PLYWOOD. MINIMUM SHEET WIDTH FOR PLYWOOD ON SHEAR WALLS SHALL BE 24".
12. PLYWOOD ROOF SHEATHING SHALL BE 1/2" APA RATED SHEATHING. ALL ROOF SHEATHING SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO THE JOISTS. STAGGER SIDE JOINTS. NAIL ALL PLYWOOD EDGES WITH 10d NAILS @ 6" O.C. AND INTERIOR BEARINGS WITH 10d NAILS @ 12" O.C., UNLESS OTHERWISE NOTED. NAILS SHALL BE DRIVEN FLUSH, BUT SHALL NOT FRACTURE THE SURFACE OF PLYWOOD.

X. EPOXY GROUTING:

1. WHERE EPOXY IS INDICATED ON PLANS OR DETAILS, USE HILTI RE-500 SD ADHESIVE (ICC ESR-2322), HILTI HIT-HY 200 (ICC ESR-3187), OR SIMPSON SET-XP ADHESIVE (ICC ESR-2508) FOR USE IN CONCRETE. (CONTRACTOR MAY SUBMIT OTHER EPOXY SYSTEMS FOR APPROVAL, ALONG WITH AN ICC-ES REPORT DEMONSTRATING COMPLIANCE WITH THE 2012 IBC FOR THE SPECIFIC PRODUCT.)
2. WHERE EPOXY IS INDICATED ON PLANS OR DETAILS, USE HILTI RE-500 SD ADHESIVE (ICC ESR-2322) FOR USE IN SOLID GROUTED MASONRY. (CONTRACTOR MAY SUBMIT OTHER EPOXY SYSTEMS FOR APPROVAL, ALONG WITH ICC-ES REPORT DEMONSTRATING COMPLIANCE WITH THE 2012 IBC FOR THE SPECIFIC PRODUCT.)
3. WHERE EPOXY IS INDICATED ON PLANS OR DETAILS, USE HILTI HIT-HY 70 ADHESIVE ANCHOR SYSTEM (ICC ESR-3342) FOR USE IN UNREINFORCED MASONRY. PLASTIC MESH SCREEN TUBES SHALL BE USED AT ALL ANCHOR LOCATIONS PER CC-3342. (CONTRACTOR MAY SUBMIT OTHER EPOXY SYSTEMS FOR APPROVAL, ALONG WITH ICC-ES REPORT DEMONSTRATING COMPLIANCE WITH THE 2012 IBC FOR THE SPECIFIC PRODUCT.)
4. DRILL HOLES TO EPOXY MANUFACTURER'S RECOMMENDED SIZE. CLEAN HOLES WITH A CIRCULAR WIRE OR NYLON BRUSH AND BLOW OUT WITH COMPRESSED AIR.
5. SLOWLY INSERT ROD OR BAR WHILE TURNING ONE FULL ROTATION. DO NOT DISTURB JOWEL UNTIL EPOXY HAS SET.

XI. TESTING AND INSPECTION:

1. SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN APPROVED INDEPENDENT TESTING AND INSPECTION AGENCY OR AS INDICATED BELOW. THE INSPECTION AGENCY SHALL BE RETAINED BY AND PAID FOR BY THE OWNER.
2. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER, PRIOR TO BEGINNING CONSTRUCTION, A DETAILED LIST OF "SPECIAL INSPECTION" ITEMS INDICATING THE SCOPE OF TESTING AND INSPECTION AND THE AGENCY OR ENGINEER PERFORMING THE WORK.
3. THE INSPECTION AGENCY SHALL PROVIDE INSPECTION REPORTS TO THE ARCHITECT & STRUCTURAL ENGINEER. THE REPORTS SHALL INCLUDE ANY ITEMS WHICH ARE IN NON-COMPLIANCE WITH THE DESIGN DOCUMENTS.
4. THE STRUCTURAL ENGINEER WILL REQUIRE A FINAL REPORT FROM THE INSPECTION AGENCY. THE REPORT NEEDS TO SHOW THAT ALL DEFICIENCIES MENTIONED IN EARLIER REPORTS HAVE BEEN CORRECTED. COPIES OF THE TESTING AND INSPECTION REPORT SHALL BE SENT TO THE BUILDING DEPARTMENT, ARCHITECT, STRUCTURAL ENGINEER AND OWNER.
5. PROVIDE "SPECIAL INSPECTIONS" FOR ALL ITEMS AS REQUIRED BY THE CALIFORNIA BUILDING CODE, 2013 EDITION, SEE SHEET S-1.0 UNDER "SPECIAL INSPECTION AND STRUCTURAL OBSERVATION."

INSPECTIONS BY INDEPENDENT AGENCY:

- A. SPECIAL INSPECTION OF FOUNDATION EXCAVATIONS SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER.
- B. CONCRETE PLACEMENT: DURING THE TAKING OF TEST SPECIMENS AND PLACING OF REINFORCED CONCRETE, EXCEPT CONCRETE WHERE THE SPECIFIED STRENGTH IS 2,500 PSI OR LESS, FOUR TEST CYLINDERS FROM EACH 150 CUBIC YARDS OR FRACTION THEREOF POURED IN ANY ONE DAY SHALL BE SECURED AND REPORTED BY AN INDEPENDENT TESTING AGENCY; ONE TO BE TESTED AT 7 DAYS, TWO AT 28 DAYS, AND THE FOURTH HELD IN RESERVE.
- C. STRUCTURAL WELDING: ALL STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCING STEEL. SEE THE GENERAL NOTES SECTION FOR STRUCTURAL STEEL.
- D. HIGH-STRENGTH BOLTING: PERIODIC INSPECTION, IN ACCORDANCE WITH CBC SECTION 1704.3.3, DURING ALL BOLT INSTALLATIONS AND TIGHTENING OPERATIONS.
- E. WELDING OF THREADED ROD TO STEEL BEAM FOR HOLD-DOWN DEVICES.

INSPECTIONS BY ENGINEER OF RECORD:

- F. BOLTS CAST IN CONCRETE: PRIOR TO AND DURING THE PLACEMENT OF CONCRETE AROUND BOLTS.
- G. CONCRETE REINFORCING STEEL: DURING PLACING OF REINFORCING STEEL, EXCEPTION: THE SPECIAL INSPECTOR NEED NOT BE PRESENT DURING ENTIRE REINFORCING STEEL-PLACING OPERATIONS, PROVIDED HE/SHE HAS INSPECTED FOR CONFORMANCE WITH THE APPROVED PLANS PRIOR TO THE CLOSING OF FORMS OR THE DELIVERY OF CONCRETE TO THE JOBSITE.
- H. PLYWOOD SHEAR WALLS - NAILING, CLIPS, STRAPS, HOLD-DOWNS.
- I. NAILING FOR PLYWOOD DIAPHRAGMS.

XII. STRUCTURAL OBSERVATIONS:

1. THE STRUCTURAL ENGINEER WILL REPORT ANY OBSERVED DEFICIENCIES TO THE OWNER, CONTRACTOR OR BUILDING OFFICIAL FOLLOWING SITE VISITS. THE STRUCTURAL ENGINEER WILL PROVIDE A WRITTEN REPORT TO THE ARCHITECT AFTER EACH SITE VISIT. HOWEVER, THE STRUCTURAL ENGINEER'S SITE VISITS ARE NOT CONSIDERED AS INSPECTION VISITS. THE INSPECTION AGENCY RETAINED AND PAID FOR BY THE OWNER SHALL PROVIDE INSPECTION REPORTS TO THE ARCHITECT/STRUCTURAL ENGINEER. THE REPORTS SHALL INCLUDE ANY ITEMS WHICH ARE IN NON-COMPLIANCE WITH THE DESIGN DOCUMENTS.
2. AFTER THE STRUCTURAL ENGINEER RECEIVES THE FINAL REPORT FROM THE SPECIAL INSPECTION AGENCY, THE STRUCTURAL ENGINEER WILL SUBMIT A FINAL SUMMARY REPORT DOCUMENTING SITE VISITS AND OBSERVATIONS, NOTING ANY DEFICIENCIES THAT CORRECTIVE WORK HAS BEEN COMPLETED, AND THAT CONSTRUCTION PROCEEDED IN ACCORDANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND APPLICABLE CODES AND REGULATIONS PER SECTION 1704 OF THE CALIFORNIA BUILDING CODE.
3. STRUCTURAL OBSERVATION BY THE DESIGN ENGINEER IS REQUIRED AT THE FOLLOWING PHASES, AND PRIOR TO COVERING WITH OTHER WORK:
 - A. BEFORE CLOSING OF FORMS - FOUNDATION REINFORCING AND BOLTS INSTALLED IN CONCRETE.
 - B. ALL STRUCTURAL STEEL MEMBERS AND CONNECTIONS (PRIOR TO COVERING WITH OTHER WORK).
 - C. PLYWOOD DIAPHRAGM NAILING - PRIOR TO COVERING WITH WALL FRAMING OR OTHER WORK.
 - D. PLYWOOD SHEAR WALL NAILING AND ALL HOLD-DOWN DEVICES, STRAPS, CLIPS, ETC.
4. FOR A COMPLETE LIST OF REQUIRED "STRUCTURAL OBSERVATION" SEE SHEET S-1.0 UNDER "SPECIAL INSPECTION AND STRUCTURAL OBSERVATION."

APPROVED

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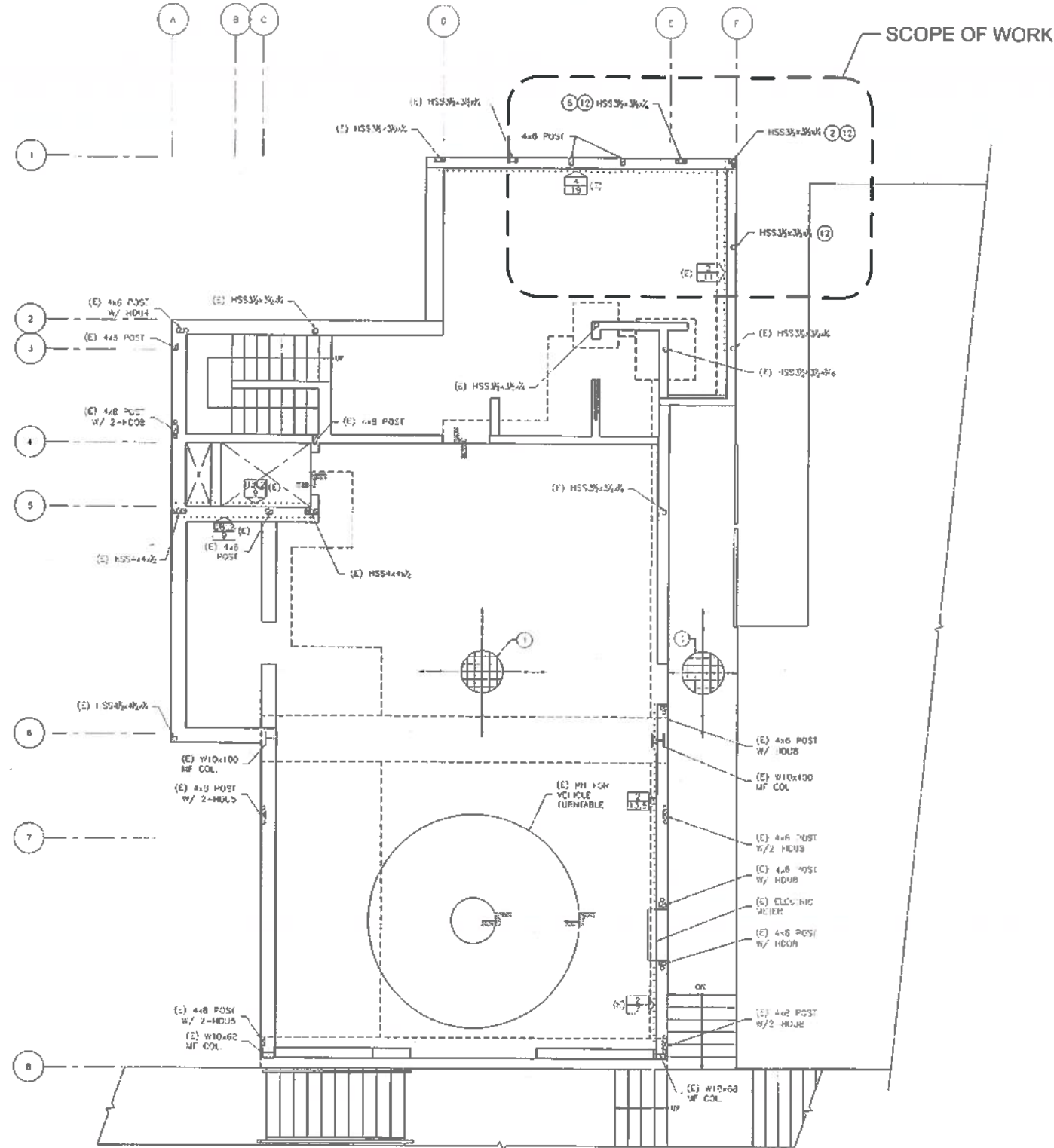
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Job No. 14-100

General Notes

S-1.1



LEGEND	
	WALLS
	WALLS BELOW
	(2) FOUNDATION
	(1) FOUNDATION BELOW
	HOLD DOWN
	X= DENOTES SW EDGE NAILING
	Y= DENOTES SW LENGTH IN FEET
	REF. S-4.0 FOR PWD SW DET.S.
	POST ABOVE AND BELOW
	POST ABOVE
	POST BELOW
	(E) POST ABOVE AND BELOW
	(E) POST ABOVE
	(E) POST BELOW
	REFERS TO NOTE #
	(E) STEEL COLUMN

SHEET NOTES:	
①	(E) 4" S.O.C. WITH #4 @ 12" O.C. EACH WAY, OVER VAPOR BARRIER, OVER 4" GRAVEL.
②	SEE DET. 5/S-3.0
③-⑤	NOT USED
⑥	HSS AS HOLD-DOWN PER DET. 7/S-3.0
⑦-⑪	NOT USED
⑫	BASE PLATE PER DET. 1/S-3.0

GENERAL NOTES:	
1.	SEE SHEETS S-4.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.
2.	SEE SHEET S-3.0 FOR TYPICAL CONCRETE DETAILS.

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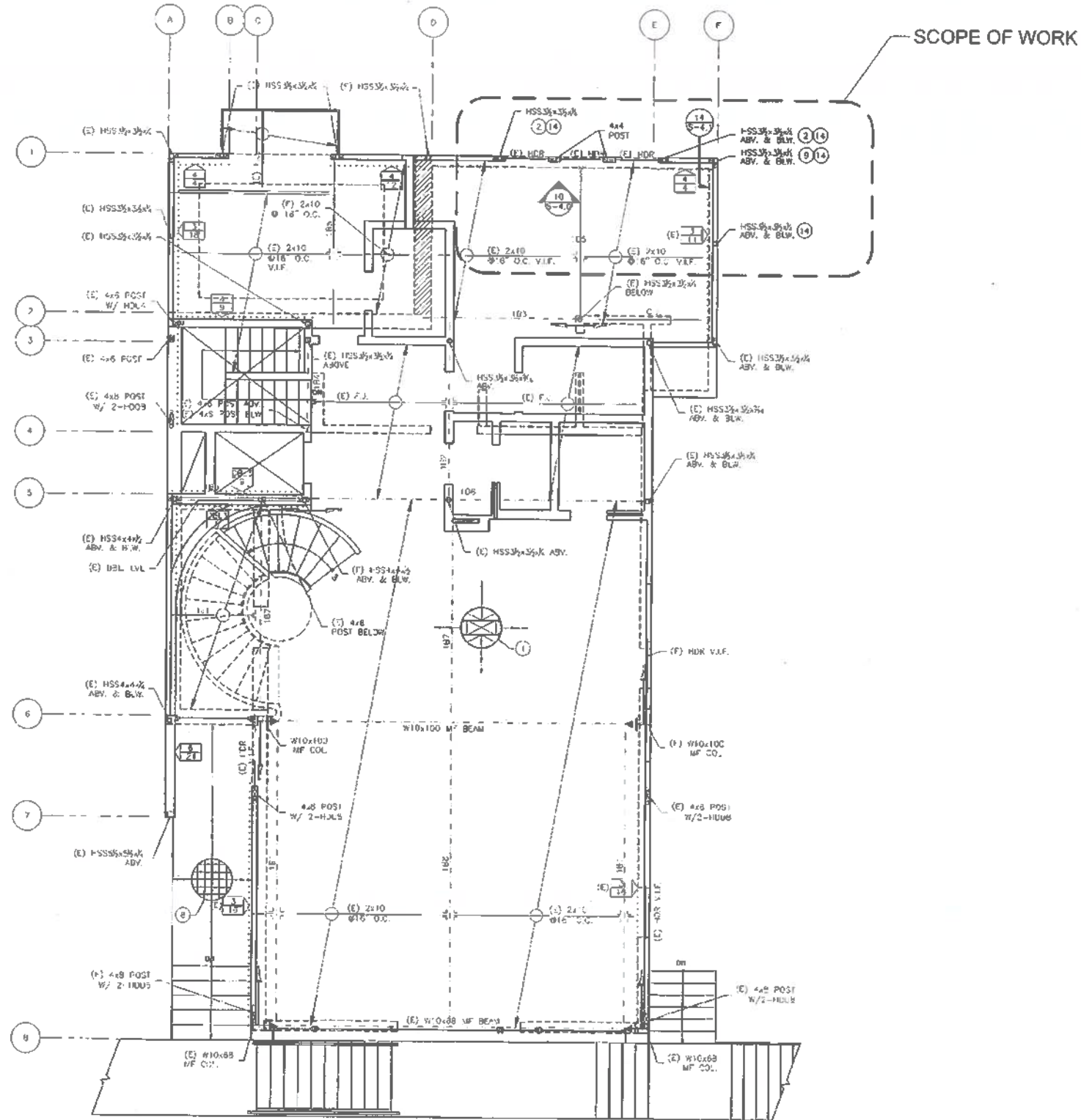
MAR 24 2017
 Tom C. Hui
 YOU C. HUI, S.E.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

JIMMY CHEUNG, DBI
 FEB 22 2017

Issue:	Date:
Var. Bldg. Permit Set	12.06.2016
Scale:	AS NOTED
Job No.	14-100
Ground Floor/ Basement Foundation Plan	

S-2.0





LEGEND

- WALLS
- WALLS BELOW
- (E) FOUNDATION
- (E) FOUNDATION BELOW
- (E) HOLD DOWN
- X = DENOTES SW EDGE HAILING
- Y = DENOTES SW LENGTH IN FEET. REF. S-4.0 FOR PWD SW DETS.
- POST ABOVE AND BELOW
- POST ABOVE
- POST BELOW
- (E) POST ABOVE AND BELOW
- (E) POST ABOVE
- REFERS TO NOTE J
- STEEL BEAM
- (E) STEEL COLUMN
- INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION
- COLLECTOR JOIST

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
J01	18" O.C.	(E) 18"x18" LVL	H07

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
B01	(E) W10x33	A992 Gr.50	
B02	(E) W10x30	A992 Gr.50	
B03	(E) W10x30	A992 Gr.50	
B04	(E) W10x28	A992 Gr.50	
B05	(E) 3x6x1/2	PSL	MBH05.50
B06	(E) W10x88	A992 Gr.50	CAMBER 1/2"
B07	(E) W10x30	A992 Gr.50	
B08	(E) W10x45	A992 Gr.50	
B09	3x6x1/2	PSL	

SHEET NOTES:

- (E) BLOCKED PLYWOOD DAMPHRAGM
- HSS HOLDOWN AT END OF WALL PER DET. 6/5-3.0
- NOT USED
- (E) 4" S.O.G. WITH #4 @ 12" O.C. EACH WAY OVER 4" GRAVEL
- SEE DET. 5/5-3.0
- NOT USED
- HSS COL. AT TOP PLATE PER DET. 11/5-3.0

GENERAL NOTES:

- SEE SHEETS S-4.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.

1 FIRST FLOOR FRAMING PLAN



APPROVED
 Dept. of Building Insp.
 MAR 24 2017
 Tom C. Ahle
 INSPECTOR
 DEPT. OF BUILDING INSPECTION
 JIMMY CHEUNG, DBI
 FEB 22 2017

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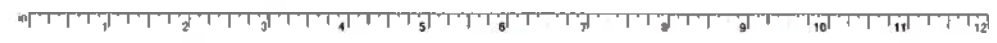
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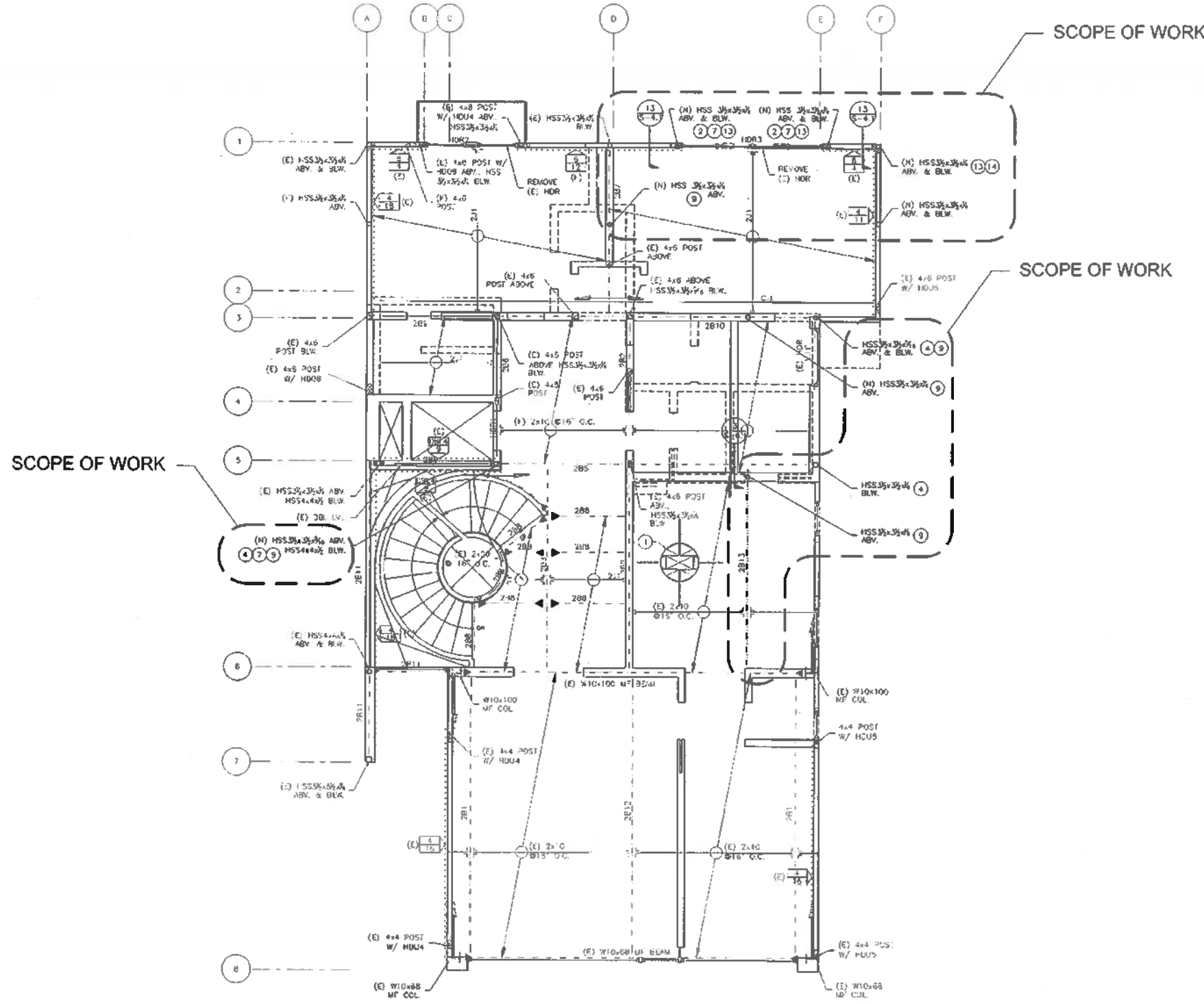
Issue: _____ Date: _____
 Var. Bldg. Permit Set 12.06.2016

Scale: AS NOTED
 Job No. 14-109

First Floor Framing Plan

S-2.1





LEGEND

- WALLS
- - - WALLS BELOW
- HOLD DOWN
- X - DENOTES SW EDGE MARKING
- Y - DENOTES SW LENGTH IN FEET. REF. S-4.0 FOR PWD SW DETS.
- (H) POST ABOVE AND BELOW
- (A) POST ABOVE
- (B) POST BELOW
- (E) POST ABOVE AND BELOW
- (C) POST ABOVE
- (D) POST BELOW
- (F) REFERS TO NOTE #
- (E) STEEL BEAM
- STEEL BEAM
- (E) STEEL COLUMN
- ▨ INTERIOR BEARING WALL BELOW
- (E) MOMENT CONNECTION

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
2J1	16" O.C.	(E) 1 1/2" x 8" LVL	HU7

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
2B1	(E) W10x33	A992 Gr.50	
2B2	(E) W10x30	A992 Gr.50	
2B3	(E) W10x30	A992 Gr.50	
2B4	(E) W10x30	A992 Gr.50	CAMBER 0.25"
2B5	(E) W10x88	A992 Gr.50	
2B6	(E) 5K"x8"	A992 Gr.50	
2B7	(E) W10x26	A992 Gr.50	
2B8	(E) HSS7x7x.45	A500 Gr.48	
2B9	(E) 5K"x8"	PSL	
2B10	(E) W10x30	A992 Gr.50	
2B11	(E) HSS5 1/2 x 5 1/2 x .45	A500 Gr.48	COLLECTOR
2B12	(E) W10x45	A992 Gr.50	
2B13	W10x30	A992 Gr.50	
HOR2	(E) 5K"x8"	PSL	
HOR3	5K"x8"	PSL	

- SHED NOTES:**
- 1 (E) BLOCKED PLYWOOD DIAPHRAGM
 - 2 WOOD BM. AT FSS COL. PER DET. 8/S-3.0
 - 3 HSS HOLDDOWN AT END OF WALL PER DET. 8/S-3.0
 - 4 STEEL BEAM ON HSS COLUMN PER DET. 8/S-6.1
 - 5 NOT USED
 - 6 HSS AS HO. DOWN PER DET. 7/S-3.0
 - 7 HSS HOLDDOWN AT END OF WALL PER DET. 8/S-3.0
 - 8 NOT USED
 - 9 HSS COLUMN ON STEEL BEAM PER DET. 7/S-3.0
 - 10-12 NOT USED
 - 13 HSS COL. AT TOP PLANE PER DET. 1/S-3.0
 - 14 SEE DET. 5/S-3.0
- GENERAL NOTES:**
1. SEE SHEETS S-4.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.

1 SECOND FRAMING FLOOR PLAN

SCALE: 1/4" = 1'-0"



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Project: _____ Date: _____
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Scale: AS NOTED
 Job No. 14-100

Second Floor
 Framing Plan

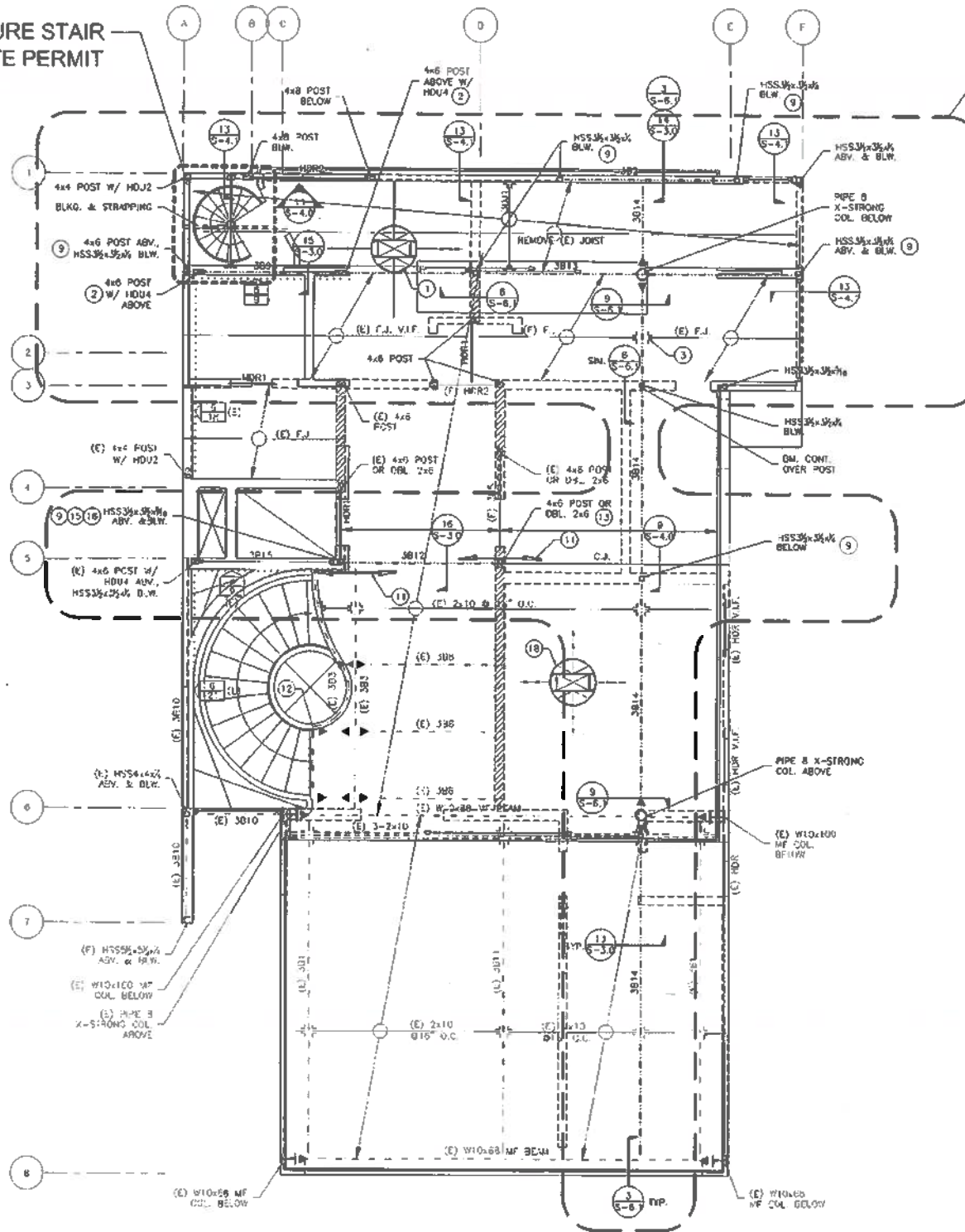
S-2.2

JIMMY CHEUNG, DBI
 FEB 22 2017



PRE-MANUFACTURE STAIR
 UNDER SEPARATE PERMIT

SCOPE OF WORK



LEGEND

- WALLS
- WALLS BELOW
- HOLD DOWN
- X DENOTES (E) SW EDGE NAILING.
- Y DENOTES (E) SW LENGTH IN FEET.
- POST ABOVE AND BELOW
- POST ABOVE
- POST BELOW
- ⊙ REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- ▨ INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION
- C.J. I.M. COLLECTOR JOIST

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
J01	16" C.C.	(E) 1 1/2" x 6 1/2" LVL	HU7
J011	16" C.C.	(E) 1 1/2" x 7 1/2" LVL	HU7

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
B01	(E) W10x33	A992 Gr.50	
B02	W10x33	A992 Gr.50	
B03	(E) W10x30	A992 Gr.50	
B04	(E) W10x30	A992 Gr.50	
B05	(E) 3/4" x 8 1/2" PSL		
B06	NOT USED		
B07	(E) W10x45	A992 Gr.50	
B08	(E) HSS7x3x1/4	A500 Gr.48	
B09	W10x33	A992 Gr.50	
B010	(E) HSS8x3x1/4	A500 Gr.48	COLLECTOR
B011	(E) W10x45	A992 Gr.50	
B012	W10x33	A992 Gr.50	
B013	W10x45	A992 Gr.50	
B014	W10x33	A992 Gr.50	
B015	(E) 3/4" x 8 1/2" PSL		
H01	3/4" x 8 1/2" PSL		
(E) H02	3/4" x 8 1/2" PSL		

- SHEET NOTES:
- 1 BLOCKED PLYWOOD DIAPHRAGM PER DET. 1A2/S-4.1
 - 2 HOLD-DOWN ON STEEL BEAM PER DET. 6/S-4.0
 - 3 U210 MANDFR
 - 4 - 8 NOT USED
 - 9 STEEL BEAM TO HSS COLUMN BELOW PER DET. 6/S-0.1
 - 10 NOT USED
 - 11 HDJ5 FROM C.J. TO STEEL BEAM
 - 12 NOT USED
 - 13 STEEL BEAM ON WOOD POST PER DET. 2/S-0.1
 - 14 NOT USED
 - 15 HSS AS HOLDDOWN PER DET. 6/S-3.0
 - 16 HSS COLUMN ON STEEL BEAM
 - 17 WOOD POST TO HSS COLUMN
 - 18 PLYWOOD DIAPHRAGM

GENERAL NOTES:
 1. FOR TYPICAL FRAMING DETAILS, SEE SHEETS S-1.0 AND S-4.1.

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 Job No. 14-100

Third Floor
 Framing Plan

1 THIRD FLOOR FRAMING PLAN

SCALE: 1/4" = 1'-0"

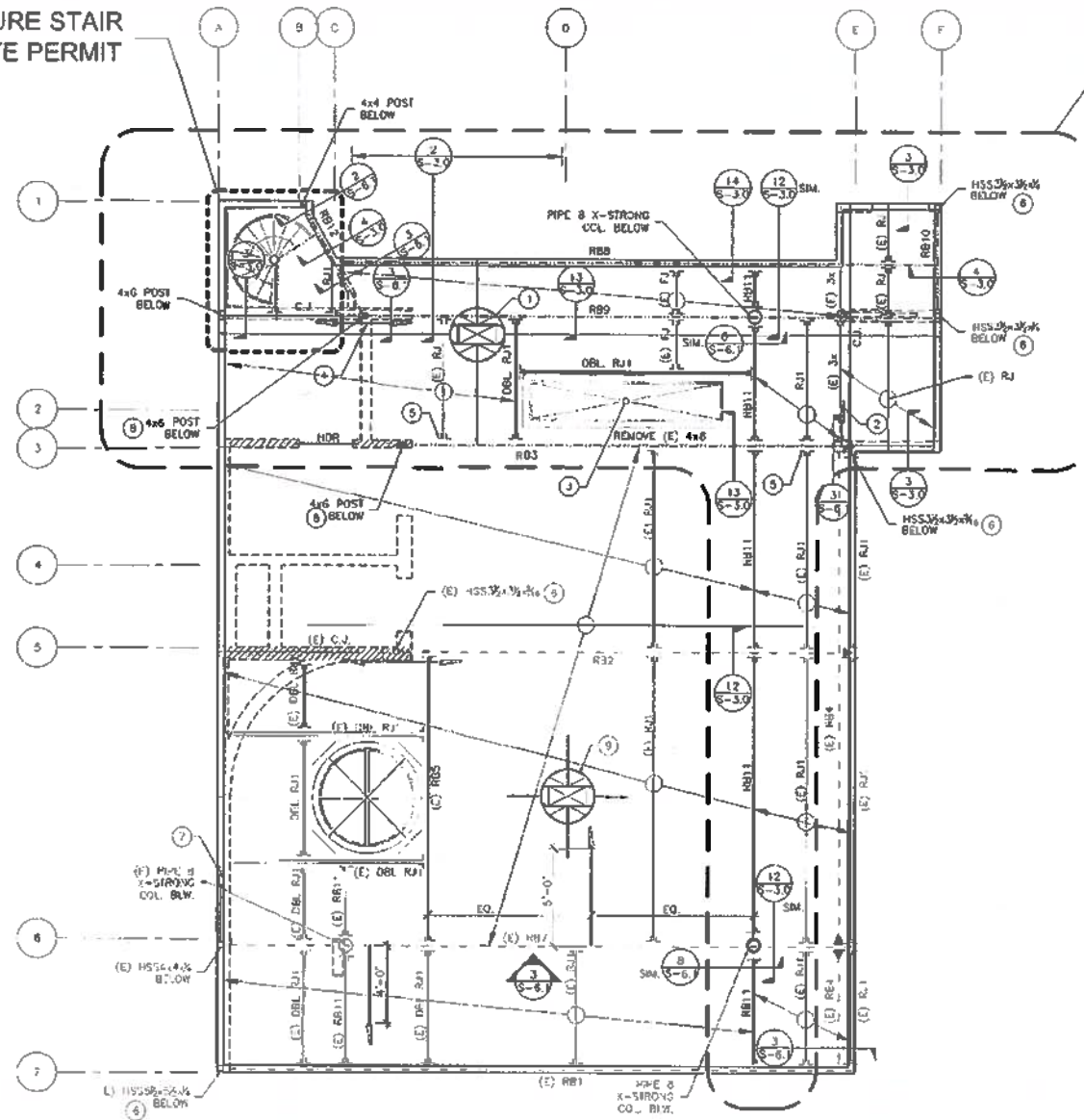


JIMMY CHEUNG, DBI
 FEB 22 2017



PRE-MANUFACTURE STAIR
 UNDER SEPARATE PERMIT

SCOPE OF WORK



LEGEND

- WALLS
- - - WALLS BELOW
- o POST BELOW
- ① REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- /// INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION
- C.J. LVL COLLECTOR JOIST

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
(E) RJ1	18" O.C.	1 1/2" x 9 1/2"	HU7
(E) DBL RJ1	2-18" x 9 1/2"		LJS41C

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
RB1	(E) W10x33	A992 Gr.50	CAMBER 0.5"
RB2	(E) W10x33	A992 Gr.50	
RB3	W10x33	A992 Gr.50	(E) 4x10 OK
RB4	(E) W10x33	A992 Gr.50	CAMBER 0.5"
RB5	(E) 3/4" x 9 1/2"	PSL	LJS41C
RB6	NOT USED		
RB7	(E) W10x45	A992 Gr.50	
RB8	W6x25		DROPPED
RB9	W10x33		
RB10	W10x33		
RB11	3/4" x 9 1/2"	PSL	
RB12	W10x33	A992 Gr.50	
HDR	SEC DET. 6/S-4.1		

SHEET NOTES:

- ① BLOCKED PLYWOOD DIAPHRAGM PER DET. 1/2/S-4.1
- ② HORIZONTAL HDUS FOR CONNECTION TO STEEL BEAM SEE DET. 1/S-6.1
- ③ TYPICAL FLOOR OPENING PER DET. 3/S-4.1
- ④ HDUS FROM C.J. TO STEEL BEAM
- ⑤ (H) U210 TYPE HANGER
- ⑥ STEEL BEAM ON HSS COLUMN PER DET. 6/S-6.1
- ⑦ HDUS TO TOP PLATES, LENGTH 6'-0"
- ⑧ STEEL BEAM ON WOOD POST PER DET. 2/S-6.1
- ⑨ (E) PLYWOOD DIAPHRAGM

GENERAL NOTES:

1. FOR TYPICAL FRAMING DETAILS, SEE SHEETS S-4.0 AND S-4.1.

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 Dept. of Building Insp.

MAR 24 2017

Jimmy C. Cheung
 JIMMY CHEUNG, DBI
 DIVISION OF BUILDING INSPECTION

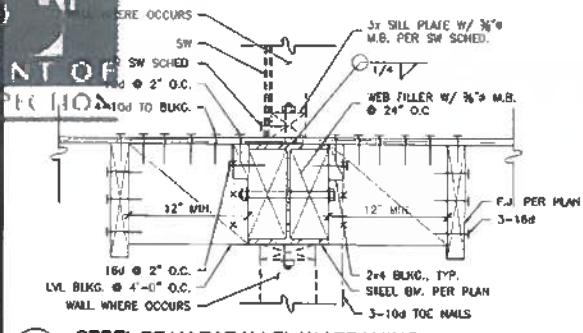
Issue:	Date:
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Job No.	14 100

Roof Framing Plan

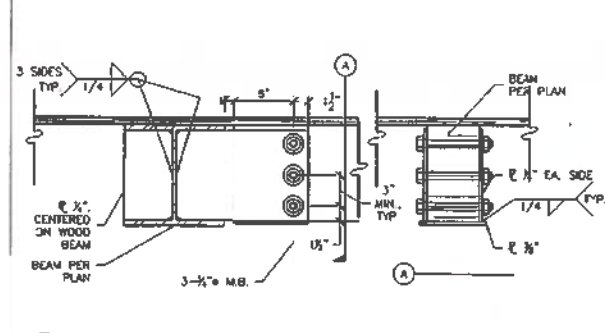
S-2.4

1 ROOF FRAMING PLAN

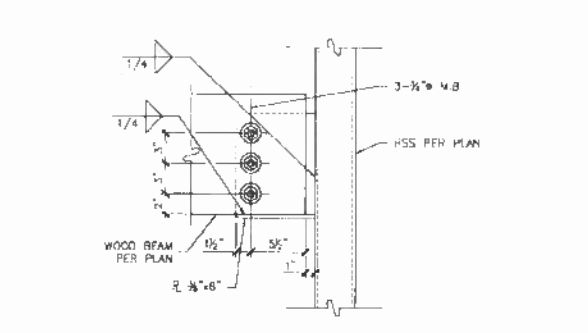




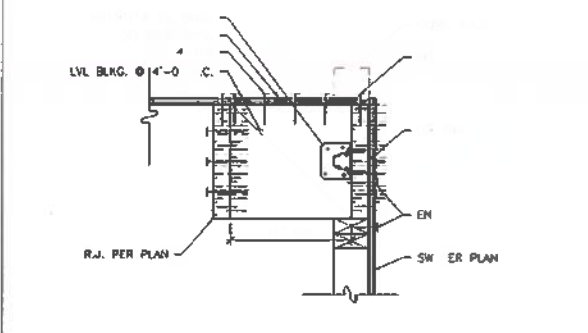
16 STEEL BEAM PARALLEL W/ FRAMING
 SCALE: 1-1/2" = 1'-0"



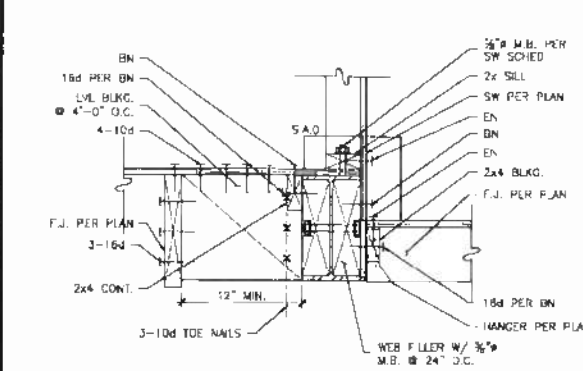
12 WOOD BEAM AT STEEL BEAM WITHOUT NAILER
 SCALE: 1-1/2" = 1'-0"



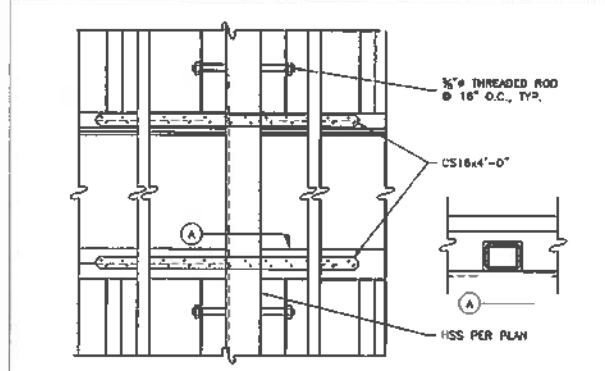
8 WOOD BEAM AT HSS POST
 SCALE: 1-1/2" = 1'-0"



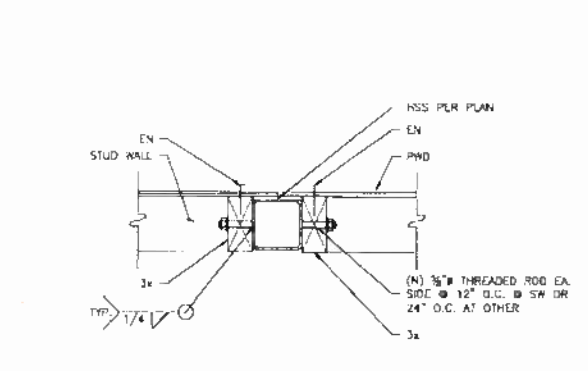
4 PARAPET AT ROOF JOISTS - BEARING
 SCALE 1-1/2" = 1'-0"



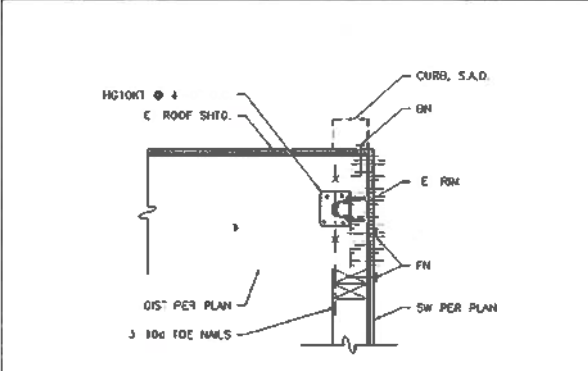
15 BALCONY FRAMING DETAIL
 SCALE: 1-1/2" = 1'-0"



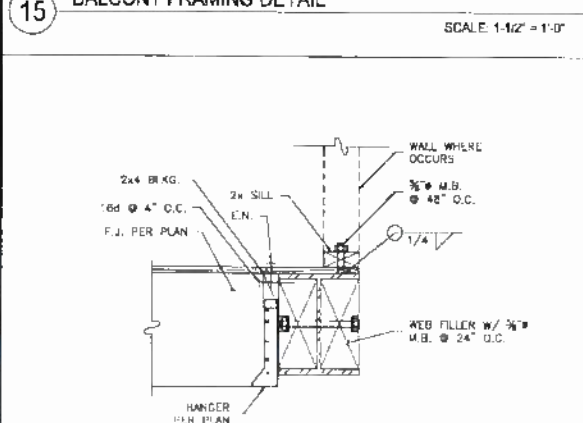
11 STRAP AT CUT TOP PLATE
 SCALE: 1 1/2" = 1'-0"



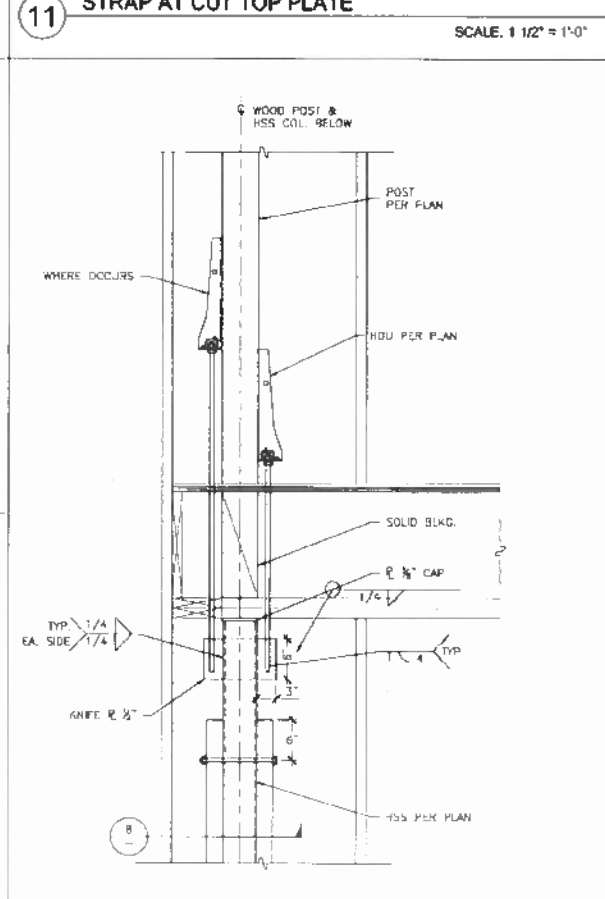
7 HSS AS PWD SW HOLDOWN
 SCALE: 1-1/2" = 1'-0"



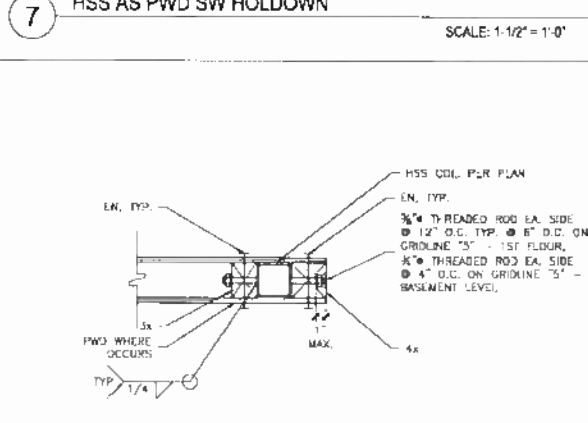
3 PARAPET AT ROOF JOISTS - BEARING
 SCALE: 1 1/2" = 1'-0"



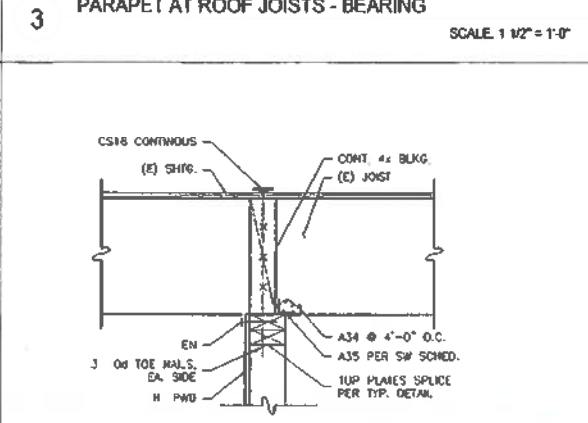
14 WALL AT STEEL BEAM DETAIL
 SCALE: 1-1/2" = 1'-0"



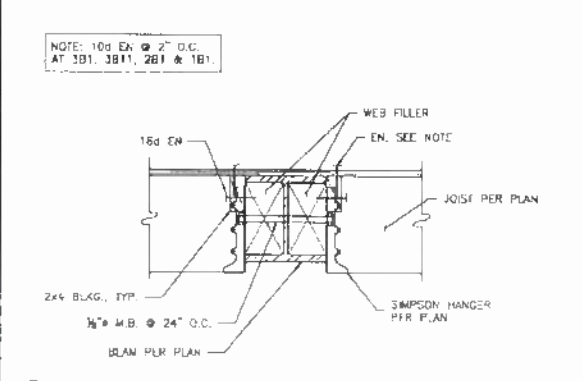
9 HOLDOWNS AT HSS BETWEEN FLOOR
 SCALE: 1" = 1'-0"



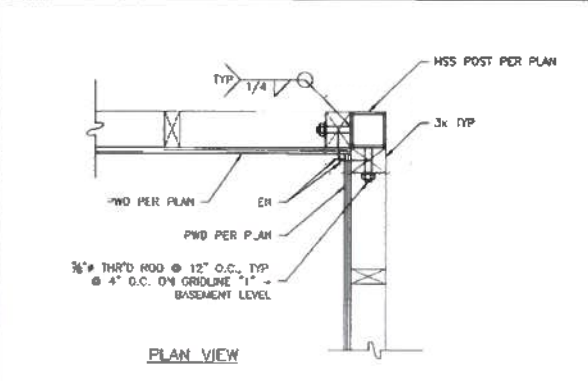
6 HSS AS PWD SW HOLDOWN
 SCALE: 1-1/2" = 1'-0"



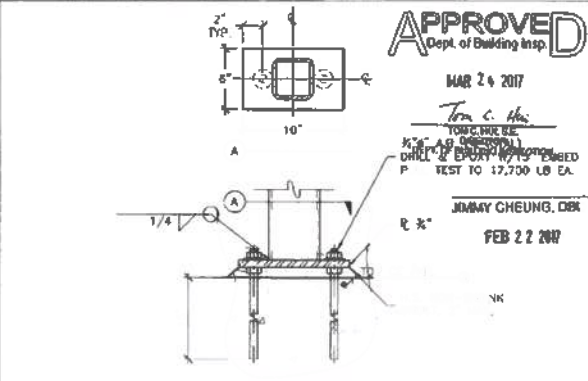
2 SHEARWALL - BEARING AT (E) INTERIOR WALL
 SCALE: 1-1/2" = 1'-0"



13 STEEL BEAM AT FLOOR JOISTS - NO NAILER
 SCALE: 1-1/2" = 1'-0"



5 SHEARWALL AT CORNER
 SCALE 1-1/2" = 1'-0"



1 PERIMETER COLUMNS BASE PLATE DETAIL
 SCALE

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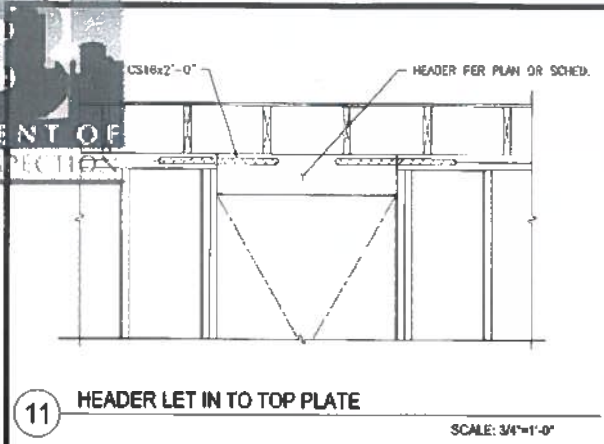
Tom C. Ho
 TOWN ENGINEER

TESTED BY: JIMMY CHEUNG, DBA
 TEST TO 17,700 LB EA.

