

**Revised Plans Submitted by the Permit Holder for the Hearing on
May 31, 2023**

PROJECT:

**RESIDENTIAL
REMODEL**

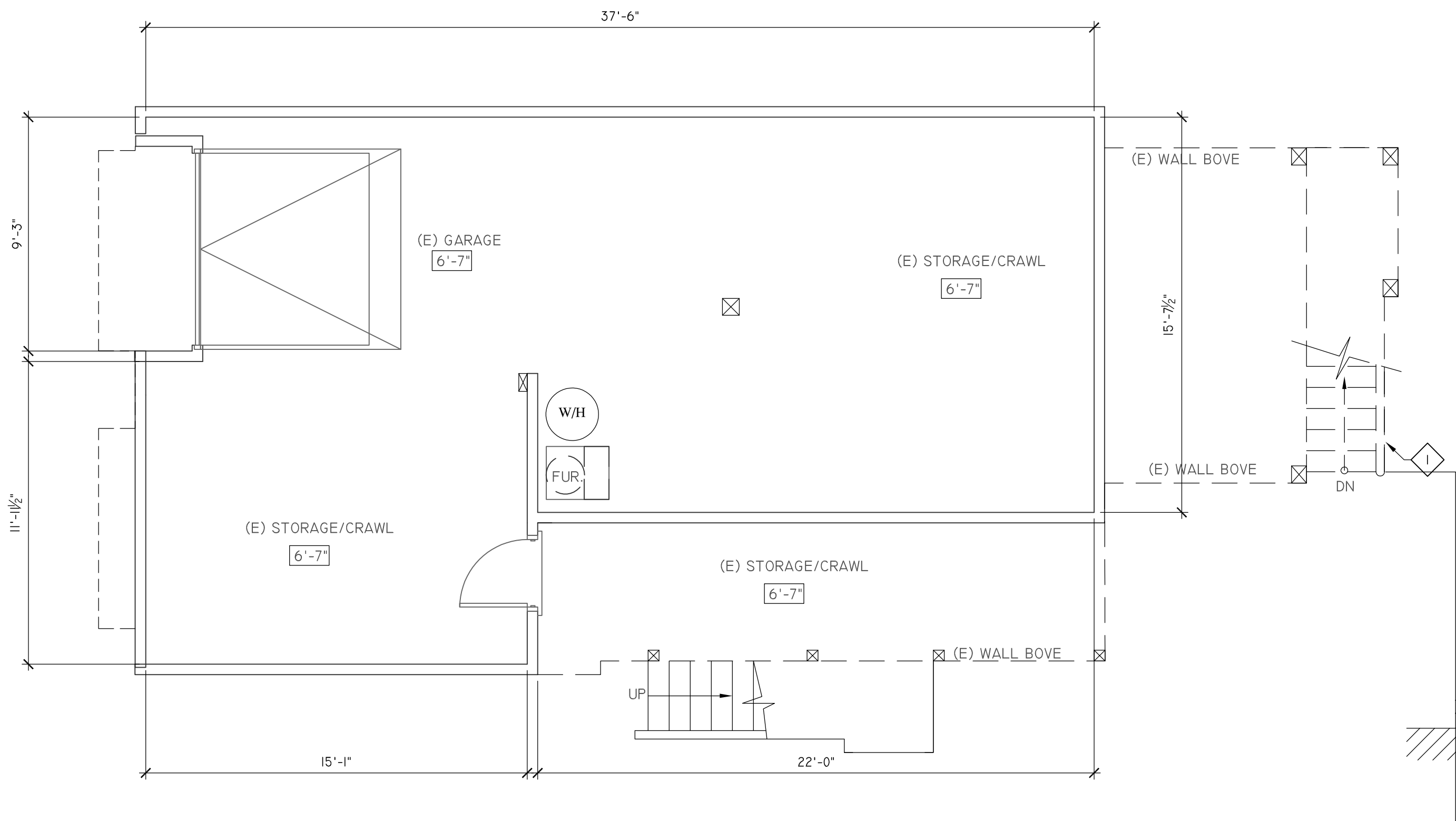
FOR

CHUNG CHAU

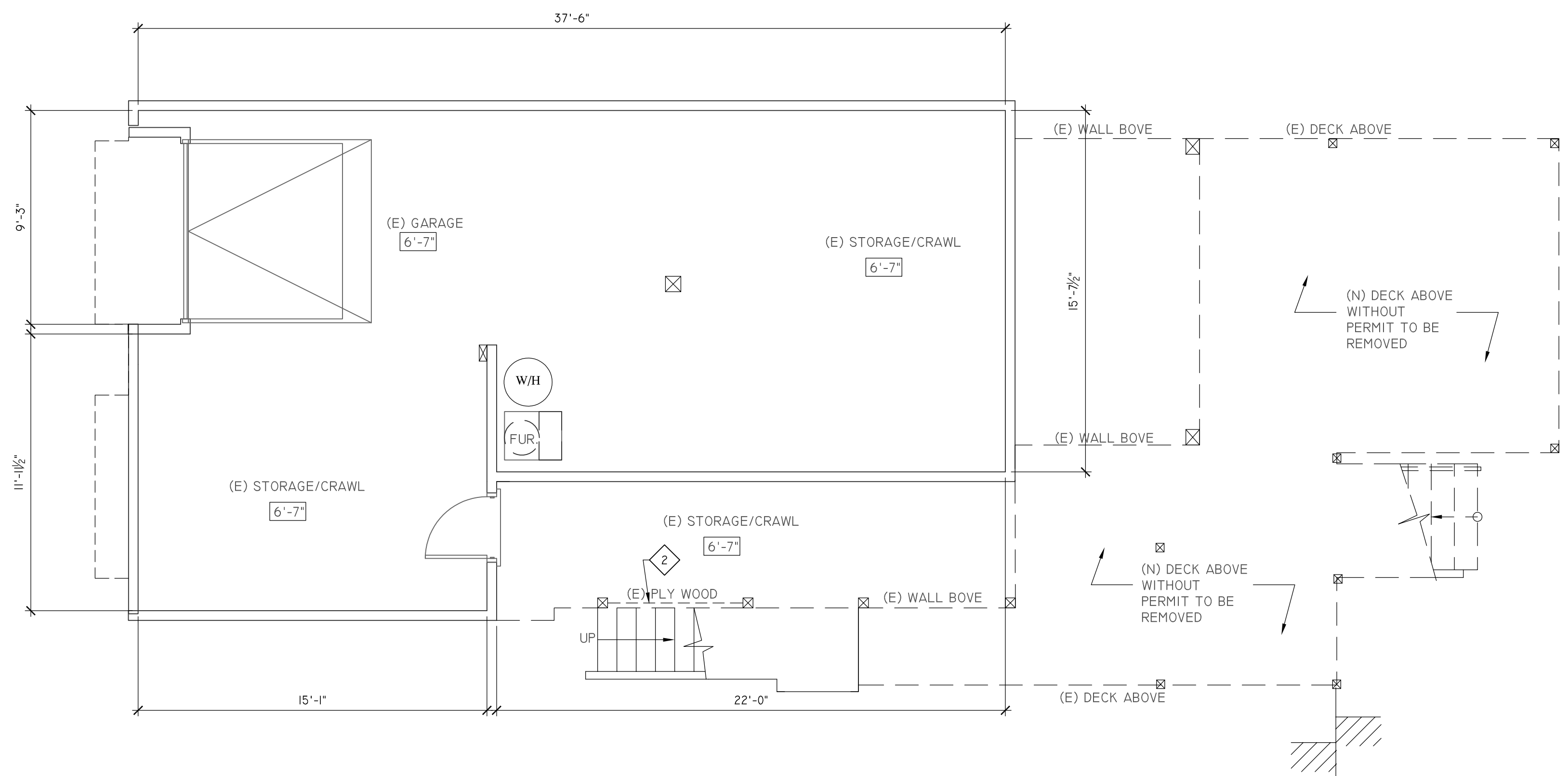
XIE ASSOCIATES, INC
Architectural Design & Planning

88 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: tmj@xiearchdesign.com

**1468
VAN DYKE AVE
SAN FRANCISCO,
CALIFORNIA**



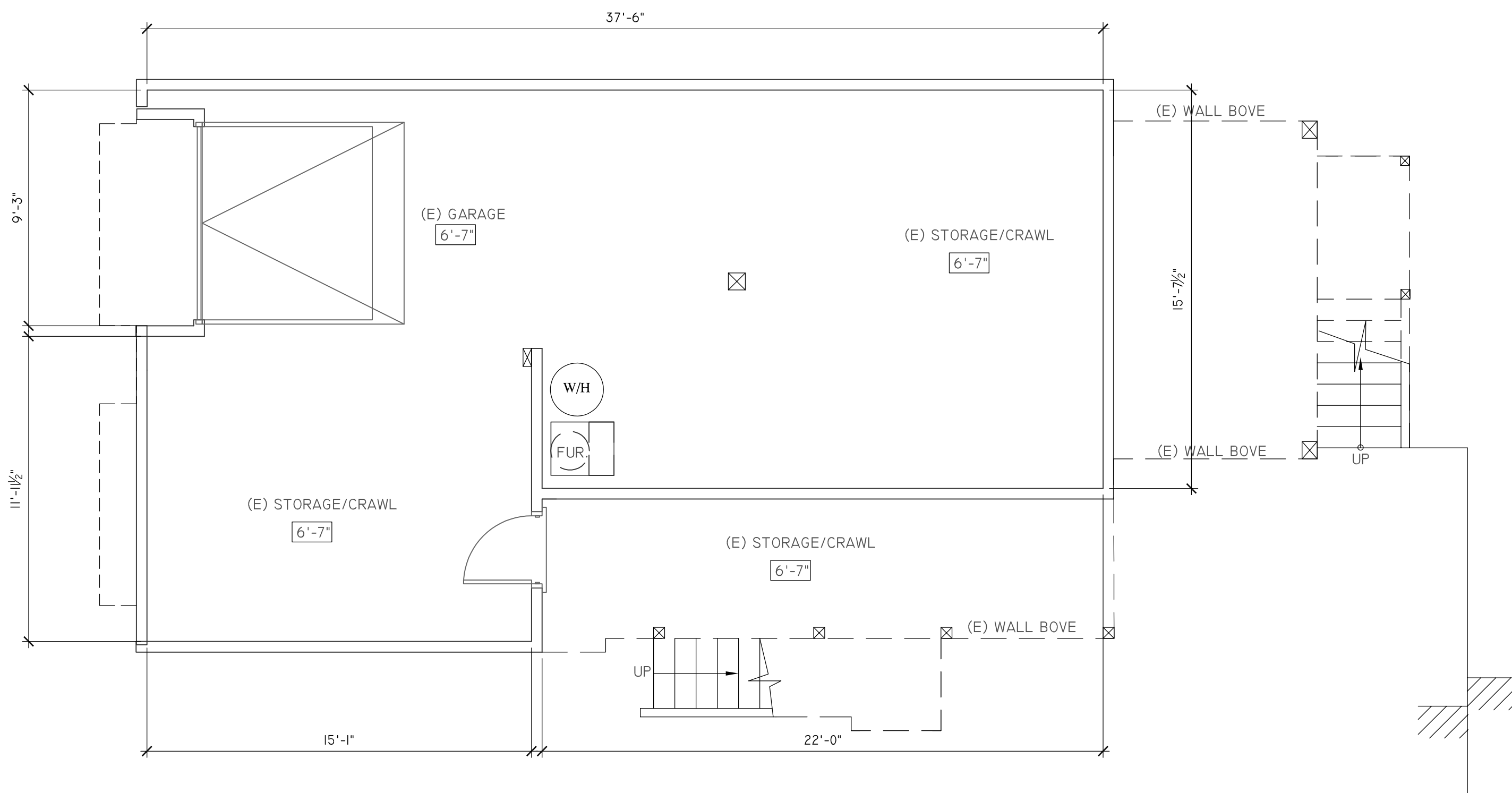
I-ORIGINAL GARAGE/BASEMENT PLAN
SCALE: 1/4"=1'-0"