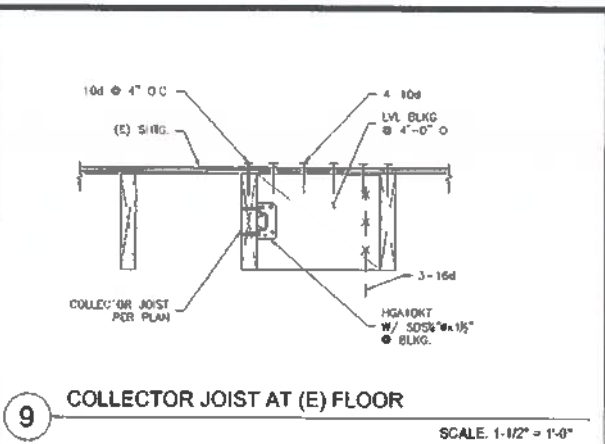
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Scale: AS NOTED
 Job No: 14-100
 Concrete Details/
 Steel & Wood
 Framing Details

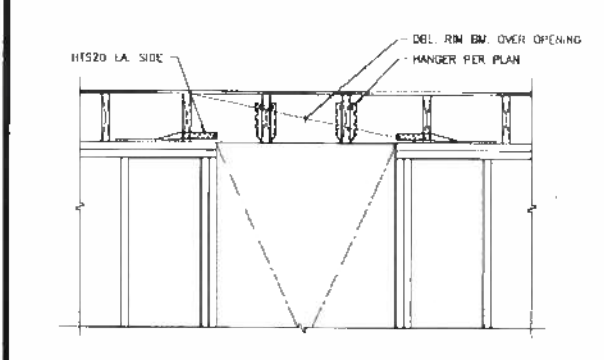
S-3.0



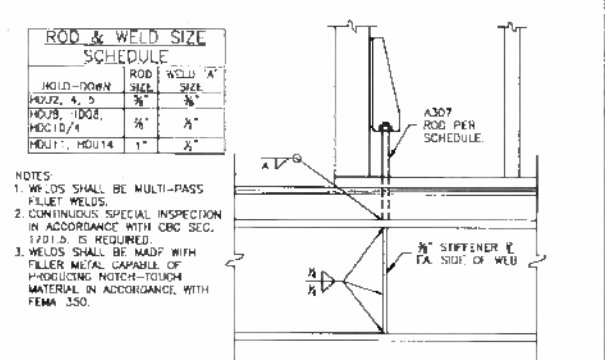
11 HEADER LET IN TO TOP PLATE
 SCALE: 3/4"=1'-0"



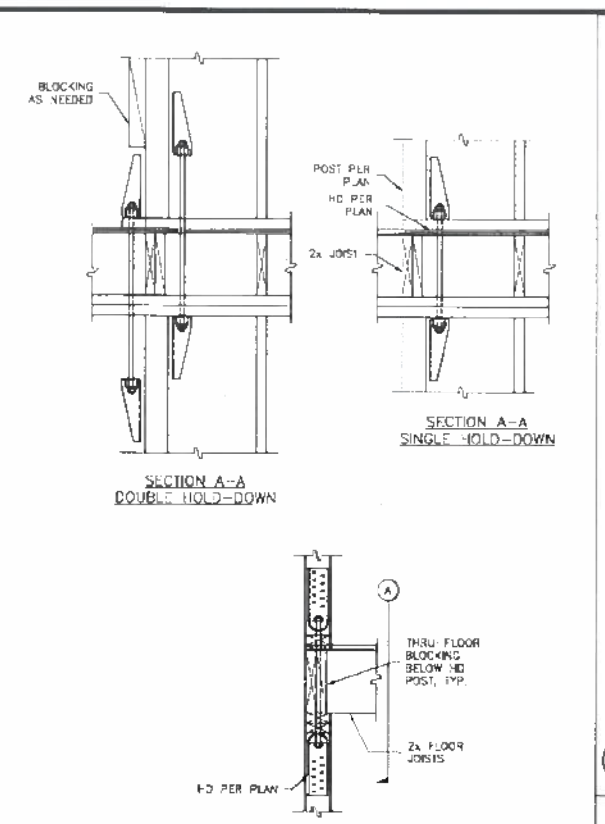
9 COLLECTOR JOIST AT (E) FLOOR
 SCALE: 1-1/2"=1'-0"



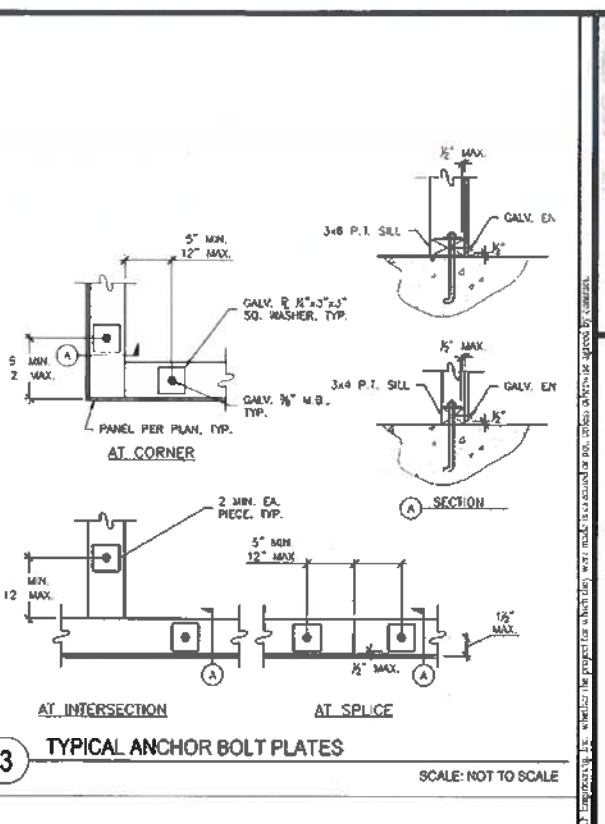
10 TYPICAL STUD WALL FRAMING ELEVATION
 SCALE: 3/4"=1'-0"



8 HOLDOWN AT STEEL BEAM
 SCALE: NOT TO SCALE



6 TYPICAL HOLDOWN BETWEEN FLOORS
 SCALE: NOT TO SCALE



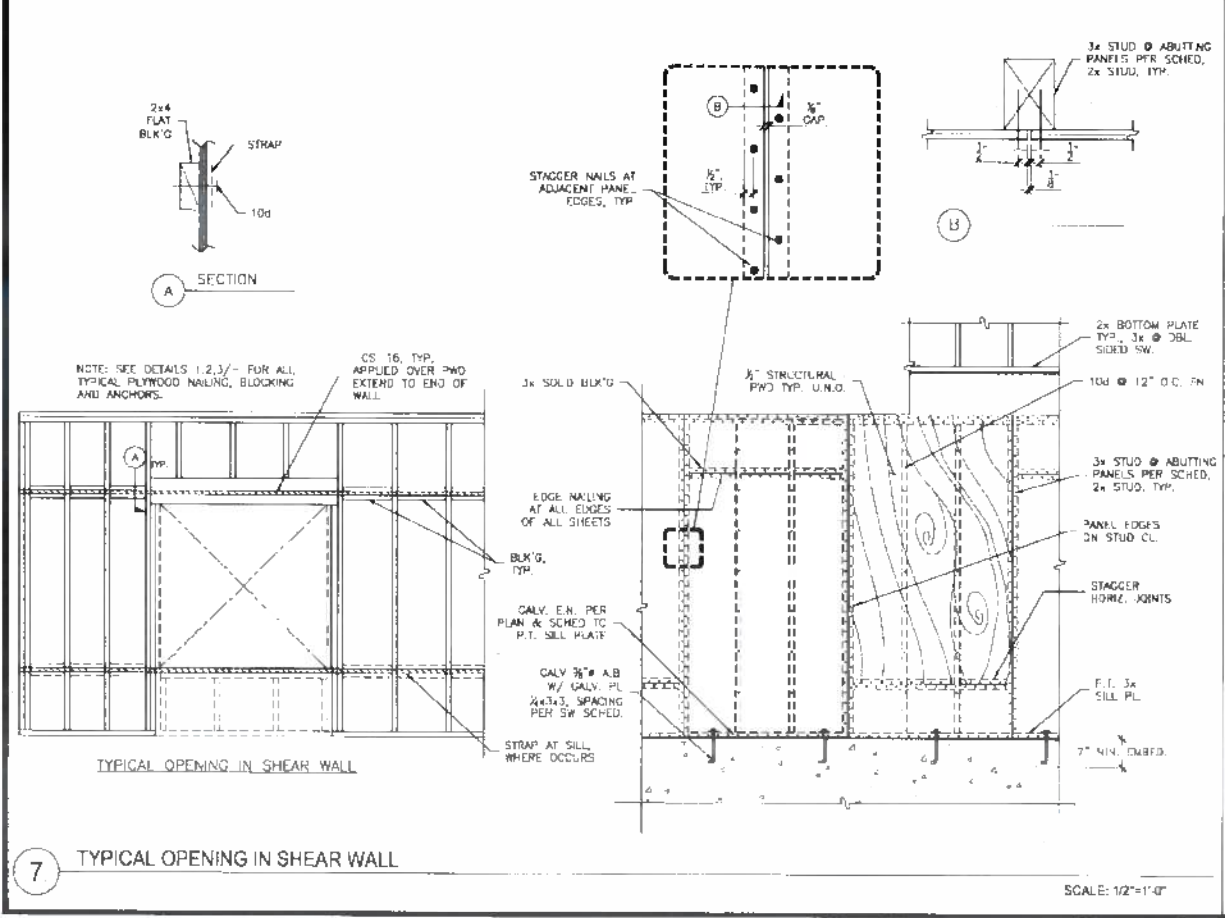
3 TYPICAL ANCHOR BOLT PLATES
 SCALE: NOT TO SCALE

HOLDOWN SCHEDULE

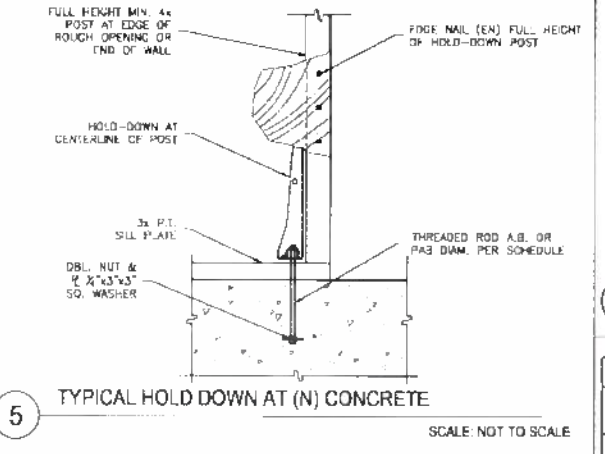
SIMPSON MODEL NO.	ANCHOR BOLT DIA.	ANCHOR EMBED.	DRILL & EPOXY EMBED.	POST MIN.	PAB
HDU2	5/8"	12"	10"	4x4	5
HDU4,5	5/8"	12"	10"	4x4	5
HDU8	7/8"	15"	13"	4x4	7
HDU10	7/8"	15"	13"	4x4	7
HDU10/4	7/8"	15"	13"	4x4	7
HDU11	1"	18"	15"	6x6	8
HDU14	1"	18"	15"	6x6	8

NOTES:
 1. ANCHOR BOLT MATERIAL SHALL BE ASTM A307 THREADED ROD OR ASTM A307 OR BETTER BOLTS, U.L.O.
 2. CONCRETE ANCHOR EMBEDMENT IS INTO CONCRETE FOOTING, WALL OR SLAB (NOT INCLUDING CURB HEIGHT) J.N.O.
 3. PROVIDE ALL REQUIRED FASTENERS TO POST OR STUDS PER SIMPSON CATALOG AND ICC-ESR-2330 REPORT.

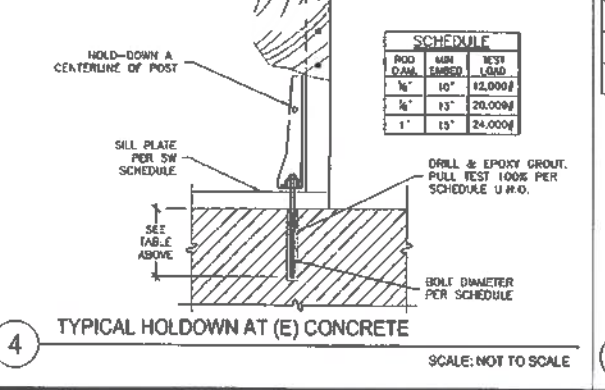
2 HOLDOWN SCHEDULE
 SCALE: NOT TO SCALE



7 TYPICAL OPENING IN SHEAR WALL
 SCALE: 1/2"=1'-0"



5 TYPICAL HOLD DOWN AT (N) CONCRETE
 SCALE: NOT TO SCALE



4 TYPICAL HOLDDOWN AT (E) CONCRETE
 SCALE: NOT TO SCALE

SHEAR WALL SCHEDULE

TYP.	PANEL THICKNESS	10d EDGE NAILING (EN)	A35 CLIP	18d SILL NAILS (SN)	SDS 3/4x4 1/2 SILL CONN.	3/4 SILL BOLTS	SPECIAL FRAMING
1	8"	2" O.C.	6" O.C.	N/A	4" O.C.	18" O.C.	PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES
2	8"	3" O.C.	8" O.C.	3" O.C.	6" O.C.	24" O.C.	PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES
3	8"	4" O.C.	8" O.C.	4" O.C.	8" O.C.	32" O.C.	PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES
4	8"	6" O.C.	12" O.C.	6" O.C.	12" O.C.	48" O.C.	
5	8" EA. SIDE	3" O.C.	N/A	N/A	3" O.C.	12" O.C.	SEE S-S-NOTES 6 & 7
6	8" EA. SIDE	4" O.C.	5" O.C.	N/A	4" O.C.	18" O.C.	SEE S-S-NOTES 6 & 7

NOTES:
 1. ALL PANELS SHALL BE APA-PRG STRUC-1 PLYWOOD.
 2. NAILS SHALL BE 10d COMMON (5"x0.148").
 3. BLOCK ALL UNSUPPORTED EDGES OF SHEARWALL PANELS.
 4. FIELD NAILING IS 10d @ 12" O.C., TYPICAL.
 5. SILL BOLTS SHALL HAVE A 3/4x3.5 GALVANIZED PLATE WASHER & SHALL BE EMBEDDED 7" MIN. INTO CONCRETE, NOT INCLUDING CURB HEIGHT.
 6. AT DOUBLE-SIDED SHEARWALLS PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS AT DOUBLE-SIDED SHEAR WALLS.
 7. AT DOUBLE-SIDED SHEARWALLS PROVIDE 3x FRAMING FOR ALL SILLS, BOTTOM PLATES, TOP PLATES, 8M JOISTS, STUDS, AND BLOCKING (WHEN APPLICABLE).
 JIMMY CHEUNG, DBI
 FEB 22 2017
 APPROVED
 Dept. of Building Insp.
 MAR 24 2017
 SCALE: NOT TO SCALE

1 SHEAR WALL SCHEDULE
 SCALE: NOT TO SCALE

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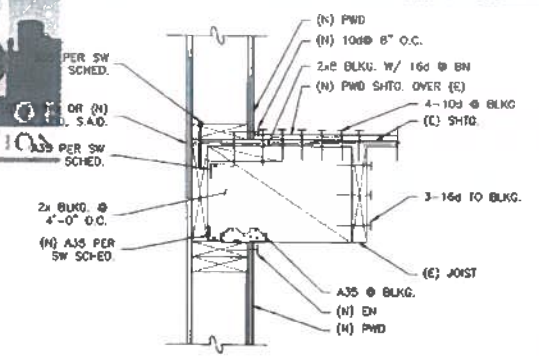


Issue: _____ Date: _____
 Ver. Dtdg. Perms Set 12.06.2016

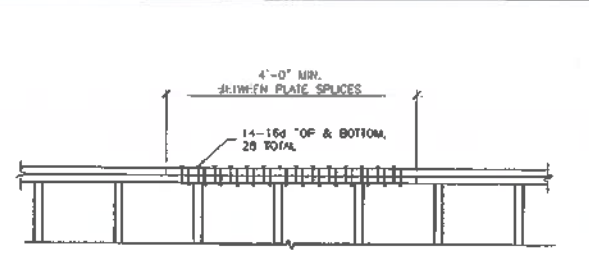
Scale: AS NOTED
 Job No. 14-100

Framing Details I

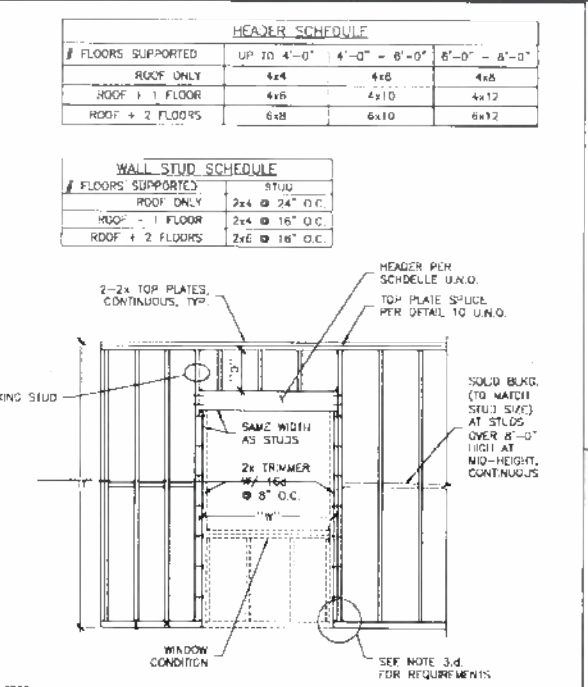
S-4.0



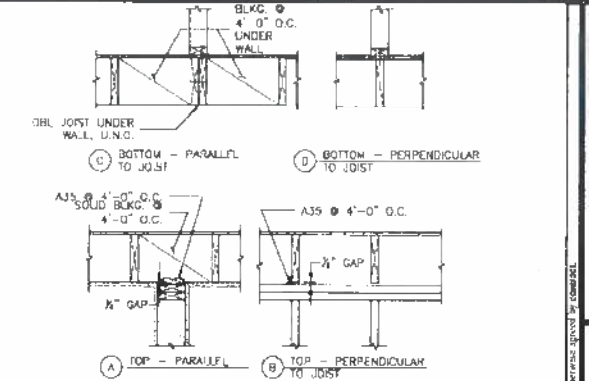
14 EXTERIOR SHEAR WALL - NON-BEARING
 SCALE: 1-1/2" = 1'-0"



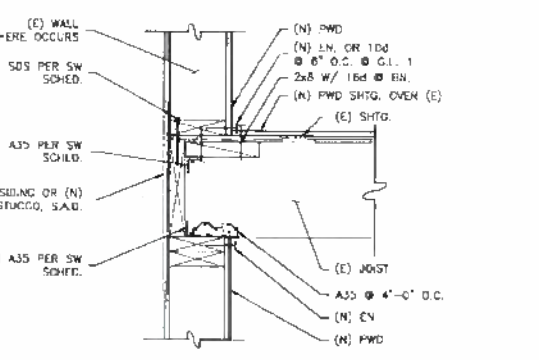
10 DOUBLE TOP PLATE SPLICE
 SCALE: NOT TO SCALE



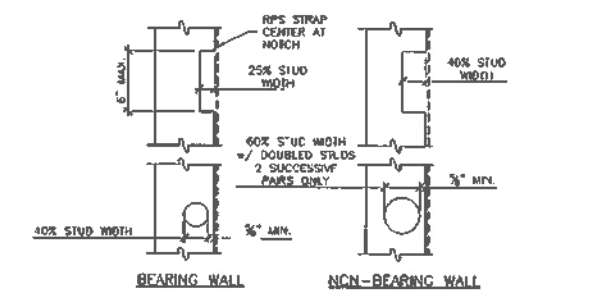
6 TYP. STUD WALL FRAMING ELEVATION
 SCALE: NOT TO SCALE



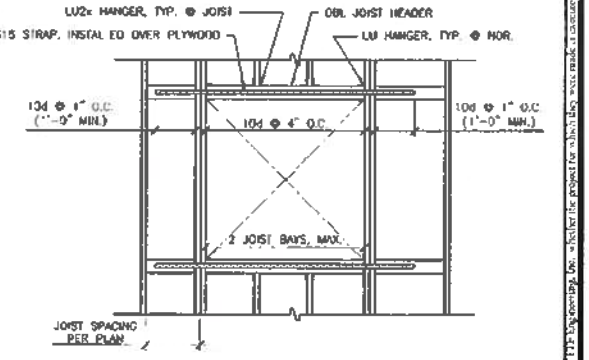
4 FLOOR FRAMING AT WALL
 SCALE: NOT TO SCALE



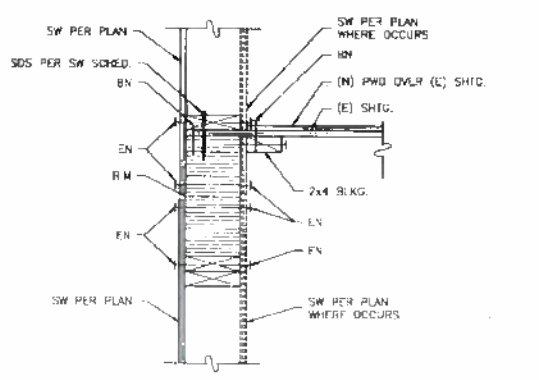
13 EXTERIOR SHEAR WALL - BEARING
 SCALE: 1-1/2" = 1'-0"



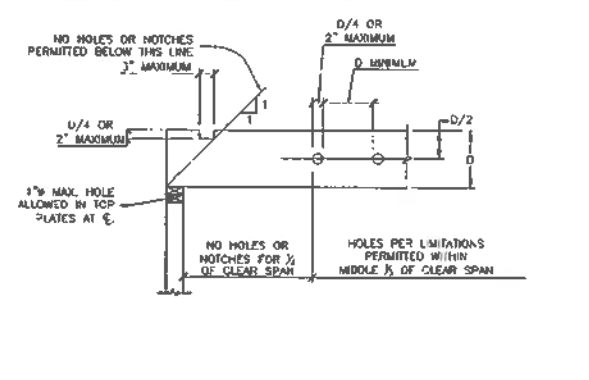
9 BORE AND NOTCH LIMITS IN STUDS
 SCALE: NOT TO SCALE



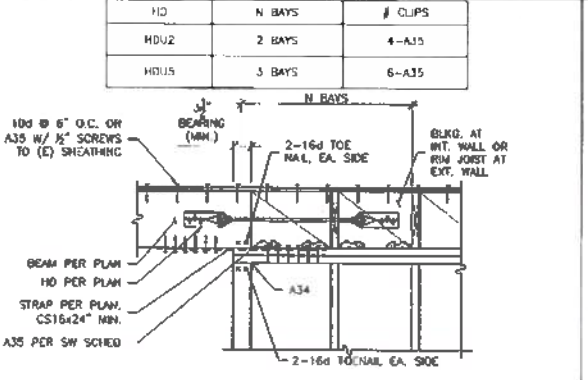
3 TYPICAL FLOOR OPENING
 SCALE: NOT TO SCALE



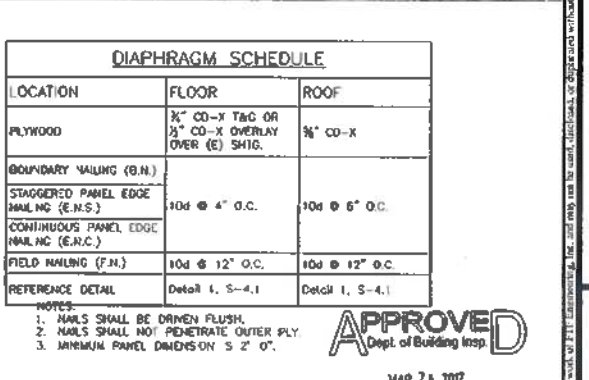
12 EXTERIOR SHEARWALL - BEARING
 SCALE: 1-1/2" = 1'-0"



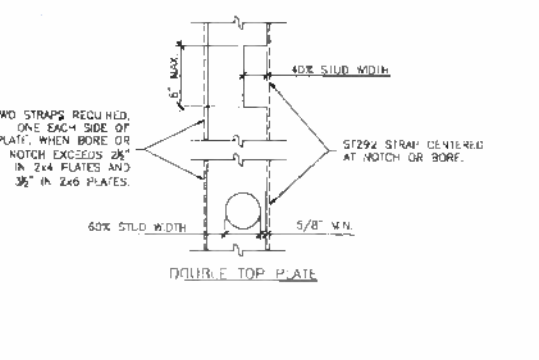
8 BORE AND NOTCH LIMITS IN JOISTS
 SCALE: NOT TO SCALE



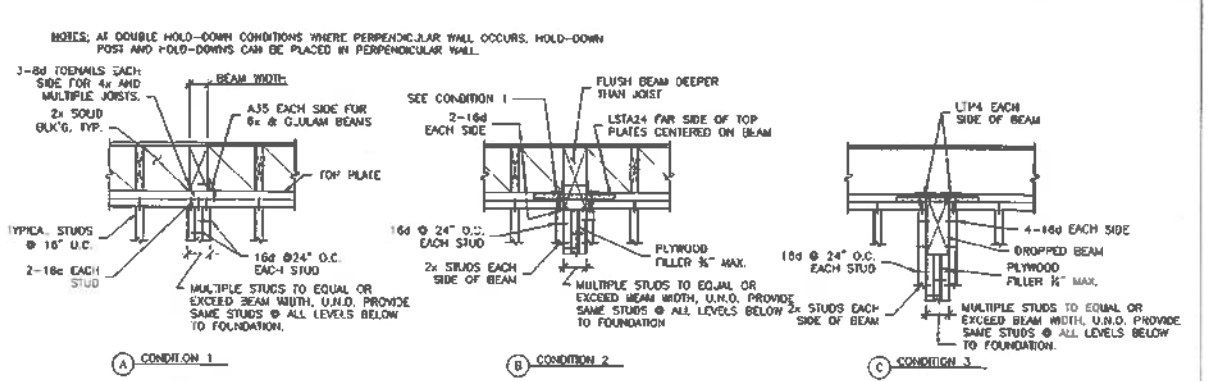
5 TYP. BEAM SUPPORT AT WALL - PARALLEL
 SCALE: NOT TO SCALE



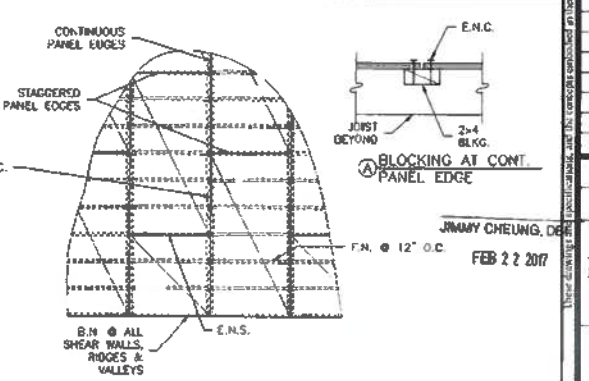
2 DIAPHRAGM SCHEDULE
 SCALE: NOT TO SCALE



11 BORE AND NOTCH LIMITS IN TOP PLATES
 SCALE: NOT TO SCALE



7 BEAM AT WALL
 SCALE: NOT TO SCALE



1 BLOCKED ROOF & FLOOR FRAMING
 SCALE: NOT TO SCALE

HTF
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 www.htfengineering.com

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 RESIDENCE**
 1283 Greenwich Street
 San Francisco, CA 94109

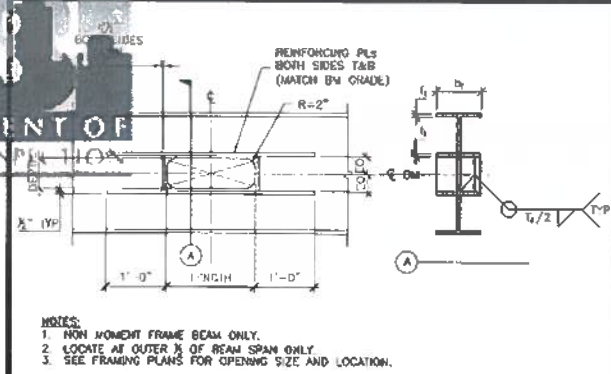
RECEIVED
 DEC 06 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR OPTIMIZING
 ACCEPTED.

APPROVED
 Dept. of Building Insp.
 MAR 21 2017
 JIMMY CHEUNG, DR.
 DEPT. OF BUILDING INSPECTION

Issue:	Date:
Var. Bldg. Permit Set	12.06.2016
Scale:	AS-NOTED
Job No.	14-100

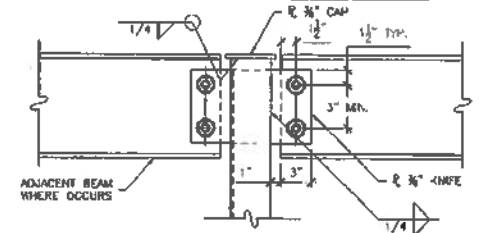
Framing Details II
S-4.1



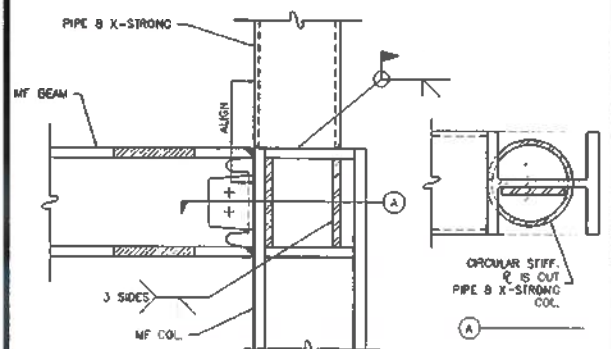


2 SQUARE & RECTANGULAR PENETRATION IN BEAM WEB DETAIL
 SCALE: N.T.S.

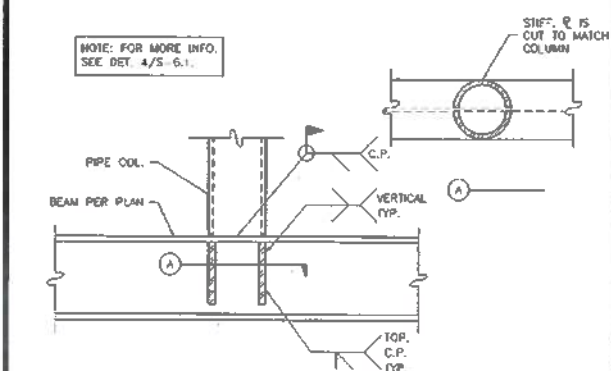
NON-MOMENT FRAME CONNECTION BOLTS SCHEDULE				
BEAM SIZE	WB-W10	W12-W14	W16	W18-W21
# OF A325X BOLTS, U.N.C.	2-7/8"	3-7/8"	4-7/8"	5-7/8"



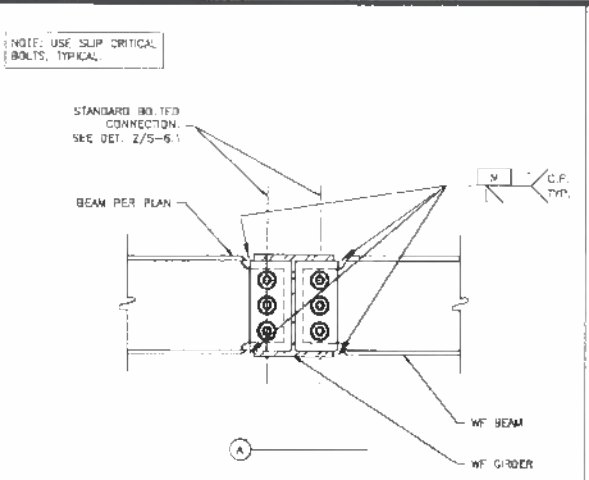
11 TYPICAL HSS TO BEAM CONNECTION
 SCALE: 1-1/2" = 1'-0"



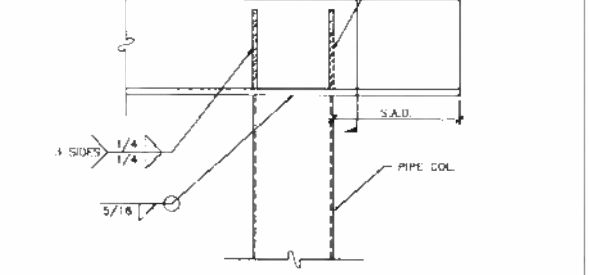
10 PIPE COLUMN AT MF
 SCALE: 1-1/2" = 1'-0"



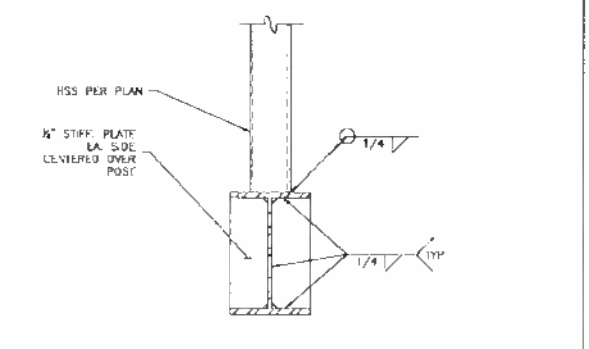
9 COLUMN AT STEEL BEAM
 SCALE: 1-1/2" = 1'-0"



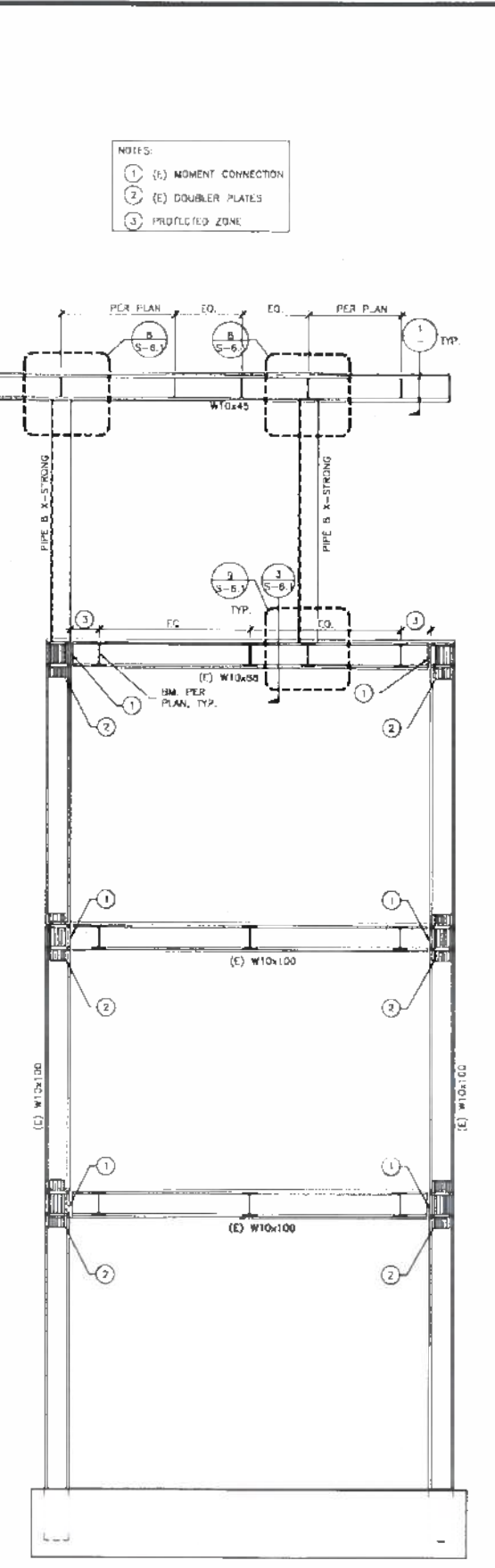
8 MOMENT CONNECTION AND GIRDER
 SCALE: 1-1/2" = 1'-0"



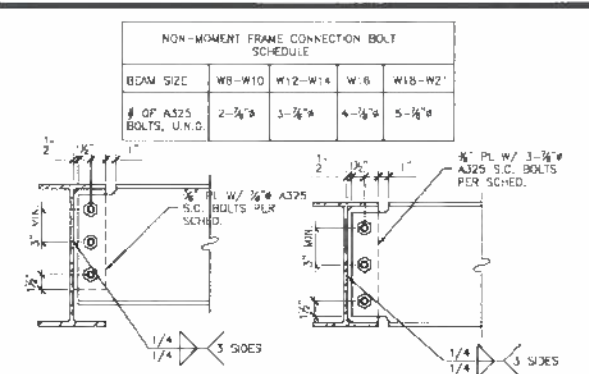
7 HSS AT STEEL BEAM
 SCALE: 1-1/2" = 1'-0"



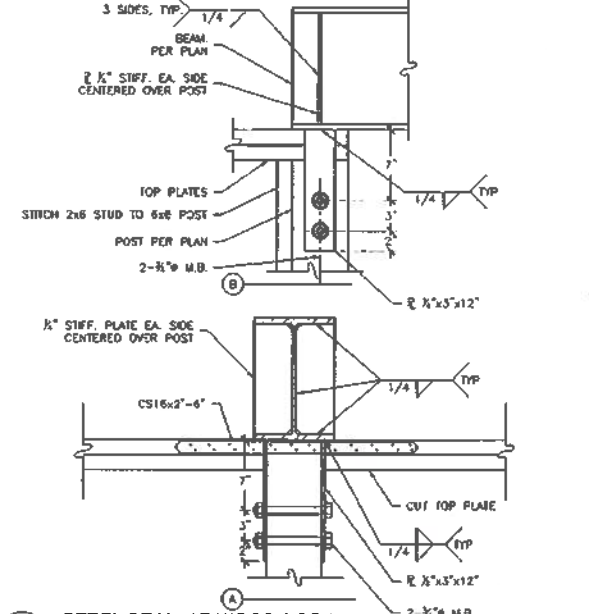
6 HSS POST WITH BEAM OVER POST
 SCALE: 1-1/2" = 1'-0"



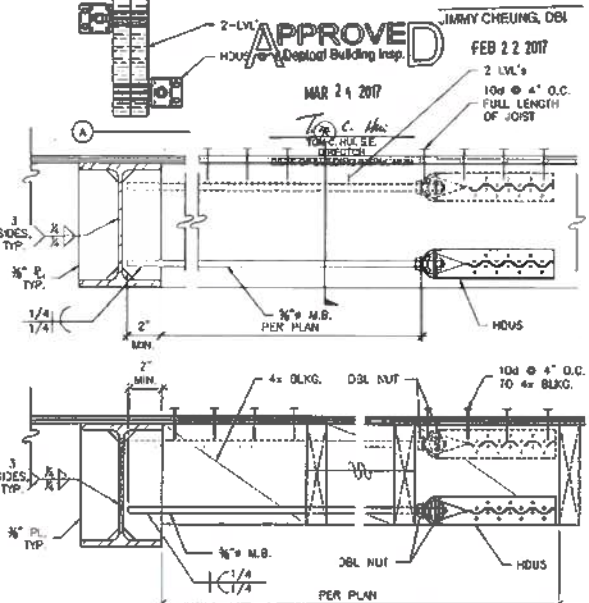
5 MOMENT FRAME GRID LINE "B"
 SCALE: NOT TO SCALE



3 TYPICAL BEAM TO BEAM CONNECTION
 SCALE: 1-1/2" = 1'-0"



2 STEEL BEAM AT WOOD POST
 SCALE: 1 1/2" = 1'-0"



1 BEAM FLANGE AT (N) CONSTRUCTION
 SCALE: 1-1/2" = 1'-0"

NON-MOMENT FRAME CONNECTION BOLT SCHEDULE				
BEAM SIZE	WB-W10	W12-W14	W16	W18-W21
# OF A325X BOLTS, U.N.C.	2-7/8"	3-7/8"	4-7/8"	5-7/8"

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 RESIDENCE**
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 San Francisco, CA 94109

RECEIVED
 JUL 16 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR DIGITIZING
 PROJECTS



Issue: _____ Date: _____
 Var. Bldg. Permit Set: 12.06.2016

Scale: AS NOTED
 Job No. 14-100

Steel Details I
 S-6.1





GENERAL NOTES

1. CONTRACTOR SHALL VISIT JOB SITE, VERIFY FIELD CONDITIONS, REVIEW PLAN AND SPECIFICATIONS AND INCLUDE IN HIS PRICE THE NECESSARY COST TO CONSTRUCT THIS SYSTEM IN ACCORDANCE WITH THE MECHANICAL DRAWING AND SHALL MEET ALL APPLICABLE

2. ALL EQUIPMENT FURNISHED AND INSTALLED SHALL BE NEW, FREE FROM DEFECTS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER. SHOULD ANY TROUBLE DEVELOP DURING THE PERIOD DUE TO FAULTY WORKMANSHIP OR MATERIAL, THE CONTRACTOR SHALL FURNISH ALL NECESSARY MATERIAL AND LABOR TO CORRECT THE TROUBLE WITHOUT COST TO THE OWNER.

3. CONTRACTOR IS TO REVIEW THE PLANS OF OTHER DISCIPLINES AND COORDINATE WITH THE WORK OF OTHER TRADES PRIOR TO INSTALLATION TO AVOID ANY CONFLICT BETWEEN DUCTS, CONDUITS, SPRINKLERS, PIPING, LIGHTING FIXTURES, ETC. NO EXTRAS WILL BE ALLOWED FOR CORRECTION OF CONFLICTS DUE TO LACK OF COORDINATION.

4. THE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED TO DETERMINE EXACT LOCATION OF PIPING, DUCT WORK OR DIFFUSERS.

5. THE CONTRACTOR SHALL BRING TO THE ARCHITECT'S ATTENTION ANY DISCREPANCY OR CONFLICTS IN THE PLANS OR THE SITE CONDITIONS. ALL NECESSARY CHANGES MUST BE APPROVED IN WRITING BY THE ARCHITECT BEFORE START OF WORK.

6. CONTRACTOR TO SUBMIT CATALOG CUT SHEETS OF ALL THE MATERIAL AND EQUIPMENT TO BE USED AND WORKING SHOP DRAWINGS FOR APPROVAL BEFORE START OF WORK.

7. SUPPORTS FOR ALL PIPING AND DUCTWORK SHALL BE IN ACCORDANCE WITH LATEST SMACNA "GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL SYSTEMS AND PLUMBING SYSTEMS" AND UMC.

8. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THE WORK.

9. MHC ENGINEERS SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND PERFORMANCE OF ANY EXISTING WORK TO REMAIN.

10. GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.8 & SFMC 802.6.2. COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.

11. GAS VENTS SHALL BE A MINIMUM OF 4 FT. FROM THE PROPERTY LINE.

12. ENVIRONMENTAL AIR DUCTS SHALL TERMINATE 3 FEET FROM THE PROPERTY LINE AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5 AND PROVIDE WITH BACK-DRAFT DAMPERS PER CMC 504.1.

13. DOMESTIC RANGE HOOD VENTS SHALL MEET THE REQUIREMENTS OF CMC 504.2 AND COMPLY WITH CMC TABLE 403.7.

14. DIRECT VENT APPLIANCES PER CMC 802.2.4 (PER MANUFACTURER'S INSTALLATION INSTRUCTIONS) AND SFMC 802.6.2.

HVAC GENERAL NOTES

1. VERIFY EXACT SIZE AND LOCATION OF OPENINGS THROUGH BEAMS, CONCRETE WALLS AND SLABS WITH STRUCTURAL ENGINEER, PRIOR TO INSTALLATION OR PURCHASE.

2. SEAL ALL AIR PLENUMS, DUCT SHAFTS AND PENETRATIONS AIRTIGHT.

3. FLEX DUCTS MAY BE USED IN BETWEEN JOISTS AND AT CONNECTION TO DIFFUSERS. FLEX DUCT SHALL BE LISTED AND LABELED UMC #0-1 (UL181)

4. SEE STRUCTURAL DRAWINGS FOR MINIMUM DISTANCE BETWEEN PIPE SLEEVES AND OTHER PENETRATIONS OF STRUCTURAL SLABS AND WALLS.

5. PROVIDE NECESSARY TRANSITION PIECES UNDER BEAMS TO AVOID CONFLICT WITH CEILING, LIGHTS, PIPING, ETC. AS REQUIRED.

6. ALL EXHAUST AND SUPPLY AIR DUCTWORK SHALL BE SHEET METAL.

7. ALL SEAMS AND CONNECTIONS IN DUCTWORK AND INSULATION SHALL BE SEALED PER SMACNA STANDARD.

8. ALL MATERIALS AND EQUIPMENT INSTALLED ABOVE CEILINGS SHALL BE NON-COMBUSTIBLE AND U.L. APPROVED. ALL WIRING SHALL BE NON-COMBUSTIBLE OR SHALL BE ENCLOSED IN METAL CONDUIT.

9. CONTRACTOR SHALL COORDINATE WITH ARCHITECT BEFORE PURCHASING DIFFUSERS AND REGISTERS TO VERIFY SIZE, TYPE AND FINISH. COORDINATE LOCATIONS WITH LIGHTING AND REFLECTED CEILING PLANS.

10. COMBUSTION AIR DUCTS WILL TERMINATE WITHIN THE UPPER 12" OF THE ENCLOSURE AND THE LOWER OPENING IS WITHIN THE LOWER 12" OF THE ENCLOSURE.

11. LINING MATERIALS INSTALLED WITHIN DUCTS TO HAVE MOLD, HUMIDITY, AND EROSION RESISTANT SURFACE THAT MEETS THE REQUIREMENTS OF 2013 CMC 605.0.

12. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD OF NOT MORE THAN 25 AND SMOKE-DEVELOPED NOT EXCEEDING 50 WHEN TESTED AS A COMPOSITE INSTALLATION PER 2013 CMC 605.0.

KITCHEN NOTES

1. GREASE DUCT MATERIALS, GREASE DUCTS AND PLENUMS SERVING A TYPE I HOOD SHALL BE CONSTRUCTED OF AT LEAST 0.065-INCH-THICK (1.65MM) (NO. 16 MANUFACTURER'S STANDARD GAGE) STEEL OR STAINLESS AT LEAST 0.074-INCH (1.88MM) IN THICKNESS PER UMC 507.3.

2. JOINTS AND SEAMS OF GREASE DUCTS, JOINTS AND SEAMS SHALL BE MADE WITH A CONTINUOUS LIQUID-TIGHT WELD OR BRAZE MADE ON THE EXTERNAL SURFACE OF THE DUCT SYSTEM PER UMC 507.3.2.

3. GREASE DUCT SUPPORTS, DUCT BRACING AND SUPPORTS SHALL BE OF NON-COMBUSTIBLE MATERIAL SECURELY ATTACHED TO THE STRUCTURE AND DESIGNED TO CARRY GRAVITY AND LATERAL LOADS WITHIN THE STRESS LIMITATIONS OF THE BUILDING CODE (FOR OREGON, OSGPD 1 & 2) OR CALIFORNIA BUILDING CODE. BOLTS, SCREWS, PIVETS AND OTHER MECHANICAL FASTENERS SHALL NOT PENETRATE DUCT WALLS PER UMC 507.3.3.

A. CLEANOUTS AND OTHER OPENINGS. GREASE DUCT SYSTEMS SHALL NOT HAVE OPENINGS THEREIN OTHER THAN THOSE REQUIRED FOR PROPER OPERATION AND MAINTENANCE OF THE SYSTEM. ANY PORTION OF SUCH SYSTEM HAVING SECTIONS INACCESSIBLE FROM THE DUCT ENTRY OR DISCHARGE SHALL BE PROVIDED WITH ADEQUATE CLEANOUT OPENINGS. CLEANOUT OPENINGS SHALL BE EQUIPPED WITH TIGHT-FITTING DOORS CONSTRUCTED OF STEEL HAVING A THICKNESS NOT LESS THAN THAT REQUIRED FOR THE DUCT. DOORS SHALL BE EQUIPPED WITH A SUBSTANTIAL METHOD OF LATCHING, SUFFICIENT TO HOLD THE DOOR TIGHTLY CLOSED. DOORS SHALL BE SO DESIGNED THAT THEY CAN BE OPENED WITHOUT THE USE OF A TOOL PER UMC 507.5.