2-(E) AS-BUILT GARAGE/BASEMENT PLAN
SCALE: 1/4"=1'-0"

DEMO WORK NOTES

- ① — REMOVE EXISTING STAIR AND LANDING
- ② — REMOVE EXISTING PLYWOOD



3-PROPOSED GARAGE/BASEMENT PLAN
SCALE: 1/4"=1'-0"

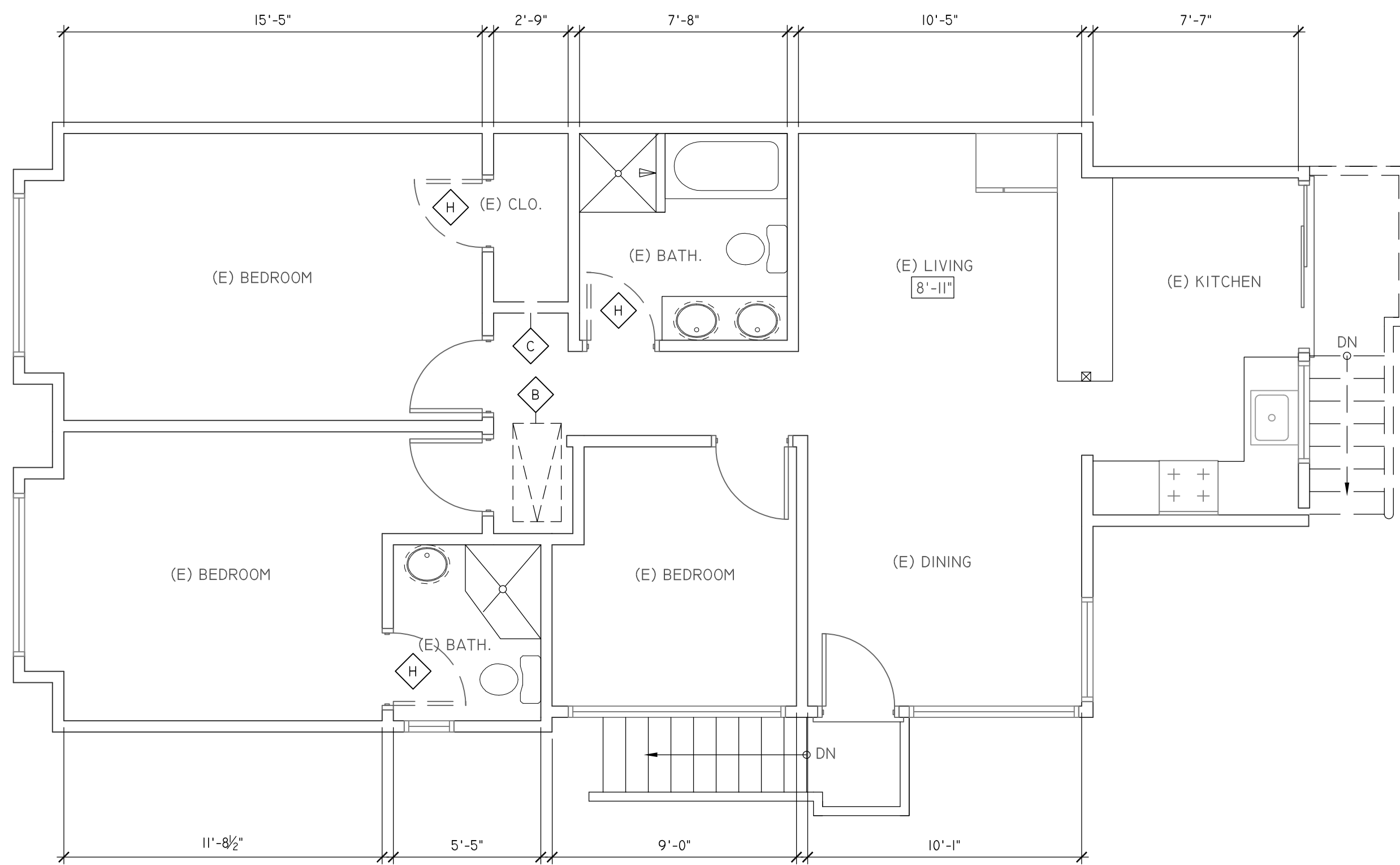
PROJECT NO:
MODEL FILE:
DRAWN BY: JH HONG
CHECK BY:
DATE: 10/09/22



SHEET TITLE

**FLOOR
PLANS**

A1.1



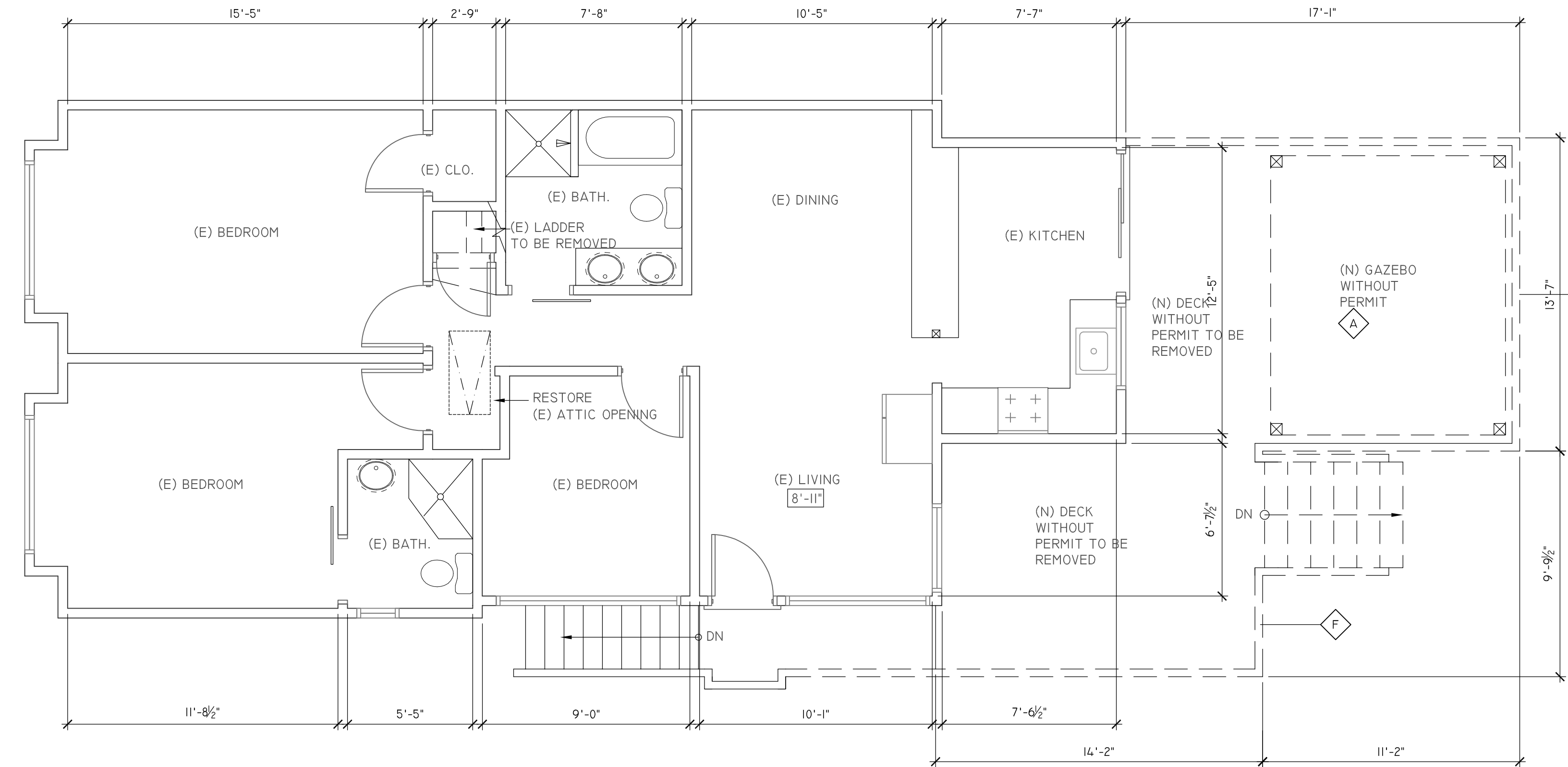
I-ORIGINAL IST FLOOR PLAN
SCALE: 1/4"=1'-0"