5. DUCT ENCLOSURE. A GREASE DUCT SERVING A TYPE I HOOD WHICH PENETRATES A CEILING, WALL OR FLOOR SHALL BE ENCLOSED IN A DUCT ENCLOSURE FROM A POINT OF PENETRATION. A DUCT MAY ONLY PENETRATE EXTERIOR WALLS AT LOCATIONS WHERE UNPROTECTED OPENINGS ARE PERMITTED BY THE BUILDING CODE. DUCT ENCLOSURES SHALL BE AT LEAST ONE-HOUR FIRE-RESISTIVE CONSTRUCTION IN ALL BUILDINGS AND SHALL BE OF TWO-HOUR FIRE-RESISTIVE CONSTRUCTION IN TYPES I AND II FIRE-RESISTIVE BUILDINGS. THE DUCT ENCLOSURE SHALL BE SEALED AROUND THE DUCT AT THE POINT OF PENETRATION AND VENTED TO THE EXTERIOR THROUGH WEATHER-PROTECTED OPENINGS. THE ENCLOSURE SHALL BE SEPARATED FROM THE DUCT BY AT LEAST 6 INCHES FOR NON-COMBUSTIBLE OR LIMITED-COMBUSTIBLE CONSTRUCTION AND NOT LESS THAN 18 INCHES FOR COMBUSTIBLE CONSTRUCTION PER CMC 510.7.2.3.

6. FIRE-RESISTIVE ACCESS OPENING. PROVIDE CLEANOUT OPENINGS LOCATED IN DUCTS WITHIN A FIRE-RESISTIVE SHAFT OR ENCLOSURE. ACCESS OPENINGS SHALL BE PROVIDED IN THE SHAFT OR ENCLOSURE AT EACH CLEANOUT POINT. THESE ACCESS OPENINGS SHALL BE EQUIPPED WITH TIGHT-FITTING SLIDING OR HINGED DOORS WHICH ARE EQUAL IN FIRE-RESISTIVE PROTECTION TO THAT OF THE SHAFT OR ENCLOSURE PER CMC 510.3.4.4.

7. AIR VELOCITY. GREASE DUCT SYSTEMS SERVING A TYPE I HOOD SHALL HAVE AN AIR VELOCITY WITHIN THE DUCT SYSTEM OF NOT LESS THAN 500 FEET PER MINUTE AND NOT TO EXCEED 2,500 FEET PER MINUTE PER CMC 511.2.1.

8. CLEARANCES. EXPOSED GREASE DUCT SYSTEMS SERVING A TYPE I HOOD SHALL HAVE A CLEARANCE OF AT LEAST EIGHTEEN (18) INCHES (457mm) TO COMBUSTIBLE MATERIAL, THREE (3) INCHES (76mm) TO LIMITED-COMBUSTIBLE MATERIAL, AND ZERO (0) INCHES (0mm) TO NON-COMBUSTIBLE CONSTRUCTION PER PER CMC 507.2.

9. EXHAUST OUTLETS. EXHAUST OUTLETS FOR GREASE DUCTS SERVING COMMERCIAL FOOD HEAT-PROCESSING EQUIPMENT SHALL EXTEND THROUGH THE ROOF UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL. SUCH EXTENSION SHALL BE AT LEAST 40 INCHES ABOVE THE ROOF SURFACE, AT LEAST 10 FEET FROM PARTS OF THE SAME OR CONTIGUOUS BUILDING, ADJACENT PROPERTY LINE OR AIR INTAKE OPENING INTO ANY BUILDING, AND SHALL BE LOCATED AT LEAST 10 FEET ABOVE THE ADJACING GRADE LEVEL PER CMC 510.8.2.

10. DUCT SYSTEMS SERVING A TYPE I HOOD SHALL BE SO CONSTRUCTED AND INSTALLED THAT GREASE CANNOT BECOME POCKETED IN ANY PORTION THEREOF, AND THE SYSTEM SHALL SLOPE NOT LESS THAN 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) TOWARD THE HOOD OR TOWARD AN APPROVED GREASE RESERVOIR. A VERTICAL DISCHARGE FAN SHALL BE MANUFACTURED WITH AN APPROVED DRAIN OUTLET AT THE BOTTOM OF THE HOUSING TO PERMIT DRAINAGE OF GREASE TO AN APPROVED COLLECTION DEVICE.

SUBSTITUTIONS

A. BRAND OR TRADE NAMES ARE USED TO ESTABLISH MINIMUM STANDARDS OF QUALITY AND PERFORMANCE ONLY. PRODUCTS OF OTHER MANUFACTURERS MAY BE SUBSTITUTED ONLY WITH WRITTEN APPROVAL OF THE OWNER. SUBSTITUTE PRODUCTS SHALL HAVE PERFORMANCE AND MATERIAL CHARACTERISTICS EQUAL TO OR BETTER THAN THOSE SPECIFIED AND/OR SCHEDULED.

B. APPROVAL OF A SUBSTITUTION DOES NOT AUTHORIZE ANY DEVIATION FROM THE UTILITY, SIZE, OR FUNCTION OF THE SPECIFIED ITEM, UNLESS SPECIFICALLY POINTED OUT AND APPROVAL IS REQUESTED IN THE LETTER OF SUBMITTAL. RESPONSIBILITY FOR CONFLICTS DUE TO SPACE LIMITATIONS IS NOT RELIEVED BY APPROVAL OF A SUBSTITUTION. IF REVISION OF WIRING, PIPING, OR ARRANGEMENT OF OTHER EQUIPMENT IS REQUIRED BECAUSE OF A SUBSTITUTION, SUCH REVISIONS SHALL BE ACCOMPLISHED AT NO CHARGE IN CONTRACT COST. SUBMIT SHOP DRAWINGS OF ALL REVISIONS TO THE ARCHITECT/ENGINEER/OWNER FOR APPROVAL.

C. UNLESS OTHERWISE SHOWN OR SPECIFIED, ALL MATERIAL SHALL BE NEW, FULL WEIGHT, STANDARD, OF THE BEST QUALITY OF ITS KIND, AND SATISFACTORY TO THE ARCHITECT AND ENGINEER.

HVAC LEGEND

Table with columns: SYMBOL, DESCRIPTION, and notes. Includes symbols for duct size, return/exhaust/transfer air, supply air/outdoor air, and equipment tags.

MULTISPLIT CONDENSER UNIT table with columns: TAG, MAKE, MODEL, NOMINAL TONS @ARI, COOLING CAP. TOT MBH, HEATING CAP. MBH, ELECTRICAL (V, PH, HZ, MCA, WATTS), DIMENSIONS HxWxD, NET WEIGHT LBS, LOCATION, REMARKS.

FC UNIT table with columns: TAG, MAKE, MODEL, FAN DATA (CFM, TOT MBH), COOLING CAP., HEATING CAP., ELECTRICAL (V, PH, HZ, WCA), DIMENSIONS HxWxD, NET WEIGHT LBS, LOCATION (FLOOR, ROOM), REMARKS.

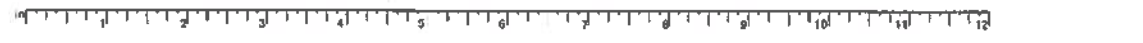
EXHAUST FAN table with columns: TAG, MAKE, MODEL, CFM, S.P. (in), ELECTRICAL (V, PH, HZ, WATTS), DIMENSIONS HxWxD OR DIAxD, WEIGHT (LBS), LOCATION, FLOOR, REMARKS.

DIFFUSER SCHEDULE table with columns: TAG, MAKE, MODEL, DIMENSIONS, MAX CFM, REMARK.

Timothy Hagala, DBI DEC 12 2016 APPROVED (Dept. of Building Insp.) MAR 24 2017 Tom C. Hsu (DEPT. OF BUILDING INSPECTION) FEB 02 2017

RECEIVED DEC 06 2016 DEPT. OF BUILDING INSPECTION THIS PLAN MEETS THE QUALITY STANDARD FOR DIGITIZING ARCHIVED.

Vertical sidebar containing MHC ENGINEERS logo, address (1283 GREENWICH ST., SAN FRANCISCO, CA 94109), and project title (MECHANICAL GENERAL NOTES, LEGENDS, DETAILS, SCHEDULES, AND PLANS).



RADIANT FLOOR BOILER

MODEL	TANK CAPACITY GALLONS	HEATING CAP. BTU	ENERGY FACTOR	DIMENSIONS HxWxD	NET WEIGHT LBS	LOCATION	REMARKS
GPVX-50	50	62000	0.7	61 1/2" X 24" X 36"	212	MECHANICAL ROOM	1, 2, 3, 4

- PROVIDE WITH DISCONNECT.
- PROVIDE WITH BALL VALVES AT HIWSR AND GAS LINES.
- PROVIDE WITH CONDENSATE NEUTRALIZER KIT AND DRAIN TO FLOOR DRAIN.
- PROVIDE WITH TEMPERATURE AND PRESSURE RELIEF VALVE AND DRAIN TO FLOOR DRAIN.

MANIFOLD

TAG	MAKE	MODEL	QTY	NOMINAL TRUNK SIZE	NUMBER OF LOOPS	MAX TRUNK FLOW (GPM)	MAX OPERATING PRESS. (PSI) (@ 176°F)	REMARKS
MF1	WATTS	D3803002SS-KIT	1	1	2	12.0	87.0	1, 2
MF2	WATTS	D3803003SS-KIT	1	1	3	12.0	87.0	1, 2
MF3	WATTS	D3803003SS-KIT	1	1	3	12.0	87.0	1, 2
MF4	WATTS	D3803002SS-KIT	1	1	2	12.0	87.0	1, 2
MF5	WATTS	D3803003SS-KIT	1	1	3	12.0	87.0	1, 2

- INSTALLATION LOCATION TO BE PROVIDED WITH ACCESS PANEL FOR SERVICE.
- BALANCE SYSTEM AT BALANCING VALVES PROVIDED AT MANIFOLD.

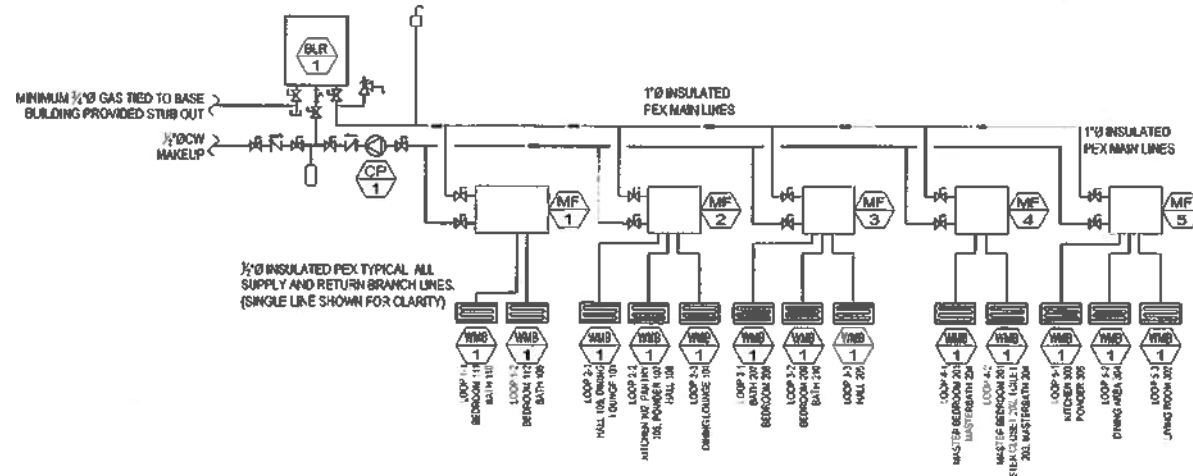
CIRCULATION PUMP

TAG	MAKE	MODEL	GPM	FEET OF HEAD	ELECTRICAL			LOCATION	REMARKS
					V	PH	HZ		
CP1	GRUNDFOS	UPS40-240	25	46	230	1	60	MECHANICAL ROOM	1

- PROVIDE WITH DISCONNECT, ISOLATION BALL VALVES.

RADIANT TUBING LOOP LENGTH

ZONE	LOOP	LENGTH
ZONE 1	1-1	150
	1-2	193
ZONE 2	2-1	303
	2-2	225
	2-3	276
ZONE 3	3-1	225
	3-2	242
	3-3	184
ZONE 4	4-1	288
	4-2	237
ZONE 5	5-1	270
	5-2	295
	5-3	290



1 RADIANT SCHEMATIC DIAGRAM
MC.1 SCALE: 1/8" = 1'-0"

ISSUE	DATE
PERMIT SET	12.15.2015
PLAN CHECK REVISION	01.30.2016
CONSTRUCTION SET	07.01.2016
VARIANCE	12.02.2016



MECHANICAL DETAILS AND SCHEDULES
1283 GREENWICH ST.
1283 GREENWICH STREET
SAN FRANCISCO, CA 94109

Timothy Nagata, DBI
DEC 12 2016

APPROVED
Dept. of Building Insp.

MAR 24 2017

Tom C. Han
Tom C. Han, Director
DEPT. OF BUILDING INSPECTION

RECEIVED
DEC 06 2016
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARD FOR DIGITIZING ACCEPTED.



DATE	02/08/2016
REVISION	AS NOTED
DATE	2/3/16
REVISION	MHC 0015400

M0.1

ISSUE	DATE
PERMIT SET	12.15.2015
PLAN DECREASE	01.22.2016
CONTRACTOR	07.01.2016
VARIANCE	11.05.2016

MBC ENGINEERS
1500 MARKET STREET, SUITE 400
SAN FRANCISCO, CA 94102
TEL: 415.774.7200
FAX: 415.774.7200

1283 GREENWICH ST.
1283 GREENWICH STREET
SAN FRANCISCO, CA 94109

MECHANICAL COOLING
PLAN - BASEMENT AND
FIRST FLOOR

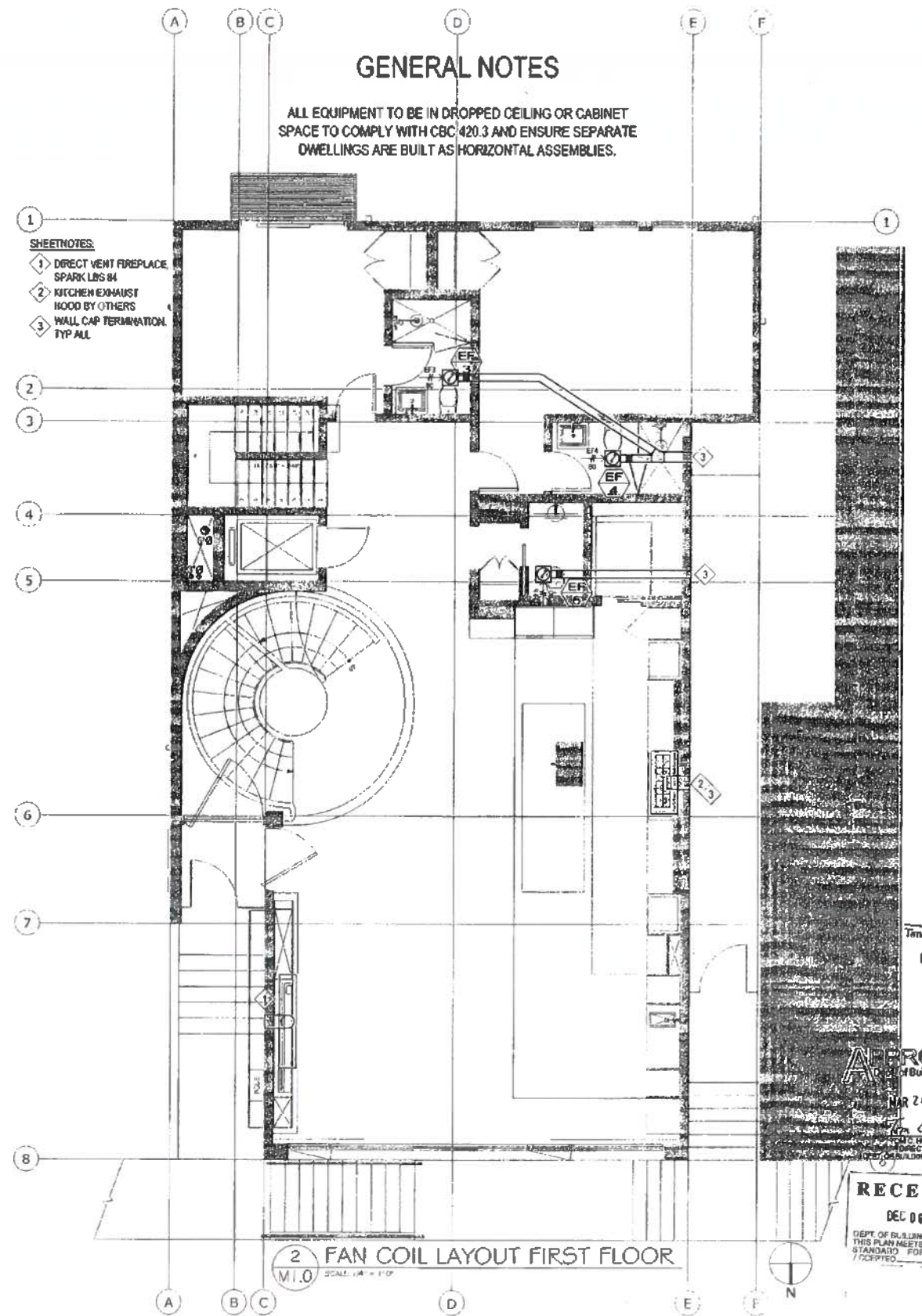
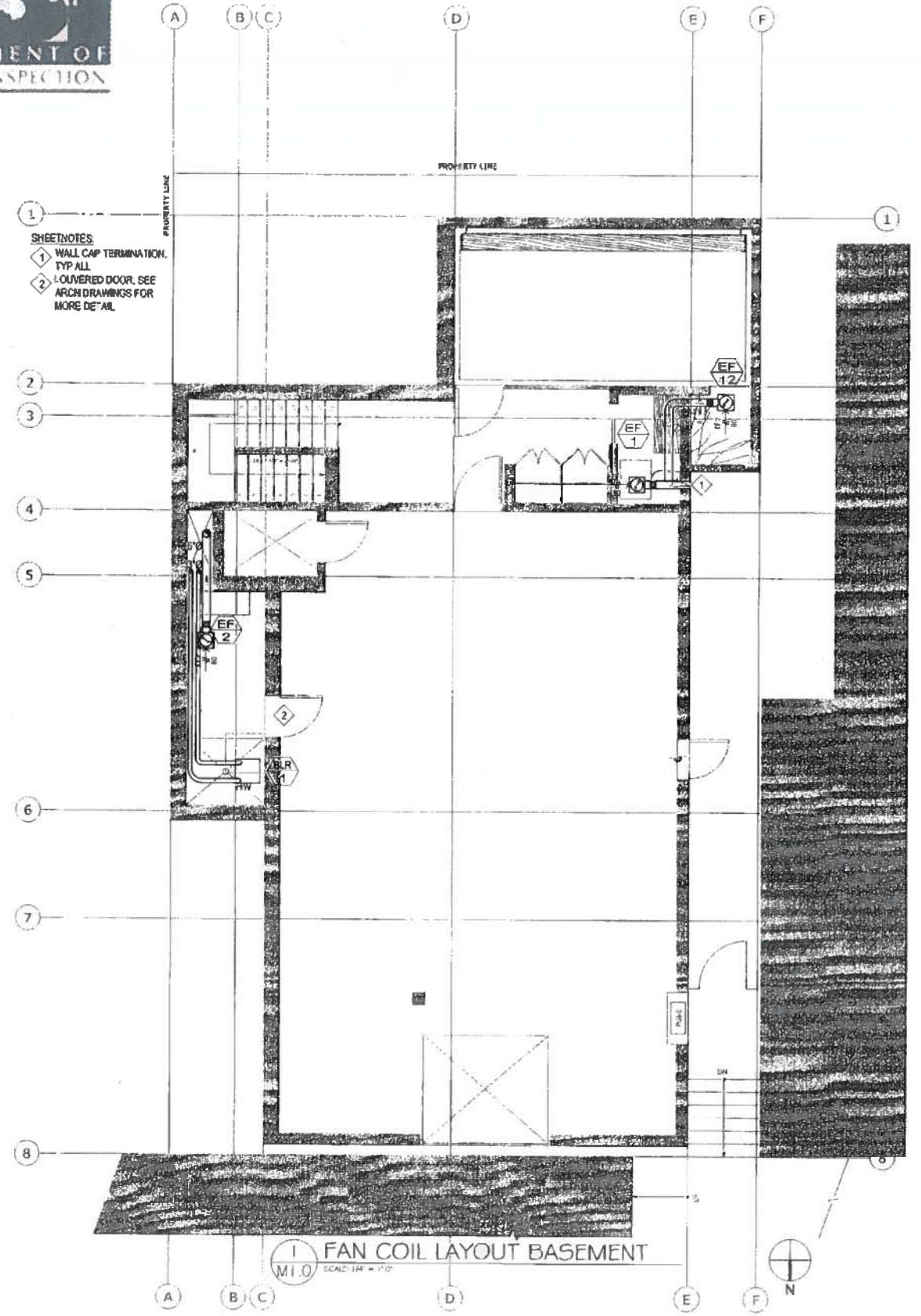


01/20/2016
AS NOTED
ETP:O
MBC 06/15/00

M1.0

GENERAL NOTES

ALL EQUIPMENT TO BE IN DROPPED CEILING OR CABINET SPACE TO COMPLY WITH CBC 420.3 AND ENSURE SEPARATE DWELLINGS ARE BUILT AS HORIZONTAL ASSEMBLIES.



Timothy Nagata, DBT
DEC 12 2016

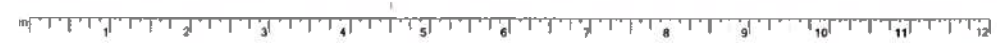
APPROVED
DEPT. OF BUILDING INSPECTION

MAR 24 2017

Director
DEPT. OF BUILDING INSPECTION

RECEIVED
DEC 06 2015

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARDS FOR DIGITIZING
ACCEPTED



ISSUE	DATE
PERMIT SET	12.15.2016
PLAN CHECK/RESP.	01.20.2016
CONSTRUCTION SET	07.01.2016
ISSUANCE	12.08.2016



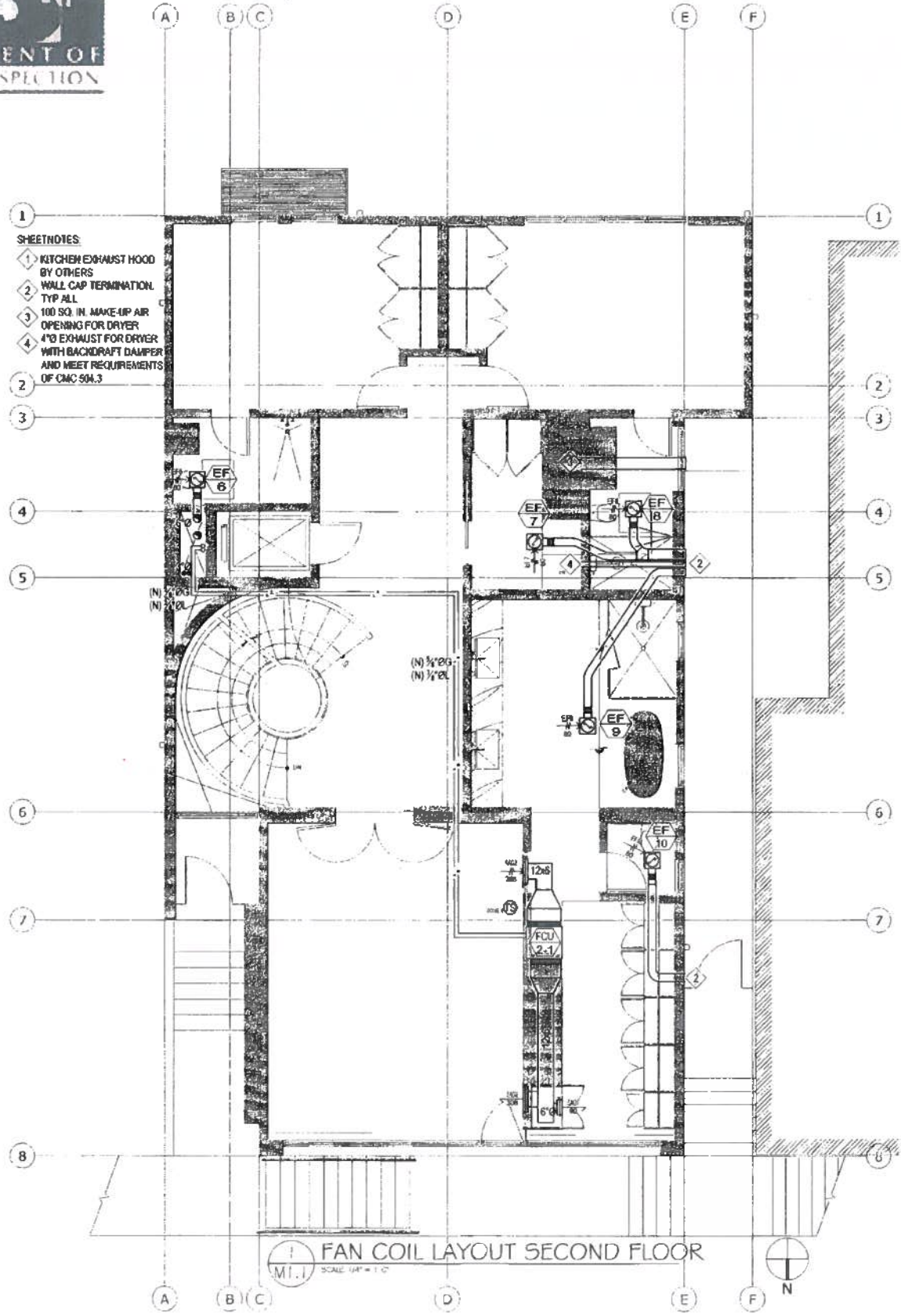
1283 GREENWICH ST.
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109

MECHANICAL COOLING
 PLAN - SECOND FLOOR
 AND THIRD FLOOR

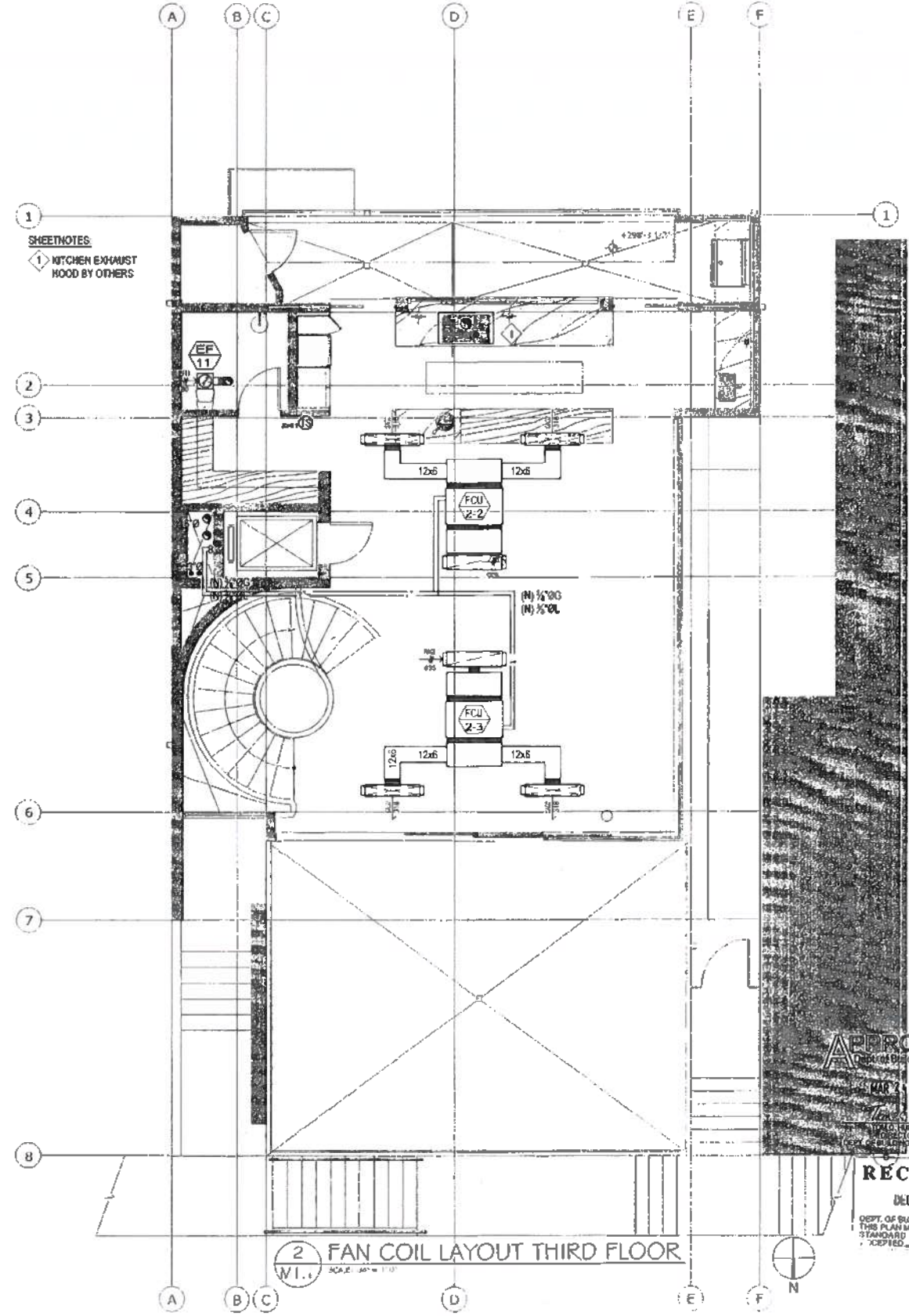


DATE	01/20/16
BY	AS NOTED
CODE	ZTBEO
NO.	MHC 2015-030

M1.1



- SHEETNOTES**
- 1 KITCHEN EXHAUST HOOD BY OTHERS
 - 2 WALL CAP TERMINATION. TYP ALL.
 - 3 100 SQ. IN. MAKE-UP AIR OPENING FOR DRYER
 - 4 4" Ø EXHAUST FOR DRYER WITH BACKDRAFT DAMPER AND MEET REQUIREMENTS OF CMC 904.3



- SHEETNOTES**
- 1 KITCHEN EXHAUST HOOD BY OTHERS

Timothy Nagata, DB
 DEC 12 2016

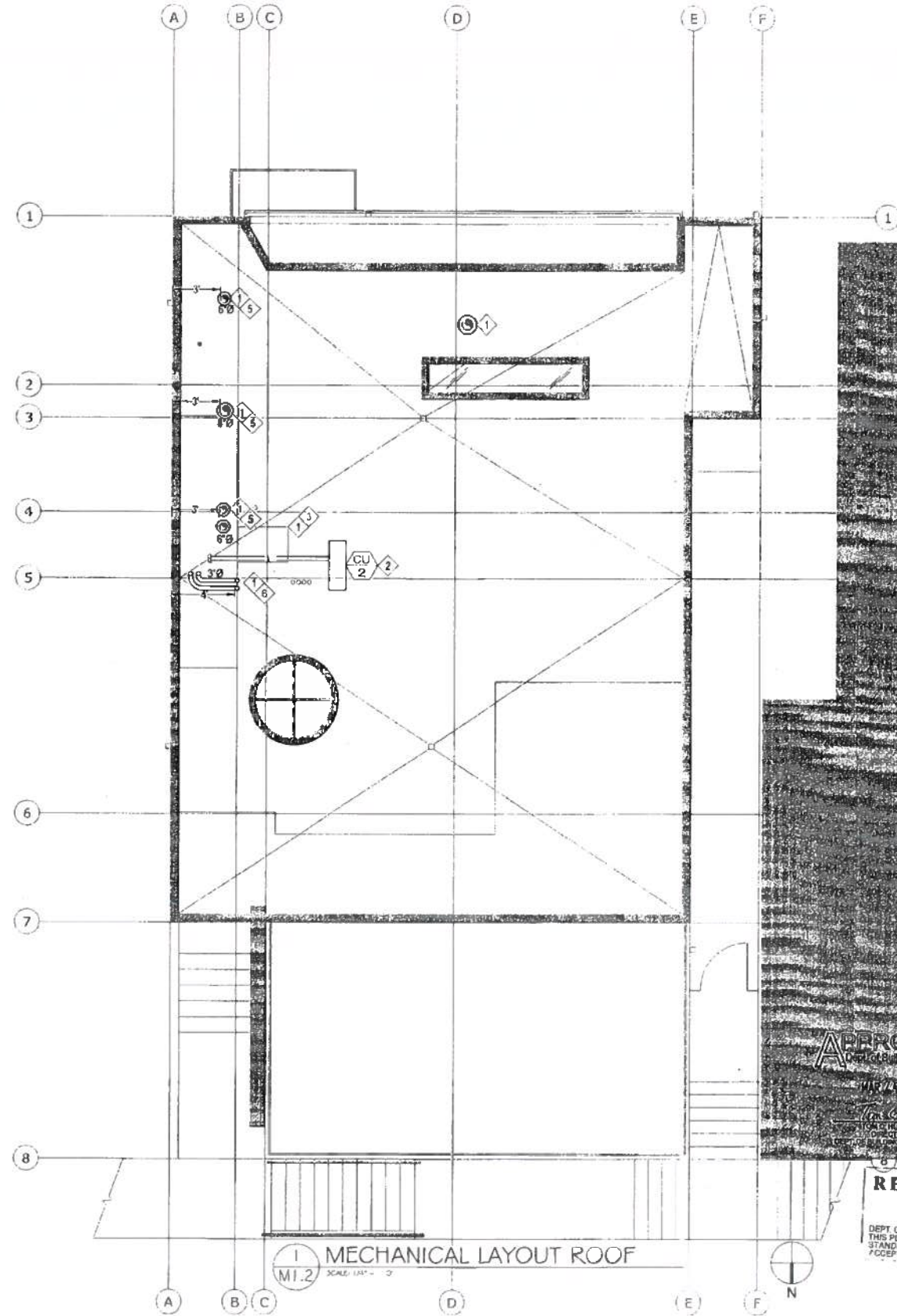
APPROVED
 Timothy Nagata, DB
 MECHANICAL ENGINEER

RECEIVED
 DEC 06 2016

DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY STANDARD FOR DOTTING ACCEPTED



- SHEET NOTES:**
- 1 ROOF CAP TERMINATION TYP ALL
 - 2 120V RECEPTACLE TO BE LOCATED WITHIN 25 FT OF EQUIPMENT FOR MAINTENANCE. SEE ELECTRICAL FOR EXACT LOCATION.
 - 3 ELEVATOR HOIST WAY VENT WITH MINIMUM 3 SQ. FT. OPENING
 - 4 SEE ARCH DRAWINGS FOR LOCATION OF EXTERIOR ACCESS LADDER.
 - 5 EXHAUST VENTS TO BE A MINIMUM OF 3 FT. FROM PROPERTY LINE.
 - 6 GAS VENTS TO BE A MINIMUM OF 4 FT. FROM PROPERTY LINE.



ELEVATOR VENT AREA CALC	
AREA OF ELEVATOR HOIST WAY (SQ. FT.)	18.1
MINIMUM AREA OF VENT PER AREA OF HOIST WAY	0.035
MINIMUM AREA OF VENT PER CALCULATION (SQ. FT.)	0.634
MINIMUM AREA OF VENT PER CBC 3004.3 (SQ. FT.)	3.0
AREA OF VENT (SQ. FT.)	3.0

2 ELEVATOR VENT AREA CALC
M1.2 SCALE: N/A

1 MECHANICAL LAYOUT ROOF
M1.2 SCALE: 1/4" = 1'-0"

ISSUE	DATE
PERMIT SET	12.15.2015
PLAN CHECK RESP	01.20.2016
CONSTRUCTION SET	07.01.2016
VARANCE	12.08.2016



1283 GREENWICH ST.
1283 GREENWICH STREET
SAN FRANCISCO, CA 94109

MECHANICAL PLAN - ROOF

Timothy Nagata, DBI
DEC 12 2016

APPROVED
Dept. of Building Insp.

RECEIVED
DEC 06 2016
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING



DATE	01/28/2016
SCALE	AS NOTED
PROJECT	27880
CLIENT	MHC 0415430

M1.2

ISSUE	DATE
PERMIT SET	12.15.2016
PLAN CHECK RESP	01.29.2016
CODE REVISION 16	07.08.2016
VARIANCE	12.08.2016



1283 GREENWICH ST.
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109

MECHANICAL HEATING AND
 PLAN - BASEMENT AND
 FIRST FLOOR

Timothy Nogeta, DB
 DEC 12 2016



RECEIVED
 DEC 06 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARDS FOR DIGITIZING
 ACCEPTED

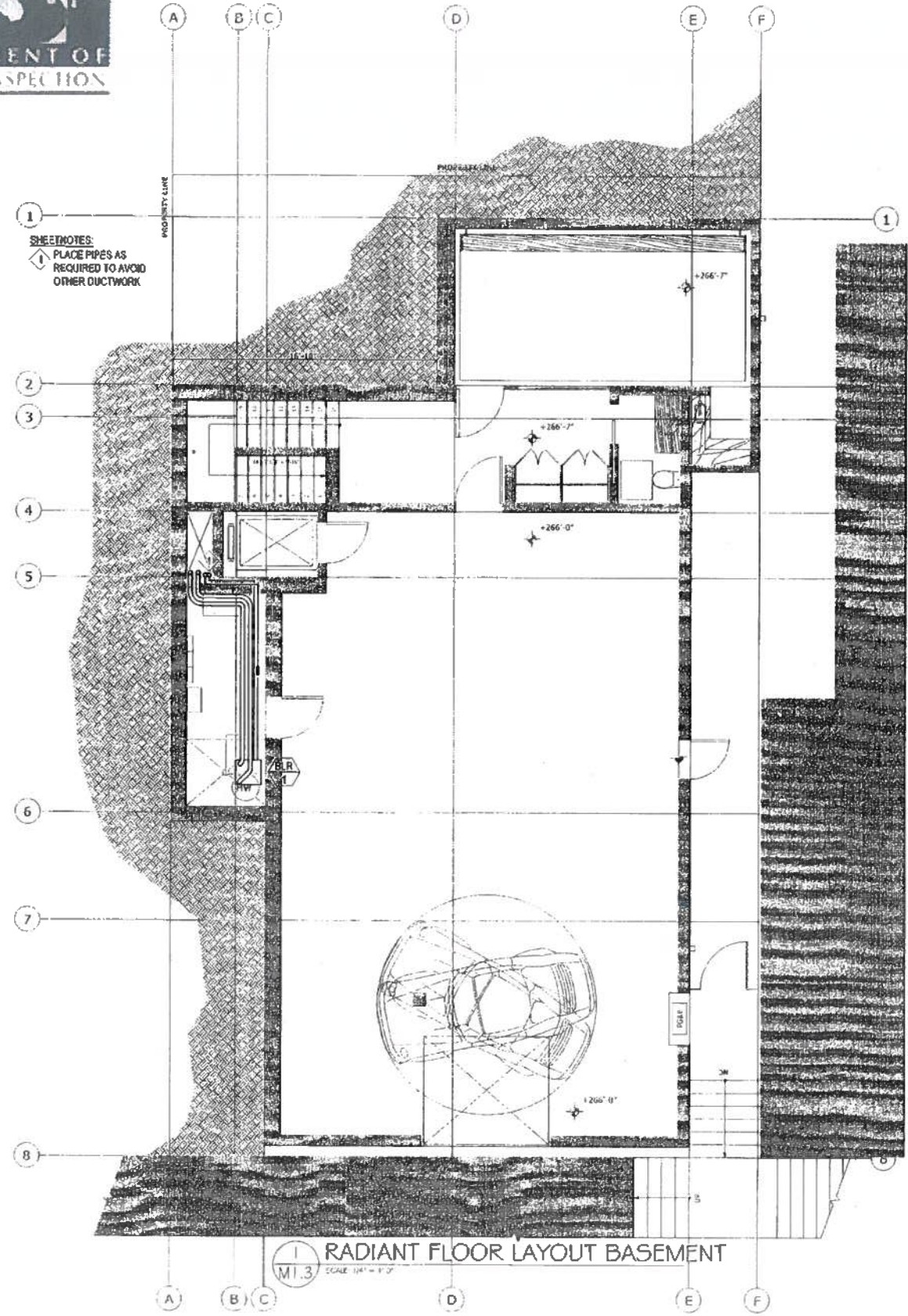


DATE	01/20/2016
BY	AS NOTED
REASON	ETSEID
BY	MIC 0015-030

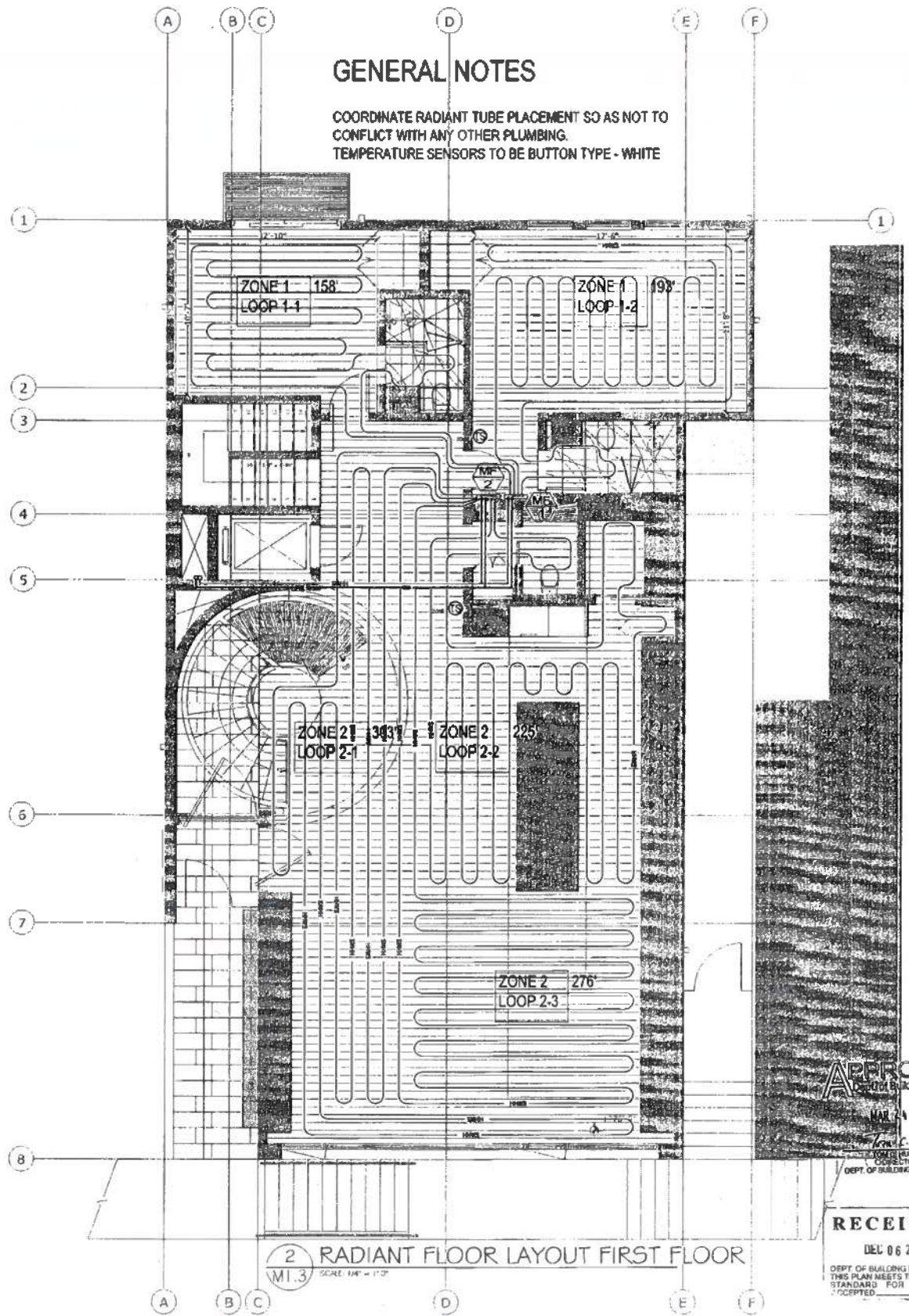
M1.3

GENERAL NOTES

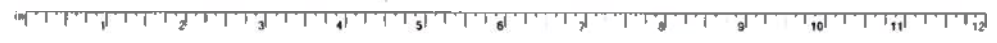
COORDINATE RADIANT TUBE PLACEMENT SO AS NOT TO
 CONFLICT WITH ANY OTHER PLUMBING.
 TEMPERATURE SENSORS TO BE BUTTON TYPE - WHITE



1 RADIANT FLOOR LAYOUT BASEMENT
 M1.3 SCALE: 1/4" = 1'-0"

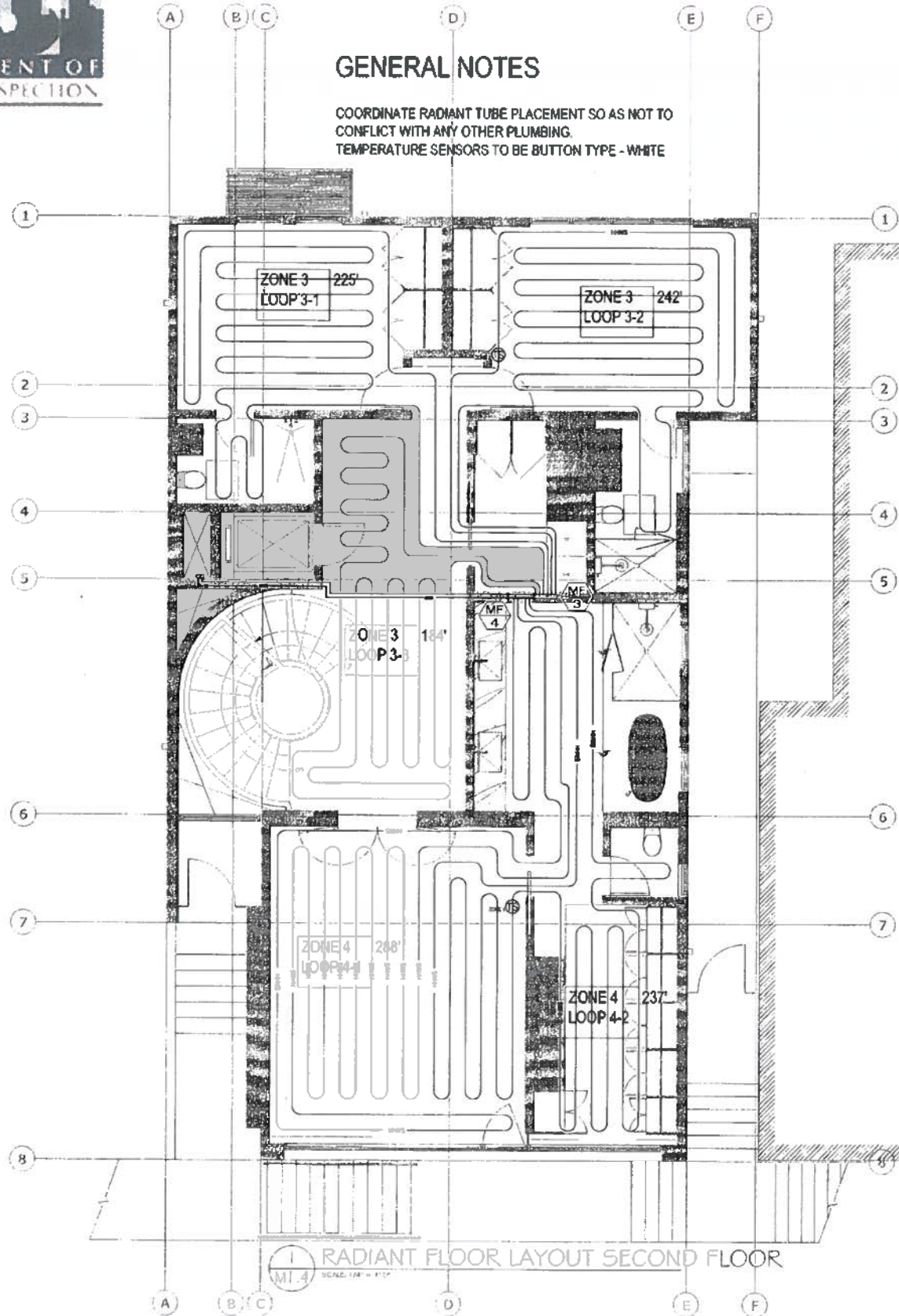


2 RADIANT FLOOR LAYOUT FIRST FLOOR
 M1.3 SCALE: 1/4" = 1'-0"



GENERAL NOTES

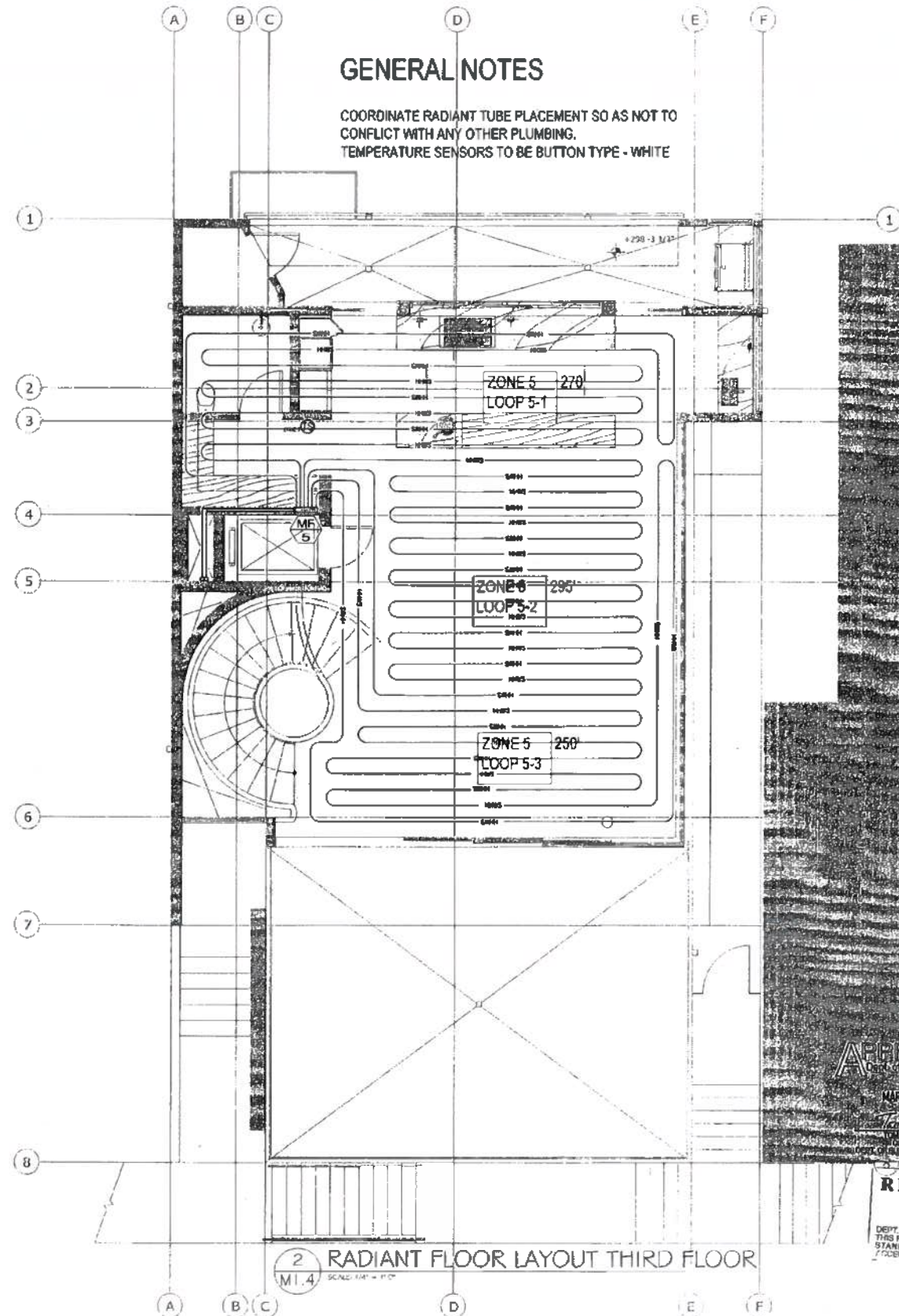
COORDINATE RADIANT TUBE PLACEMENT SO AS NOT TO
CONFLICT WITH ANY OTHER PLUMBING.
TEMPERATURE SENSORS TO BE BUTTON TYPE - WHITE