DEMO WORK NOTES

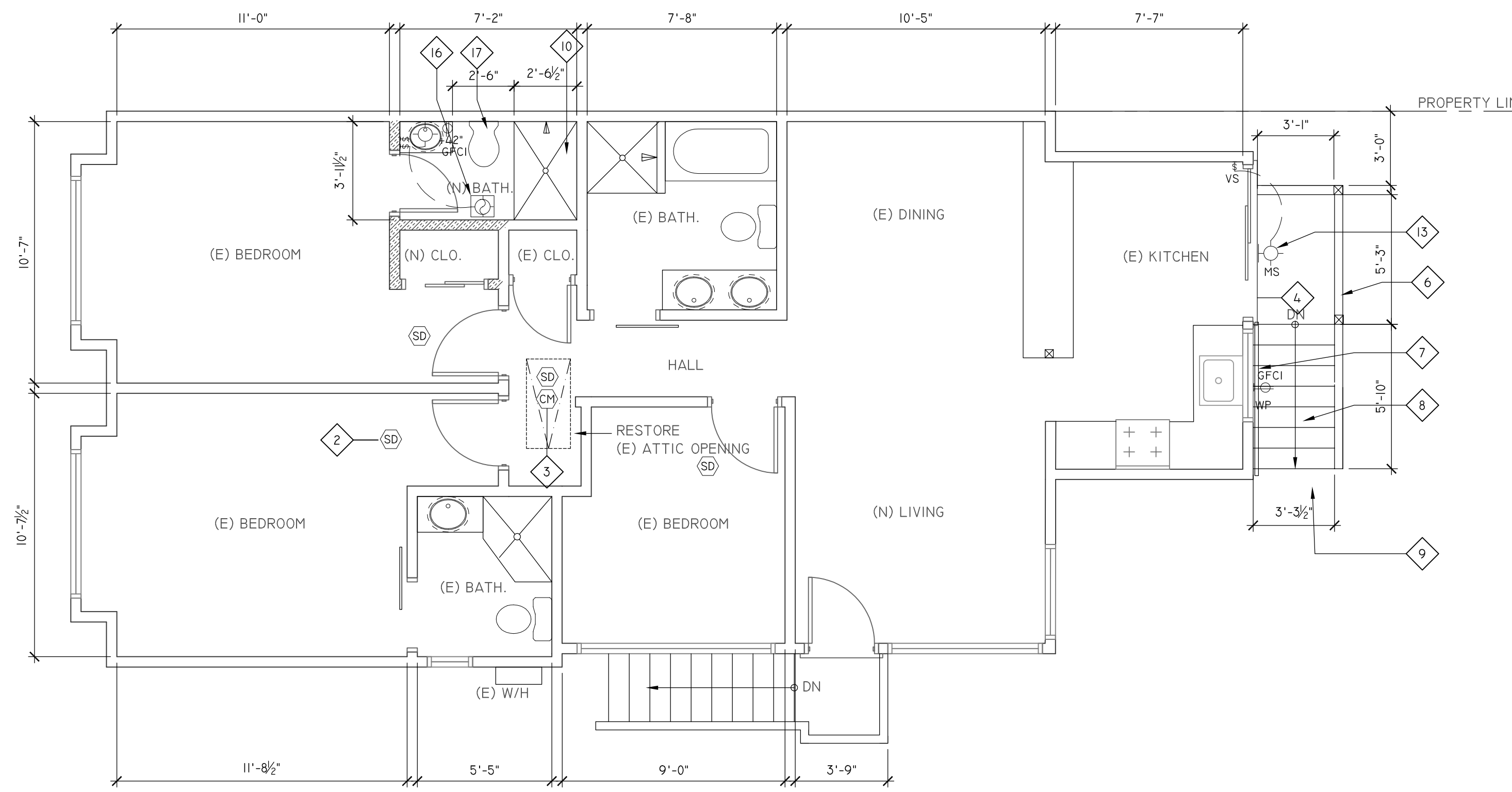
- ◇ A — REMOVE EXISTING GAZEBO CANOPY
- ◇ B — PATCH EXISTING OPENING
- ◇ C — REMOVE PARTIAL OF EXISTING WALL
- ◇ G — PREPARE WALL, FLOOR, AND CEILING TO RECEIVE NEW WORK
- ◇ H — REMOVE/REPLACE DOOR FOR NEW OPENING
- ◇ F — REMOVE EXISTING NOT PERMITTED DECK

CONSTRUCTION WORK NOTES

- 1 — NEW 1-HR WALL @ PROPERTY LINE, SEE A3.1/D2
- 2 — PROVIDE SMOKE DETECTOR ALARMS. PROVIDE HARDWIRED SMOKE DETECTORS TO HAVE BATTERY BACKUP INSIDE EACH BEDROOM AND HALL LEADING TO THE SLEEPING BEDROOMS, INTERCONNECTED, TYP.
- 3 — PROVIDE CARBON MONOXIDE ALARMS TO BE INSTALLED IN HALLWAY @ EACH FLOOR, NEXT TO BEDROOM, TYP.
- 4 — PROVIDE 36" DEEP LANDING IN THE DIRECTION OF TRAVEL; 4" MIN. 7.75" MAX STEP DOWN FOR INSWING AND SLIDING DOORS; SLOPE 2% AWAY FROM HOUSE. SEE DTL. @ D1/A3.1
- 5 — NEW DECK, FINISH W/ SLIP RESISTANT BOARD. NAIL TO ALL SUPPORT @ 8" O.C., DRAINAWAY FROM THE BUILDING
- 6 — 42" HT. WOOD GUARDRAIL, THE TOP OF GUARDRAILS SHALL NOT BE PLACED NO LESS 42" A.F.F. RAILING DISTANCE B/W CABLE SHALL NOT MORE THAN 4" O.C. (SUCH THAT A 4" Ø SPHERE CAN'T PASS THROUGH), TEMPERED, SEE A5.0/8
- 7 — PROVIDE/VERIFY HANDRAIL THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS 34" NOR MORE THAN 38" ABOVE LANDINGS & THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. SEE A5.0/8
- 8 — ALL STAIRWAYS TO BE MIN. 36" WIDE. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4" NOR GREATER THAN 7.75". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". SEE A5.0/8
- 9 — PROVIDE 36" DEEP X STAIR WIDTH LEVEL LANDING IN THE DIRECTION OF TRAVEL
- 10 — THE TUB/SHOWER WALLS TO BE SMOOTH, HARD, NONABSORBENT SURFACE (E.G., CERMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT BOARD, ETC.) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET, SEE DTL. @ A5.0/3
- 11 — PROVIDE 1024 SQUARE INCHES MIN. & CAPABLE OF ENCOMPASSING A 30" DIA. CIRCLE AT SHOWER SPACE. SHOWER DOOR SHALL BE TEMPERED GLASS, AND OPEN SO AS TO MAINTAIN A MIN. 22 INCH UNOBSTRUCTED OPENING FOR EGRESS
- 12 — NEW EXTERIOR LIGHTS TO BE HIGH-EFFICACY W/ MANUAL ON/OFF SWITCH CONTROL AND PHOTOCONTROL & MOTION SENSOR, TYP.
- 13 — PROVIDE AN EXHAUST VENT/FAN, 50 CFM MIN., AT THE BATHROOM W/ THE DUCT DISCHARGE IS DIRECTLY CONNECTED TO THE OUTSIDE OF THE BUILDING AND LOCATED AT LEAST 3- FEET FROM ANY OPENINGS INTO THE BUILDING & PROPERTY LINE, TYP.
- 14 — PROVIDE A 15" CLR. ON EACH SIDE MEASURE FROM CENTERLINE OF WATER CLOSET AND A MIN. 24" CLR. IN FRONT OF THE WC, TYP. SEE A5.0/13
- 15 — PROVIDE A NEW 12"x60" SINGLE HUNG WINDOW WITH .30 U FACTOR