1 RADIANT FLOOR LAYOUT SECOND FLOOR
SCALE: 1/4" = 1'-0"

GENERAL NOTES

COORDINATE RADIANT TUBE PLACEMENT SO AS NOT TO
CONFLICT WITH ANY OTHER PLUMBING.
TEMPERATURE SENSORS TO BE BUTTON TYPE - WHITE



2 RADIANT FLOOR LAYOUT THIRD FLOOR
SCALE: 1/4" = 1'-0"

ISSUE	DATE
PERMIT SET	12.15.2015
PLAN CHECK REVISION	01.28.2016
CONSTRUCTION PERMIT	07.01.2016
VARIANCE	12.06.2016



1283 GREENWICH ST.
1283 GREENWICH STREET
SAN FRANCISCO, CA 94109

MECHANICAL HEATING
PLAN - SECOND FLOOR
AND THIRD FLOOR

Timothy Nagale, OBI
DEC 12 2016

APPROVED
Building Dept

MAR 14 2017
C. Hsu

RECEIVED
DEC 06 2016

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZATION
ACCEPTED



DATE	3/28/2016
SCALE	AS NOTED
STATUS	TS/ED
PROJECT	MHC 0415-030

M1.4



RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040

Code	Area	Type	Area	Value	Reqd	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20		
	Area																										
	Area																										



Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040

Code	Area	Type	Area	Value	Reqd	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20		
	Area																										
	Area																										

Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040

Code	Area	Type	Area	Value	Reqd	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20		
	Area																										
	Area																										

Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040

Code	Area	Type	Area	Value	Reqd	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20		
	Area																										
	Area																										

Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040

Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040

RESIDENTIAL PERFORMANCE COMPLIANCE METHOD
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040

Code	Area	Type	Area	Value	Reqd	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	
	Area																									
	Area																									

Code	Area	Type	Area	Value	Reqd	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	
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Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040

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Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
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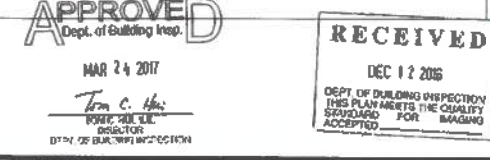
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Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
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Code	Area	Type	Area	Value	Reqd	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	
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Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040

Application Number: 171438104020000046
 Calculation Date/Time: 12/14, Wed, Dec 07, 2016
 Report File Name: 494-607 T24 1252 Compliance 20161207-040



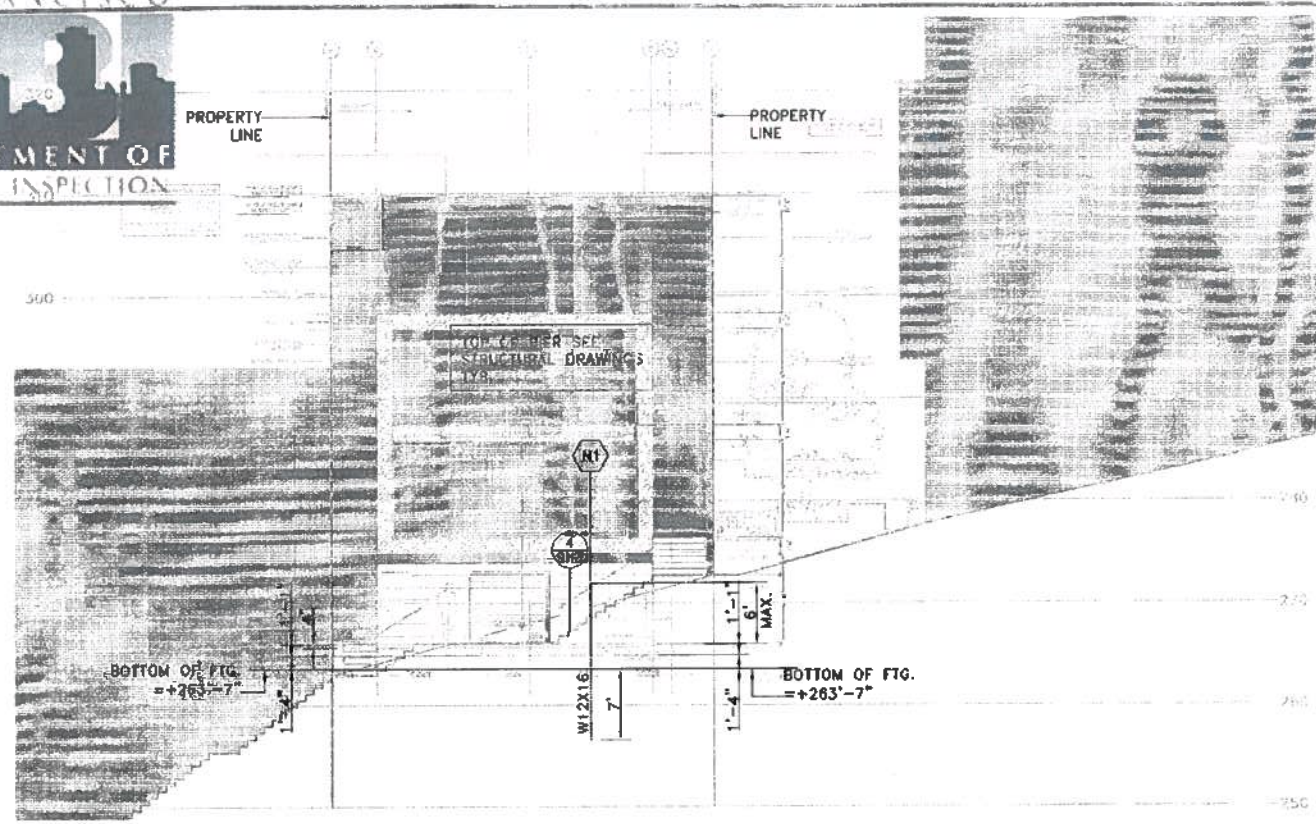
RESIDENTIAL T24 - PAGE 1
 1283 GREENWICH ST.
 1283 GREENWICH STREET
 SAN FRANCISCO, CA 94109

ISSUE	DATE
PERMITS SET	12/15/2016
PLAN CHECK RESP	01/28/2016
CONSTRUCTION SET	02/01/2016
ISSUANCE	12/08/2016

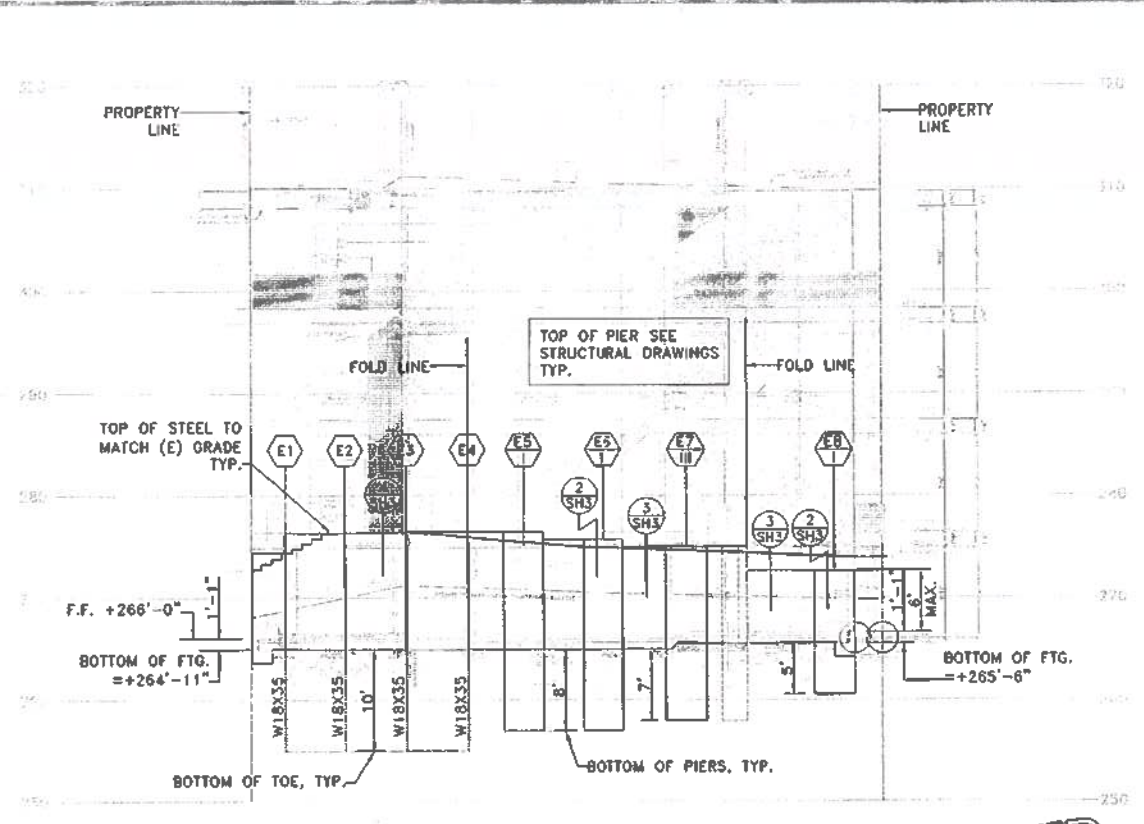


EN1.0
 RECEIVED
 DEPT. OF BUILDING INSPECTION
 THESE PLAN MARKETS THE QUALITY
 STANDARD FOR
 ACCEPTED

Plan Set for Permit No. 2016/08/16/5118



4 TEMPORARY SHORING ELEVATION
 SH-2 LOOKING NORTH 1/8"=1'-0"



3 TEMPORARY SHORING ELEVATION
 SH2 LOOKING EAST 1/8"=1'-0"

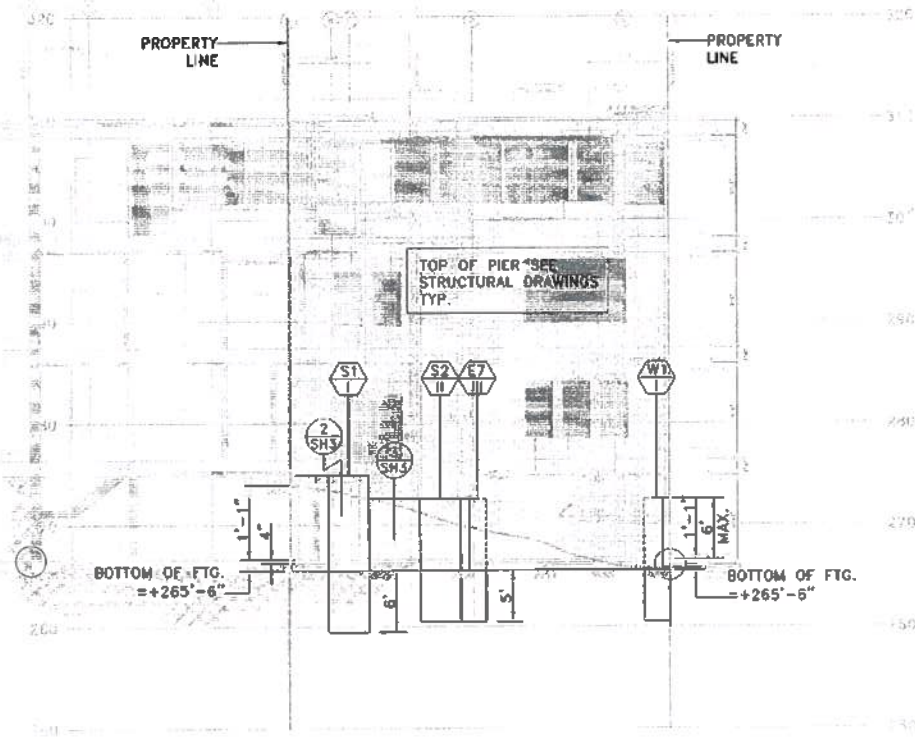
APPROVED
 Dept. of Building Insp.
 SEP 28 2016
 Tom C. Han
 DEPT. OF BUILDING INSPECTION

SYMBOL

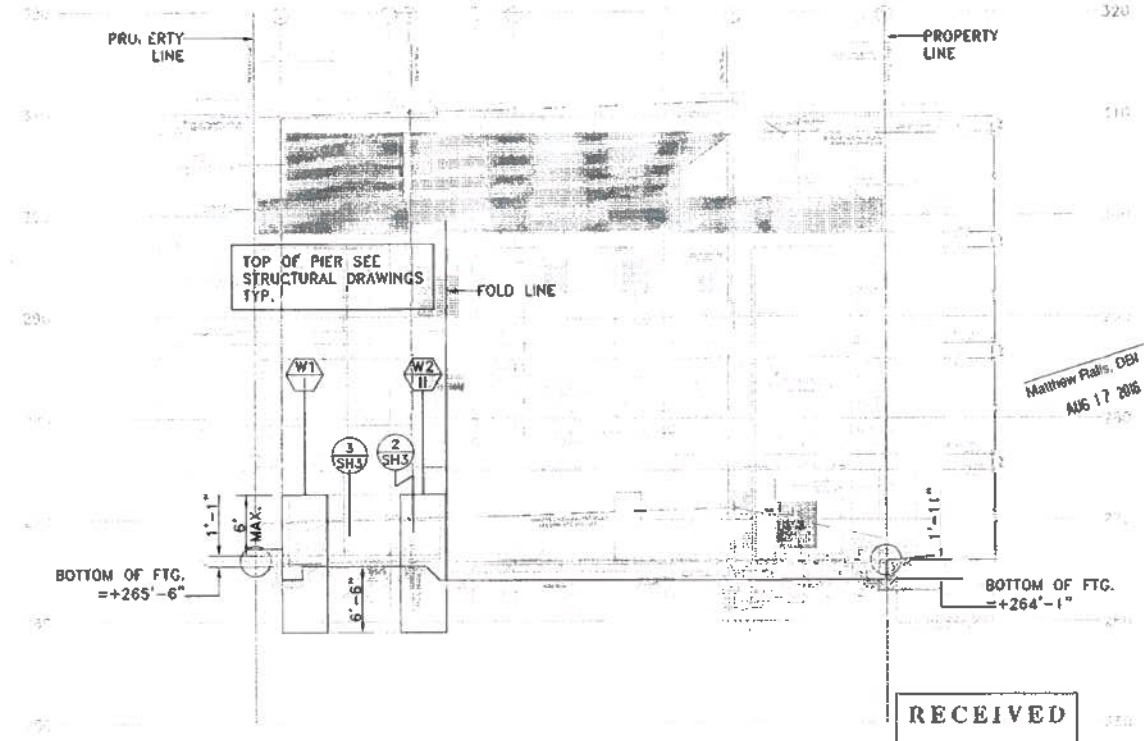
- NEW BUILDING GRID
- SOLDIER BEAM NUMBER
- TIEBACK WORK POINT
- DESIGN/UNBONDED/DRILL ANGLE LOAD/LENGTH/OTHER THAN 15'
- PIER NUMBER
- CONSTRUCTION SEQUENCE
- SECTIONAL FTG. NUMBER
- CONSTRUCTION SEQUENCE
- CONCRETE PIER
- SLOPED BANK

LEGEND

- ADJ. ADJACENT
- B.O.E. BOTTOM OF EXCAVATION
- B.O.F. BOTTOM OF (E) FOOTING
- B.O.P. BOTTOM OF PIER
- B.O.T. BOTTOM OF TOE
- EG EXISTING GRADE
- EL. ELEVATION
- (E) EXISTING
- (N) NEW
- PL PROPERTY LINE
- T.O.S. TOP OF STEEL ELEVATION
- U.O.N. UNLESS OTHERWISE NOTED
- V.I.F. VERIFY IN FIELD



1 TEMPORARY SHORING ELEVATION
 SH2 LOOKING SOUTH 1/8"=1'-0"



2 TEMPORARY SHORING ELEVATION
 SH2 LOOKING WEST 1/8"=1'-0"

RECEIVED
 AUG 16 2016
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARD FOR DIGIT 2400
 ACCEPTED

Benjamin P. Lai & Associates
 Structural Engineers, Inc.
 P O Box 2169
 Danville, CA 94526
 Tel. (925) 820-1688
 Fax. (925) 222-3287
 Email bplai@comcast.net

By Agreement, the Plans and Station Incorporated herein, as an extension of Professional Station No. 3385, issued to Benjamin P. Lai & Associates, Structural Engineers, Inc., and shall be held in full force and effect for any and all projects without further agreement. © 2015/2016

STAMP:

OWNER:
 Mr. Jeremy Ricks
 1283 Greenwich Street
 San Francisco, CA 94109
 Tel 415-

ARCHITECT OF RECORD:
 Buller Armsden Architects
 1420 Sutter Street
 San Francisco, CA 94109
 Tel 415-674-5554
 www.bullerarmsden.com

STRUCTURAL ENGINEER:
 FTF Engineering
 1991 McAllister Street
 San Francisco, CA 94115
 Tel 415-931-8460
 www.ftfengineering.com

GENERAL CONTRACTOR:
 Crown Construction
 158 Sprout Lane
 San Francisco, CA 94108
 Tel 415-317-5197
 www.crowncc.com

REVISIONS

MARK	DATE	DESCRIPTION
01/16/16	PRELIMINARY	
02/23/16	SUBMITTAL	
07/29/16	SUBMITTAL-1	

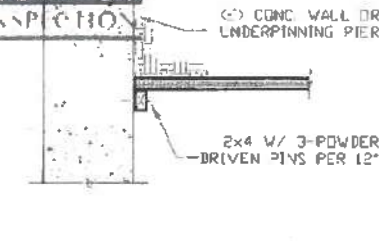
PROJECT TITLE:
Greenwich Street Residence

BUILDING REMODEL & ADDITION

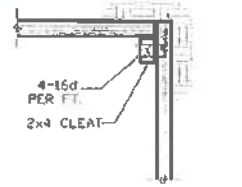
PROJECT ADDRESS:
 1283 Greenwich Street
 San Francisco, CA 94109
 Block 0095 / Lot 024

DESIGNED BY: BPL
 CHECKED BY: BP
 DRAWN BY: BP
 DATE: 07-09-2016
 BPLA: CG # 1541.01
 CREDIT JOB #
 DRAWING TITLE:
TEMPORARY SHORING & HAND-DUG PIER ELEVATIONS & NOTES

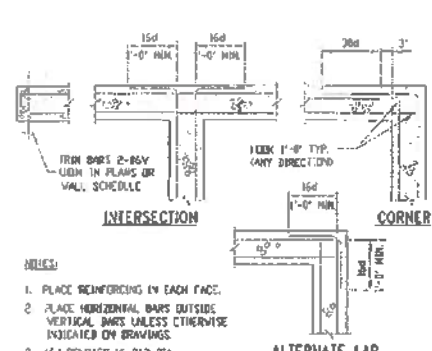
SHORING NUMBER:
SH2



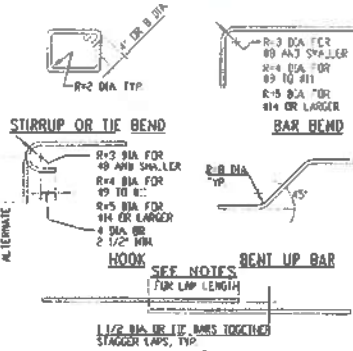
14 LAGGING DETAILS
NOT TO SCALE



13 LAGGING DETAILS
NO SCALE



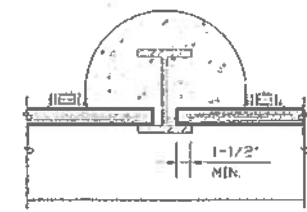
12 CONCRETE WALL AND FOUNDATIONS
DOUBLE CURTAIN HORIZONTAL REINFORCING



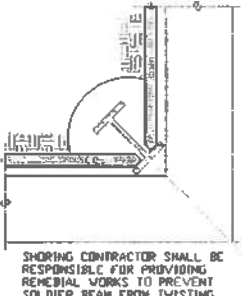
11 TYPICAL BAR BENDING & LAP DETAILS
NOT TO SCALE

PIER REINFORCING SCHEDULE					
PIER NUMBERS	PIER DIMENSIONS	BAR "A"	BAR "B"	TIES	REMARKS
E5 - E6	2'-6" X 4'-0"	7 - #5	11 - #9	#3 @ 12"	10" WALL PANEL MIN.
E7	2'-6" X 4'-0"	6 - #5	10 - #9	#3 @ 12"	10" WALL PANEL MIN.
E8	2'-6" X 4'-0"	6 - #5	9 - #9	#3 @ 12"	10" WALL PANEL MIN.
S1	2'-6" X 4'-0"	6 - #5	10 - #7	#3 @ 12"	10" WALL PANEL MIN.
S2	2'-6" X 4'-0"	5 - #5	9 - #6	#3 @ 12"	10" WALL PANEL MIN.
W1 & W2	2'-6" X 4'-6"	5 - #5	9 - #7	#3 @ 12"	8" WALL PANEL MIN.

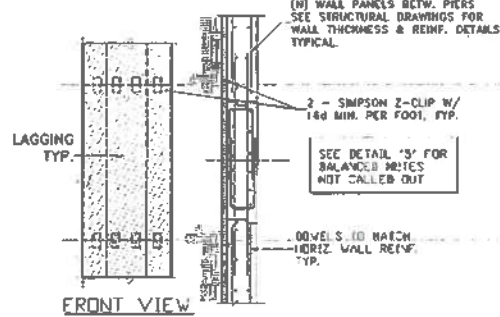
10 PIER REINFORCING SCHEDULE



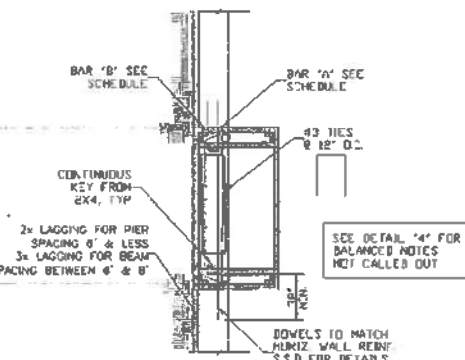
9 LAGGING DETAILS
NO SCALE



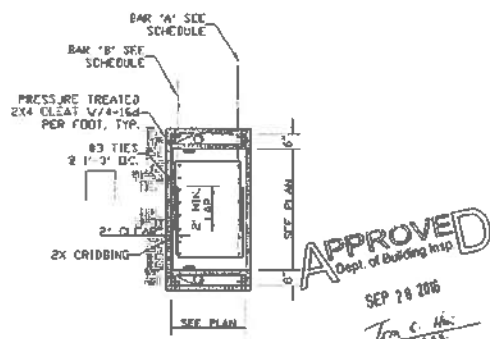
8 CORNER DETAILS
NO SCALE



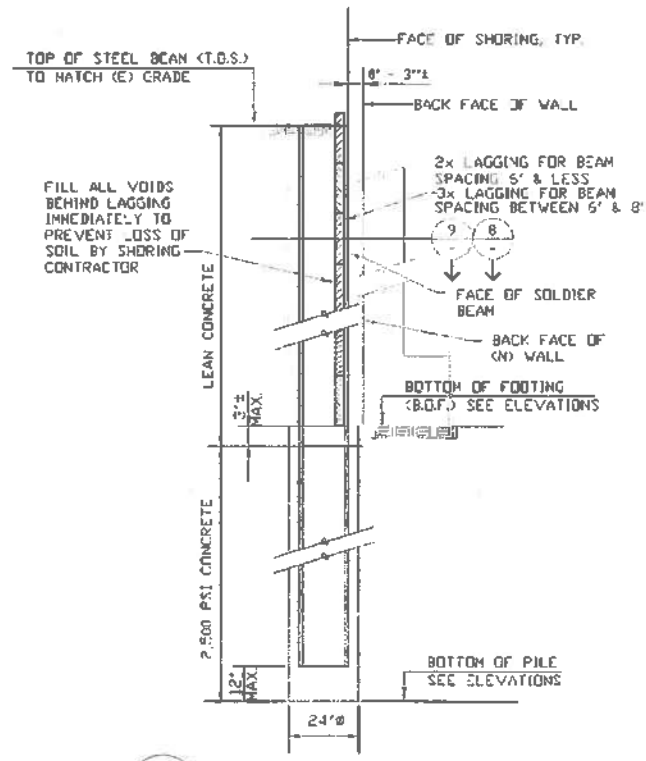
7 PIER AND WALL SECTION
NOT TO SCALE



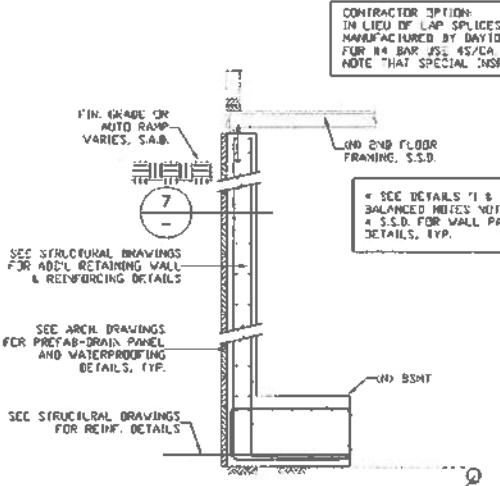
6 PIER SECTION
NOT TO SCALE



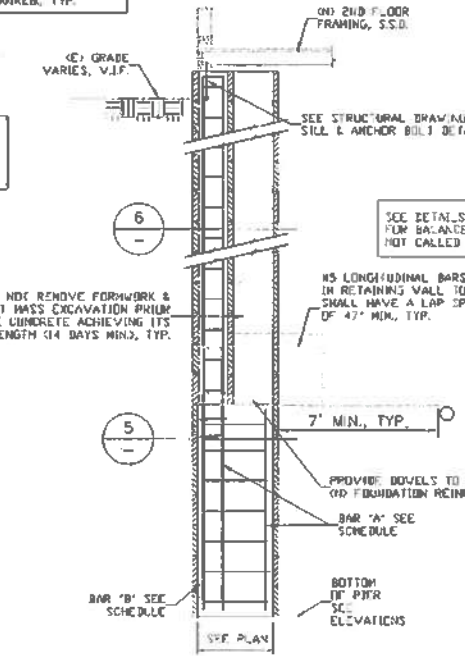
5 TYP. PIER SECTION
NOT TO SCALE



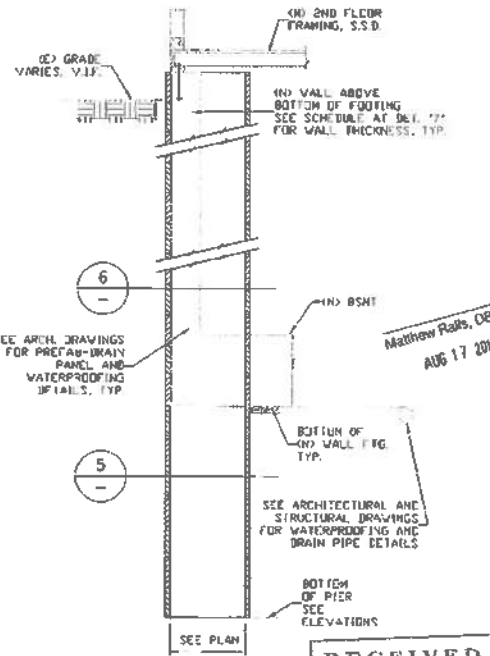
4 TYPICAL SOLDIER BEAM SECTION
NO SCALE



3 TYP. WALL PANEL - STAGE 3
NOT TO SCALE



2 TYP. PIER - STAGE 2
NOT TO SCALE



1 TYP. PIER - STAGE 1
NOT TO SCALE

Benjamin P. Lai
& Associates
Structural Engineers, Inc.

P O Box 2169
Danville, CA 94526
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Tel 415-

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FTF Engineering
1961 McAllister Street
San Francisco, CA 94115
Tel 415-931-8480
www.ftfengineering.com

GENERAL CONTRACTOR
Crown Construction
158 Sproule Lane
San Francisco, CA 94108
Tel 415-317-5197
www.crown1.com

REVISIONS		
MARK	DATE	DESCRIPTION
	07/19/16	PRELIMINARY
	07/24/16	SUBMITTAL
	07/29/16	SUBMITTAL-1

PROJECT TITLE:
Greenwich Street Residence

BUILDING REMODEL & ADDITION

PROJECT ADDRESS:
1283 Greenwich Street
San Francisco, CA 94109
Block 0095 / Lot 024

DESIGNED BY: BPL
CHECKED BY: BPL
DATE: 07-09-2016
BPL: JRS
1841.01

TEMPORARY SHORING & HAND-DUG PIER DETAILS & NOTES

SH3

APPROVED
Dept. of Building Insp.

SEP 28 2016
Tom C. Han
DIRECTOR

RECEIVED
AUG 16 2016
DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY STANDARDS FOR DIGITIZING ACCEPTED.



PROCEDURES FOR INSTALLATION OF CANTILEVER SOLDIER BEAMS

- The Contractor shall hereby be made fully aware of the possibility of areas of fill as shown on logs of borings and the possible problems caused by caving and sloughing during drilling, concreting, or excavating. If steel casing is not used, drill shaft shall be installed in sequences. Sequences of installing of drilled shafts shall not permit drilled shafts closer than 16 feet on center. Adjacent shafts shall not be installed within 24 hours after the shafts have been backfilled with concrete.
- Shafts are to be machine drilled. Use casing or slurry to prevent sloughing as required. Casing shall be removed as concrete placing progresses. Place soldier beams and concrete on the same day that the hole is drilled. Rigid tromie pipe shall be used to deposit concrete under water. Soldier beams shall be placed in the specified location relative to the back of the new foundation wall. If extremely hard rock is encountered for soldier beam ice drilling, the drill depth may be adjusted as determined by the Geotechnical Engineer and the Engineer.
- Fill shafts with 2,500 psi concrete to elevations shown on the drawings. Fill the balance of shafts with lean sand concrete mixture.
- Start excavate and place lagging between soldier beams in lifts not to exceed 3'-0" or as required by the Geotechnical Engineer. Lagging shall have full bearing against the earth. Extreme care shall be used in placing lagging in order to prevent any loss of earth. Fill voids behind lagging with granular material or grout, if required, to ensure full bearing.
- Continue excavating to the prescribed depth.

GENERAL NOTES (CONTINUE)

- The General Contractor shall coordinate the use of heavy or earth moving equipment and compaction equipment. Damage induced as a result of vibrations caused by this equipment is the responsibility of others.
- The General Contractor will be responsible for the removal of water within the site to allow the excavation and construction to proceed. The Contractor shall be responsible for control of water related to underpinning pier installations and excavation. Procedures for this work are subject to review by the Geotechnical Engineer.
- Utility information is not shown on these drawings. The General Contractor shall determine the exact location of all existing utilities before commencing with drilling operations. The General Contractor agrees to be fully responsible for any and all damages that might be occasioned by its failure to exactly locate and preserve any and all underground utilities. The Shoring Engineer shall be consulted if utility lines or piping is encountered during drilling operation. Care shall be used in drilling so that the following indications of utilities in the path of drilling are recognized:
 * Abnormal resistance to excavating and/or drilling.
 * Foreign materials pulled from the hole.
- If the General Contractor wishes to propose alternative procedures, materials, and construction details, The General Contractor shall pay for all engineering services associated with the design or evaluation of the alternative and shall pay all additional services such as inspection resulting from the alternative.
- The General Contractor shall provide barricades to protect pedestrians and vehicles from harm. Safety railing at the top of shoring shall be constructed and maintained by the General Contractor.
- Contractor shall coordinate handling of drill cuttings and fluids with General Contractor. Disposal of drilling cuttings and fluids from the excavation to stockpile area will be the responsibility of the General Contractor.
- Contractor shall clean augers, drill rig, and other equipment used to install soldier beams before moving off excavation area. All cleaning equipment shall be provided by the General Contractor.

MATERIALS

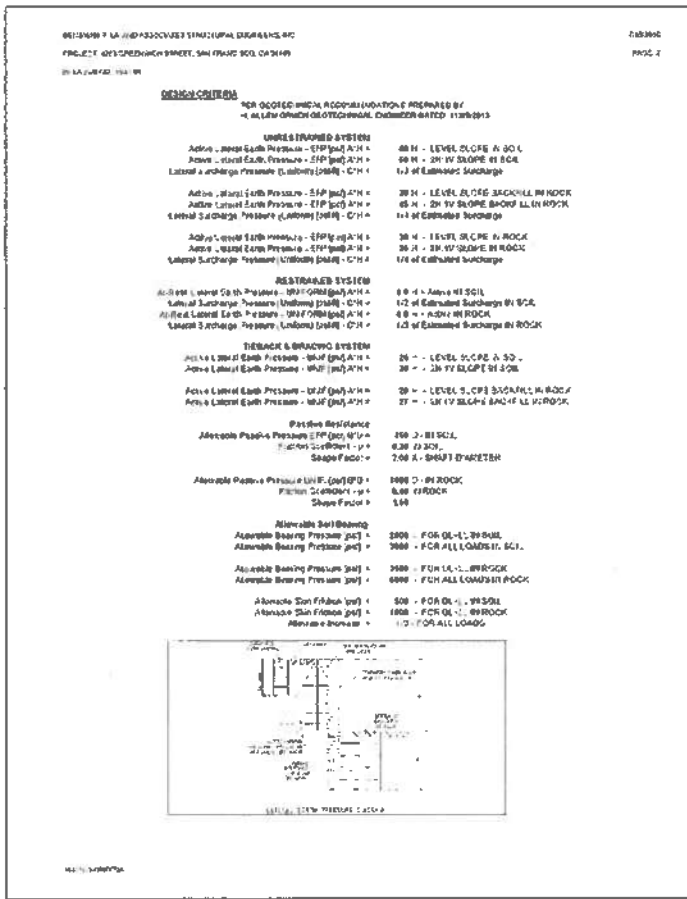
- Structural steel shall conform to ASTM specification A572 Grade 50.
- Reinforcing steel shall conform to ASTM Specification A615, Grade 60, except that stirrups and ties #4 or smaller can be Grade 40. Splices shall be a minimum of 50 diameters.
- Concrete for the underpinning piers shall attain a minimum compressive strength of 3,000 psi in 28 days.
- Concrete for soldier beam ice shall attain a minimum compressive strength of 2,500 psi in 28 days.
- Lean concrete shall contain 1-1/2 sacks of cement or fly ash per cubic yard.
- Non-shrink grout shall be "SIKAGROUT 212" or equivalent.
- Epoxy anchors shall be SET22 adhesive manufactured by Simpson Strong-Tie Company or equivalent.
- Post installed anchors shall be Titen-ND Screw Anchors manufactured by Simpson Strong-Tie Company or equivalent.
- Anchor bolts shall conform to ASTM Specification A307.
- Wood lagging shall be rough Douglas Fir No. 2, graded in accordance with Grading Rules for Western Lumber and pressure treated for ground contact.

PROCEDURE FOR INSTALLATION OF CANTILEVER HAND-DUG PIERS AND WALL PANELS

- Excavation shall be performed by others to a bench at least one foot (1'-0") above the bottom of the existing foundations that receive hand-dug piers. The foundations are assumed to be sound and ready for and capable of withstanding hand-dug pier support. Provide temporary shoring beams to support the existing stud wall above the hand dug piers during excavation of the hand-dug piers as required.
- Sequences of hand-dug piers shall not permit excavation of pits closer than 16 feet on center. Adjacent piers shall not be excavated within 24 hours after building load has been transferred to the piers.
- Excavation of hand-dug pier is to be performed in pits using horizontal wood lagging. The exposed face of the pier shall be plumb with the exposed face of the existing foundation.
- Place reinforcing steel, form from 1" face of access pit, install anchor bolts as required according to the structural drawings and cast concrete. Fill space between top of the hand-dug pier and bottom of the sill plate with non-shrink grout as required.
- Excavate the next sequence hand-dug piers as specified on the shoring drawings according to the steps "2 through 4" as stated above.
- Subsequent excavations shall not be started until building load has been transferred to all hand-dug piers. General Contractor shall set up instrumentation to observe potential movement of existing foundation as required.
- After all hand-dug piers has been in place and has attained its design strength, start excavating and placing lagging between piers in lifts not to exceed 3'-0" or as required by the Geotechnical Engineer. Lagging shall have full bearing against the earth. Extreme care shall be used in placing lagging in order to prevent any loss of earth. Fill voids behind lagging with granular material or grout, if required, to ensure full bearing.
- Continue excavate to the prescribed depth and place lagging between piers in lifts.
- Install drain pipes, prefab drain panel, and waterproofing according to architectural drawings.
- Place reinforcing for the proposed exterior wall and mat slab at garage level and cast concrete according to structural drawings.

GENERAL NOTES

- The information presented in these drawings consists of the design of the temporary shoring and hand-dug pier system. The temporary shoring and hand-dug pier system is intended to be a construction buttress to allow excavation for the proposed garage expansion while retaining the surrounding earth, adjacent streets and buildings.
- Benjamin P. Lai & Associates Structural Engineers, Inc. is responsible for the design of the temporary shoring and hand-dug pier system only.
- The term "Contractor" used in these notes and drawings refers to the contractor will complete the work indicated on these drawings. The term "General Contractor" used in these notes and drawings refers to Fosythe General Contractors. The term "Shoring Engineer" refers to Benjamin P. Lai & Associates. The term "Architect" refers to Butler Arnsden Architects. The term "Structural Engineer" refers to FTF Engineering. The term "Geotechnical Engineer" refers to H. Allen Green Geotechnical Engineer. The term "Land Surveyor" refers to Foresight Land Surveying.
- All hand-dug piers, soldier beams and lagging are to be installed by Contractor.
- The design of the temporary shoring and hand-dug pier system is based upon the following available information:
 * Architectural drawings - Pricing Set, prepared by Architect dated 7/14/2015.
 * Structural drawings - Building Set prepared by Structural Engineer dated 8/27/2015.
 * Geotechnical Investigation prepared by Geotechnical Engineer dated 1/8/2013.
 * Boundary and Topographic Survey prepared by Land Surveyor dated 2/5/2013.
- The Engineer has made assumptions concerning the soundness of the buildings on the properties adjacent to and on the site. These assumptions are that these buildings and structures were designed in conformity with good design practices. The General Contractor should take extraordinary precautions concerning the preservation of the adjacent properties. The stability of all the elements of the building should be carefully checked before doing any work on existing structures. All portions of structure that may be weakened by removal of existing construction should be braced or strengthened until new construction is in place.
- It is difficult to accurately predict the amount of deflection of a shored embankment. It should be realized, however, that some deflection will occur. We would estimate that this deflection could be on the order of one inch at the top of the shored embankment. The General Contractor shall be responsible and liable for minor cracking or settlement of the existing street sidewalk, curbs, gutter, utilities, pavement, building, or any other structures that may occur during installation of the work, or that are caused by vibration of machinery or equipment.
- If any horizontal or vertical movement of the temporary shoring and underpinning piers reaches one inch, the Engineer shall evaluate such movement and recommend corrective measures, if necessary, before excavation is continued.
- The shoring Engineer shall provide weekly observation service for the installation of the temporary shoring and hand-dug pier system to ensure that the work is done according to the drawings. In addition to the weekly observation, the Engineer shall:
 * Observe placement of reinforcing for hand-dug piers.
 * Observe installation of soldier beams.
 Such service shall not be construed as supervision of actual construction or the assumption of responsibility for providing a safe place for the performance of work by contractors. This service shall be paid for by the Owner of the project. If the Engineer is not retained by the Owner to make those recommended observations, the Engineer can assume no responsibility for misinterpretation of our recommendations.
- The Geotechnical Engineer shall be retained to perform the following observation service to be paid for by the Owner of the project. If the actual field conditions vary from the anticipated conditions, adjustments will be made at the direction of the Geotechnical Engineer.
 * Review soil strata.
 * Observe installation of hand-dug pier pits.
 * Observe installation of soldier beam drilled shafts.
 * Review backfill placement behind the lagging.
- A Testing Laboratory, approved by the International Conference of Building Officials, shall be retained to perform the following tests to be paid for by the Owner of the project.
 * Observe concrete placement and sampling for concrete compressive strength over 3,000 psi. Minimum 3 cylinders for each concrete pour.
- All construction, material, and workmanship shall comply with all applicable requirements of California Construction and General Industry Safety Orders, the Occupational Safety and Health Act and the Construction Safety Act and latest edition of the following codes:
 * International Conference of Building Officials, 2013 California Building Code.
 * American Institute of Steel Construction Specifications for the Design.
 * Fabrication and Erection of Structural Steel for Buildings.
 * American Welding Society, Structural Welding Code AWS D1.1.
 * American Concrete Institute Specifications for Structural Concrete for Buildings ACI 301.
 * American Society for Testing and Materials.
- The Contractor shall take extraordinary precautions concerning the preservation of the adjacent properties.
- The General Contractor shall coordinate these drawings with drawings and specifications prepared by the Architect/Engineer regarding the new and existing construction and conditions. The General Contractor should resolve any conflicts on the drawings with the Architect and Structural Engineer before proceeding with construction.
- Prior to the start of the work and to the lowering the completion of excavation and backfilling work, the General Contractor shall make a complete survey of all adjacent streets and buildings to note any existing conditions that might be claimed as having been caused by this work.
- The General Contractor shall employ a licensed Land Surveyor to establish control points to monitor adjacent buildings, line and grade for movement of all underpinning piers. Initial readings shall be taken prior to any excavation, and weekly readings shall be taken as excavation progresses and throughout the construction period until the permanent retaining structures and backfill are in place. Additional readings shall be obtained as requested by the Shoring Engineer. The General Contractor and shoring Engineer shall be promptly notified if changes in readings occur.
- The General Contractor shall provide means to prevent surface water from entering the excavation over the top of shoring and cut slopes.
- The General Contractor shall coordinate the mass excavation with the work to prevent unsafe over excavation. Excavation shall be conducted in such a manner as to prevent caving of banks and loss of ground. Excavation shall be done in steps, being coordinated with the installation of the bulkhead as outlined under "Procedures."



RECEIVED
 AUG 16 2016
 DEPT. OF BUILDING INSPECTION
 THEN PLAN REVIEW THE QUALITY STANDARD FOR ENGINEERING ACCEPTANCE

Benjamin P. Lai & Associates
 Structural Engineers, Inc.
 P O Box 2169
 Danville, CA 94526
 Tel. (925) 820-1688
 Fax. (925) 222-3287
 Email: bplai@comcast.net

1283 Greenwich Street
 San Francisco, CA 94109
 Tel 415-317-5197
 www.ftfengineering.com

158 Spruile Lane
 San Francisco, CA 94108
 Tel 415-317-5197
 www.crowst.com

1951 McAllister Street
 San Francisco, CA 94115
 Tel 415-931-8460
 www.ftfengineering.com

1420 Sutter Street
 San Francisco, CA 94109
 Tel 415-674-5554
 www.butlerarnsden.com

REVISIONS

NO.	DATE	DESCRIPTION
07/16/16		PRELIMINARY
07/23/16		SUBMITTAL
07/29/16		APPROVED

APPROVED
 Dept. of Building Inspection
 SEP 29 2016
 Matthew P. Lai, DEB
 AUG 17 2016

PROJECT: 1283 GREENWICH STREET, SAN FRANCISCO, CALIF.
 GREENWICH STREET RESIDENCE

BUILDING REMODEL & ADDITION

DESIGNED BY: BPL
 CHECKED BY: BPL
 DRAWN BY: BPL
 DATE: 07-09-2016
 SHEET NO.: 1641.01
 DRAWING TITLE: TEMPORARY SHORING & HAND-DUG PIER NOTES & DETAILS

SH4

H. ALLEN GRUEN

Geotechnical Engineer

360 Grand Avenue, # 262
Oakland, CA 94610
Phone (510) 839-0765
H.Allen.Gruen@gmail.com

August 10, 2016
Project Number: 13-4127c

Mr. Jeremy Ricks
1283 Greenwich Street
San Francisco, CA 94109

Subject: Geotechnical Plan Review
Proposed Temporary Shoring at
1283 Greenwich Street, San Francisco, California

Dear Mr. Ricks:

This letter presents the results of my geotechnical review of the plans for the proposed temporary shoring at 1283 Greenwich Street in San Francisco, California. H. Allen Gruen, Geotechnical Engineer performed a geotechnical investigation for the project and presented results in the report dated November 9, 2013.

I reviewed the structural calculations (16 pages) and drawings, sheets SH1, SH2, SH3 and SH4, with latest revisions dated 7/25/16, by Benjamin P. Lai & Associates.

Based on my review, I conclude that the plans are in general conformance with the intent of the recommendations contained in the geotechnical report.

Please note the following:

1. All site grading, foundation excavations, backfill, and geotechnical construction should be performed in accordance with the recommendations set forth in the project geotechnical report prepared by H. Allen Gruen, Geotechnical Engineer, Oakland, CA, (510) 839-0765, dated November 9, 2013. The contractor should coordinate all such work with the Geotechnical Engineer so that the necessary tests and on-site construction reviews can be made. H. Allen Gruen, Geotechnical Engineer should be notified at least 48 hours prior to required site observations of foundation excavations and geotechnical-related construction.

H. Allen Gruen, Geotechnical Engineer
Project Number: 13-4127c
1283 Greenwich Street, San Francisco
August 10, 2016

Page 2

I appreciate the opportunity to be of continued service to you on this project. If you have any questions, please call me at (510) 839-0765.

Sincerely,

H. Allen Gruen, C.E., G.E.
Geotechnical Engineer



cc: Benjamin P. Lai & Associates
P.O. Box 2169
Danville, CA 94526
bphlai@comcast.net

RECEIVED

AUG 16 2016

DEPT. OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY
STANDARD FOR DIGITIZING
ACCEPTED

Matthew Ralls, DBI

AUG 17 2016

APPROVED
Dept. of Building Insp.

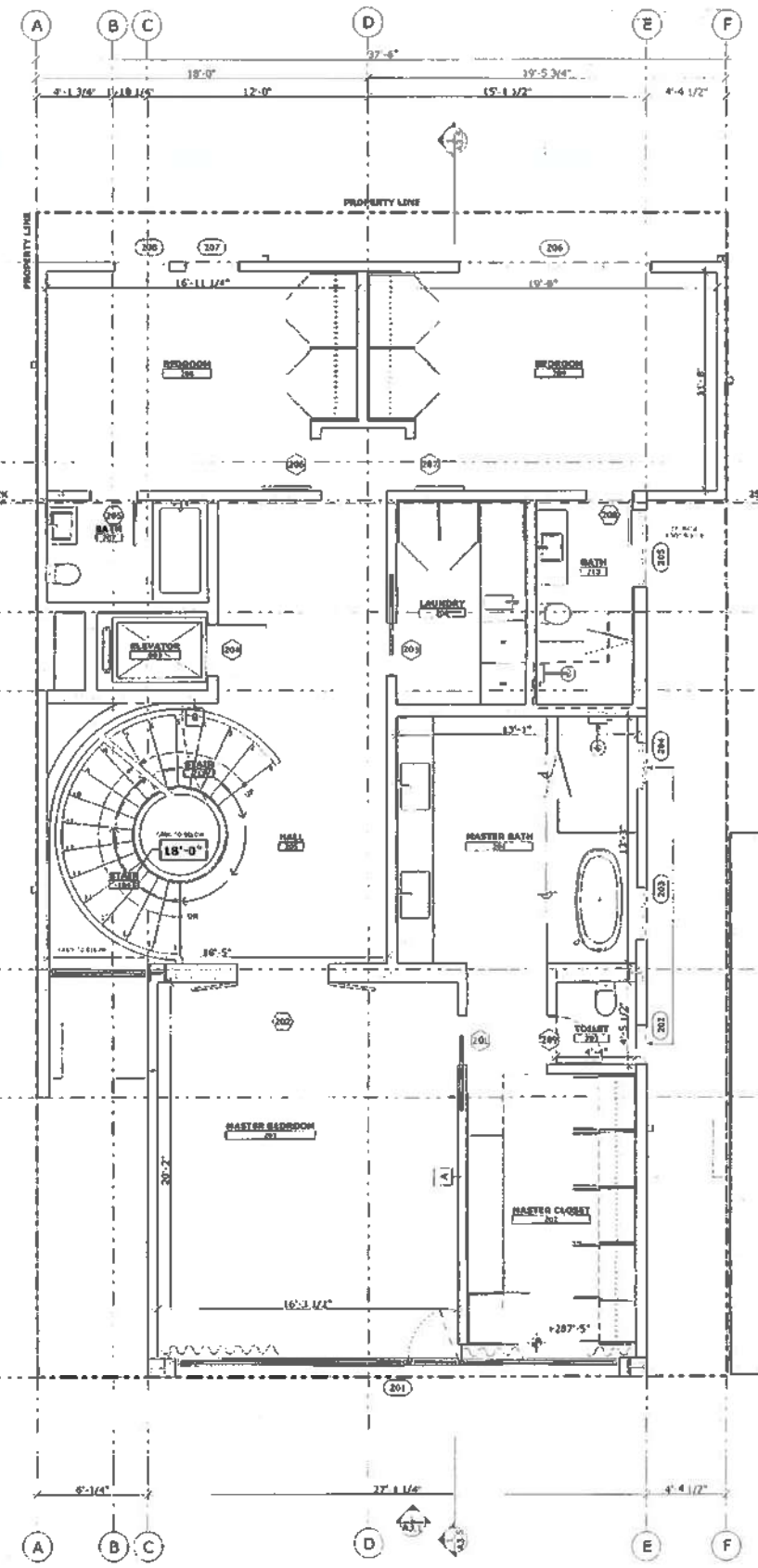
SEP 20 2016

Tom C. Hui
TOM C. HUI, S.E.
DIRECTOR
DEPT. OF BUILDING INSPECTION

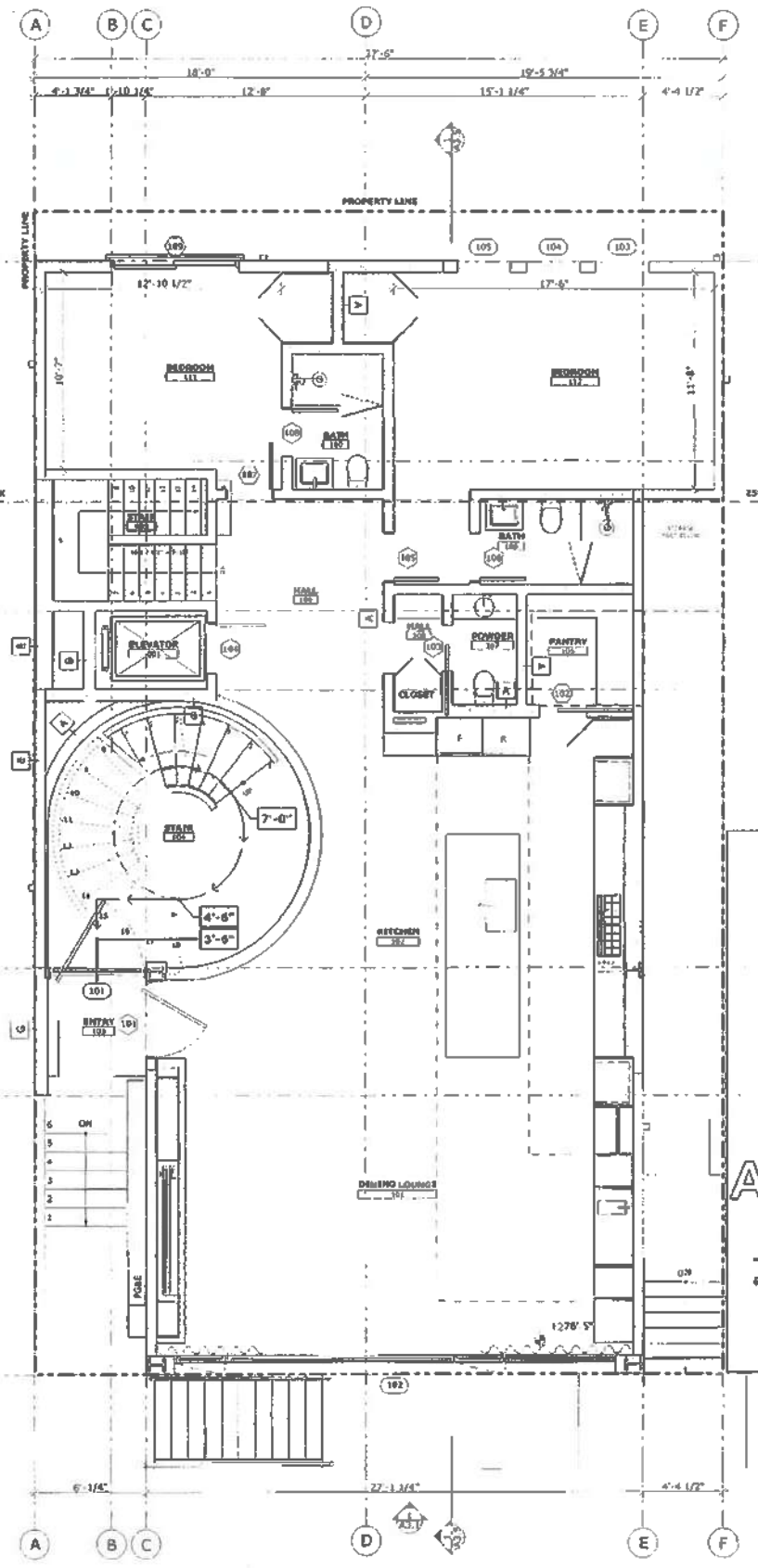
Plan Set for Permit No. 2017/06/06/8573

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

**NO SCOPE OF WORK,
 FOR REFERENCE ONLY**



2 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Visited by: DDL
 11/13/2017

RECEIVED
 NOV 13 2017
 DEPT. OF BUILDING INSPECTION
 1201 CALIFORNIA STREET
 SAN FRANCISCO, CA 94102

PERMIT SET

REVISIONS:	BY:
1 REVISION 1 - 10/27/2017	DS

APPROVED
 Dept. of Building Insp.
 APR 11 2008
 Tom C. [Signature]
 DEPT. OF BUILDING INSPECTION
 2460 LARKIN
 ADJACENT PROPERTY
 0095 / 023

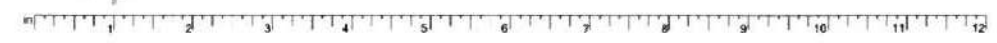
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DATE:	06/06/2017
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CHECKED:	LB
SCALE:	AS NOTED



**FIRST &
 SECOND FLOOR
 PROPOSED PLAN**

JOSEPH CAPITAL, INC.
 NOV 14 2017

A2.2



GREENWICH STREET RESIDENCE
 1265 1/2 1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

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 NOV 13 2017
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 SQUARE FOUR FIVE TWO
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PERMIT SET

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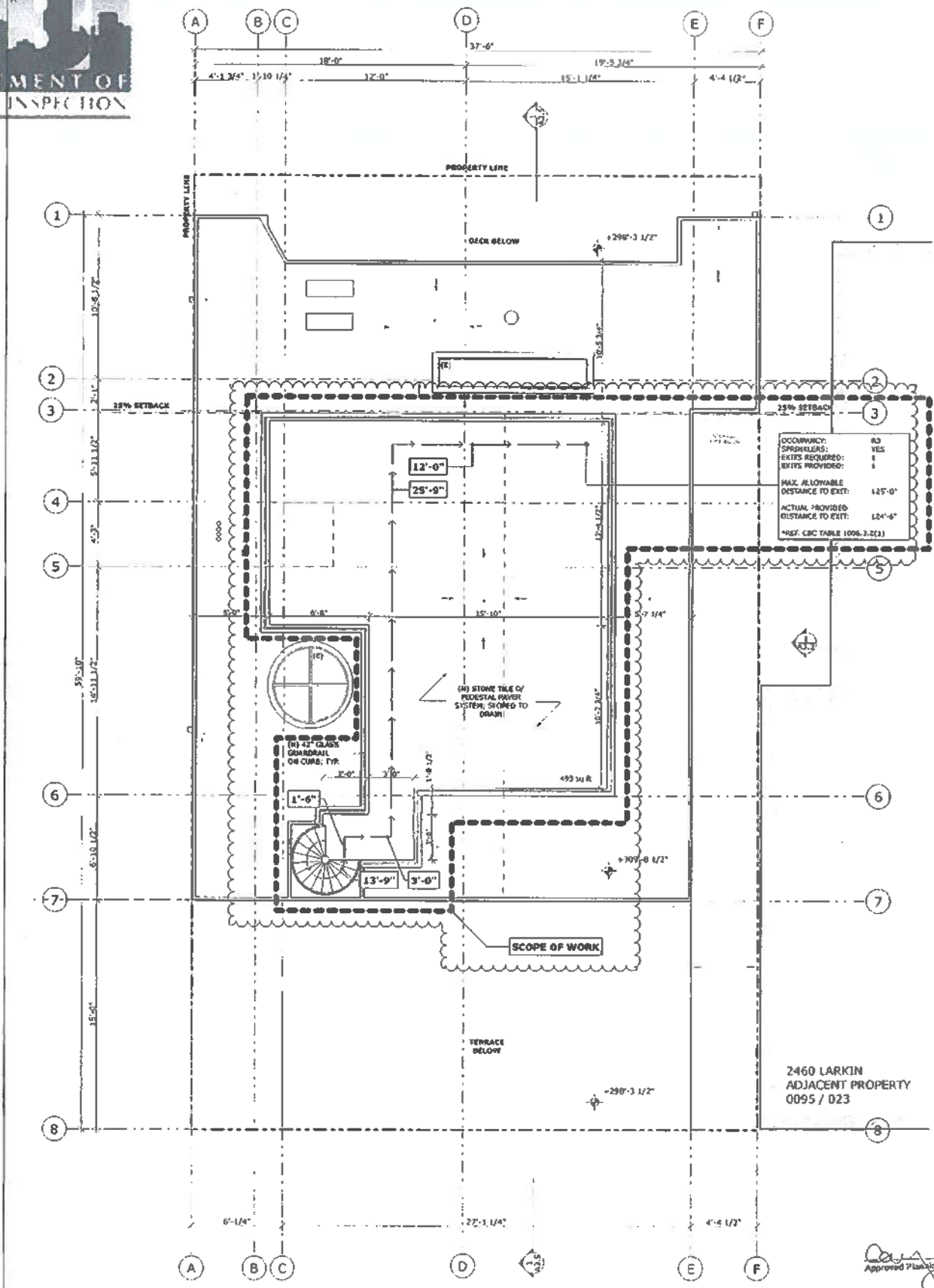
APPROVED
 Dept. of Building Insp.
 APR 11 2018
 Tom C. Ho
 TOM C. HO, P.E.
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

JOB#:	13322
DATE:	06/06/2017
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CHECKED:	LB
SCALE:	AS NOTED

Vivian Huang-DBI
 10/27/2017

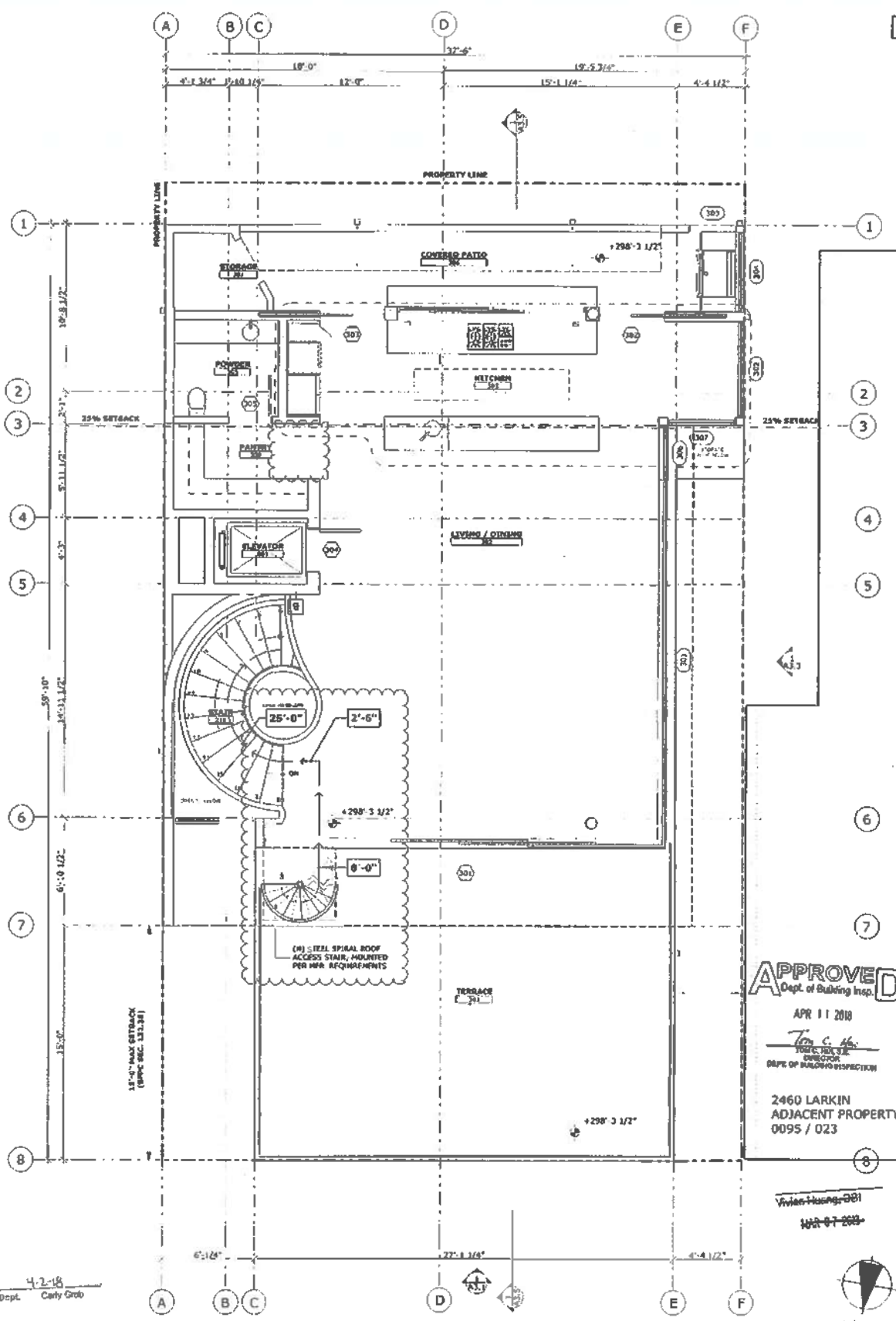
THIRD FLOOR & ROOF PROPOSED PLAN

A2.3



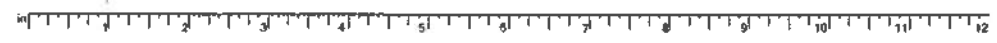
2 PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"

4-2-18
 Approved Planning Dept. Cary Grob

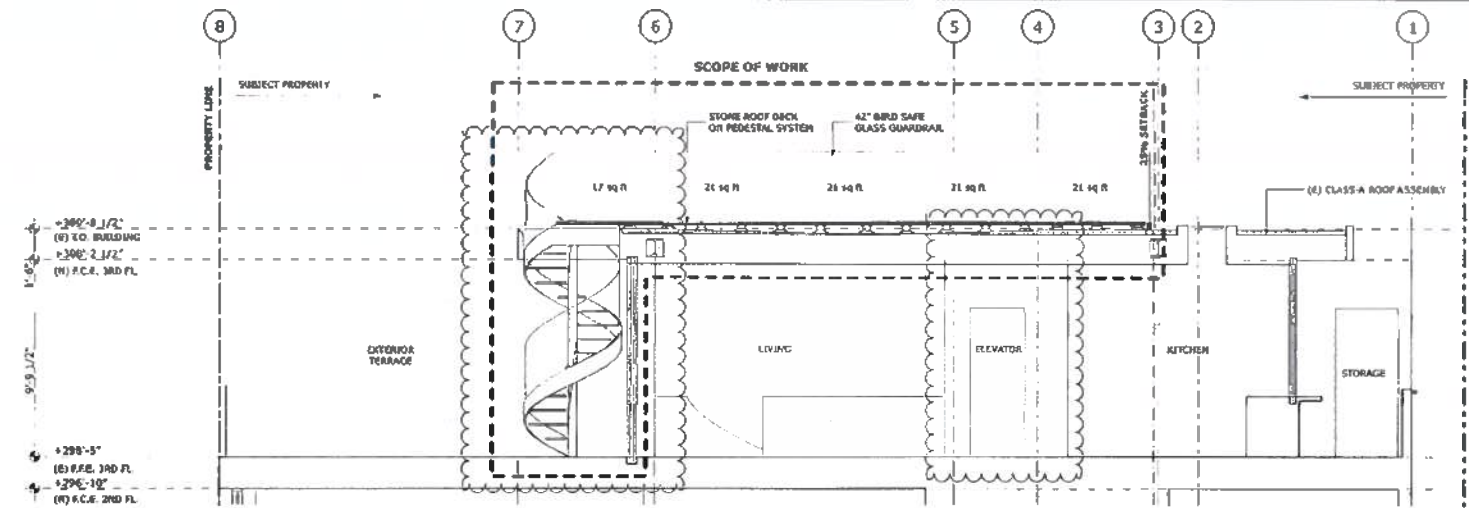


1 PROPOSED THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"

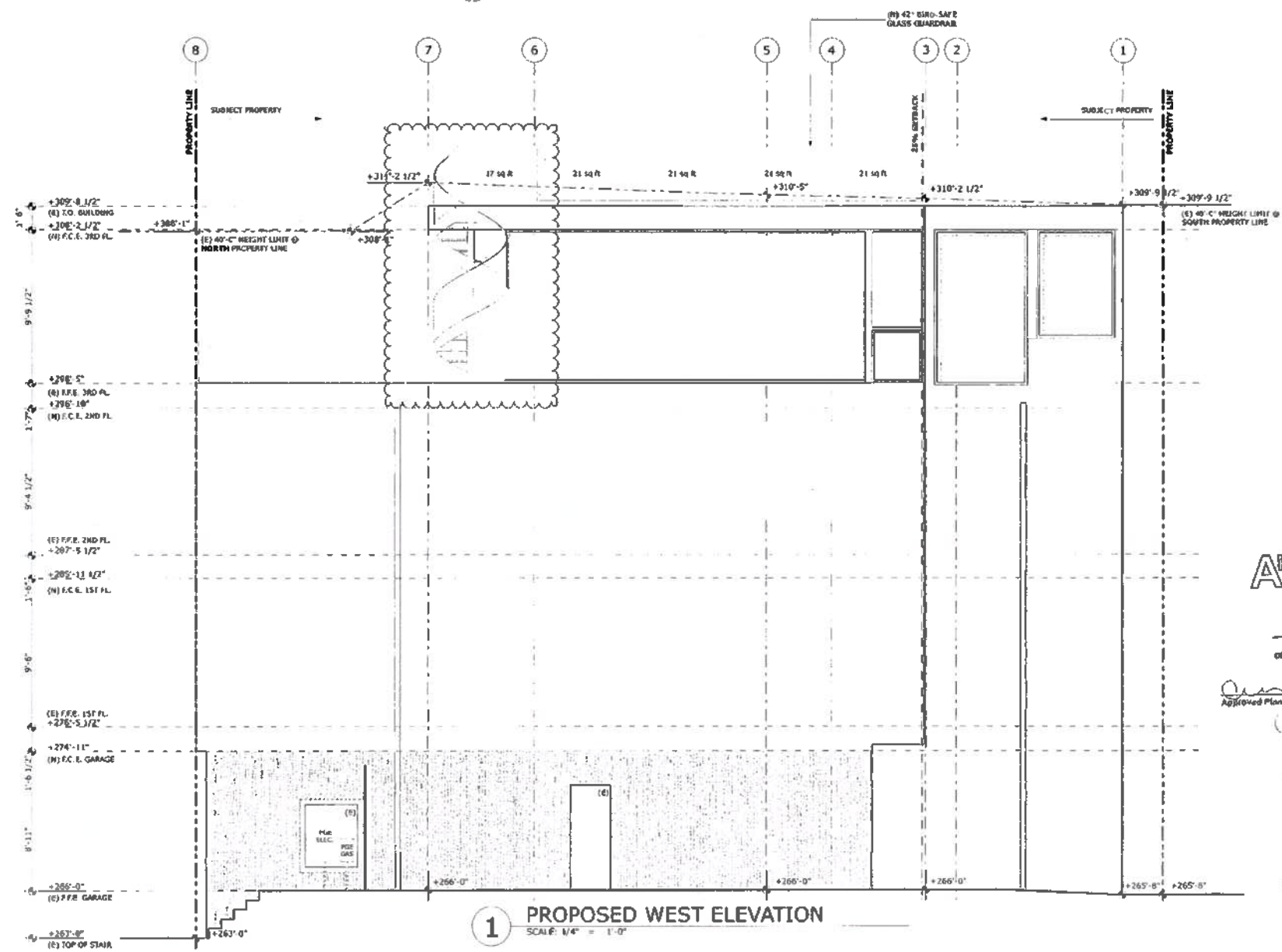
JOSEPH T. OSPITAL, DBI
 NOV 14 2017



1280 BUTLER STREET
 SAN FRANCISCO, CA 94109
 BUTLERARMSDEN.COM
 S: 415.774.5534
 T: 415.774.5534
 F: 415.774.5534



2 PROPOSED NORTH / SOUTH SECTION
 SCALE: 1/4" = 1'-0"



1 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA

RECEIVED
 NOV 13 2017
 DEPT. OF BUILDING INSPECTION
 THIS PLAN MEETS THE QUALITY
 STANDARDS FOR ARCHITECTS
 APPROVED

PERMIT SET

REVISIONS:	BY:
REVISION 1 - 02/27/2017	DS

APPROVED
 Dept. of Building Insp.
 APR 11 2018
 Tom C. Han
 JUDICIAL CLERK
 DEPT. OF BUILDING INSPECTION

4/2/18
 Approved Planning Dept. Carly Gray

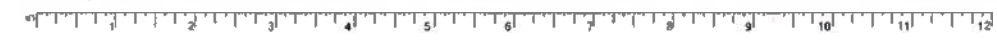
Vivian Huang
 M. 07 2017

JOSEPH HOSPITAL DBI
 NOV 14 2017

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SCALE:	AS NOTED

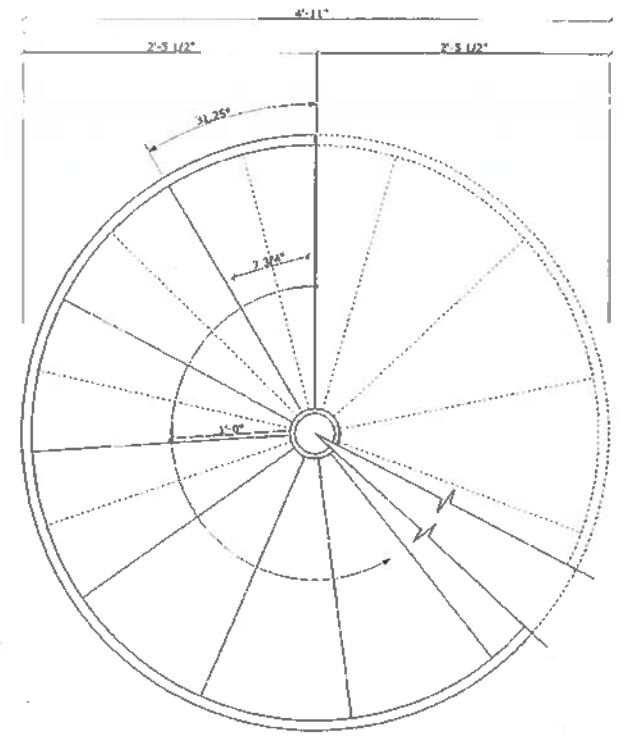


PROPOSED
 WEST
 ELEVATION

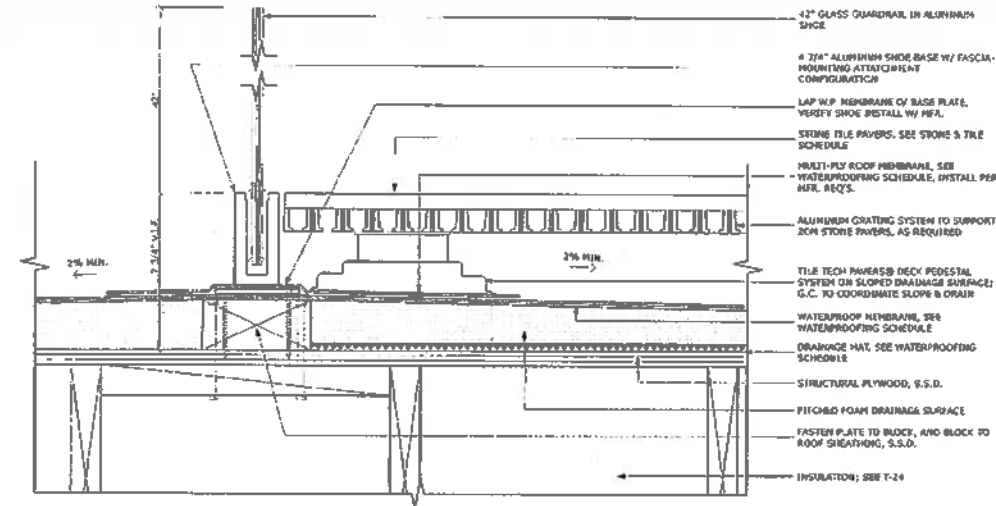


1430 SUTTER STREET OFF FLOOR
 SAN FRANCISCO, CA 94109
 MULTILEVEL:YKUM
 F: 415-774-1434
 T: 415-774-1434
 F: 415-774-5657

GREENWICH STREET RESIDENCE
 1281/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



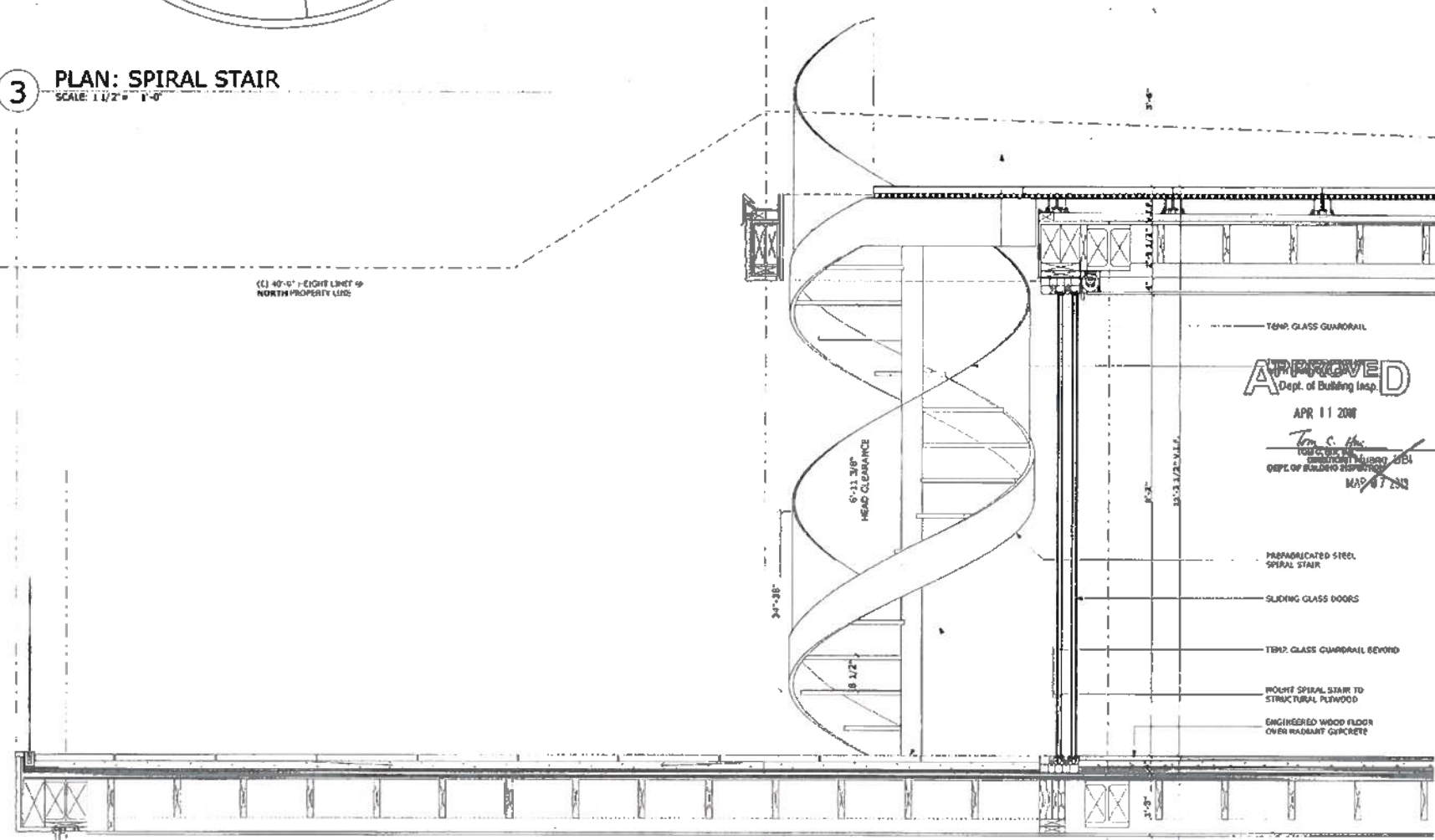
3 PLAN: SPIRAL STAIR
 SCALE: 1/2" = 1'-0"



2 SECT: GUARDRAIL @ ROOF DECK
 SCALE: 3/4" = 1'-0"

NOTE:
 GLASS GUARDRAIL TO COMPLY
 WITH CBC TABLE 831.1.5
 FOOTNOTE D, TO WITHSTAND A
 LATERAL FORCE OF 200 LBS IN
 ANY DIRECTION APPLIED TO
 THE TOP OF THE RAIL.

- 42" GLASS GUARDRAIL IN ALUMINUM SHOE
- 4 3/4" ALUMINUM SHOE BASE W/ FASCIA MOUNTING ATTACHMENT CONFIGURATION
- LAP W/P MEMBRANE OF BASE PLATE. VERIFY SHOE INSTALL W/ WFA.
- STONE TILE PAVERS, SEE STONE & TILE SCHEDULE
- MULTI-PLY ROOF MEMBRANE, SEE WATERPROOFING SCHEDULE, INSTALL PER MFR. REQ'S.
- ALUMINUM GRATING SYSTEM TO SUPPORT 20M STONE PAVERS, AS REQUIRED
- TILE TECH PAVES@ DECK PEDESTAL SYSTEM ON SLOPED DRAINAGE SURFACE; G.C. TO COORDINATE SLOPE & DRAIN
- WATERPROOF MEMBRANE, SEE WATERPROOFING SCHEDULE
- DRAINAGE MAT, SEE WATERPROOFING SCHEDULE
- STRUCTURAL PLYWOOD, S.S.D.
- FISHED FOAM DRAINAGE SURFACE
- FASTEN PLATE TO BLOCK, AND BLOCK TO ROOF SHEATHING, S.S.D.
- INSULATION; SEE T-24



1 SECT: SPIRAL STAIRCASE
 SCALE: 3/4" = 1'-0"

4-2-18
 Approved Planning Dept. Carly Grob

RECEIVED
 NOV 13 2017
 DEPT. OF BUILDING INSPECTION
 PREP. BY: MISC. THE QUALITY
 SERVICES DIV. (S&S)

APPROVED
 Dept. of Building Insp.
 APR 11 2016
 Tom C. Allen
 DEPT. OF BUILDING INSPECTION
 MAY 07 2017

PERMIT SET

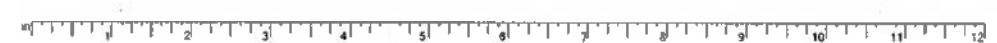
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REVISION 1 - 10/27/2017	DS

JOB#:	1322
DATE:	06/06/2017
DRAWN:	SR / DS
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SCALE:	AS NOTED



ROOF DECK
 DETAILS

A8.6



City of San Francisco
Department of Building Inspection



Estelle M. Lee, Mayor
Tom C. Ili, S.E. C.B.O. Director

INFORMATION SHEET

NO. G-21
DATE: September 6, 2010
SUBJECT: General
TITLE: Products acceptance
REFERENCE: San Francisco Building Code (SFBC)
PURPOSE: To establish criteria for acceptance of products for construction
DISCUSSION: The following products for construction are acceptable:
(1) Products that have current ICC-ES report by ICC (International Code Council) Evaluation Service, Evaluation Report No. <http://www.iccsa.org/Products/03-2009/>
(2) Products that have been verified by a testing report by an IAS (International Accreditation Service) accredited testing laboratory. The following is the link for a complete list of IAS Accredited Testing Laboratories: http://www.ias.com/About/Testing_Laboratories/Default.aspx
Other conditions will be evaluated on a case-by-case basis by the Supervisor or Manager

Tom C. Ili 9/6/10
Tom C. Ili, S.E. C.B.O. or Date
Director
Department of Building Inspection

The Information Sheet is subject to modification at any time. For the most current version, visit the website at www.dbi.org

Technical Services Division
1800 Mission Street - San Francisco CA 94103
Voice (415) 558-6395 - FAX (415) 684-6399 - www.dbi.org



ATTACHMENT A

DEPARTMENT OF BUILDING INSPECTION
City of San Francisco
1640 Mission Street, San Francisco, California 94103-2414

REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR SUBMITTAL FOR OR ALTERNATE MATERIALS, DESIGN OR METHODS OF CONSTRUCTION
DATE SUBMITTED: 09/17/2010 (Note: This form shall be recorded as part of the permanent construction records of the property)

If no permit application has been filed, a Preapproval Review Fee is required. The review of a request for local equivalency or modification, per SFBC Table IA-B, Item 5. Additional fees may be required by the Department and other City review agencies.

If a permit application has been filed, no additional fees are required for this review.

Permit Application # 2010.0606.8973

Property Address: 1283 GREENWICH STREET
Block and Lot: 0095/024 Occupancy Group: R3 Type of Construction: V-6 No. of Stories: 3 or more

Describe Use of Building: RESIDENTIAL - TWO-FAMILY DWELLING

Under the authority of the 2016 San Francisco Building Code, Sections 104A.2.1 and 104A.2.2; the 2016 San Francisco Administrative Code, Section 20E.2; the 2016 San Francisco Electrical Code, Section 91.17, and the 2016 San Francisco Plumbing Code, Section 301.3, the undersigned requests modification of the provisions of these codes under approval of alternate materials, designs or methods of construction. Two copies of supporting documents, including plans showing the proposed modifications or alternate materials, design or methods of construction, are attached.

Regulate Code Requirements (specify Code and Sections)

REQUEST BY UNIT FOR PRODUCT ACCEPTANCE VIA INFORMATION SHEET G-21 FOR USE OF PEDESTAL DECK SYSTEM, ONE SECTION (518.10)

Proposed Modification or Alternate

USE OF PEDESTAL TO SUPPORT NON-COMBUSTIBLE ROOF DECK FAYERS. PEDESTALS TO BE SUPPLIED BY TITE TECH FAYERS, WITH ASH DOCUMENTATION AVAILABLE AND INCLUDED IN DRAWING SET.

ALSO NOTE, DESIGN FULLY COMPLIES WITH SFBC 1510.30 REGARDLESS OF PEDESTAL SYSTEM.

Case-by-Case Basis of Request - Describe the practical difficulties presented in meeting the specific conditions of the code and how the proposed modification or alternate meets the intent of the code. A separate form should be filled for each requested modification or alternate. Attach copies of any Administrative Orders, Code Review, or former, test reports, expert opinions, etc., which support this request. The Department may require this as approved conditions be listed by the applicant to perform tests or notify the end to submit to evaluation report to the Department for the evaluation.

PEDESTAL SYSTEM ALLOWS FOR POSITIVE DRAINAGE OF THE CLASS A ROOF, WITH A LEVEL WALKING SURFACE FOR THE ROOF DECK. THE OCCUPIED ROOF IS NON-COMBUSTIBLE, LESS THAN 580 SQUARE FEET IN AREA, FAYERS ARE SHALE (NON-COMBUSTIBLE) AND THE PERIMETER OF THE DECK AND ROOF IS FULLY ENCLOSED.

REFERENCE SPECIFICATIONS:

Requested by: PROJECT SPONSOR ARCHITECT/ENGINEER
Print Name: NABBY ROCKS LEVY BUTLER
Signature: (PROFESSIONAL STAMP HERE)
Telephone: 415.674.554 415.674.554

PLAN REVIEWER COMMENTS

RECOMMENDATIONS:
(signed off/initials by: J. JOSEPH CAPITAL, DBI) Approve with conditions Disapprove

Plan Reviewer: [Signature]
Division Manager: [Signature]
for Director of Bldg. Inspection: [Signature]
for P.E. Manager: [Signature]

CONDITIONS OF APPROVAL OR OTHER COMMENTS



National Distribution 800-380-6475
TEST REPORTS

SGS

CLIENT: TITE TECH FAYERS
Address: P.O. Box 2882, Los Angeles, CA 90005, Phone: 760-288-1000

Test Report No. 10-1015712 Date: September 6, 2010

SAMPLE: The following test material identified as Tite Tech Pedestal Deck System, Model 1 non-trick.

DATE OF RECEIPT: Received into SGS L8102 sample testing system on September 2, 2010

TESTING PERIOD: September 4, 2010

TESTING LOCATION: Testing performed by Florida Labtech.

TEST RESULTS: (See page 2)

CLASSIFICATION: (See page 2)

Issued by: [Signature]
Test Technician: [Signature]

Checked by: [Signature]
Supervisor: [Signature]

Page 1 of 2

SGS L8102 Being Operated by: [Signature]
Address: 12000 Highway 101, Suite 100, San Diego, CA 92108



National Distribution 800-380-6475
TEST REPORTS

SGS

CLIENT: TITE TECH FAYERS
Address: P.O. Box 2882, Los Angeles, CA 90005, Phone: 760-288-1000

Report No. 10-1015712 Date: September 4, 2010
Page: 2 of 2

TEST RESULTS: Number of Specimens Tested: 10
Average Specimen Friction: 3 mm nominal

OBSERVATIONS: None specimens burst at the 25 mm mark. The specimen is continued to push past without the test force for an average of 2 seconds.

EVALUATION OF TEST FROM APPENDIX I:
X1.2 Category Classification: The behavior of the specimen can be classified as HB (Horizontal Bursting) or
X1.2.1 There is no visible signs of combustion after the ignition source is removed, or
X1.2.2 The flame front does not pass the 25 mm reference mark, or
X1.2.3 The flame front passes the 25 mm reference mark but does not reach the 100 mm reference mark, or
X1.2.4 The flame front reaches the 100 mm reference mark and the flame front rate does not exceed 40 mm/min, for specimens having a diameter between 3 and 13 mm or 75 mm/min, for specimens having a diameter less than 3 mm.

CLASSIFICATION REQUIREMENTS FOR IBC STANDARD 26-2, SEC. 26.706.5
CC1: Plastic materials which have a burning surface of 8 inch (203mm) or less when tested in nominal 100 mm (4 inch) thickness (or in the thickness intended for use) by the test
CC2: Plastic materials which have a burning rate of 2.5 inches per minute (63.5mm/min) or less when tested in nominal 100 mm (4 inch) thickness (or in the thickness intended for use) by the test

End of Report



National Distribution 800-380-6475
TEST REPORTS

Northwest Laboratories of Seattle, Incorporated

Report No. 10-1015712 Date: July 20, 2010

TEST METHOD: Per Customer's Submittal Vertical Compression Test

TEST RESULTS:

Specimen No.	Load (lb)	Failure Load (lb)	Failure Mode
2	10,000	10,000	AVS Pile
4	11,250	11,250	AVS Pile
6	11,600	11,600	AVS Pile
8	14,250	14,250	AVS Pile
10	14,250	14,250	AVS Pile

This report applies only to the small material tested. Northwest Laboratories does not certify, warrant or guarantee any product or service by others. Samples not to be discarded while being 100 days unless otherwise specified in testing by you.

Northwest Laboratories, Inc.
[Signatures]

APPROVED
Dept. of Building Insp.
APR 11 2010
Tom C. Ili
Director
DEPT. OF BUILDING INSPECTION

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GREENWICH STREET RESIDENCE
1283/1283 GREENWICH STREET, SAN FRANCISCO, CA, 94109, USA



PERMIT SET

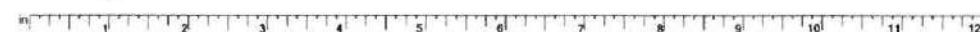
REVISIONS:	BY:
REVISION 1 - 09/17/2010	DS

JOB#:	1322
DATE:	06/06/2010
DRAWN:	SR / DS
CHECKED:	LB
SCALE:	AS NOTED



TESTING AND COMPLIANCE DOCUMENTS

A8.7





STRUCTURAL NOTES:

- DESIGN CRITERIA: CALIFORNIA BUILDING CODE (CBC), 2016 EDITION, AND AMENDMENTS... LOADS: BASED ON WEIGHTS OF EXISTING AND NEW MATERIALS... SEISMIC (ASCE 7-10): V = 0.154 W (LRFD)...

II. STRUCTURAL DRAWINGS:

- 1. NOTES, TYPICAL DETAILS AND SCHEDULES APPLY TO ALL STRUCTURAL WORK UNLESS NOTED OTHERWISE... 2. REVIEW ALL EXISTING FEATURES AND CONDITIONS UPON WHICH THESE DRAWINGS RELY...

III. CONSTRUCTION:

- 1. ALL WORK SHALL CONFORM TO CALIFORNIA BUILDING CODE, 2016 EDITION... 2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION OF THIS BUILDING...

IV. EXISTING CONDITIONS:

- 1. INFORMATION REGARDING EXISTING CONDITIONS IS PRESENTED FOR REFERENCE ONLY... 2. THE REMOVAL CUTTING, DRILLING, ETC. OF EXISTING WORK SHALL BE PERFORMED WITH GREAT CARE...

V. EXCAVATION, UNDERPINNING AND SHORING:

- 1. THE CONTRACTOR SHALL PROVIDE ALL MEASURES AND PRECAUTIONS NECESSARY TO PREVENT DAMAGE AND MINIMIZE SETTLEMENT OF EXISTING OR NEW CONSTRUCTION INSIDE OR OUTSIDE OF THE PROJECT LIMITS...

- 3. SHORING, UNDERPINNING, AND EARTH RETENTION CALCULATIONS AND DRAWINGS, IF REQUIRED, SHALL BE PREPARED AND SUBMITTED TO THE SOILS ENGINEER AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION...

VI. FOUNDATIONS/SITE PREPARATION:

- 1. FOUNDATION DESIGN IS BASED ON CHAPTER 18, CBC. (THE GEOTECHNICAL INVESTIGATION REPORT ENTITLED "PLANNED IMPROVEMENTS, 281-1283 GREENWICH STREET, SAN FRANCISCO, CA", DATED 11/09/2016, BY H. ALLEN GRUEN... 2. CONTINUOUS FOOTINGS: MAXIMUM SOIL PRESSURE = 2,000 PSF DL + LL + SEISMIC/WIND...

VII. CONCRETE WORK:

- 1. CONTRACTOR SHALL SUBMIT FOR REVIEW BY THE ARCHITECT THE CONTRACTOR'S PROPOSED CONCRETE MIXES, DESIGNED BY THE CONCRETE SUPPLIER AND REVIEWED BY THE OWNER'S TESTING AGENCY... 2. CONTRACTOR SHALL INFORM THE ENGINEER AT LEAST 2 DAYS PRIOR TO POURING ANY STRUCTURAL CONCRETE...

Table with 5 columns: TYPE, COMPRESSIVE STRENGTH, SLUMP, w/c RATIO, UNIT WT. Rows include STRUCTURAL SLAB, FOOTINGS, PIERS, GRADE BEAMS & WALLS, and SLAB ON GRADE.

- A. ASTM C94 MINIMUM 28 DAY ULTIMATE COMPRESSIVE STRENGTH... B. MINIMUM CONSISTENT SLUMP WITH PROPER PLACING... 4. PROPORTION CONCRETE WITH A MINIMUM OF 20% AND A MAXIMUM OF 50% FLY ASH OR SLAG REPLACEMENT...

VIII. CONCRETE REINFORCING STEEL:

- 1. REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60 FOR ALL BAR SIZES AND ASTM A706 GRADE 60 FOR ALL WELDED BARS... 2. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185 IN FLAT SHEETS, AND IN SLABS MAY BE RAISED INTO POSITION DURING THE CONCRETE POURING OPERATION...

SPECIAL INSPECTION AND STRUCTURAL OBSERVATION:

EMPLOYMENT OF SPECIAL INSPECTION IS THE DIRECT RESPONSIBILITY OF THE OWNER. SPECIAL INSPECTOR SHALL BE ONE OF THOSE AS DESCRIBED IN SECTION 1701.2. STRUCTURAL OBSERVATION SHALL BE PERFORMED AS PROVIDED BY SECTION 1710. A PRECONSTRUCTION CONFERENCE IS RECOMMENDED FOR OWNER/BUILDER OR DESIGNER/BUILDER PROJECTS, COMPLEX AND HIGH RISE PROJECTS, AND FOR PROJECTS UTILIZING NEW PROCESSES OR MATERIALS.

- 1. [X] CONCRETE PLACEMENT SAMPLING... 2. [X] BOLTS INSTALLED IN CONCRETE... 3. [X] SPECIAL MOMENT - RESISTING CONCRETE FRAME... 4. [X] REINFORCING STEEL... 5. STRUCTURAL WELDING... A. PERIODIC VISUAL INSPECTION... B. CONTINUOUS VISUAL INSPECTION AND NOT SECTION 1704...

ABBREVIATIONS:

Table with 3 columns: A.B., LONG, LONGITUDINAL. Lists various abbreviations such as ANCHOR BOLT, ADDITIONAL, ALTERNATE, ARCHITECT, BUILDING, BEAM, BOUNDARY WALL, BOTTOM, CAST-IN-PLACE, COMPLETE JOINT PENETRATION, CONTROL JOINT, CENTER LINE, CLEAR, CONCRETE MASONRY UNIT, COLUMN, CONCRETE CONSTRUCTION, CONTINUOUS JOINT, JESTAL, JAMB, JAGONAL, DEAD LOAD, FRAMINGS, EACH, ELEVATION, EMBEDMENT, EDGE WALL, EQUAL, EXIST., EXISTING, EXTERIOR, FOUNDATION, FINISH, FLOOR, FIELD WALL, FULL PENETRATION, FOOTING, GALV., GALVANIZED, GIRDLINE, G.I. I-BEAM BEAM, HIGH-STRENGTH BOLT, HOLD-DOWN, HORIZONTAL, INCH, JOINT, LIGHT GAUGE STEEL, LIVE LOAD, LONG LEG HORIZONTAL, LONG LEG VERTICAL.

INDEX OF DRAWINGS:

- S-10 - GENERAL NOTES
S-11 - GENERAL NOTES
S-20 - GROUND FLOOR / BASEMENT FOUNDATION PLAN
S-21 - SECOND FLOOR FRAMING PLAN
S-22 - THIRD FLOOR FRAMING PLAN
S-23 - FOURTH FLOOR FRAMING PLAN
S-24 - ROOF FRAMING PLAN
S-30 - CONCRETE DETAILS (FOR REF. ONLY)
S-31 - CONCRETE DETAILS II (FOR REF. ONLY)
S-32 - CONCRETE DETAILS III (FOR REF. ONLY)
S-33 - CONCRETE DETAILS IV (FOR REF. ONLY)
S-40 - FRAMING DETAILS I
S-41 - FRAMING DETAILS II (FOR REF. ONLY)
S-42 - FRAMING DETAILS III
S-50 - STEEL WITH WOOD DETAILS (FOR REF. ONLY)
S-60 - MOMENT FRAME DETAILS (FOR REF. ONLY)
S-61 - STEEL DETAILS I (FOR REF. ONLY)
S-62 - STEEL DETAILS II (FOR REF. ONLY)

APPROVED
Dept. of Building Inspection
APR 11 2018

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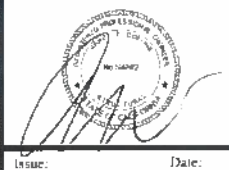


Table with 2 columns: Issue, Date. Rows include Schematic Design (06.05.2014), CD Coordination (08.13.2015), Building Permit Set (11.06.2015), Var. Bldg. Permit Set (12.06.2015), Arch. Rev. Set (04.13.2016), Arch. Rev. Set (06.05.2017), Roof Deck Rev. (10.27.2017), Issue: AS NO.11D, Job No. 14-100

General Notes
S-1.0

STRUCTURAL STEEL:

1. DISCREPANCIES IRON AND STRUCTURAL STEEL SHALL BE INDICATED AND ERECTED ACCORDING TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION "SPECIFICATION FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS," LATEST EDITION, AND THE "CODE FOR STANDARD PRACTICE FOR STEEL BRIDGES AND BRIDGES," LATEST EDITION.
2. ALL BEAMS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP. PROVIDE CAMBERS AS INDICATED ON THE DRAWINGS.
3. AFTER FABRICATION, ALL STEEL SHALL BE CLEANED OF ALL RUST, LOOSE MILL SCALE AND OTHER FOREIGN MATERIALS AND A COAT OF PRIMER PAINT APPLIED.
4. THE STRUCTURAL STEEL CONTRACTOR WILL BE RESPONSIBLE FOR REVIEWING ALL STRUCTURAL STEEL DETAILS, WELDING SEQUENCES, AND FABRICATION AND ERECTION PROCEDURES WITH STEEL MANUFACTURER, FOR THE INTENDED USE OF STRUCTURAL STEEL.
5. THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT, FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAMS FOR ALL STRUCTURAL STEEL PRIOR FABRICATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY LOADING CONDITIONS DURING CONSTRUCTION AND SHALL PROVIDE BRACING AND SHORING WHERE REQUIRED.
7. THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
8. ALL ADDITIONAL STEEL REQUIRED BY THE CONTRACTOR FOR ERECTION PURPOSES AND SITE ACCESS OF STOCKPILED MATERIALS SHALL BE PROVIDED AT NO COST TO THE OWNER. ALL SUCH ADDITIONAL STEEL SHALL BE REMOVED BY THE CONTRACTOR UNLESS APPROVED BY THE OWNER IN WRITING.
9. EXCEPT WHERE OTHERWISE SHOWN, STEEL SECTIONS SHALL CONFORM TO THE FOLLOWING:
 - A. PLATES, BARS, ETC. ASTM A572, GRADE 50
 - B. WIDE FLANGE BEAMS AND COLUMNS. ASTM A992, GRADE 50
 - C. STRUCTURAL TUBES (RECTANGULAR OR SQUARE HSS) ASTM A500 GRADE B (Fy = 46ksi)
 - D. STRUCTURAL PIPES (ROUND HSS). ASTM A500 GRADE B (Fy = 42ksi)
 - E. TYPICAL (GRAVITY) BASE PLATES. ASTM A572, GRADE 50
 - F. ALL CONTINUITY, REINFORCING, AND SHEAR PLATES ASTM A572, GRADE 50
 - G. GUSSET PLATES, BARS AND BASE PLATES ASSOCIATED W/ MOVEMENT AND BRACED FRAMES. ASTM A572, GRADE 50
 - H. ANCHOR BOLTS (A.B.) A36 U.N.O.
 - I. MACHINE BOLTS (M.B.) A307
 - J. HIGH STRENGTH BOLTS (H.S.B.). A325X-SC, U.N.O.
10. WELDING OF STRUCTURAL STEEL:
 - A. ALL WELDING SHALL CONFORM TO THE REQUIREMENTS OF AWS CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION, LATEST EDITION, AND SHALL BE PERFORMED BY WELDERS CERTIFIED IN THE APPLICABLE PROCEDURE & POSITION.
 - B. ALL WELDING SHALL BE PERFORMED IN ACCORDANCE WITH A WELDING PROCEDURE SPECIFICATION (WPS) THAT HAS BEEN REVIEWED BY THE ENGINEER OF RECORD AND THE TESTING AND INSPECTION AGENCY. THE WPS VARIABLES SHALL BE WITHIN THE PARAMETERS ESTABLISHED BY THE FILLER METAL MANUFACTURER.
 - C. BEFORE ERECTION, STEEL FABRICATOR SHALL SUBMIT TO THE ENGINEER, FOR REVIEW, SHOP DIAGRAMS OR WRITTEN PROCEDURES INDICATING FIELD WELDING SEQUENCES OF EACH INDIVIDUAL TYPE WELDED MOMENT CONNECTION AND FIELD WELDING SEQUENCES OF MOMENT CONNECTIONS AT EACH LEVEL.
 - D. E-70XX ELECTRODES SHALL BE USED AT ALL WELDED STEEL CONNECTIONS.
 - E. ALL WELDS USED IN MEMBERS AND CONNECTIONS IN THE SEISMIC FORCE RESISTING SYSTEM (S.F.R.S.) SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CHARPY V-NOTCH TOUGHNESS OF 20 FT-LB AT 0°F, AS DETERMINED BY AWS CLASSIFICATION OR MANUFACTURER CERTIFICATION. SEE PLANS & DETAILS FOR CONNECTIONS DENOTED "SFRS."
 - F. WELD DAMS SHALL NOT BE USED.
 - G. ALL BUTT WELDING SHALL BE FULL PENETRATION WELDS UNLESS OTHERWISE NOTED. FILLET WELD SIZES NOT SHOWN SHALL BE AWS MINIMUM SIZES BASED ON THICKNESS OF MATERIALS BEING WELDED, BUT NOT LESS THAN 1/4".
 - H. ALL C.J.P. WELDS SHALL BE STARTED AND ENDED WITH A MINIMUM LENGTH OF ONE INCH ON WELD TABS ("RUM OFF" TABS) EXCEPT AT ACCESS HOLES IN BEAM/GIRDER WEBS. ALL WELD TABS SHALL BE REMOVED, THE AFFECTED AREA GROUND SMOOTH AND MAGNETIC PARTICLE TESTED FOR DEFECTS.
 - I. ALL C.J.P. GROOVE WELDS SHALL BE ULTRASONICALLY (UT) EXAMINED FOR THE FULL LENGTH, BACKING BAR REMOVAL AREAS AND FILLET WELDS ON CONTINUITY PLATES SHALL BE EXAMINED FOR THE FULL LENGTH BY THE MAGNETIC PARTICLE TESTING (MPT) METHOD.
 - J. ALL DEFECTIVE WELDS SHALL BE GROUND OUT, REPAIRED, AND RETESTED AT THE CONTRACTOR'S EXPENSE.
11. ALL STEEL TO STEEL BOLTED CONNECTIONS SHALL BE BOLTED WITH HIGH STRENGTH BOLTS CONFORMING TO ASTM A325. OTHER BOLTED CONNECTIONS SHALL BE BOLTED WITH UNFINISHED BOLTS CONFORMING TO ASTM A307. DRILL OR PUNCH HOLES FOR BOLTS. DO NOT MAKE OR ENLARGE HOLES BY BURNING.