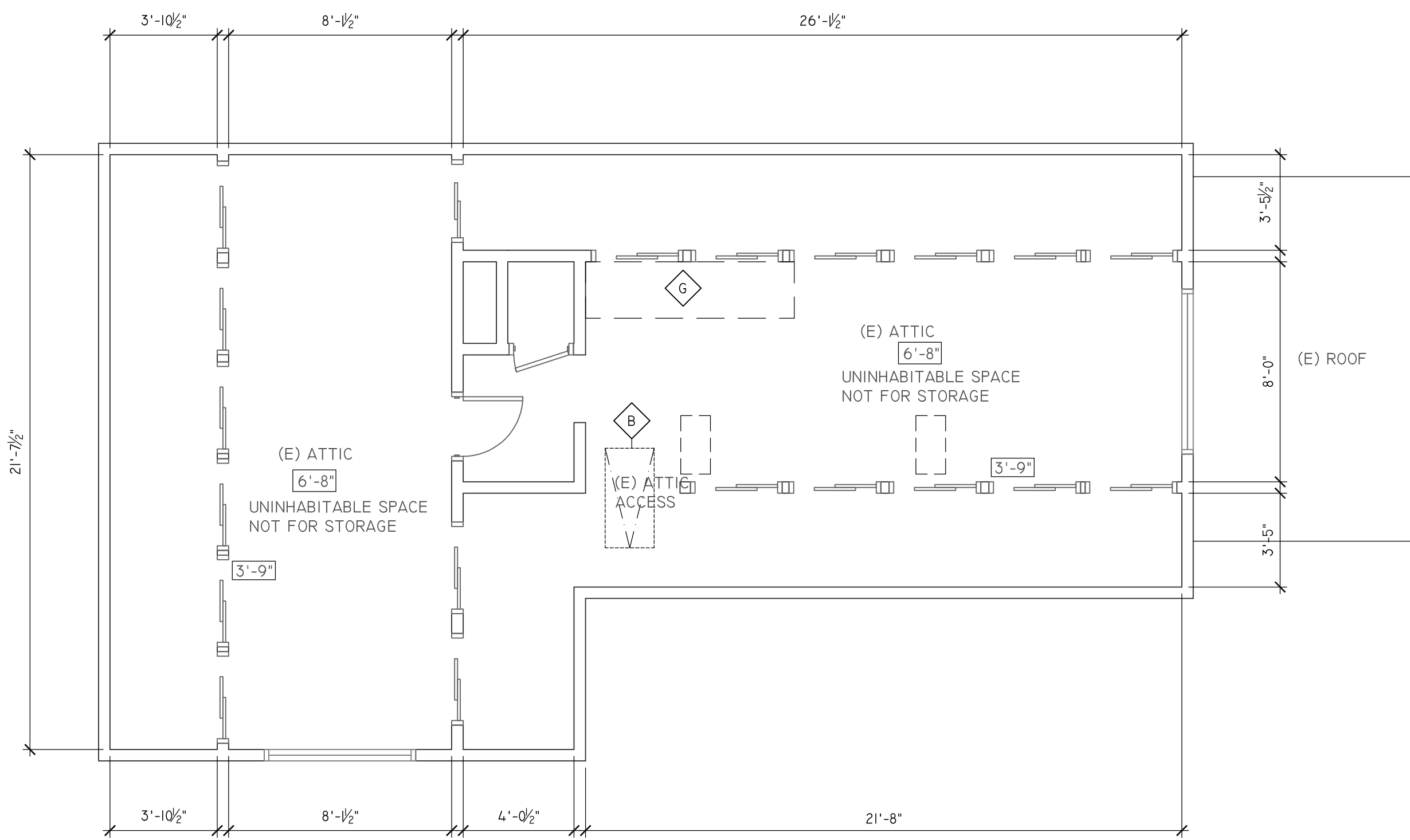


2-EXISTING AS-BUILT IST FLOOR PLAN
SCALE: 1/4"=1'-0"



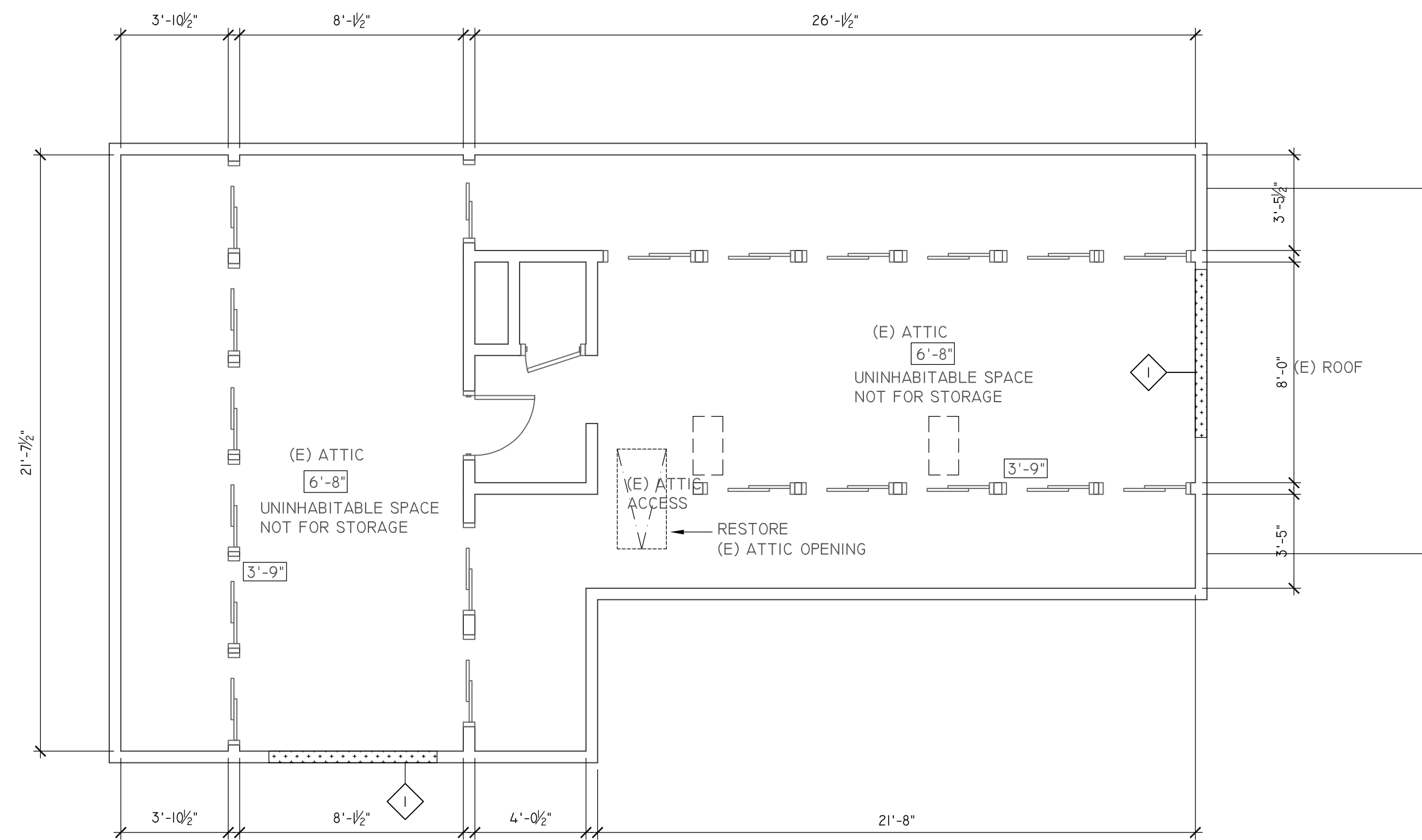
3-PROPOSED IST FLOOR PLAN
SCALE: 1/4"=1'-0"