12. WELDED STUDS SHALL BE HEADED STUDS CONFORMING TO ASTM A108-58T. STUDS SHALL BE PLACED UNIFORMLY OVER BEAMS AND GIRDERS, UNLESS OTHERWISE NOTED.
13. BEAM TO GIRDER MOMENT CONNECTIONS AND BEAM OR GIRDER TO COLUMN MOMENT CONNECTIONS ARE DESIGNATED ON PLANS THUS. SEE TYPICAL DETAILS:
14. MEMBERS NOT DESIGNATED ON FRAMING PLANS ARE SHOWN ON FRAME ELEVATIONS.
15. FOR A COMPLETE LIST OF REQUIRED "SPECIAL INSPECTIONS" SEE SHEET S-1.0 UNDER "SPECIAL INSPECTION AND STRUCTURAL OBSERVATION."
16. THE OWNER'S TESTING AGENCY SHALL PERFORM ALL SHOP AND FIELD INSPECTION AND TESTING, AS OUTLINED ABOVE AND IN SPECIFICATION AND AS REQUIRED BY THE BUILDING CODE.
17. THE STRUCTURAL STEEL FABRICATOR SHALL SCHEDULE ALL WORK TO ALLOW THE ABOVE TESTING REQUIREMENTS TO BE COMPLETED.

X. ROUGH CARPENTRY:

1. PROVIDE SAWN LUMBER IN CONFORMANCE WITH THE GRADING RULES OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLB) FOR THE SPECIES AND GRADE DESIGNATED. MOISTURE CONTENT SHALL NOT EXCEED 8%.
2. PROVIDE DOUGLAS FIR-LARCH SAWN LUMBER UNLESS NOTED OTHERWISE. AS A MINIMUM, PROVIDE THE FOLLOWING GRADES:
 - JOISTS NO. 2
 - BEAMS AND HEADERS NO. 1
 - WALL STUDS STUD
 - POSTS NO. 1 & BETTER
 - SILLS, PLATES, AND BLOCKING NO. 2
3. PROVIDE ENGINEERED LUMBER IN CONFORMANCE WITH THE FOLLOWING SPECIFICATIONS:

ITEM	Fo (PSI)	Fv (PSI)	E (PSI)
PSL	2,900	290	2.0x10 ⁶
LVL	2,600	285	1.9x10 ⁶
LSL	2,325	310	1.55x10 ⁶

4. PROVIDE PRESSURE-TREATED WOOD FOR ALL EXPOSED MEMBERS AND ALL MEMBERS IN CONTACT WITH CONCRETE, MASONRY, OR SOIL. ALL NAILS IN CONTACT WITH PRESSURE-TREATED LUMBER SHALL BE EITHER HOT-DIPPED GALVANIZED (MEETING ASTM A153 CLASS D) OR STAINLESS STEEL. ALL HARDWARE IN CONTACT WITH PRESSURE-TREATED LUMBER SHALL BE EITHER HOT-DIPPED GALVANIZED (MEETING ASTM A653 CLASS G185), OR STAINLESS STEEL.
5. AS A MINIMUM, ATTACH AND INTERCONNECT ALL FRAMING MEMBERS IN ACCORDANCE WITH THE NAILING SCHEDULE CONTAINED IN TABLE 2304.9.1 IN THE CALIFORNIA BUILDING CODE. NAILS MAY BE BOX OR COMMON WIRE, AS ALLOWED IN FOOTNOTES OF TABLE. NAILS CALLED FOR ON PLANS AND DETAILS SHALL BE COMMON WIRE. HOT-DIPPED GALVANIZED NAILS SHALL BE USED WHERE EXPOSED TO WEATHER OR IN CONTACT WITH PRESSURE-TREATED LUMBER.
6. PROVIDE FULL-DEPTH SOLID BLOCKING OR OTHER MEANS OF LATERAL SUPPORT AT ENDS AND BEARING POINTS OF ALL JOISTS, RAFTERS, BEAMS, AND HEADERS, AND AT INTERMEDIATE INTERVALS NOT TO EXCEED 8'-0".
7. DESIGNATIONS FOR HARDWARE ARE BASED ON SIMPSON STRONG-TIE CO., INC. SUBSTITUTION OF NON-SIMPSON HARDWARE IS NOT ACCEPTABLE.
8. INSTALL HARDWARE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. USE ALL SPECIFIED FASTENERS.
9. ALL NAILS SHALL BE COMMON WIRE NAILS. "SHORT" NAILS SUPPLIED BY SIMPSON STRONG-TIE SHALL ONLY BE USED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, AND SHALL NOT BE USED WHEN ATTACHING THROUGH PLYWOOD TO FRAMING MEMBERS BEHIND.
10. PLYWOOD SUBFLOORING SHALL BE 3/4" APA RATED STUR-D-FLOOR SHEATHING (48/24), GROUP 1 EXPOSURE 1, UNLESS NOTED OTHERWISE. PANEL EDGES SHALL BE TONGUE AND GROOVED. LAY PANELS WITH FACE GRAIN ACROSS SUPPORT. STAGGER JOINTS. NAIL ALL SUPPORTED EDGES WITH 10d NAILS @ 6" O.C. AND AT ALL INTERIOR BEARINGS WITH 10d NAILS @ 10" O.C., UNLESS OTHERWISE NOTED. NAILS SHALL BE DRIVEN FLUSH OR SCREW NAILS DRIVEN FLUSH. GLUE PLYWOOD TO ALL SUPPORTS AND AT TONGUE AND GROOVE JOINTS IN ACCORDANCE WITH APA GLUED FLOOR SYSTEM.
11. PLYWOOD WALL SHEATHING SHALL BE 1/2" APA RATED SHEATHING, UNLESS NOTED OTHERWISE. ALL UNSUPPORTED EDGES SHALL BE BLOCKED. NAIL ALL PLYWOOD EDGES WITH 10d NAILS @ 6" AND INTERIOR BEARINGS WITH 10d NAILS @ 12" O.C., UNLESS OTHERWISE NOTED. NAILS SHALL BE DRIVEN FLUSH BUT SHALL NOT FRACTURE THE SURFACE OF THE PLYWOOD. MINIMUM SHEET WIDTH FOR PLYWOOD ON SHEAR WALLS SHALL BE 24".
12. PLYWOOD ROOF SHEATHING SHALL BE 3/4" APA RATED SHEATHING. ALL ROOF SHEATHING SHALL BE LAID WITH FACE GRAIN PERPENDICULAR TO THE JOISTS. STAGGER SIDE JOINTS. NAIL ALL PLYWOOD EDGES WITH 10d NAILS @ 6" O.C. AND INTERIOR BEARINGS WITH 10d NAILS @ 12" O.C., UNLESS OTHERWISE NOTED. NAILS SHALL BE DRIVEN FLUSH, BUT SHALL NOT FRACTURE THE SURFACE OF PLYWOOD.

XI. EPOXY GROUTING:

1. WHERE EPOXY IS INDICATED ON PLANS OR DETAILS, USE HILTI RE-500 SD ADHESIVE (ICC ESR-2322), HILTI HIT-HY 200 (ICC ESR-3187), OR SIMPSON SET-XP ADHESIVE (ICC ESR-2506) FOR USE IN CONCRETE. (CONTRACTOR MAY SUBMIT OTHER EPOXY SYSTEMS FOR APPROVAL, ALONG WITH AN ICC-ES REPORT DEMONSTRATING COMPLIANCE WITH THE 2012 IBC FOR THE SPECIFIC PRODUCT.)
2. WHERE EPOXY IS INDICATED ON PLANS OR DETAILS, USE HILTI RE-500 SD ADHESIVE (ICC ESR-2322) FOR USE IN SOLID GROUTED MASONRY. (CONTRACTOR MAY SUBMIT OTHER EPOXY SYSTEMS FOR APPROVAL, ALONG WITH ICC-ES REPORT DEMONSTRATING COMPLIANCE WITH THE 2012 IBC FOR THE SPECIFIC PRODUCT.)
3. WHERE EPOXY IS INDICATED ON PLANS OR DETAILS, USE HILTI HIT-HY 70 ADHESIVE ANCHOR SYSTEM (ICC ESR-3342) FOR USE IN UNREINFORCED MASONRY. PLASTIC MESH SCREEN TUBES SHALL BE USED AT ALL ANCHOR LOCATIONS PER ICC-3342. (CONTRACTOR MAY SUBMIT OTHER EPOXY SYSTEMS FOR APPROVAL, ALONG WITH ICC-ES REPORT DEMONSTRATING COMPLIANCE WITH THE 2012 IBC FOR THE SPECIFIC PRODUCT.)
4. DRILL HOLES TO EPOXY MANUFACTURER'S RECOMMENDED SIZE. CLEAN HOLES WITH A CIRCULAR WIRE OR NYLON BRUSH AND BLOW OUT WITH COMPRESSED AIR.
5. SLOWLY INSERT ROD OR BAR WHILE TURNING ONE FULL ROTATION. DO NOT DISTURB DOWEL UNTIL EPOXY HAS SET.

XII. TESTING AND INSPECTION:

1. SPECIAL INSPECTIONS SHALL BE PERFORMED BY AN APPROVED INDEPENDENT TESTING AND INSPECTION AGENCY OR AS INDICATED BELOW. THE INSPECTION AGENCY SHALL BE RETAINED BY AND PAID FOR BY THE OWNER.
2. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER, PRIOR TO BEGINNING CONSTRUCTION, A DETAILED LIST OF "SPECIAL INSPECTION" ITEMS INDICATING THE SCOPE OF TESTING AND INSPECTION AND THE AGENCY OR ENGINEER PERFORMING THE WORK.
3. THE INSPECTION AGENCY SHALL PROVIDE INSPECTION REPORTS TO THE ARCHITECT & STRUCTURAL ENGINEER. THE REPORTS SHALL INCLUDE ANY ITEMS WHICH ARE IN NON-COMPLIANCE WITH THE DESIGN DOCUMENTS.
4. THE STRUCTURAL ENGINEER WILL REQUIRE A FINAL REPORT FROM THE INSPECTION AGENCY. THE REPORT NEEDS TO SHOW THAT ALL DEFICIENCIES MENTIONED IN EARLIER REPORTS HAVE BEEN CORRECTED. COPIES OF THE TESTING AND INSPECTION REPORT SHALL BE SENT TO THE BUILDING DEPARTMENT, ARCHITECT, STRUCTURAL ENGINEER AND OWNER.
5. PROVIDE "SPECIAL INSPECTIONS" FOR ALL ITEMS AS REQUIRED BY THE CALIFORNIA BUILDING CODE, 2016 EDITION. SEE SHEET S-1.0 UNDER "SPECIAL INSPECTION AND STRUCTURAL OBSERVATION."

- INSPECTIONS BY INDEPENDENT AGENCY:**
- A. SPECIAL INSPECTION OF FOUNDATION EXCAVATIONS SHALL BE PERFORMED BY THE GEOTECHNICAL ENGINEER.
 - B. CONCRETE PLACEMENT: DURING THE TAKING OF TEST SPECIMENS AND PLACING OF REINFORCED CONCRETE, EXCEPT CONCRETE WHERE THE SPECIFIED STRENGTH IS 2,500 PSI OR LESS, FOUR TEST CYLINDERS FROM EACH 150 CUBIC YARDS OR FRACTION THEREOF POURED IN ANY ONE DAY SHALL BE SECURED AND REPORTED BY AN INDEPENDENT TESTING AGENCY; ONE TO BE TESTED AT 7 DAYS, TWO AT 28 DAYS, AND THE FOURTH HELD IN RESERVE.
 - C. STRUCTURAL WELDING: ALL STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCING STEEL. SEE THE GENERAL NOTES SECTION FOR STRUCTURAL STEEL.
 - D. HIGH-STRENGTH BOLTING: PERIODIC INSPECTION, IN ACCORDANCE WITH CBC SECTION 1704.3.3, DURING ALL BOLT INSTALLATIONS AND TIGHTENING OPERATIONS.
 - E. WELDING OF THREADED ROD TO STEEL BEAM FOR HOLD-DOWN DEVICES.

- INSPECTIONS BY ENGINEER OF RECORD:**
- F. BOLTS CAST IN CONCRETE: PRIOR TO AND DURING THE PLACEMENT OF CONCRETE AROUND BOLTS.
 - G. CONCRETE REINFORCING STEEL: DURING PLACING OF REINFORCING STEEL, EXCEPTION: THE SPECIAL INSPECTOR NEED NOT BE PRESENT DURING ENTIRE REINFORCING STEEL-PLACING OPERATIONS, PROVIDED HE/SHE HAS INSPECTED FOR CONFORMANCE WITH THE APPROVED PLANS PRIOR TO THE CLOSING OF FORMS OR THE DELIVERY OF CONCRETE TO THE JOBSITE.
 - H. PLYWOOD SHEAR WALLS - NAILING, CLIPS, STRAPS, HOLD-DOWNS.
 - I. NAILING FOR PLYWOOD DIAPHRAGMS.

XIII. STRUCTURAL OBSERVATIONS:

1. THE STRUCTURAL ENGINEER WILL REPORT ANY OBSERVED DEFICIENCIES TO THE OWNER, CONTRACTOR OR BUILDING OFFICIAL FOLLOWING SITE VISITS. THE STRUCTURAL ENGINEER WILL PROVIDE A WRITTEN REPORT TO THE ARCHITECT AFTER EACH SITE VISIT. HOWEVER, THE STRUCTURAL ENGINEER'S SITE VISITS ARE NOT CONSIDERED AS INSPECTION VISITS. THE INSPECTION AGENCY RETAINED AND PAID FOR BY THE OWNER SHALL PROVIDE INSPECTION REPORTS TO THE ARCHITECT/STRUCTURAL ENGINEER. THE REPORTS SHALL INCLUDE ANY ITEMS WHICH ARE IN NON-COMPLIANCE WITH THE DESIGN DOCUMENTS.

2. AFTER THE STRUCTURAL ENGINEER RECEIVES THE FINAL REPORT, FROM THE SPECIAL INSPECTION AGENCY, THE STRUCTURAL ENGINEER WILL SUBMIT A FINAL SUMMARY REPORT DOCUMENTING SITE VISITS AND OBSERVATIONS, NOTING ANY DEFICIENCIES THAT CORRECTIVE WORK HAS BEEN COMPLETED, AND THAT CONSTRUCTION PROCEEDED IN ACCORDANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND APPLICABLE CODES AND REGULATIONS PER SECTION 1704 OF THE CALIFORNIA BUILDING CODE.
3. STRUCTURAL OBSERVATION BY THE DESIGN ENGINEER IS REQUIRED AT THE FOLLOWING PHASES, AND PRIOR TO COVERING WITH OTHER WORK:
 - A. BEFORE CLOSING OF FORMS - FOUNDATION REINFORCING AND BOLTS INSTALLED IN CONCRETE.
 - B. ALL STRUCTURAL STEEL MEMBERS AND CONNECTIONS (PRIOR TO COVERING WITH OTHER WORK).
 - C. PLYWOOD DIAPHRAGM NAILING - PRIOR TO COVERING WITH WALL FRAMING OR OTHER WORK.
 - D. PLYWOOD SHEAR WALL NAILING AND ALL RELATED HOLD DOWNS, STRAPS, CLIPS, ETC.
4. FOR A COMPLETE LIST OF REQUIRED "STRUCTURAL OBSERVATION" SEE SHEET S-1.0 UNDER "SPECIAL INSPECTION AND STRUCTURAL OBSERVATION."

APPROVED
Dept. of Building Insp.
APR 11 2018
Tom C. Hsu
DIRECTOR
DEPT. OF BUILDING INSPECTION
Vivian Huang, DBI
MAR 07 2018

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1916 McAllister Street
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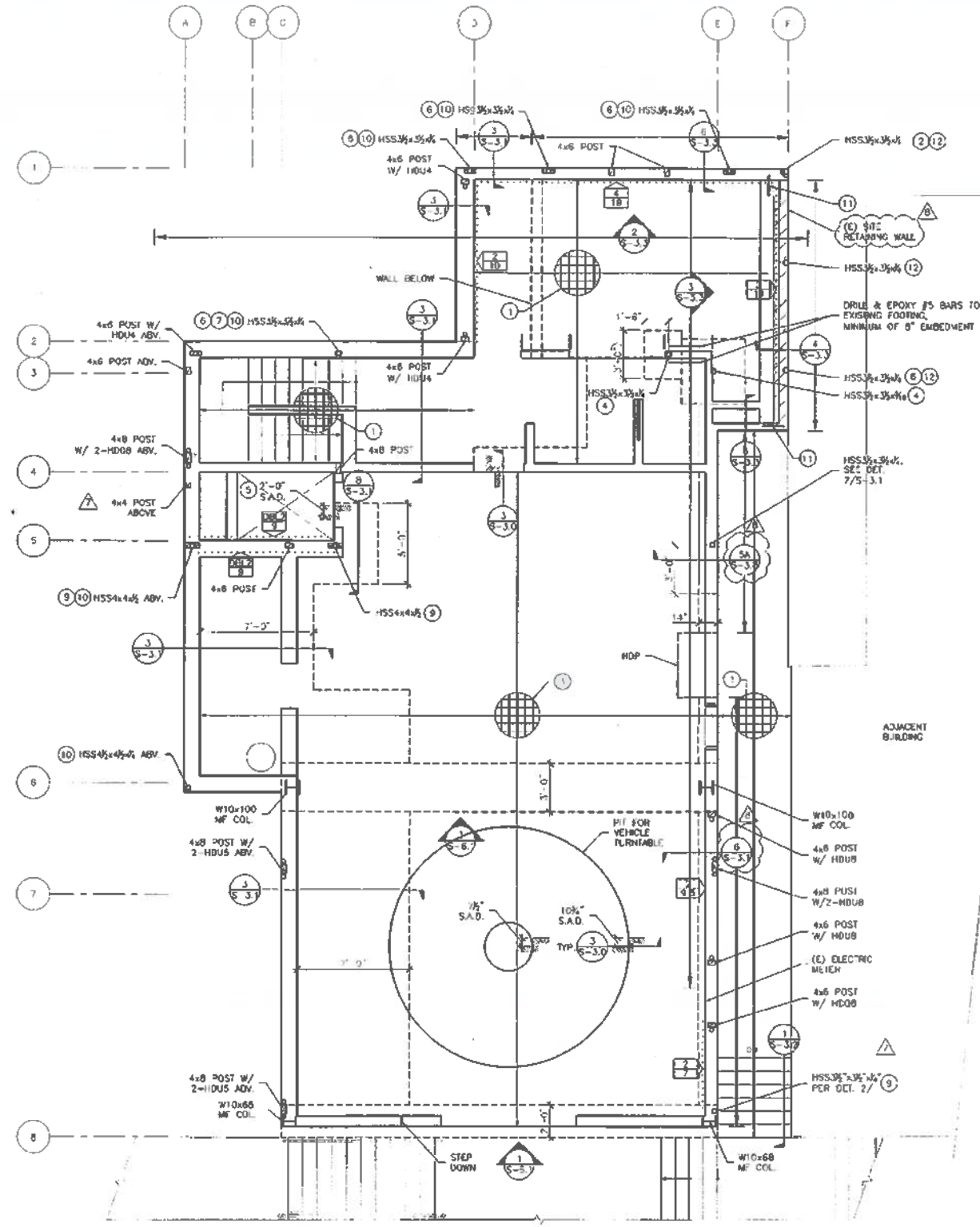
**GREENWICH STREET
RESIDENCE**
1283 Greenwich Street
San Francisco, CA 94109

RECEIVED
MAY 13 2017
DEPT. OF BUILDING INSPECTION
1200 CALIFORNIA STREET, 12TH FLOOR
SAN FRANCISCO, CA 94109

Date:	Issue:
06.05.2014	Schematic Design
08.13.2015	CD Coordination
11.06.2015	Building Permit Set
12.06.2016	Var. Bldg. Permit Set
04.13.2017	Arch. Rev. Set
06.05.2017	Arch. Rev. Set
10.27.2017	Roof Deck Rev.

Scale: AS NOTED
Job No. 14-100

General Notes
S-1.1



1 GROUND FLOOR/BASEMENT FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

LEGEND

WALLS
 WALLS BELOW
 (-) FOUNDATION
 (-) FOUNDATION BELOW
 ○ HOLD DOWN
 X= DENOTES SW EDGE NAILING.
 V= DENOTES SW LENGTH IN FEET.
 REF. S-4.0 FOR FWD SW OCT.5.
 ■ POST ABOVE AND BELOW
 □ POST ABOVE
 ● POST BELOW
 (1) REFERS TO NOTE #
 I STEEL BEAM
 I STEEL COLUMN
 HDP 1/4"Ø-Ø16 PIER PER DET. 5C/5-3.3 AND GENERAL NOTE 3

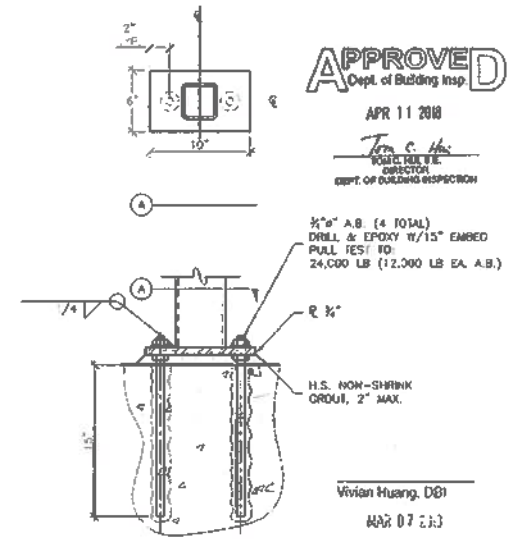
SHEET NOTES:

- 4' S.O.G. WITH #4 @ 12" O.C. EACH WAY, OVER VAPOR BARRIER, OVER 4" GRAVEL. SEE DET. 2/S-3.0
- SEE DET. 7/S-4.2
- 4x6 P.T. CONNECTED TO CONCRETE WALL WITH 1/2" ANCHOR BOLTS @ 12" O.C.
- SEE DET. 12/S-3.1
- SEE DET. 3/S-3.0
- HSS AS HOLD-DOWN PER DET. 8/S-5.0
- BASE PLATE PER DET. 1/S-3.1
- HSS AT PERIMETER WALL PER DET. 7/S-3.1
- HSS AS HOLD-DOWN PER DET. 14/S-5.0
- HSS AT WALL PER DET. 6/S-3.2
- DRILL & EPOXY #4 DOMELS @ 12" O.C. EMBED.
- BASE PLATE PER DET. 7/S-3.2

GENERAL NOTES:

- SEE SHEETS S-4.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.
- SEE SHEET S-3.0 FOR TYPICAL CONCRETE DETAILS.
- EXTEND HDP 3'-0" MIN. BELOW BRICK RETAINING WALL FOUNDATION INTO BEDROCK WITHOUT LAGGING. MIN. DEPTH FOR GEOTECHNICAL ENGINEER IN FIELD.

PLAN REVISION
 MAR 07 2018



2 HSS COLUMN BASE PLATE DETAIL
 SCALE: 1-1/2" = 1'-0"

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**GREENWICH STREET
 RESIDENCE**

1283 Greenwich Street
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2017 06 06 8573 RI



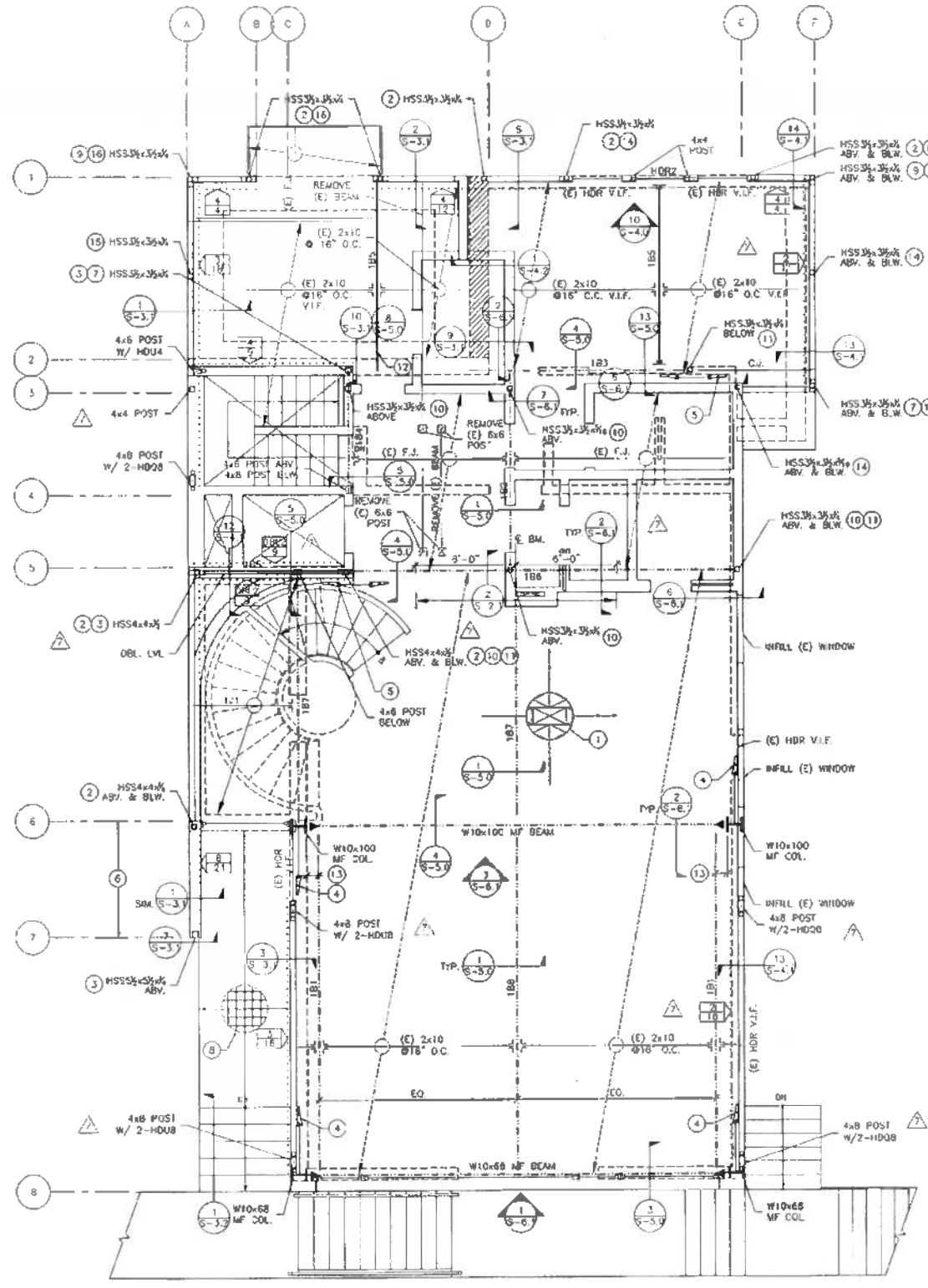
Issue:	Date:
Schematic Design	06.05.2014
C/D Coordination	08.13.2015
Building Permit Set	11.06.2015
Var. Bldg. Permit Set	12.06.2016
Arch. Rev. Set	04.13.2017
Arch. Rev. Set	06.05.2017
Roof Deck Rev.	10.27.2017

Scale: AS NOTED
 Job No. 14-100

Ground Floor/
 Basement
 Foundation Plan

S-2.0





1 FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"

LEGEND

- WALLS
- WALLS BELOW
- (H) FOUNDATION
- (N) FOUNDATION BELOW
- HOLD DOWN
- X = DENOTES SW EDGE NAILING
- Y = DENOTES SW LENGTH IN FEET
- REF. S-C-D FOR PWD SW DETAILS
- POST ABOVE AND BELOW
- POST ABOVE
- POST BELOW
- ① REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION
- COLLECTOR JOIST

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
L11	16" O.C.	1 1/2" x 8" LVL	-117

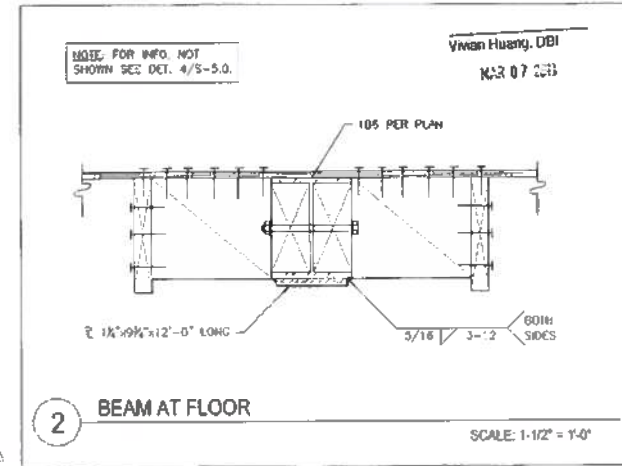
BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
B1	W10x33	A992 Gr.50	
B2	W10x30	A992 Gr.50	
B3	W10x30	A992 Gr.50	
B4	W10x26	A992 Gr.50	
B5	3/4" x 8"	PSL	MINUS 5.0
B6	W10x68	A992 Gr.50	
B7	W10x30	A992 Gr.50	
B8	W10x45	A992 Gr.50	
HDR	SEC DET.	6/S-4.1	
HDR2	3/4" x 8"	PSL	

- SHEET NOTES:
- 1 BLOCKED PLYWOOD DIAPHRAGM PER DETAILS 1&2/S-4.1
 - 2 HSS HOLD-DOWN AT END OF WALL PER DET. 14/S-5.0
 - 3 BASE PLATE PER DET. 11/S-3.1
 - 4 HOUS TO TOP PLATES LENGTH 8'-0" MIN.
 - 5 HOUS FROM C.J. TO STEEL BEAM
 - 6 2x6 LVL STUD WALL
 - 7 HSS AS HOLD-DOWN PER DET. 9/S-5.0
 - 8 4" S.O.G. WITH #4 @ 12" O.C. EACH WAY OVER 4" GRAVEL. SEE DET. 2/S-3.0
 - 9 SEE DET. 7/S-4.2
 - 10 HSS POST ON STEEL BEAM PER DET. 7/S-6.1
 - 11 STEEL BEAM ON HSS POST PER DET. 6/S-6.1
 - 12 WOOD BEAM ON CONC WALL PER DET. 5/S-3.2, 3M.
 - 13 NO ATTACHMENTS ALLOWED WITHIN PROTECTED ZONE. SEE DET. 1/S-6.0
 - 14 HSS COL. AT TOP PLATE PER DET. 7/S-5.0
 - 15 HSS AT PERIMETER WALL PER DET. 7/S-3.1
 - 16 HSS AT FTG. PER DET. 6/S-3.2

GENERAL NOTES:
 1. SEE SHEETS S-2.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.

APPROVED
 Dept. of Building Insp.
 APR 11 2017
 Tom C. [Signature]
 INSPECTOR
 DEPT. OF BUILDING INSPECTION



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**GREENWICH STREET
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 San Francisco, CA 94109

RECEIVED
 NOV 11 2017
 DEPT. OF BUILDING INSPECTION
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 NOT FOR CONSTRUCTION

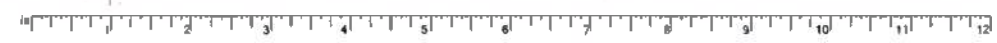
Yvonne Huang, DBI
 K23 07 2017

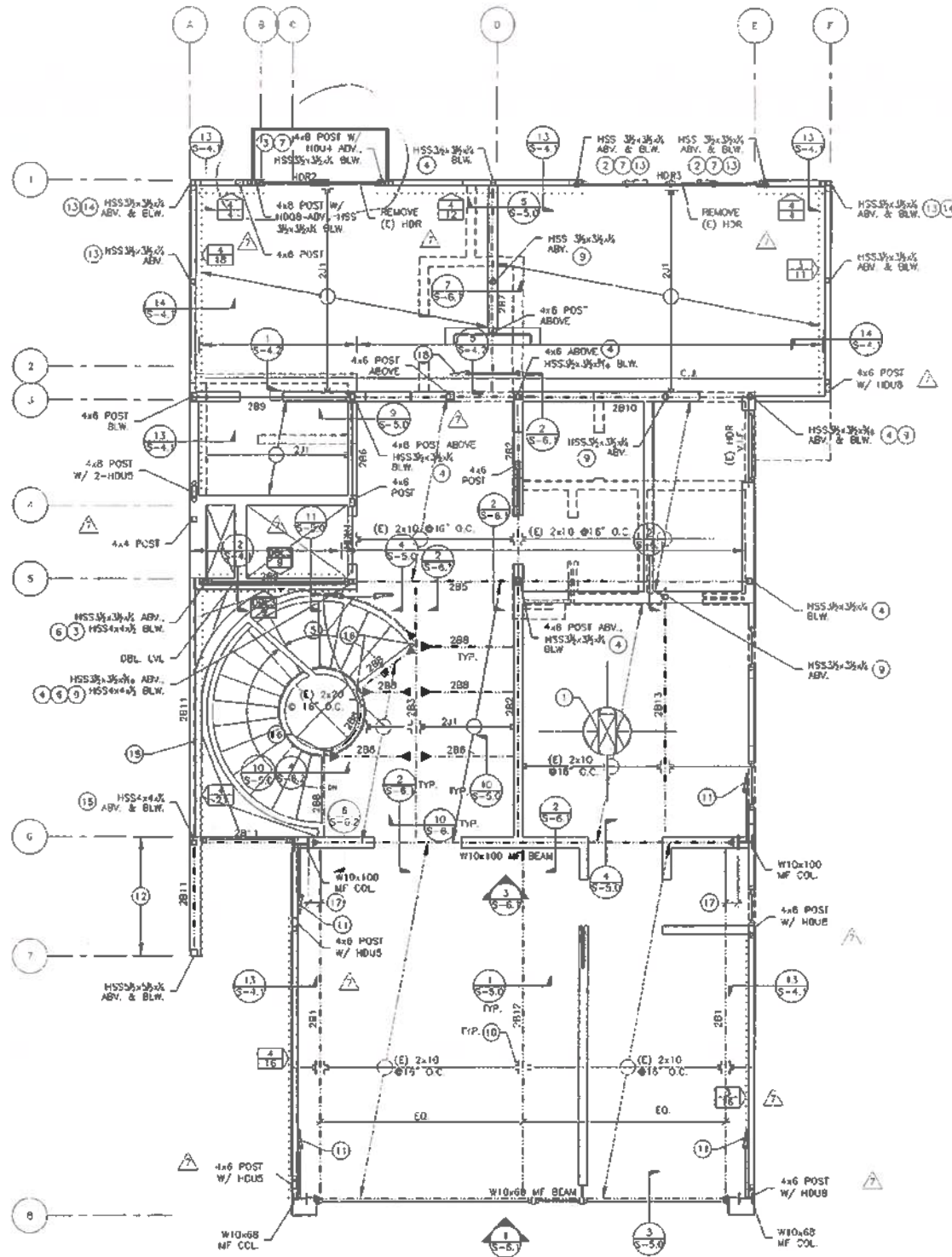
Issue:	Date:
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015
Var. Bldg. Permit Set	12.06.2016
Arch. Rev. Set	04.13.2017
Arch. Rev. Set	06.05.2017
Roof Deck Rev.	10.27.2017

Scale: AS NOTED
 Job No. 14-100

First Floor
 Framing Plan

S-2.1





LEGEND

- WALLS
- - - WALLS BELOW
- o HOLD DOWN
- X DENOTES SW EDGE MARKING
- Y DENOTES SW LENGTH IN FEET
- REF. S-4.0 FOR FWD SW DET. 5
- POST ABOVE AND BELOW
- POST ABOVE
- POST BELOW
- Ⓜ REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- ▨ INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
2-1	16" O.C.	1X12@16" J.L.	HUT

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
2B1	W10x33	A992 Gr.50	
2B2	W10x30	A992 Gr.50	
2B3	W10x30	A992 Gr.50	
2B4	NOT USED		
2B5	W10x88	A992 Gr.50	
2B6	5X5X1/2"	A992 Gr.50	
2B7	W10x26	A992 Gr.50	
2B8	HSS7x3x3/8	A500 Gr.46	
2B9	5X5X1/2"	PSL	
2B10	W10x30	A992 Gr.50	
2B11	HSS3x3x3/8	A500 Gr.46	COLLECTOR
2B12	W10x45	A992 Gr.50	
2B13	W10x30	A992 Gr.50	
HDR1	SEE DET.	6/S-4.1	
HDR2	3X3X1/2"	PSL	
HDR3	5X5X1/2"	PSL	

- SHEET NOTES:
- 1 BLOCKED PLYWOOD DIAPHRAGM PER DET. 1&2/S-4.1
 - 2 WOOD BM. AT HSS COL. PER DET. 9/S-5.0
 - 3 SEE HD-DOWN PER DET. 12/S-5.0
 - 4 STEEL BEAM ON HSS COLUMN PER DET. 8/S-6.1
 - 5 HDUS FROM C.J. TO STEEL BEAM
 - 6 HSS AS HOLD-DOWN PER DET. 8/S-5.0
 - 7 HSS HOLD-DOWN AT END OF WALL PER DET. 14/S-5.0
 - 8 HSS PER DET. 6/S-3.0
 - 9 HSS COLUMN ON STEEL BEAM PER DET. 7/S-6.1
 - 10 U210 HANGER
 - 11 HDUS TO TOP PLATES, LENGTH 6'-0" MINIMUM
 - 12 2x6 .M. STUD WALL
 - 13 HSS COL. AT TOP PLATE PER DET. 7/S-5.0
 - 14 SEE DET. 7/S-4.2
 - 15 HSS BEAM AND COLUMN PER DET. 5/S-6.1
 - 16 BENT HSS OR HSS PER DET. 7/S-6.2
 - 17 NO ATTACHMENTS ALLOWED WITHIN PROTECT'ED ZONE. SEE DET. 1/S-6.0
 - 18 HDUS AT C.J. DISCONTINUITY THROUGH STEEL BEAM
- GENERAL NOTES:
1. SEE SHEETS S-4.0 AND S-4.1 FOR TYPICAL FRAMING DETAILS.

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**GREENWICH STREET
 RESIDENCE**
 1283 Greenwich Street
 San Francisco, CA 94109

RECEIVED
 NOV 13 2017
 DEPT. OF BUILDING INSPECTION
 1000 MARKET STREET, 11TH FLOOR
 SAN FRANCISCO, CA 94102



Issue:	Date:
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015
Var. Bldg. Permit Set	12.06.2016
Arch. Rev. Set	04.13.2017
Arch. Rev. Set	06.05.2017
Roof Deck Rev.	10.27.2017

Scale: AS NOTED
 Job No. 14-100

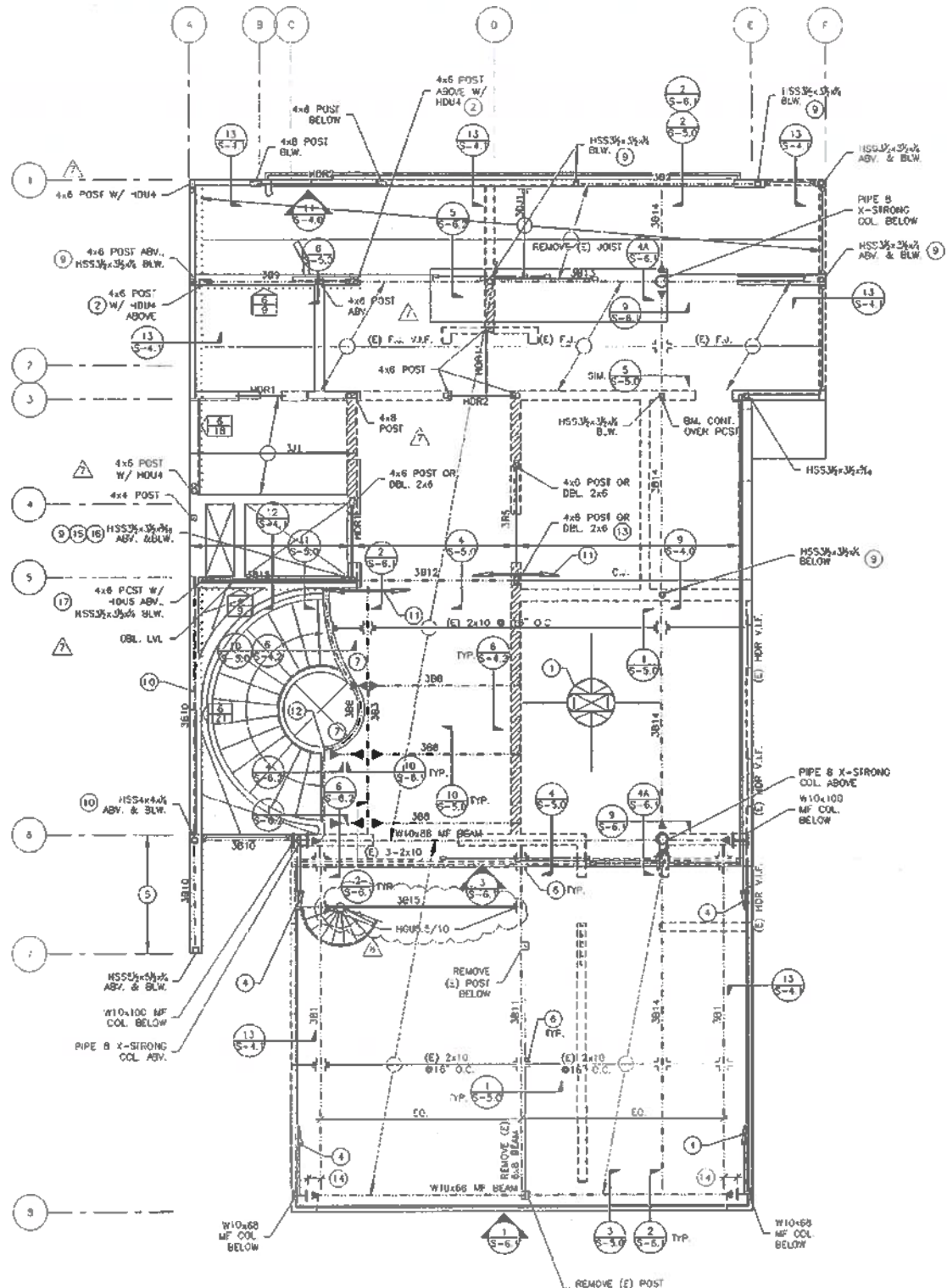
1 SECOND FRAMING FLOOR PLAN

SCALE: 1/4" = 1'-0"

APPROVED
 Dept. of Building Insp. Brian Huang, DBI
 APR 11 2018
 MAR 07 2013

Second Floor
 Framing Plan
S-2.2





LEGEND

- WALLS
- - - WALLS BELOW
- HOLD DOWN
- ⊕ K = BENCHES SW EDGE HANGING
Y = BENCHES SW LENGTH IN FEET
REF. S-4.0 FOR TYP SW DET 5
- ⊕ POST ABOVE AND BELOW
- ⊕ POST ABOVE
- ⊕ POST BELOW
- ① REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- /// INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION
- C.J. LVL COLLECTOR JOIST

JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
J11	16" O.C.	1 1/2"x8" LVL	-U7
J01	16" O.C.	1 1/2"x7 1/2" LVL	-U7

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
B01	W10x23	A992 Gr.50	
B02	W10x33	A992 Gr.50	
B03	W10x30	A992 Gr.50	
B04	NOT USED		
B05	3/4"x8"	PSL	
B06	NOT USED		
B07	NOT USED		
B08	HSS7x3 1/2	A500 Gr.48	
B09	W10x45	A992 Gr.50	
B10	HSS5 1/2x3 1/2	A500 Gr.48	COLLECTOR
B11	W10x45	A992 Gr.50	
B12	W10x33	A992 Gr.50	
B13	W10x45	A992 Gr.50	
B14	W10x33	A992 Gr.50	
B15	5/8"x8"	PSL	
H01	3/4"x8"	PSL	
H02	3/4"x8"	PSL	

- SHEET NOTES:**
- 1 BLOCKED PLYWOOD ENFRAGM PER DET. 16/2/3-4.1
 - 2 HOLD-DOWN ON STEEL BEAM PER DET. 8/3-4.0
 - 3 J210 HANGER
 - 4 10US TO TOP PLATES, LENGTH 6"-0" MINIMUM
 - 5 2x6 LVL STUD WALL
 - 6 J210-J HANGER
 - 7 SEE SIM. DET. 8A/3-6.1
 - 8 SEE DET. 12/3-5.0
 - 9 STEEL BEAM TO HSS COLUMN BELOW PER DET. 9/3-6.1
 - 10 HSS BEAM AND COL. UNH PER DET. 5/3-6.1
 - 11 10US FROM C.J. TO STEEL BEAM
 - 12 BENT HSS OR HSS PER DET. 7/3-6.2
 - 13 STEEL BEAM ON WOOD POST PER DET. 5/3-5.3
 - 14 NO ATTACHMENTS ALLOWED WITHIN PROTECTED ZONE, SEE DET. 1/3-6.0
 - 15 HSS AS HOLDOWN PER DET. 8/3-5.0
 - 16 HSS COLUMN ON STEEL BEAM PER DET. 7/3-6.1
 - 17 WOOD POST TO HSS POST PER DET. 12/3-5.0
- GENERAL NOTES:**
1. FOR TYPICAL FRAMING DETAILS, SEE SHEETS S-4.0 AND S-4.1.

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**GREENWICH STREET
 RESIDENCE**
 1283 Greenwich Street
 San Francisco, CA 94109

RECEIVED
 NOV 13 2017
 DEPT OF BUILDING INSPECTION
 THE PLAN UNDER THE MOUNTAIN
 HARBOR FOR

Issue: _____ Date: _____

Schematic Design 06.05.2014
 CD Coordination 08.13.2015
 Building Permit Set 11.06.2015
 Var. Bldg. Permit Set 12.06.2016
 Arch. Rev. Set 04.13.2017
 Arch. Rev. Set 06.03.2017
 Roof Deck Rev. 10.27.2017

Scale: AS NOTED

Job No. 14-100

Third Floor
 Framing Plan

S-2.3

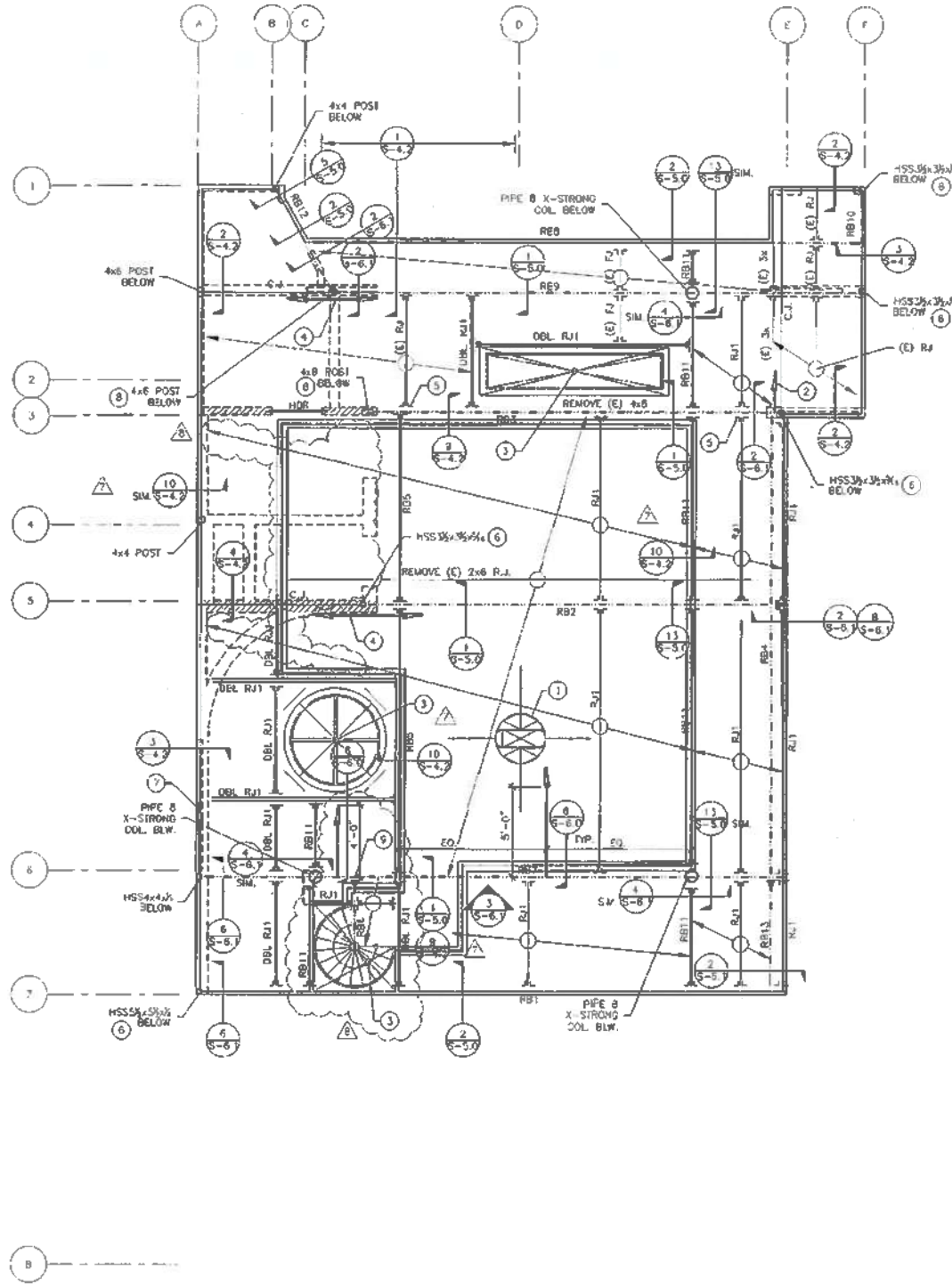
1 THIRD FLOOR FRAMING PLAN

SCALE 1/4" = 1'-0"

APPROVED
 Dept. of Building Insp.
 APR 11 2018
 Vivian Huang, DBI

Form C-101
 PROJECT SUPERVISOR
 DEPT. OF BUILDING INSPECTION





1 ROOF FRAMING PLAN

LEGEND

- WALLS
- WALLS BELOW
- POST BELOW
- REFERS TO NOTE #
- STEEL BEAM
- STEEL COLUMN
- INTERIOR BEARING WALL BELOW
- MOMENT CONNECTION
- LVL COLLECTOR JOIST

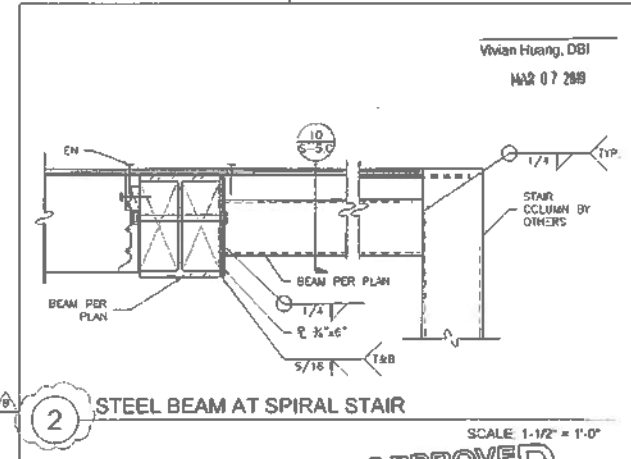
JOIST SCHEDULE

MARK	SPACING	JOIST	NOTES
RJ1	16" C.C.	1 1/2" x 8"	HU7
DBL RJ1	2-12" x 8"		HW48

BEAM SCHEDULE

MARK	SIZE	MATERIAL	NOTES
RB1	W10x54	A992 Gr.50	
RB2	W10x45	A992 Gr.50	
RB3	W10x33	A992 Gr.50	
RB4	W10x33	A992 Gr.50	
RB5	3" x 8"	PSL	HW55.5/10
RB6	HSS3 1/2 x 3 1/2 x .045	A500 Gr.45	
RB7	W10x54	A992 Gr.50	
RB8	W10x45		
RB9	W10x33		
RB10	W10x33		
RB11	3" x 8"	PSL	LUS48
RB12	W10x33	A992 Gr.50	
RB13	W10x54	A992 Gr.50	
HDR	4x6	DF-#2	

- SHEET NOTES:
- BLOCKED PLYWOOD DIAPHRAGM PER DET. 1A2/S-4.1
 - HORIZONTAL HOUS, FOR CONNECTION TO STEEL BEAM SEE DET. 6/S-6.0
 - TYPICAL FLOOR OPENING PER DET. 5/S-4.1
 - HOUS FROM C.J. TO STEEL BEAM
 - (H) U210 TYPE HANGER
 - STEEL BEAM ON HSS COLUMN PER DET. 6/S-6.1
 - HOUS TO TOP PLATES, LENGTH 6'-0"
 - STEEL BEAM ON WOOD POST PER DET. 5/S-6.0
 - STEEL BEAM AT STAIRS PER DET. 2/-
- GENERAL NOTES:
- FOR TYPICAL FRAMING DETAILS, SEE SHEETS S-4.0 AND S-4.1.



2 STEEL BEAM AT SPIRAL STAIR

SCALE: 1/4" = 1'-0"

APPROVED
 Dept. of Building Insp.
 APR 11 2018
 Tom C. [Signature]
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

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**GREENWICH STREET
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 1283 Greenwich Street
 San Francisco, CA 94109

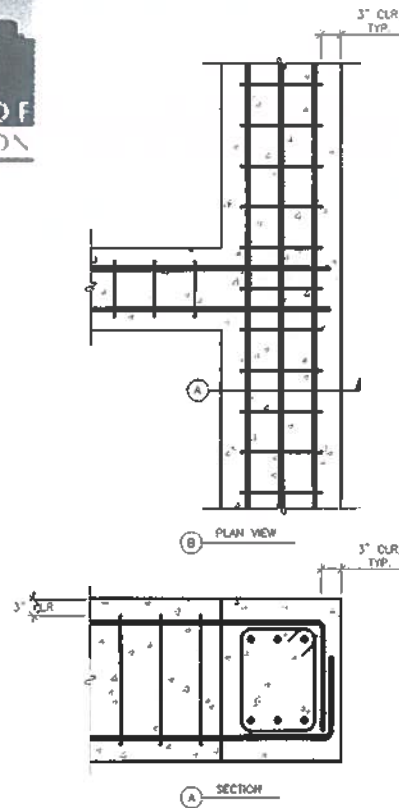
RECEIVED
 NOV 13 2017
 DEPT. OF BUILDING INSPECTION
 THIS PLAN ASSETS THE CAPACITY
 CONTRACTOR FOR REVIEW

Vivian Huang, DBI
 MAR 07 2018

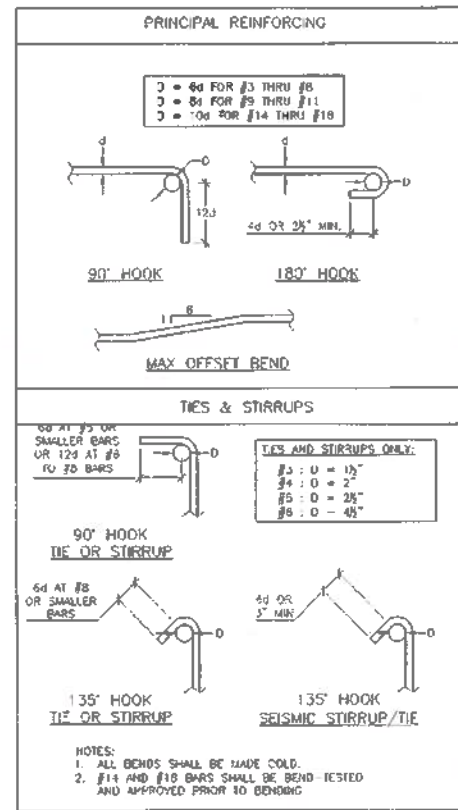
Issue	Date
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015
Var. Bldg. Permit Set	12.06.2016
Arch. Rev. Set	04.13.2017
Arch. Rev. Set	06.05.2017
Roof Deck Rev.	10.27.2017

Scale: AS NOTED
 Job No. 14-100

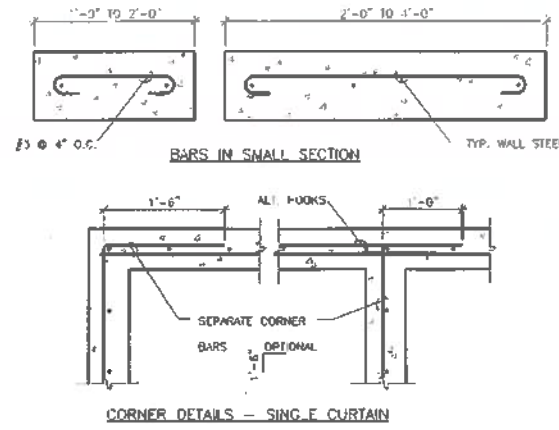
Roof Framing Plan
 S-2.4



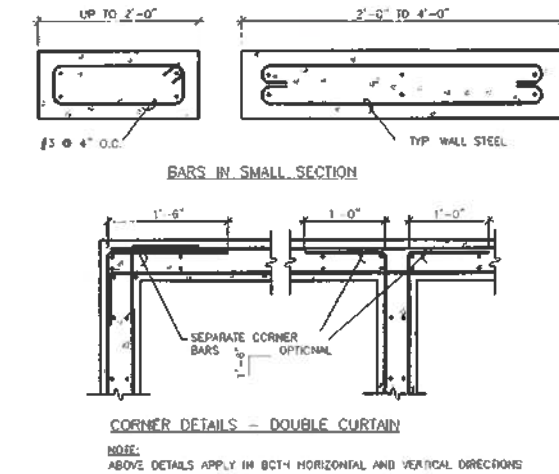
7 PRIMARY REINF. AT GRADE BEAM INTERSECTION
 SCALE: NOT TO SCALE



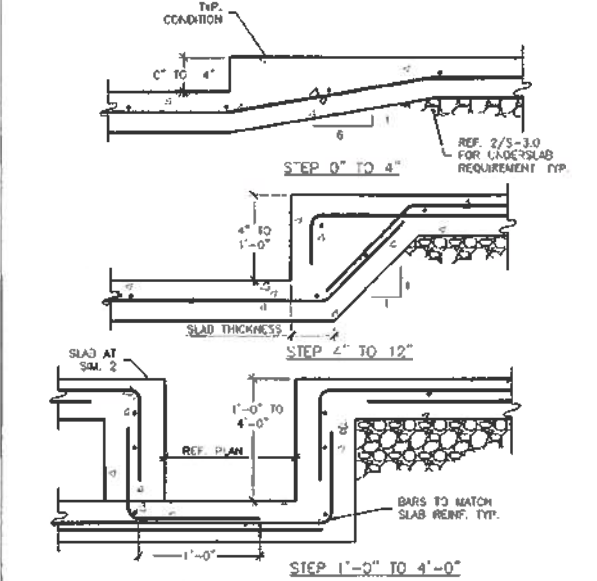
6 STANDARD HOOK & TIE DETAILS
 SCALE: NOT TO SCALE



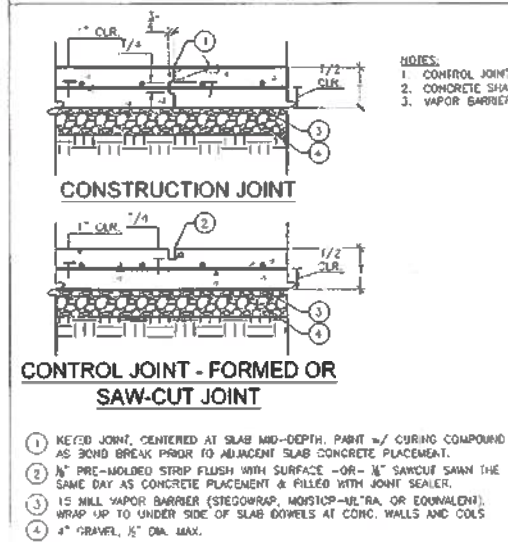
4 STEP IN FOOTING
 SCALE: NOT TO SCALE



5 WALL REINFORCING
 SCALE: NOT TO SCALE



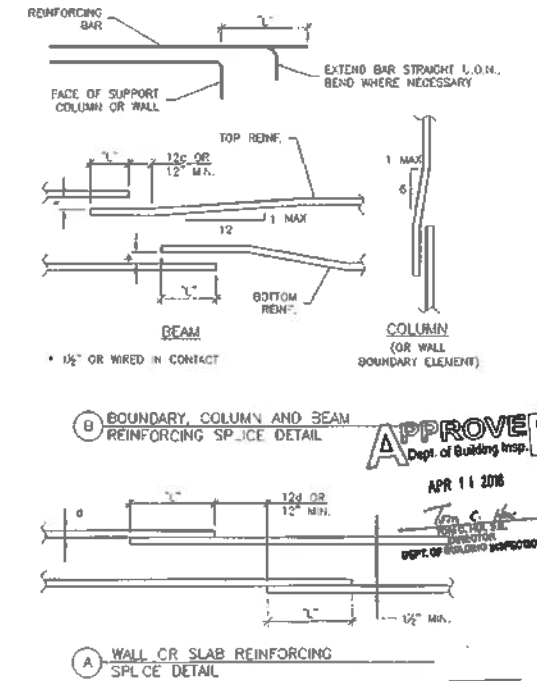
3 TYPICAL STEP IN SLAB ON GRADE DETAILS
 SCALE: 1-1/2"=1'-0"



2 CONCRETE SLAB PLACEMENT ON GRADE METHOD
 SCALE: NOT TO SCALE



B PLACEMENT METHOD REQUIREMENTS
 SCALE: NOT TO SCALE



REINFORCING BAR SPLICE AND STRAIGHT DEVELOPMENT LENGTHS SCHEDULE
 NORMAL WEIGHT CONCRETE REF: ACI318-11

REINFORCING BAR DEVELOPMENT LENGTHS, L (IN)	CONCRETE CLASS	BAR SIZE (GR. 60)	NORMAL WEIGHT CONCRETE								
			#3	#4	#5	#6	#7	#8	#9	#10	#11
CLASS A & B STRAIGHT DEVELOPMENT LENGTHS, L (IN)	2,500	TOP	23"	31"	39"	47"	65"	78"	88"	98"	107"
		OTHER	18"	24"	30"	36"	53"	60"	68"	75"	83"
3,000	TOP	TOP	21"	28"	36"	43"	62"	71"	80"	89"	98"
		OTHER	16"	22"	27"	33"	48"	55"	62"	68"	75"
4,000	TOP	TOP	18"	25"	31"	37"	54"	62"	69"	77"	85"
		OTHER	14"	19"	24"	28"	42"	47"	53"	59"	65"
2,500	OTHER	TOP	30"	41"	51"	61"	89"	101"	114"	127"	139"
		OTHER	23"	31"	39"	47"	65"	78"	88"	98"	107"
3,000	TOP	TOP	28"	37"	46"	56"	81"	93"	104"	116"	127"
		OTHER	21"	28"	36"	43"	62"	71"	80"	89"	98"
4,000	TOP	TOP	24"	32"	40"	48"	70"	80"	90"	100"	110"
		OTHER	18"	25"	31"	37"	54"	62"	68"	77"	85"

NOTE: PROVIDE 30% LONGER LAP LENGTH FOR LIGHTWEIGHT CONCRETE.

NOTES:
 1. CLASS "A" SPLICES SHALL BE USED WHEN ONE-HALF OR LESS OF THE TOTAL REINFORCEMENT IS SPLICED WITHIN THE REQUIRED LAP LENGTH.
 2. CLASS "B" SPLICES SHALL BE USED WHEN MORE THAN ONE-HALF OF THE TOTAL REINFORCEMENT IS SPLICED WITHIN THE REQUIRED LAP LENGTH.
 3. #5 = NOMINAL DIAMETER OF A BAR.
 4. TOP BARS ARE HORIZONTAL REINFORCING WITH MORE THAN 12" OF CONCRETE BELOW THE BAR.
 5. OTHER BARS ARE ALL VERTICAL, ALL HORIZONTAL WALL REINFORCING, AND HORIZONTAL REINFORCING WITH LESS THAN 12" OF CONCRETE BELOW BAR.
 6. SMALLER BAR LAP LENGTH MAY BE USED WHEN SPLICING DIFFERENT SIZE BARS.
 7. LAP SPLICES ARE NOT PERMITTED IF MECHANICAL SPLICES ARE SHOWN.
 8. NON-CONTACT LAP SPLICED BARS SHALL NOT BE SPACED TRANSVERSELY FURTHER APART THAN 20% OF THE REQUIRED LAP LENGTH OR 6 INCHES.
 9. LAP TOP BARS AT MIDSPAN AND BOTTOM BARS AT SUPPORTS UNLESS OTHERWISE SHOWN.
 10. BUNDLED BAR SPLICES.
 11. INDIVIDUAL BAR SPLICES WITHIN THE BUNDLE SHALL NOT OVERLAP EACH OTHER.
 12. INCREASE LAP LENGTH 20% AT T-BEE BARS.
 13. INCREASE LAP LENGTH 33% AT P-OVER BARS.

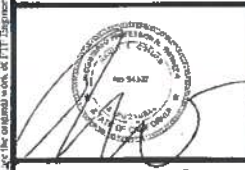
1 REINFORCING BAR SPLICE SCHEDULE AND NOTES
 SCALE: NOT TO SCALE

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**GREENWICH STREET
 RESIDENCE**
 1283 Greenwich Street
 San Francisco, CA 94109

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 DEPT. OF BUILDING INSPECTION
 CIVIL ENGINEERING DIVISION

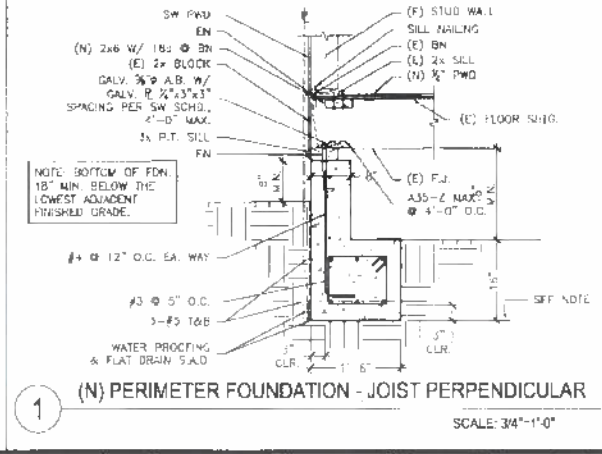
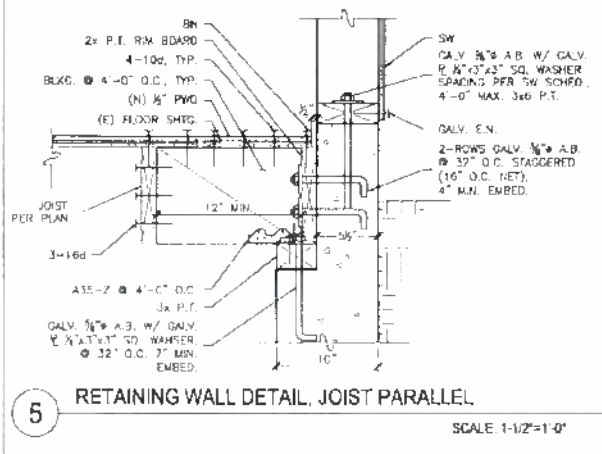
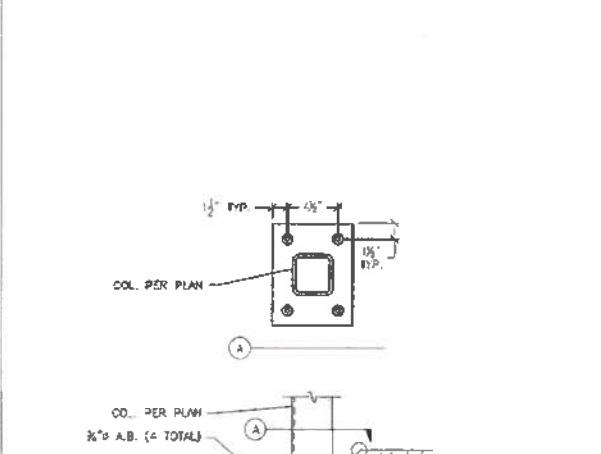
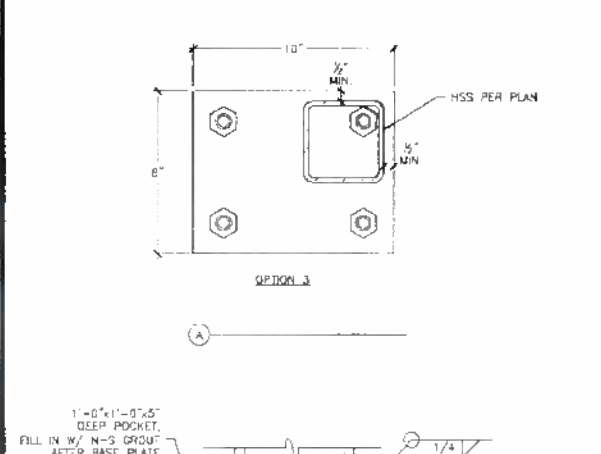
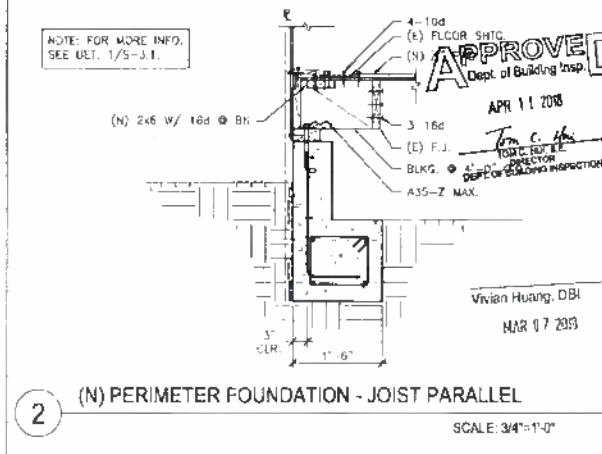
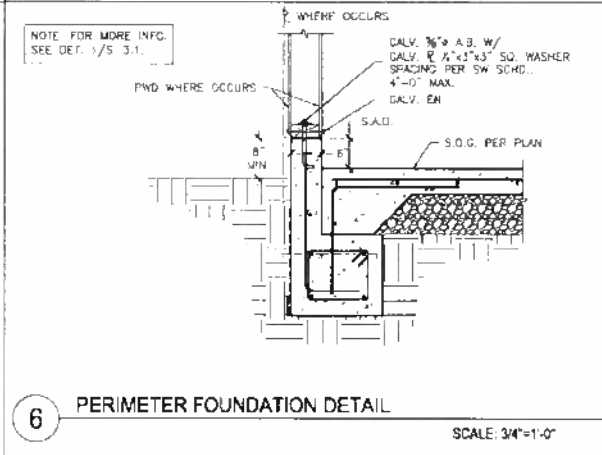
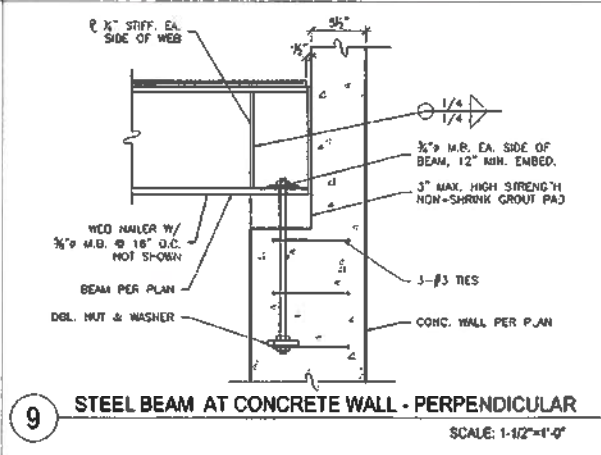
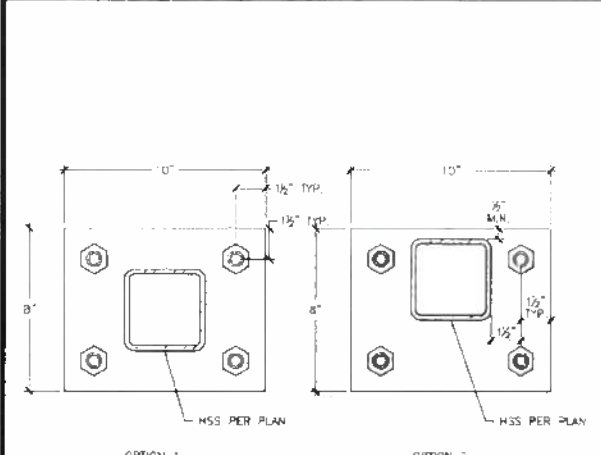
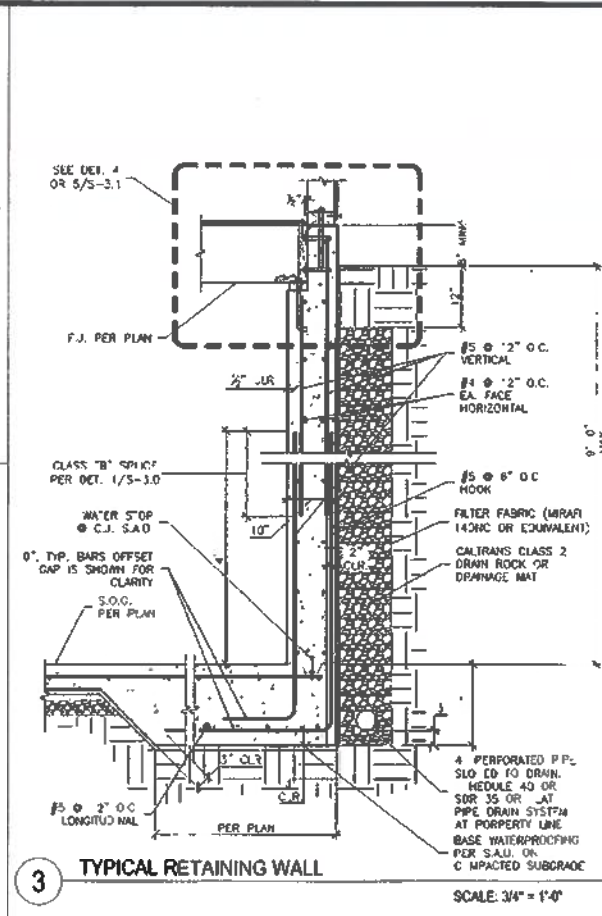
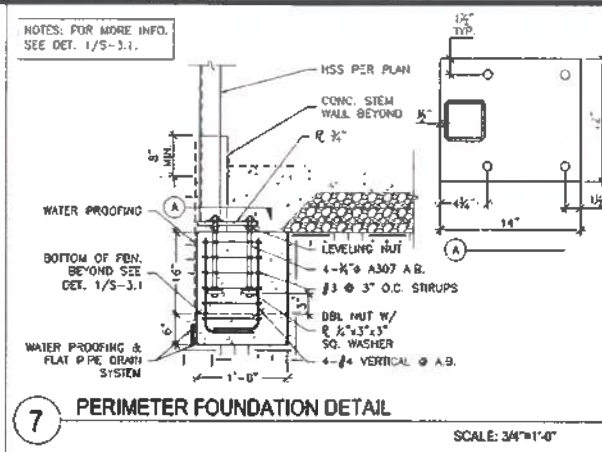
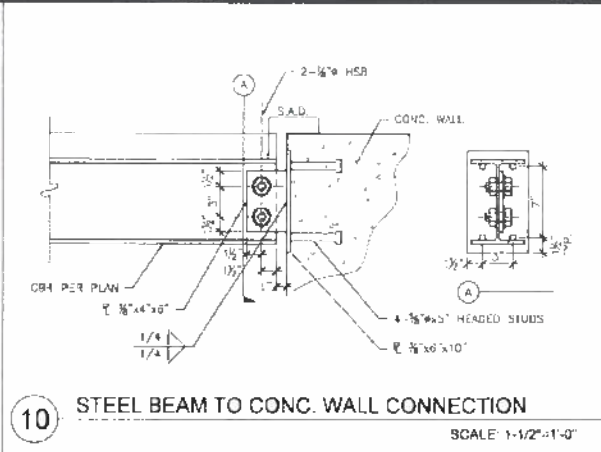
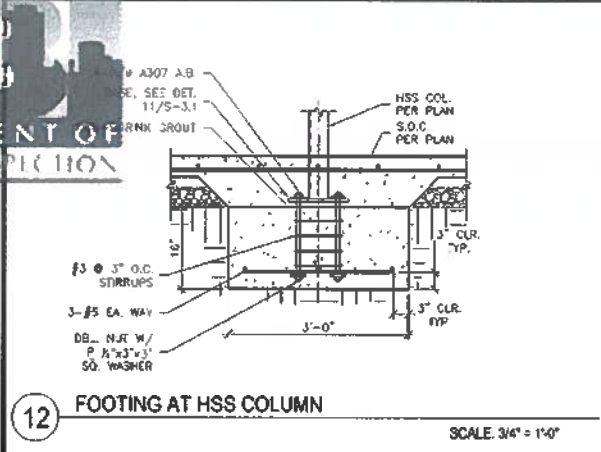


Issue: _____ Date: _____
 Schematic Design: 06.05.2014
 CD Coordination: 08.13.2015
 Building Permit Set: 11.06.2015
 Vtr. Bldg. Permit Set: 12.06.2016
 Arch. Rev. Set: 04.13.2017
 Arch. Rev. Set: 06.05.2017
 Roof Deck Rev.: 10.27.2017

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Concrete Details I

S-3.0



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APPROVED
 APR 11 2018
 DEPT. OF BUILDING INSPECTION
 DIRECTOR
 DEPT. OF BUILDING INSPECTION

Vivian Huang, DBI
 MAR 07 2018

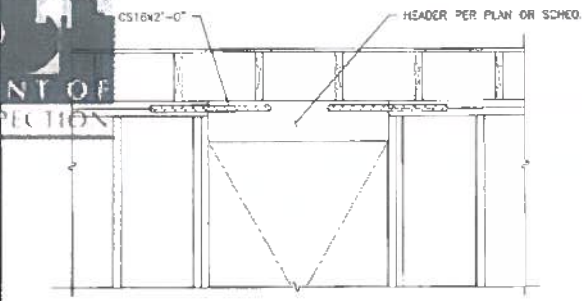
Schematic Design	06.05.2014
CD Coordination	08.13.2015
Building Permit Set	11.06.2015
Var. Bldg. Permit Set	12.06.2016
Arch. Rev. Set	04.13.20
Arch. Rev. Set	06.05.2017
Roof Deck Rev.	10.27.2017

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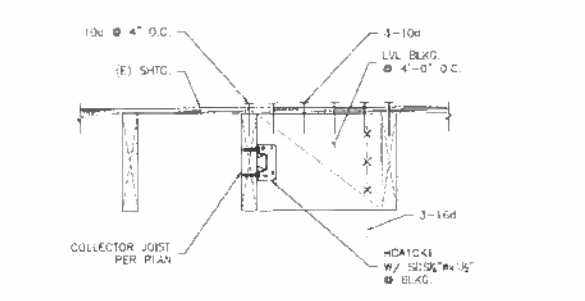
Concrete Details II

S-3.1

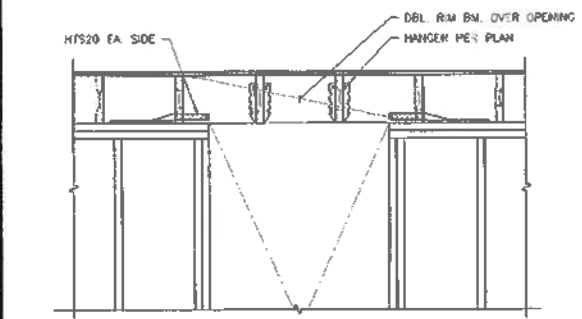




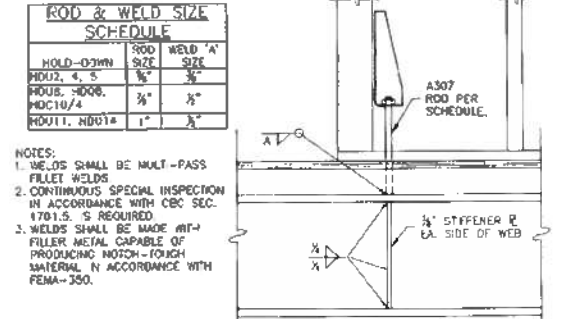
11 HEADER LET IN TO TOP PLATE
 SCALE: 3/4"=1'-0"



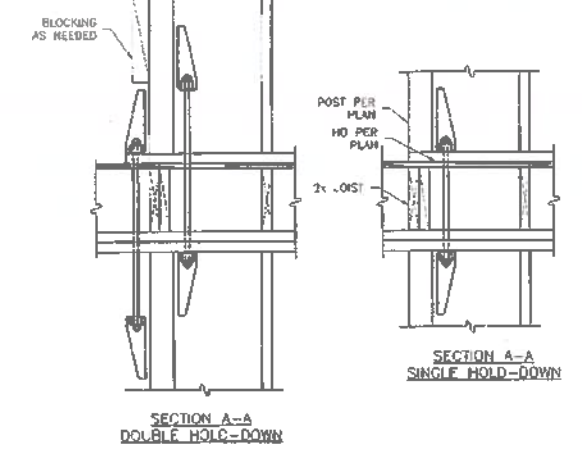
9 COLLECTOR JOIST AT (E) FLOOR
 SCALE: 1-1/2"=1'-0"



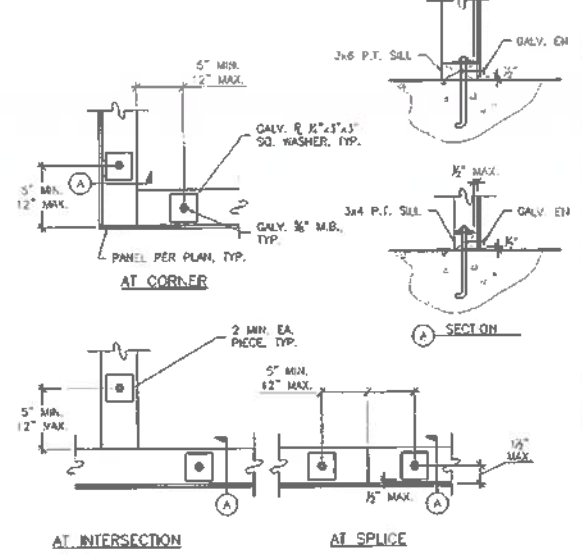
10 TYPICAL STUD WALL FRAMING ELEVATION
 SCALE: 3/4"=1'-0"



8 HOLD-DOWN AT STEEL BEAM
 SCALE: NOT TO SCALE



6 TYPICAL HOLD-DOWN BETWEEN FLOORS
 SCALE: NOT TO SCALE

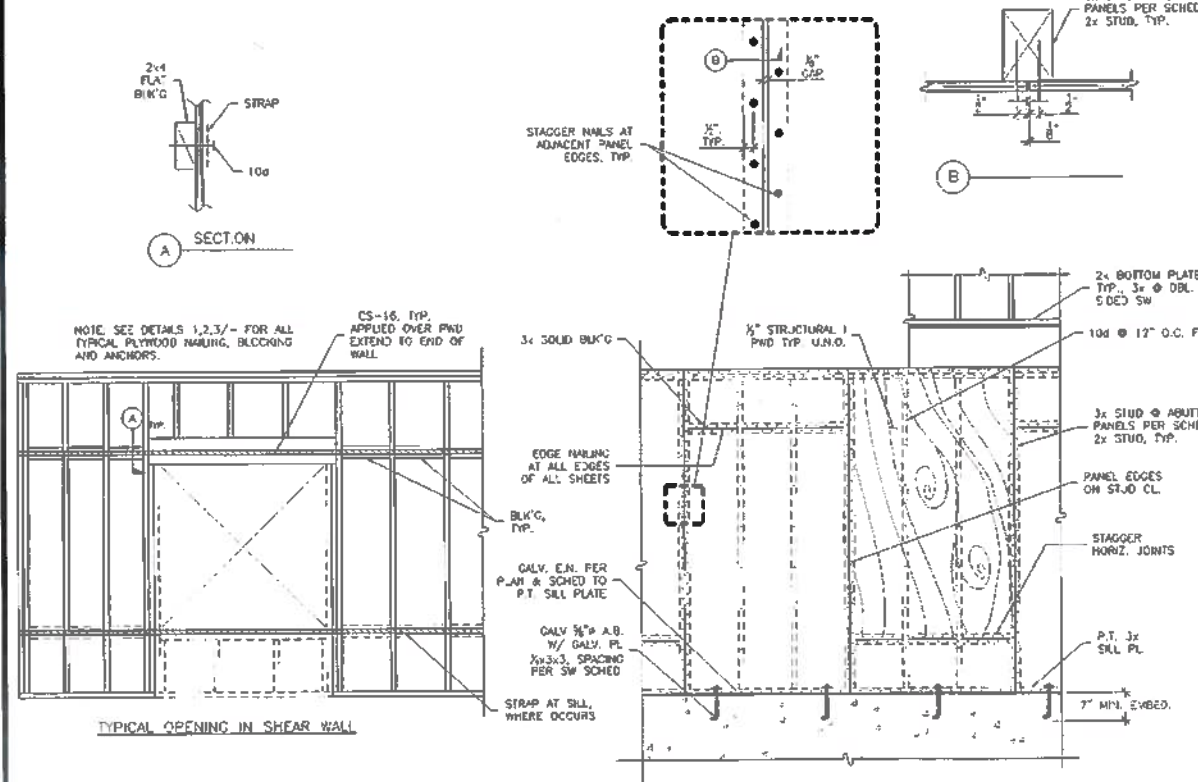


3 TYPICAL ANCHOR BOLT PLATES
 SCALE: NOT TO SCALE

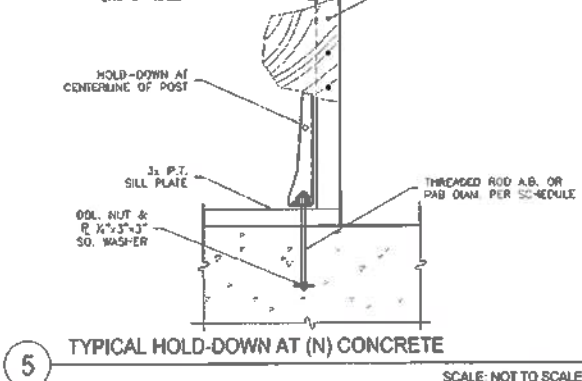
HOLD-DOWN SCHEDULE					
SIMPSON MODEL NO.	ANCHOR BOLT DIA.	ANCHOR EMBED.	DRILL & EPOXY EMBED	POST MIN.	PAB
HOU4, 5	5/8"	12"	10"	4x4	5
HOU8	7/8"	15"	13"	4x4	7
HOU8	7/8"	15"	13"	4x4	7
HDC10/4	7/8"	15"	13"	4x4	4
HOU11	1"	18"	15"	6x6	8
HOU14	1"	18"	15"	6x6	8

NOTES:
 1. ANCHOR BOLT MATERIAL SHALL BE ASTM A36 THREADED ROD OR ASTM A307 OR BETTER BOLTS, U.N.O.
 2. CONCRETE ANCHOR EMBEDMENT IS INTO CONCRETE FOOTING, WALL OR SLAB (NOT INCLUDING CURB HEIGHT) U.N.O.
 3. PROVIDE ALL REQUIRED FASTENERS TO POST OR STUDS PER SIMPSON CATALOG AND ICC-ESR-2330 REPORT.

2 HOLD-DOWN SCHEDULE
 SCALE: NOT TO SCALE



7 TYPICAL OPENING IN SHEAR WALL
 SCALE: 1/2"=1'-0"



5 TYPICAL HOLD-DOWN AT (N) CONCRETE
 SCALE: NOT TO SCALE

SHEAR WALL SCHEDULE					
TYPE	EN.	ASS. CUP	SDS 1/2"x3"x3" SILL CONN.	1/2" SILL BOLTS	SPECIAL FRAMING
[Symbol]	2' O.C.	6' O.C.	4' O.C.	16' O.C.	PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES
[Symbol]	3' O.C.	8' O.C.	6' O.C.	24' O.C.	PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES
[Symbol]	4' O.C.	8' O.C.	6' O.C.	32' O.C.	PROVIDE 3x FRAMING AT ADJOINING PANEL EDGES
[Symbol]	6' O.C.	12' O.C.	12' O.C.	48' O.C.	
[Symbol]	2' O.C.	N/A	2' O.C.	12' O.C.	SEE NOTES 6 & 7
[Symbol]	3' O.C.	N/A	3' O.C.	12' O.C.	SEE NOTES 6 & 7
[Symbol]	4' O.C.	5' O.C.	4' O.C.	16' O.C.	SEE NOTES 6 & 7

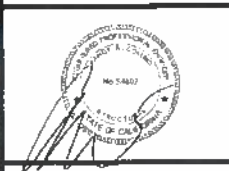
NOTES:
 1. ALL PANELS SHALL BE APA-PRG STRUCT-1 PLYWOOD.
 2. NAILS SHALL BE 10# COMMON (3"O.C. @ 48").
 3. BLOCK ALL UNSUPPORTED EDGES OF SHEATHING PANELS.
 4. FIELD NAILING IS 10# @ 12" O.C., TYPICAL.
 5. SILL BOLTS SHALL HAVE A 1/2"x3"x3" GALVANIZED FLANGE WASHER & SHALL BE EMBEDDED 7" MIN. INTO CONCRETE, NOT INCLUDING CURB HEIGHT.
 6. AT DOUBLE-SIDED SHEARWALLS PANEL JOINTS SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS AT DOUBLE-SIDED SHEAR WALLS.
 7. AT DOUBLE-SIDED SHEARWALLS PROVIDE 3x FRAMING FOR ALL SILLS, BOTTOM PLATES, TOP PLATES, RM JOISTS, STUDS, AND BLOCKING (INCL THRU FLOOR BLOCKING).

1 SHEAR WALL SCHEDULE
 SCALE: NOT TO SCALE

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Arch. Rev. Set	06.05.2017
Roof Deck Rev.	10.27.2017

Scale: AS NOTED
 Job No. 14-100

Framing Details I
S-4.0

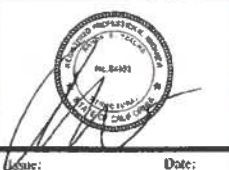


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**GREENWICH STREET
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RECEIVED
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 OF A PERMITS REVIEW FOR
 ACCEPTANCE

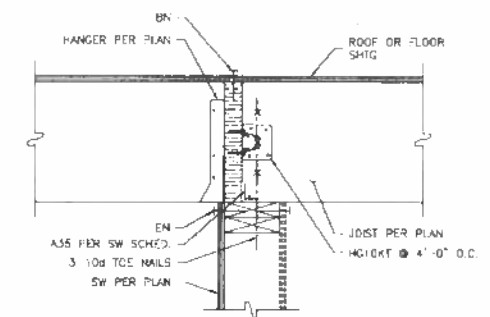


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Roof Deck Rev.	10.27.2017

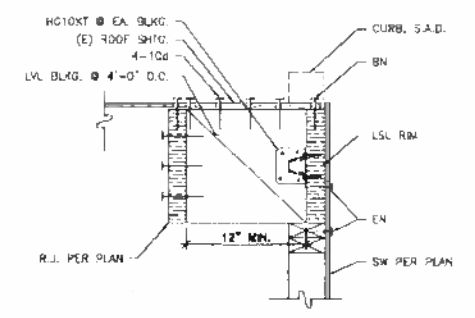
Scale: AS NOTED
 Job No. 14-100

Framing Detail III

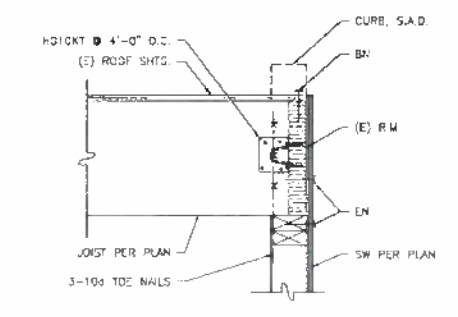
S-4.2



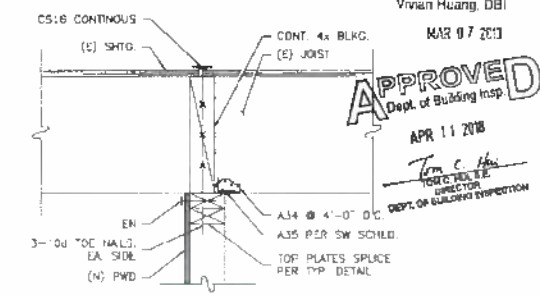
4 EXTERIOR SHEARWALL - BEARING
 SCALE: 1-1/2" = 1'-0"



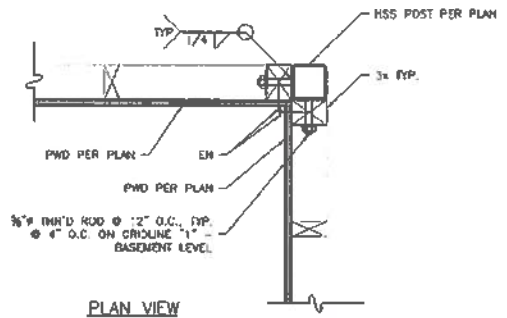
3 PARAPET AT ROOF JOISTS - BEARING
 SCALE: 1-1/2" = 1'-0"



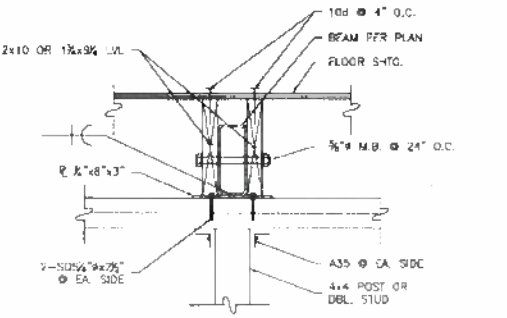
2 PARAPET AT ROOF JOISTS - BEARING
 SCALE: 1-1/2" = 1'-0"



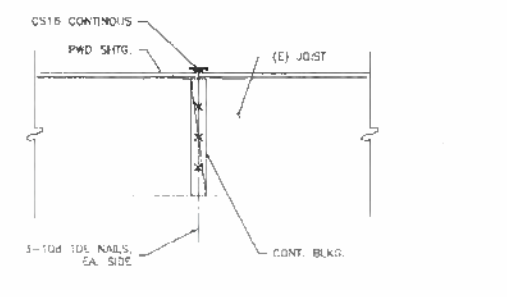
1 SHEARWALL - BEARING AT (E) INTERIOR WALL
 SCALE: 1-1/2" = 1'-0"



7 SHEAR WALL AT CORNER
 SCALE: 1-1/2" = 1'-0"

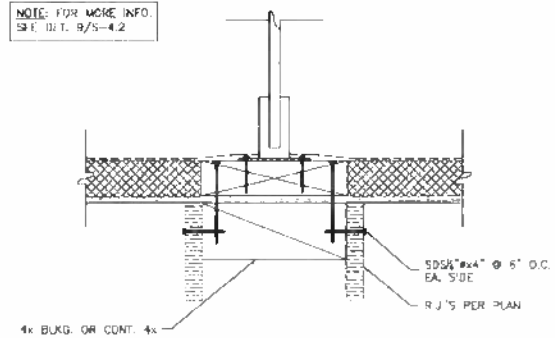


6 HSS BEAM AT WALL
 SCALE: 1-1/2" = 1'-0"

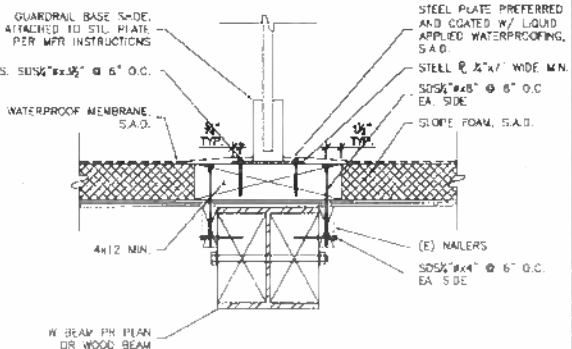


5 COLLECTOR DETAIL FOR PERPENDICULAR TO FRAMING
 SCALE: 1-1/2" = 1'-0"

8 NOT USED
 SCALE: N.T.S.



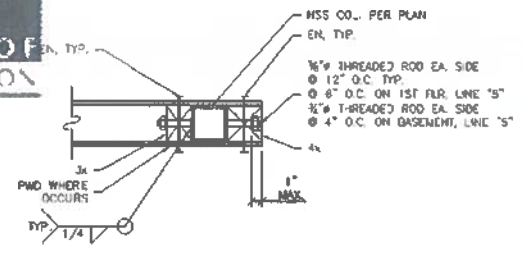
10 GLASS GUARDRAIL CONNECTION AT ROOF JOISTS
 SCALE: 1-1/2" = 1'-0"



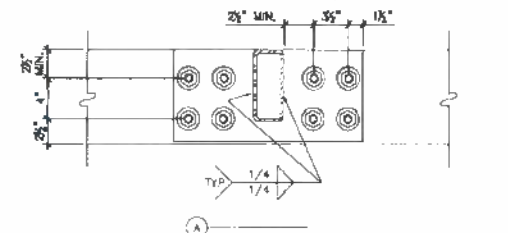
9 GLASS GUARDRAIL CONNECTION AT ROOF BEAM'S
 SCALE: 1-1/2" = 1'-0"

NOTE: FOR MORE INFO. SEE DET. 9/S-4.2

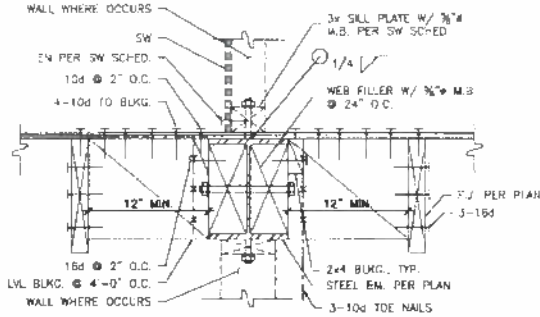




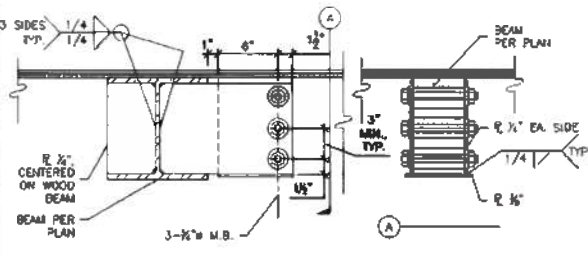
14 HSS AS PWD SW HOLDOWN SCALE: 1-1/2" = 1'-0"



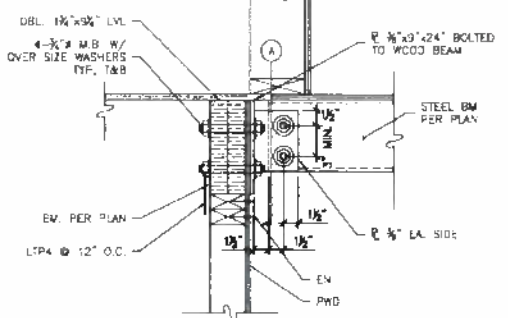
7 STRAP AT CUT TOP PLATE SCALE: 1-1/2" = 1'-0"



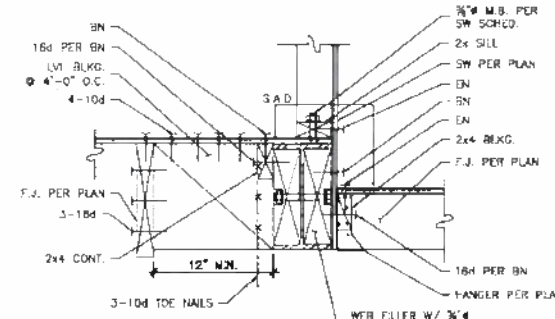
4 STEEL BEAM PARALLEL W/ FRAMING SCALE: 1-1/2" = 1'-0"



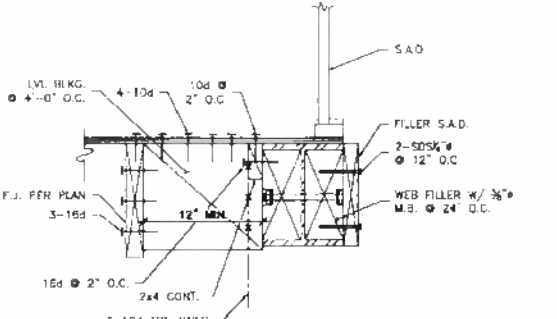
13 WOOD BEAM AT STEEL BEAM WITHOUT NAILER SCALE: 1-1/2" = 1'-0"



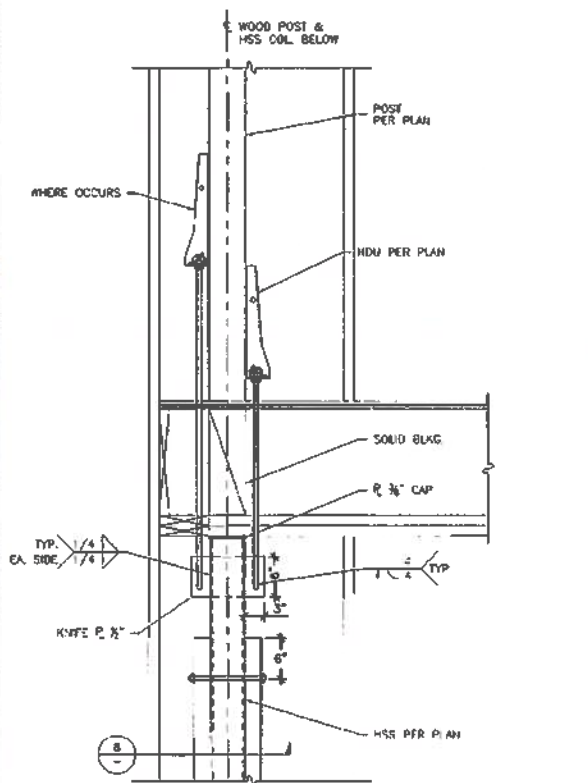
11 STEEL BEAM TO WOOD BEAM CONNECTION SCALE: 1-1/2" = 1'-0"



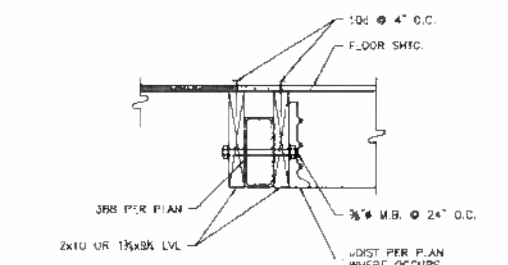
6 BALCONY FRAMING DETAIL SCALE: 1-1/2" = 1'-0"



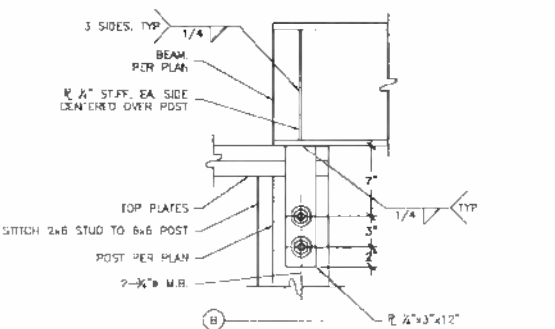
3 WALL @ STEEL BEAM DETAIL SCALE: 1-1/2" = 1'-0"



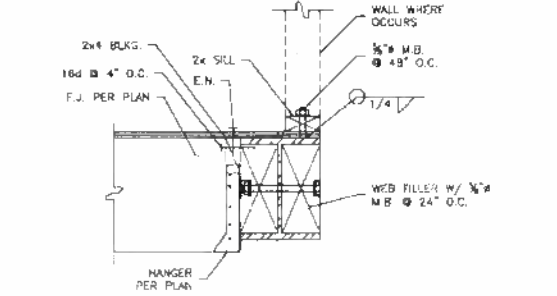
12 HOLDOWNS AT HSS BETWEEN FLOOR SCALE: 1" = 1'-0"



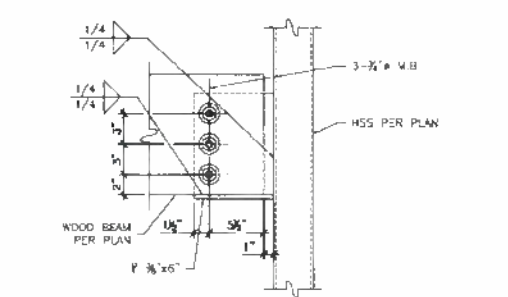
10 DRAG BEAM AT STAIRS SCALE: 1-1/2" = 1'-0"



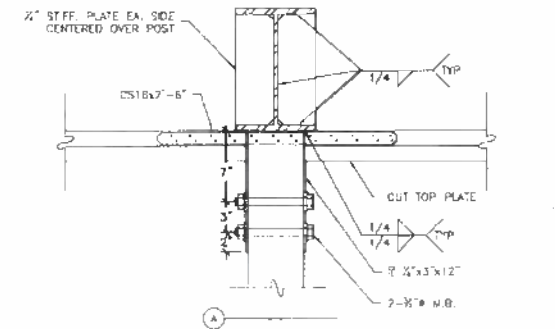
5 STEEL BEAM AT WOOD POST SCALE: 1 1/2" = 1'-0"



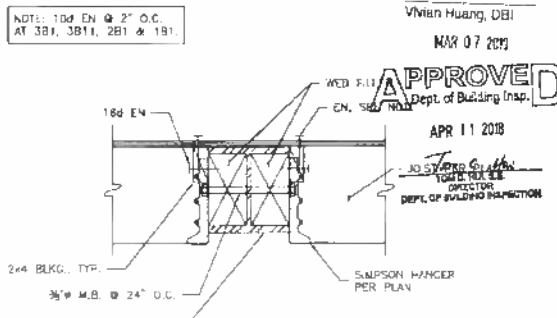
2 WALL AT STEEL BEAM DETAIL SCALE: 1-1/2" = 1'-0"



9 WOOD BEAM AT HSS POST SCALE: 1-1/2" = 1'-0"



8 HSS AS PWD SW HOLDOWN SCALE: 1-1/2" = 1'-0"



1 STEEL BEAM AT FLOOR JOISTS - NO NAILER SCALE: 1-1/2" = 1'-0"

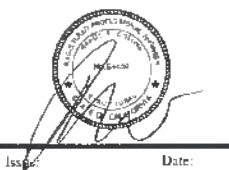
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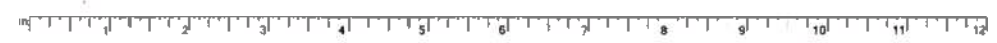
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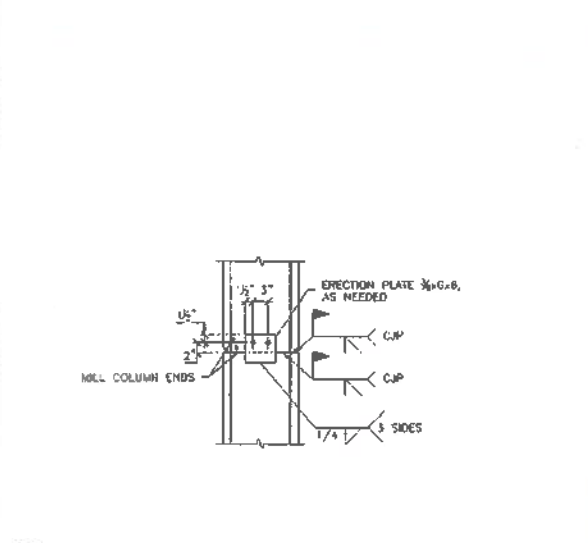
Scale: AS NOTED
 Job No. 14-100

Steel With
 Wood Details
S-5.0

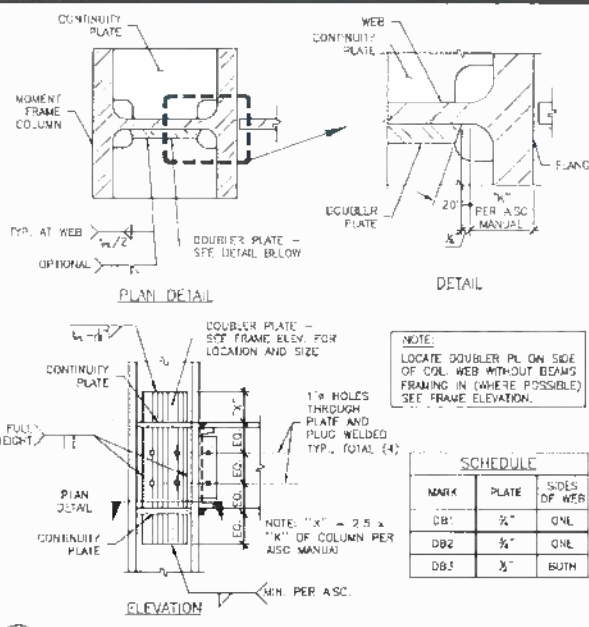


MOMENT FRAME NOTES:
MOMENT FRAME BEAM-COLUMN CONNECTIONS SHALL BE REDUCED BEAM SECTION (RBS) CONNECTIONS, IN ACCORDANCE WITH AISC 341-10 AND AISC 358-10. MINIMUM REQUIREMENTS AS FOLLOWS:
SHALL BE PERFORMED IN ACCORDANCE WITH AISC 341-10 APPENDIX W. WELDS USED IN MEMBERS AND CONNECTIONS OF THE SEISMIC LOAD RESISTING SYSTEM SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM V-NOTCH (CVN) TOUGHNESS OF 20 FT-LB AT 0° F. SEE BELOW FOR ADDITIONAL REQUIREMENTS FOR DEMAND-CRITICAL WELDS.
WITHIN THE PROTECTED ZONE, DISCONTINUITIES CREATED BY FABRICATION OR ERECTION OPERATIONS, SUCH AS JACK WELDING, ERECTION JOBS, AIR-ARC GROUTING AND THERMAL CUTTING SHALL BE REPAIRED AS REQUIRED BY THE ENGINEER OF RECORD.
WELDED SHEAR STUDS AND METAL DOCKING ATTACHMENTS THAT PENETRATE THE BEAM FLANGE SHALL NOT BE PLACED ON BEAM FLANGES WITHIN THE PROTECTED ZONE.
BEHIND ARC SPOT WELDS AS REQUIRED TO SECURE DOCKING SHALL BE PERMITTED.
WELDED, BOLTED, SCREWED OR SHOT-IN ATTACHMENTS FOR PERIMETER ANGLES, EXTERIOR FACIAGES, PARTITIONS, SUCT WORK, PIPING OR OTHER CONSTRUCTION SHALL NOT BE PLACED WITHIN THE PROTECTED ZONE.
MAXIMUM INTER-PASS TEMPERATURES SHALL NOT EXCEED 550° F, MEASURED AT A DISTANCE NOT EXCEEDING 3 INCHES FROM THE START OF THE WELD PASS.
NO "WELD BUMPS" ARE ALLOWED.
WHERE PRACTICABLE, WELD TABS SHALL EXTEND BEYOND THE EDGE OF THE JOINT A MINIMUM OF 1" OR THE THICKNESS OF THE PART, WHICHEVER IS GREATER. EXTENSIONS NEED NOT EXCEED 2". WHERE USED, WELD TABS SHALL BE REMOVED TO WITHIN 1/4" OF THE BASE METAL SURFACE, EXCEPT AT CONTINUITY PLATES, WHERE REMOVAL TO WITHIN 1/2" OF THE PLATE EDGE IS ACCEPTABLE, AND THE END OF THE WELD FINISHED. REMOVAL SHALL BE BY AIR CARBON ARC CUTTING, GRINDING, CHIPPING, OR INTERNAL CUTTING. THE PROCESS SHALL BE CONTROLLED TO MINIMIZE ERRANT GROUTING. THE EDGES WHERE WELD TABS HAVE BEEN REMOVED SHALL BE FINISHED TO A SURFACE ROUGHNESS OF 500 MICRO-INCHES OR BETTER. GRINDING TO A FLUSH CONDITION IS NOT REQUIRED.
BOTTOM FLANGE WELD STRENGTHENING: WHEN USING WELD ACCESS HOLES TO FACILITATE CAP GROOVE WELDS OF BEAM FLANGES TO COLUMN FLANGES OR CONTINUITY PLATES, THE GROOVE WELD SHALL BE SEQUENCED AS FOLLOWS:
A. STARTS AND STOPS SHALL NOT BE PLACED DIRECTLY UNDER THE BEAM WEB.
B. EACH LAYER SHALL BE COMPLETED ACROSS THE FULL WIDTH OF THE FLANGE BEFORE BEGINNING THE NEXT LAYER.
C. FOR EACH LAYER, THE WELD STARTS AND STOPS SHALL BE ON THE OPPOSITE SIDE OF THE BEAM WEB, AS COMPARED TO THE PREVIOUS LAYER.
ADDITIONAL WELDING PROVISIONS FOR DEMAND CRITICAL WELDS ONLY:
A. THE FOLLOWING WELDS ARE DEMAND-CRITICAL WELDS:
1. CJP WELDS BETWEEN COLUMNS.
2. CJP WELDS OF BEAM FLANGES TO COLUMNS.
3. WELDS OF SINGLE PLATE SHEAR CONNECTOR TO COLUMNS.
B. WELDS OF BEAM WEBS TO COLUMNS.
C. COLUMN SPLICE WELDS.
D. ALL DEMAND-CRITICAL WELDS SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CVN TOUGHNESS OF 20 FT-LB AT -20° F AND 40 FT-LB AT 70° F.
E. WELDING PROCESS SHALL BE LIMITED TO SMAW, GMAW, FCAW, AND SAW.
F. ELECTRODES SHALL BE PROVIDED IN PACKAGING THAT LIMITS THE ABILITY OF THE ELECTRODE TO ABSORB MOISTURE.
TESTING AND INSPECTION REQUIREMENTS:
A. INSPECTION POINTS AND FREQUENCIES SHALL BE AS PROVIDED IN THE FOLLOWING TABLES. THE FOLLOWING ENTRIES ARE USED IN THE TABLES:
OBSERVE (O) - THE INSPECTOR SHALL OBSERVE THESE FUNCTIONS ON A RANDOM DAILY BASIS. WELDING OPERATIONS NEED NOT BE DELAYED PENDING OBSERVATIONS.
PERFORM (P) - THESE INSPECTIONS SHALL BE PERFORMED PRIOR TO THE FINAL ACCEPTANCE OF THE ITEM.
DOCUMENT (D) - THE INSPECTOR SHALL PREPARE REPORTS INDICATING THAT THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS FOR SHOP FABRICATION. THE REPORTS SHALL INDICATE THE PIECE MARK OF THE PIECE INSPECTED, FOR FIELD WORK, THE REPORT SHALL INDICATE THE REFERENCE GRID LINES AND FLOOR OR ELEVATION INSPECTED. WORK NOT IN COMPLIANCE WITH THE CONTRACT DOCUMENTS AND WHETHER THE NONCOMPLIANCE HAS BEEN SATISFACTORILY REPAIRED SHALL BE NOTED IN THE INSPECTOR REPORT.
B. VISUAL INSPECTION OF WELDING SHALL BE THE PRIMARY METHOD USED TO CONFIRM THAT THE PROCEDURES, MATERIALS, AND WORKMANSHIP INCORPORATED IN CONSTRUCTION ARE THOSE THAT HAVE BEEN SPECIFIED AND APPROVED FOR THE PROJECT.
C. REQUIRED NON-DESTRUCTIVE TESTING:
I. K-AREA: WHEN WELDING OF DOUBLER PLATES, CONTINUITY PLATES, OR STIFFENERS HAS BEEN PERFORMED IN THE K-AREA, THE WEB SHALL BE TESTED FOR CRACKS USING MAG PARTICLE TESTING (MT). THE MT INSPECTION AREA SHALL INCLUDE THE K-AREA BASE METAL WITHIN 3" OF THE WELD.
II. CJP GROOVE WELDS: IT SHALL BE PERFORMED ON 100% OF CJP GROOVE WELDS, AND MT SHALL BE PERFORMED ON 25% OF ALL BEAM-TO-COLUMN CJP GROOVE WELDS.
III. RBS SECTION REPAIR: MT SHALL BE PERFORMED ON ANY WELD AND ADJACENT AREA OF THE RBS PLASTIC HINGE REGION THAT HAS BEEN REPAIRED BY WELDING, OR THE BASE METAL OF THE RBS PLASTIC HINGE REGION IF A SHARP NOTCH HAS BEEN REMOVED BY GRINDING.
IV. WELD TAB REMOVAL SITES: MT SHALL BE PERFORMED ON THE ENDS OF WELDS FROM WHICH THE WELD TABS HAVE BEEN REMOVED, EXCEPT FOR CONTINUITY PLATE WELD TABS.

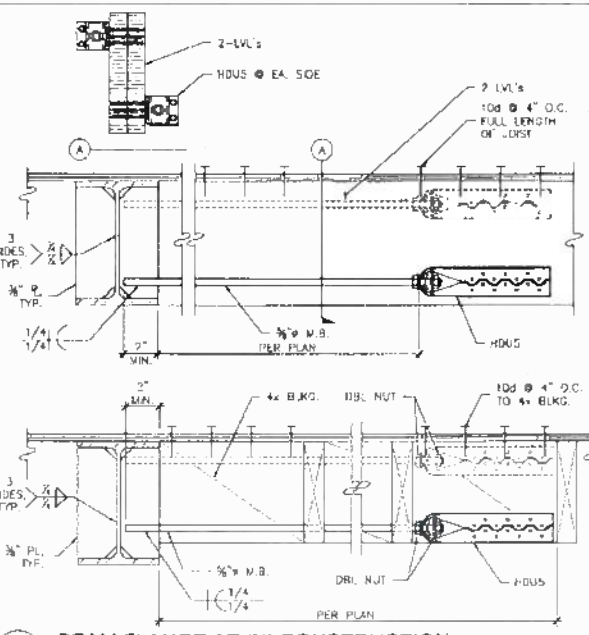
9 MOMENT FRAME NOTES SCALE: NOT TO SCALE



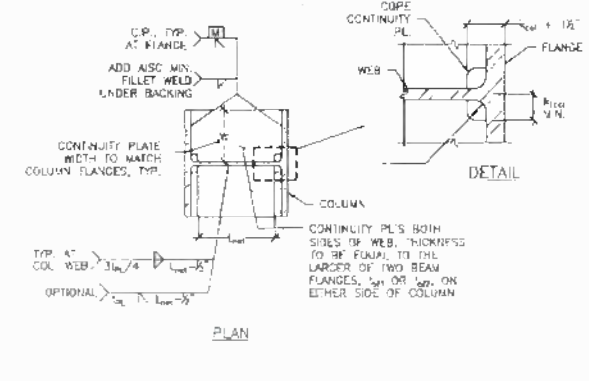
8 COLUMN SPLICE (S.F.R.S.) SCALE: NOT TO SCALE



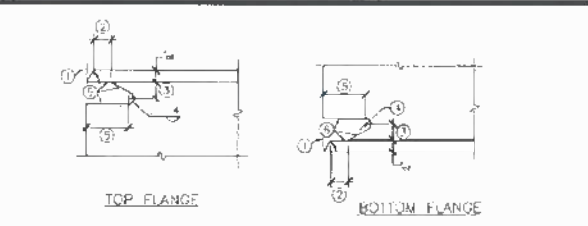
7 WEB DOUBLER PLATE (S.F.R.S.) SCALE: NOT TO SCALE



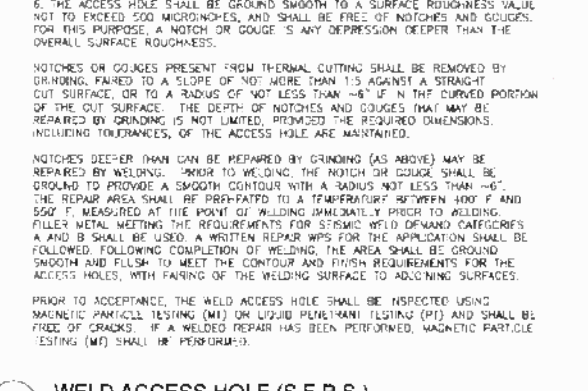
6 BEAM FLANGE AT (N) CONSTRUCTION SCALE: 1-1/2" = 1'-0"



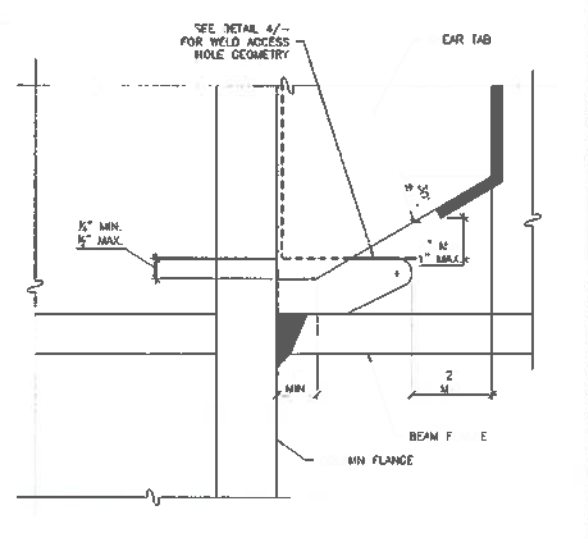
5 CONTINUITY PLATE (S.F.R.S.) SCALE: NOT TO SCALE



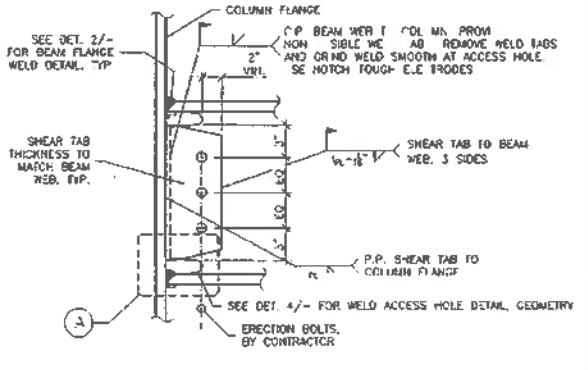
4 WELD ACCESS HOLE (S.F.R.S.) SCALE: NOT TO SCALE



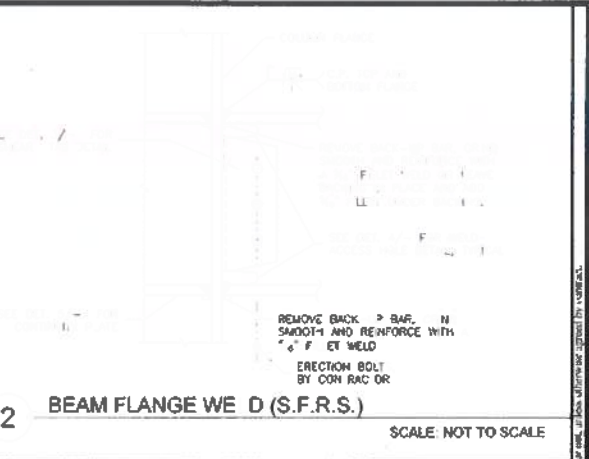
3 SHEAR TAB WELD (S.F.R.S.) SCALE: NOT TO SCALE



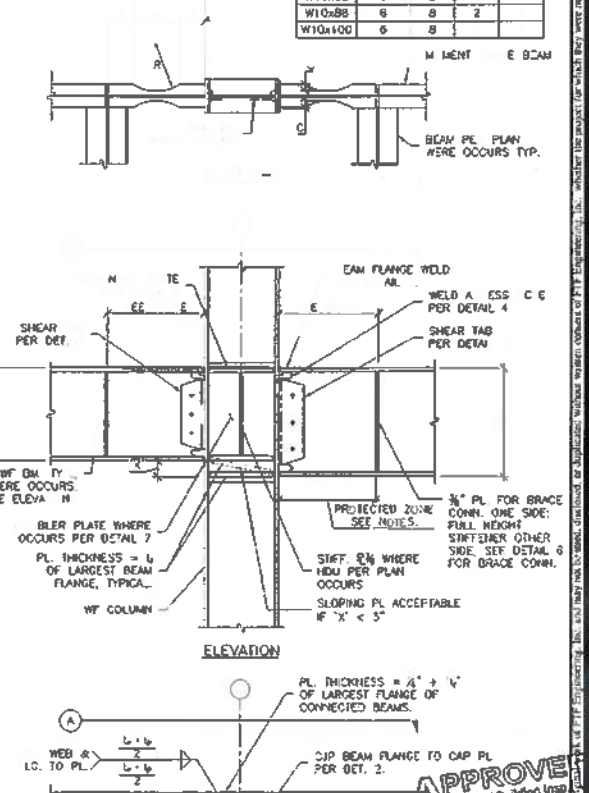
2 BEAM FLANGE WELD (S.F.R.S.) SCALE: NOT TO SCALE



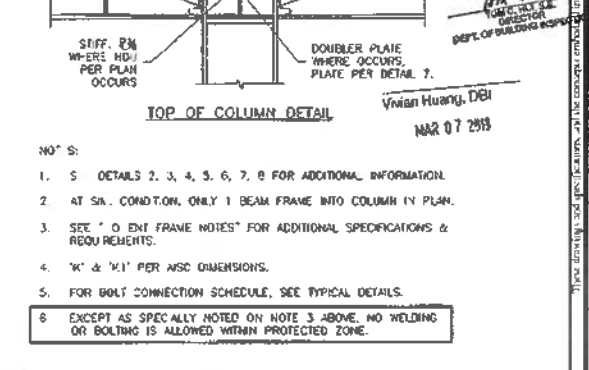
1 RBS-W BEAM TO COLUMN MOMENT CONNECTION (S.L.F.R.S.) SCALE: 3/4\"/>



1 RBS-W BEAM TO COLUMN MOMENT CONNECTION (S.L.F.R.S.) SCALE: 3/4\"/>



1 RBS-W BEAM TO COLUMN MOMENT CONNECTION (S.L.F.R.S.) SCALE: 3/4\"/>



1 RBS-W BEAM TO COLUMN MOMENT CONNECTION (S.L.F.R.S.) SCALE: 3/4\"/>

FTF ENGINEERING
FTF ENGINEERING, INC
1916 McAllister Street
San Francisco, CA 94115
Tel - 415-931-8480
Fax - 415-931-8461
www.ftfengineering.com

NO CHANGES, FOR REF. ONLY

GREENWICH STREET RESIDENCE
1283 Greenwich Street
San Francisco, CA 94109

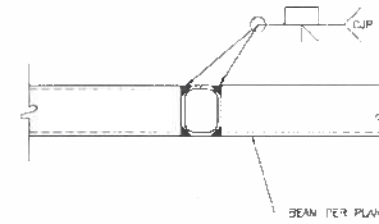
RECEIVED
NOV 13 2017
OFFICE OF BUILDING INSPECTION
THIS PLAN MEETS THE QUALITY REQUIREMENTS FOR APPROVAL

APPROVE
Dept. of Building Insp
APR 11 2018
Jin C. He
CHIEF OF DEPT. OF BUILDING INSPECTION

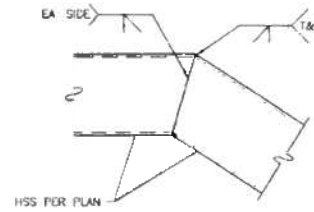
Issue: Date:
Schematic Design 06.05.2014
CD Coordination 08.13.2015
Building Permit Set 11.06.2015
Var. Bldg. Permit Set 12.06.2016
Arch. Rev. Set 04.13.2017
Arch. Rev. Set 06.05.2017
Roof Deck Rev. 10.27.2017

Moment Frame Details

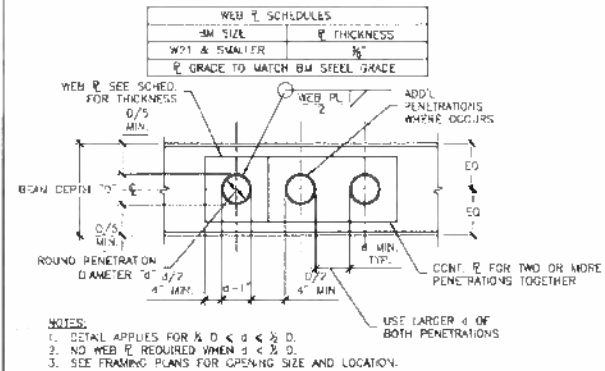
S-6.0



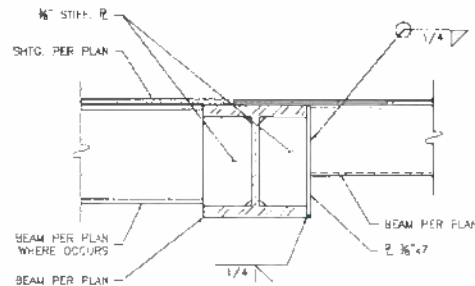
4 HSS TO HSS MOMENT CONNECTION
 SCALE: 1-1/2" = 1'-0"



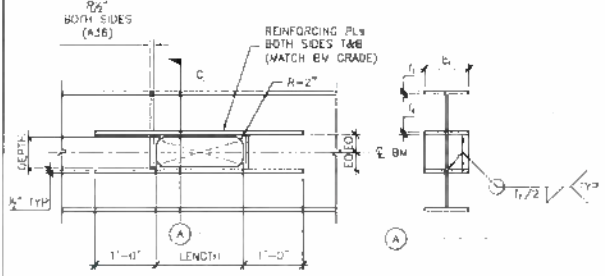
7 BENT HSS CONNECTION
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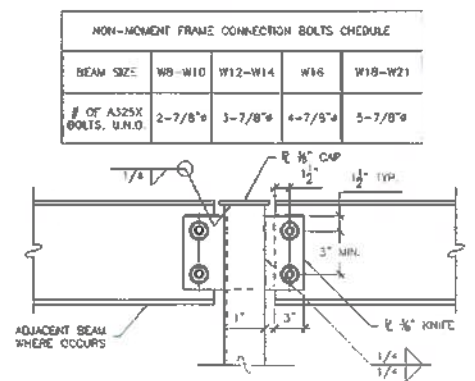
3 ROUND PENETRATION IN BEAM WEB DETAIL
 SCALE: N.T.S.



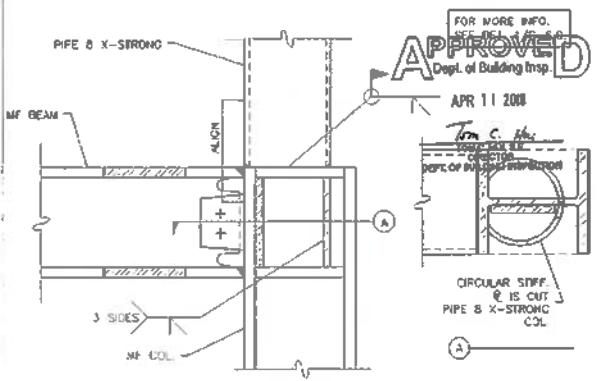
6 TYPICAL HSS BEAM TO WF BEAM CONNECTION
 SCALE: 1-1/2" = 1'-0"



2 SQUARE & RECTANGULAR PENETRATION IN BEAM WEB DETAIL
 SCALE: N.T.S.



5 TYPICAL HSS TO BEAM CONNECTION
 SCALE: 1-1/2" = 1'-0"



1 PIPE COLUMN AT MF
 SCALE: 1-1/2" = 1'-0"

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 fax - 415-931-6461
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**GREENWICH STREET
 RESIDENCE**
 1283 Greenwich Street
 San Francisco, CA 94109

RECEIVED
 NOV 13 2007
 DEPT. OF BUILDING INSPECTION
 THIS PLAN NEEDS THE SEAL OF A LICENSED PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL

Issue: _____ Date: _____

Schematic Design 06.05.2014
 CD Coordination 08.13.2015
 Building Permit Set 11.06.2015
 Var. Bldg. Permit Set 12.06.2016
 Arch. Rev. Set 04.13.2017
 Arch. Rev. Set 06.05.2017
 Roof Deck Rev. 10.27.2017

Scale: AS NOTED
 Job No. 14-100

Steel Details II

S-6.2



BRIEF(S) SUBMITTED BY RESPONDENT DEPARTMENT(S)



BOARD OF APPEALS BRIEF

HEARING DATE: May 31, 2023

May 25, 2023

Appeal No.: 23-017
Project Address: 1281-1283 Greenwich Street
Subject: Notice of Violation and Penalty Decision (NoVPD) for Unauthorized Dwelling Unit Merger
Staff Contact: Corey Teague, Zoning Administrator – (628) 652-7328
corey.teague@sfgov.org

Introduction

The Notice of Violation and Penalty Decision (NoVPD) being appealed was issued correctly based on all the relevant documentation and facts related to this case. The unpermitted internal connection between the two dwelling units in the subject building represents an unauthorized merger. The Appellant's primary argument rests on the issuance of a Zoning Administrator (ZA) Action Memo in 2015 that documented the original proposal's exemption from a Mandatory Discretionary Review process. However, as detailed below, that original proposal to merge the 2 existing units was abandoned by the previous property owner, and there is no document or authorization issued by the City to legally merge the 2 dwelling units.

Background

The Planning Department received a complaint in July 2022 that the two legal dwelling units in the building at 1281-1283 Greenwich Street had been merged into a single dwelling unit without the proper authorizations. After confirming that the dwelling units had been merged by removing a required wall that had enclosed an internal staircase in the building, the Department issued a Notice of Violation (NOV) on January 24,

Board of Appeals Brief
Appeal No. 23-017 (1281-1283 Greenwich Street)
NoPD for Unauthorized Dwelling Unit Merger
Hearing Date: May 31, 2023

2023. The property owner appealed to the ZA, and a hearing was held on February 28, 2023. The property owners did not dispute that the merger had occurred but argued that the ZA Action Memo had authorized the merger. The ZA issued the NoVPD on April 6, 2023, confirming the violation for the unauthorized dwelling unit merger (attached to the appeal filed on April 20, 2023).

The following timeline provides the key dates, actions, and context related to the unauthorized dwelling unit merger and the subsequent NoVPD that is the subject of this appeal.

TIMELINE:

- On **October 17, 2014**, Building Permit (BP) No. 201410179272 (“the permit”) was submitted with an original scope of work to merge the 2-unit building into a single-family home. At that time, such a merger triggered a Mandatory Discretionary Review (MDR) by the Planning Commission, per Planning Code Section 317 (in some cases, a merger required a Conditional Use Authorization).
- On **October 29, 2014**, an application for Mandatory Discretionary Review was submitted for the proposed dwelling unit merger.
- On **May 21, 2015**, a Zoning Administrator Action Memo was issued to confirm and document that the permit met the criteria of the Planning Code necessary to be exempted from the MDR due to the high appraised value of the property (See Appellant’s Exhibit 1). Please note that this administrative determination by the ZA only allowed the permit to move forward without the MDR. It did not remove any other requirements or discretion applicable to the permit.
- On **June 25, 2015**, the Board of Supervisors adopted Interim Controls to require a Conditional Use Authorization (CUA) for all dwelling unit mergers (See Appellant’s Exhibit 7).
- From **June 26 to July 26, 2015**, the required neighborhood notice for the permit was conducted showing the proposed merger. This notice was prepared and processed prior to the adoption of the interim controls.

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- On **July 14, 2015**, the Planning Department notified the applicant of the interim controls and new CUA requirement for the proposed dwelling unit merger (See Exhibit A). The property owners chose not to apply for a CUA for the merger and the permit and plans were subsequently revised to abandon the proposed merger and be only a renovation to the two existing units (the face of the permit was revised by hand, including reducing the estimated construction cost down from \$1.5 M to \$450,000). (See Exhibit B)
- On **August 19, 2015**, the Planning Department approved the permit with the following note: “Dwelling Unit Merger is not permitted under this permit. Two (2) DU [Dwelling Units] to remain.”
- On **November 12, 2015**, the permit was issued by DBI with a scope of work for “INTERIOR REMODEL & SEISMIC UPGRADE. EXPAND EXISTING BASEMENT FOR NEW ELEVATOR. NEW PRINCIPLE FACADE.” This permit lists the property as 2 dwelling units.
- On **March 11, 2016**, Ordinance No. 33-16 took effect, amending Planning Code Section 317 to require practically all dwelling unit removals to obtain a CUA.
- On **August 17, 2016**, the Zoning Administrator granted a rear yard variance for the subject project to fully enclose the partially-enclosed patio at the top floor.
- On **January 4, 2017**, the applicant confirmed the formal withdrawal of the Mandatory Discretionary Review application for the dwelling unit merger after this paperwork oversight was pointed out by the Planning Department (Exhibit C).
- On **December 26, 2018**, BP No. 201708154893 was completed with the following scope of work:
“Underground sprinkler. Ref app#201704204463. T.I. App#201612064294. N/A for Maher.”
 - While the “existing use” and proposed use” is listed as a 2-Family Dwelling, this permit is the only one with plans showing the interior wall removed to allow full internal connection between the two dwelling units. It is important to note that the Planning Department did not review or approve this permit because it was only related to sprinklers.

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Hearing Date: May 31, 2023

- On **June 14, 2019**, BP No. 201704204463 was completed with the following scope of work: “Sprinkler per NFPA 13 ref 201612064294.” This permit lists the property as 2 dwelling units.
- On **November 20, 2019**, BP No. 201908098406 was completed with the following scope of work: “Recommencement and completion of work approved under PA 201108182754.” This permit lists the property as 2 dwelling units.
- On **November 20, 2019**, BP No. 201608165118 was completed with the following scope of work: “Provide temporary hand dug pier to facilitate the excavation and construction of the proposed building addition per approved PA [Permit Application] 2014-1017-9272 s/R3. Maher NA.” This permit lists the property as 2 dwelling units.
- On **November 21, 2019**; BP No. 201612064294 was completed with the following scope of work: “Permit approved Variance scope at third floor; additional conditioned area of 125 sq ft. Ref to PA# 201410179272.” This permit lists the property as 2 dwelling units; BP No. 201706068573 was completed with the following scope of work: “Roof deck within buildable area of lot and spiral stair from 3rd floor terrace & roof deck.” This permit lists the property as 2 dwelling units.
- On **November 22, 2019**, BP No. 201410179272 (“the permit”), was deemed Complete by DBI. The Certificate of Final Completion and Occupancy (CFC) for this permit confirms 2 dwelling units (see Appellant’s Exhibit 12).
- On **January 10, 2020**, the subject property was purchased by the current owners.

Key Points

The Appellant’s concede that all the building permits, CFCs, and other official City documentation for this property lists it as having 2 dwelling units, and the property owner’s LLC even includes both addresses. However, they claim that the ZA Action Memo serves as a full authorization of the dwelling unit merger and a

new building permit simply needs to be obtained now to address that discrepancy. The following points describe how that argument is incorrect.

All official City documents list the property as having 2 addresses, including: a Notice of Special Restrictions recorded on the property in 1988; City Assessor's data; City tax rolls; the 3R Report from DBI; and all issued building permits and CFCs (copies of these permits and plans could not be included with this brief, but should be available in hard copy at the hearing on May 31st). The building is still essentially laid out as 2 dwelling units, including having 2 kitchens, with the only change being the removal of an interior wall to provide full access from both units to an internal connecting stair.

Additionally, the Appellant fundamentally misunderstands the purpose and basis for the ZA Action Memo related to the permit. When the permit was submitted, Planning Code Section 317 included the following provision [areas of emphasis added in **bold**]:

*“(3) For those applications for a Residential Demolition in districts that require Mandatory Discretionary Review, administrative review criteria shall ensure that only applications to demolish Single-Family Residential Buildings that are demonstrably not affordable or financially accessible housing, or Residential Buildings of two units or fewer that are found to be unsound housing, **are exempt from Mandatory Discretionary Review hearings**. Specific numerical criteria for such analyses shall be adopted by the Planning Commission in the Code Implementation Document, in accordance with this Section 317, and shall be adjusted periodically by the Zoning Administrator based on established economic real estate and construction indicators.*

(A) The Planning Commission shall determine a level of affordability or financial accessibility, such that Single-Family Residential Buildings on sites in RH-1 and RH-1(D) Districts that are demonstrably not affordable or financially accessible, that is, housing that has a value greater

*than at least 80% of the combined land and structure values of single-family homes in San Francisco as determined by a credible appraisal, made within six months of the application to demolish, **are not subject to a Mandatory Discretionary Review hearing.** The demolition and replacement building applications shall undergo notification as required by other sections of this Code. The Planning Commission, in the Code Implementation Document, may increase the numerical criterion in this subsection by up to 10% of its value should it deem that adjustment is necessary to implement the intent of this Section 317, to conserve existing housing and preserve affordable housing.”*

It is important to note that the provisions of this section, and the specific ZA Action Memo for the permit, only allowed for an exemption from the MDR process/hearing if the appraised value met a certain threshold. As such, the ZA Action Memo only served to document that the property related to the permit met this minimum threshold and was therefore exempt from the MDR process. The ZA Action Memo did not grant a master authorization for the dwelling unit merger. Instead, it documented a component of the administrative review of the permit and no more. To this point, note that the subtitle of the memo is “Administrative Review of Dwelling Unit Merger [emphasis added].” It was not an administrative “approval” of the merger.

It was made clear in the memo that the determination was in relation to the permit and that the relevant Code provision exempted the project from the otherwise required hearing process. In other words, it authorized an administrative approval path for the proposed merger, but it did not approve the merger itself. The issuance of a building permit is required to formally approve such a merger pursuant to the Planning Code and the Building Code. There is no language in the Planning or Building Codes that gives the ZA the authority to grant such an overarching approval outside of the building permit process.

Being exempted from the MDR did not guarantee the building permit to conduct the merger would be approved. The Planning Department and Planning Commission could still use their discretion for such permit,

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which is established by the Charter. This is supported by 1) the Section 311 neighborhood notice (See Appellant's Exhibit 11), which includes instructions on how members of the public could file a request for Discretionary Review of the merger permit, and 2) a note on a Planning Department internal meeting agenda stating the proposed merger was "NOT SUPPORTABLE" (See Appellant's Exhibit 10). This further shows that the ZA Action Memo was only a minor component of the review and approval process necessary for a dwelling unit merger at that time.

It's also important to clarify that the ZA's review documented in the memo was not a written determination or interpretation issued upon request pursuant to Planning Code Section 307(a), which would be independently appealable to the Board of Appeals per Section 308.2. In fact, while Section 317 does state a specific role for the ZA, it does not require the ZA to make this determination for such merger projects, nor does it require any documentation of such determinations related to permits proposing a dwelling unit merger be issued. These ZA action memos only began to be drafted circa 2011 to document such actions related to building permits so that those records were available for internal use, project sponsors, and for use if the associated building permit is appealed on the grounds that such action was incorrect.

Regarding appeals, the ZA Action Memo specifically states: "*You can appeal the Zoning Administrator's action to the Board of Appeals by appealing the issuance of the above-referenced Building Permit Application.*" As previously noted, the previous property owner chose to revise the permit in question to remove the proposed dwelling unit merger. There was no mention of an appeal of the ZA's determination or the building permit, and no appeal was ever filed with the Board of Appeals. There is no indication in the record that any stakeholder in this permit (applicant, Planning Department, DBI, etc.) considered the building to be anything other than 2 dwelling units.

Finally, while SB 330 was not in effect at the time of the ZA Action Memo, it currently prohibits the loss of

dwelling units through merger in the vast majority of cases.

Conclusion

To conclude, the merger of the 2 legal dwelling units at 1281-1283 Greenwich Street that occurred without the required building permit or other entitlement is a clear violation of the Planning Code. The original permit was revised to abandon the proposed merger. That permit, along with every other permit since then, were all issued and given CFCs stating the building contained 2 dwelling units. None of this is disputed by the Appellant.

Instead, the Appellant bases their entire case on the issuance of a document that was not required under the Planning Code and was/is used only for record keeping purposes, in order to claim that the ZA granted an overriding approval for a dwelling unit merger that never expires. As detailed above, this argument is without merit. If the previous property owner and/or the professionals involved in the sale of the property to the current owners misrepresented the nature of the property, then that may be a civil matter for the current property owners to pursue with those parties. But it is clear that there is no authorization by the City for the physical merger and use of the existing building as a single dwelling unit.

It is the ZA's position that the NoVPD fully considered all the relevant facts and was issued correctly. Therefore, the Department respectfully requests that the Board of Appeals uphold the NoVPD and deny the appeal.

cc: Alex Merrit, Sheppard, Mullin, Richter & Hampton LLP (Appellant)
Chaska Berger (Planning Department)

Enclosures: Exhibit A – Email Notice of Interim Controls Requiring a CUA
Exhibit B – Email Regarding Abandonment of Proposed Merger
Exhibit C – Email Confirming MDR Withdrawal

EXHIBIT A

From: [Grob, Carly \(CPC\)](#)
To: [David Swetz](#)
Subject: CU Required - 1281-1283 Greenwich
Date: Tuesday, July 14, 2015 10:36:00 AM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[150532.New Code Summary.pdf](#)
[Conditional Use Applicaton.pdf](#)

Hi Dave,

Due to recent changes in the Planning Code, dwelling unit mergers of two units which are demonstrably unaffordable may not be approved administratively. New legislation requires that all dwelling unit mergers require a Conditional Use Authorization (CU). Unfortunately, since we apply the most current code until the building permit is issued, the project at 1281-1283 Greenwich got caught and now requires a CU.

I will work with our finance staff to see if there is a way to issue a partial refund for the Discretionary Review Case. Once the CU is filed, I can prioritize the case in the hopes that we can bring the project forward to the Planning Commission as efficiently as possible.

The summary of the legislation is attached, as well as a CU Application. Please give me a call if you'd like to discuss further or if you have any questions.

Best,
Carly

Carly Grob, LEED GA
Planner, Northeast Quadrant, Current Planning

Planning Department, City and County of San Francisco
1650 Mission Street, Suite 400, San Francisco, CA 94103

Direct: 415-575-9138 **Fax:** 415-558-6409

Email: carly.grob@sfgov.org

Web: www.sfplanning.org



EXHIBIT B

From: [David Swetz](#)
To: [Grob, Carly \(CPC\)](#)
Subject: Available this afternoon?
Date: Thursday, July 23, 2015 1:41:34 PM

Hi Carly,

Do you have 15 minutes this afternoon that I can run through Greenwich with you. I believe we have softened the blow enough for the owner to understand and is open to maintaining unit separation. I'd like to show you my proposal to do so, and walk through how this effects elements with respect to the current 311 and Site Permit.

Call or email. Thanks!

Dave Swetz, LEED AP

Butler Armsden Architects
1420 Sutter Street, First Floor
San Francisco, CA 94109
Main: 415.674.5554
Fax: 415.674.5558
Direct: 415.266.7771

www.butlerarmsden.com

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EXHIBIT C

Grob, Carly (CPC)

From: David Swetz <swetz@butlerarmsden.com>
Sent: Wednesday, January 04, 2017 8:23 AM
To: Grob, Carly (CPC)
Subject: Re: 1283 Greenwich

Hi Carly,

This DR was attached to the potential Unit Merger, correct? If so, then yes, we would like to withdraw this case.

Dave Swetz, LEED AP

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On Jan 3, 2017, at 11:18 AM, Grob, Carly (CPC) <carly.grob@sfgov.org> wrote:

Hi Dave,

Happy New Year! I think you replied to this email, but I can't find the response anywhere. Would you mind re-sending?

Thanks!

From: Grob, Carly (CPC)
Sent: Monday, December 19, 2016 12:21 PM
To: 'David Swetz'
Subject: 1283 Greenwich

Hey!

Happy holiday! I was doing some holiday cleaning and I realized that the DR Case for 1283 Greenwich was still open. Would you mind sending me an email to confirm that you'd like to withdraw this case?

Thanks!
Carly

Carly Grob
Planner, Northeast Quadrant, Current Planning

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1650 Mission Street, Suite 400, San Francisco, CA 94103

Direct: 415-575-9138 **Fax:** 415-558-6409

Email: carly.grob@sfgov.org

Web: www.sfplanning.org

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