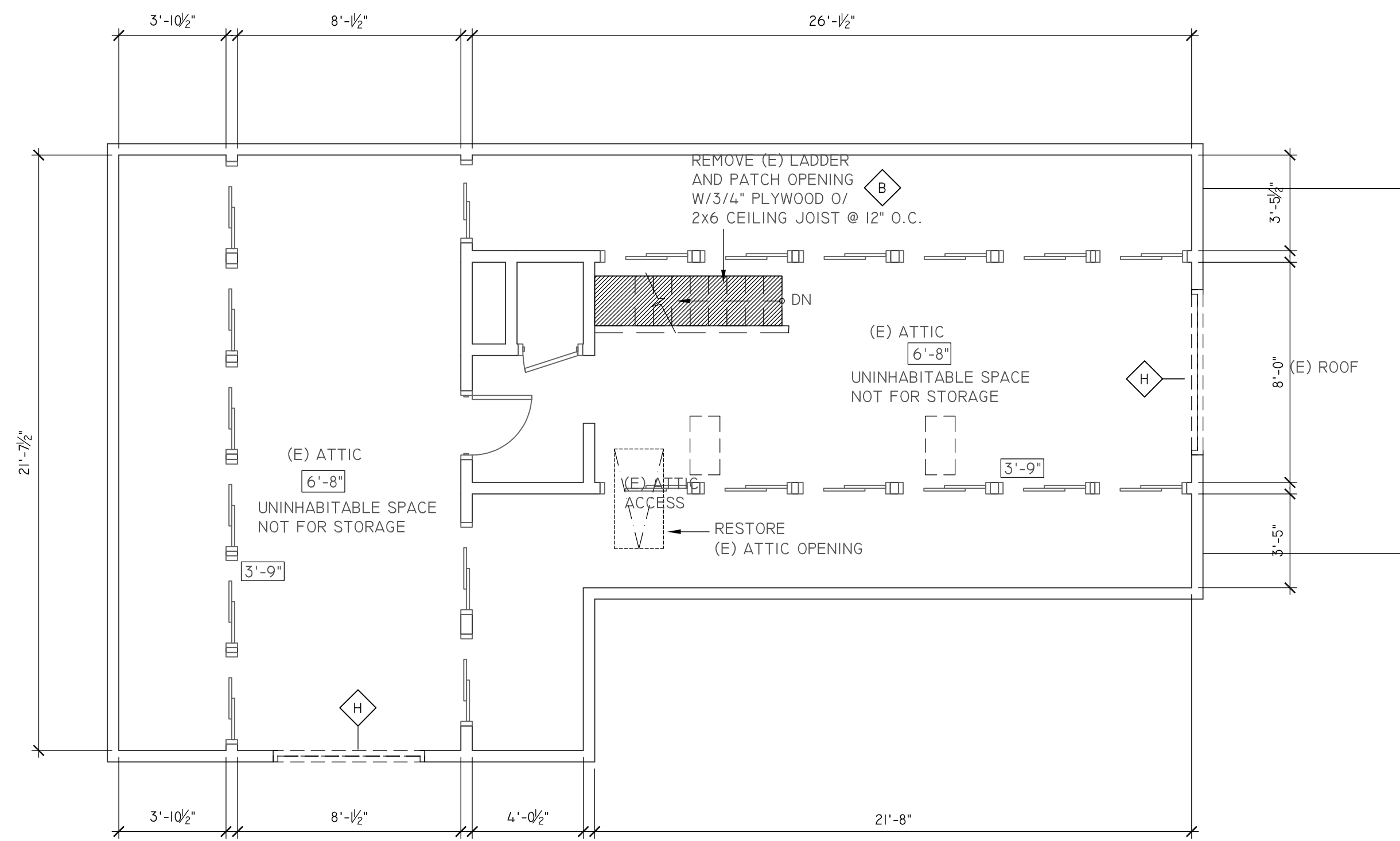
1-ORIGINAL ATTIC PLAN

SCALE: 1/4"=1'-0"



3-PROPOSED ATTIC PLAN

SCALE: 1/4"=1'-0"



2-AS-BUILT ATTIC PLAN

SCALE: 1/4"=1'-0"

DEMO WORK NOTES

- ◆ A — REMOVE EXISTING STAIR AND LANDING
- ◆ B — PATCH EXISTING OPENING
- ◆ F — REMOVE PARTIAL OF EXISTING WALL FOR NEW OPENING, SEE PROPOSED PLAN FOR EXTEND OF WORK
- ◆ G — REMOVE FLOOR FOR NEW LADDER
- ◆ H — REMOVE (E) WINDOW, AND PATCH OPENING

CONSTRUCTION WORK NOTES

- ◆ I — PATCH OPENING, WALL FINISH MATCH ADJ. WALL

PROJECT:

**RESIDENTIAL
REMODEL**

FOR

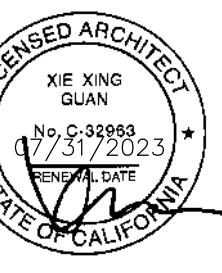
CHUNG CHAU

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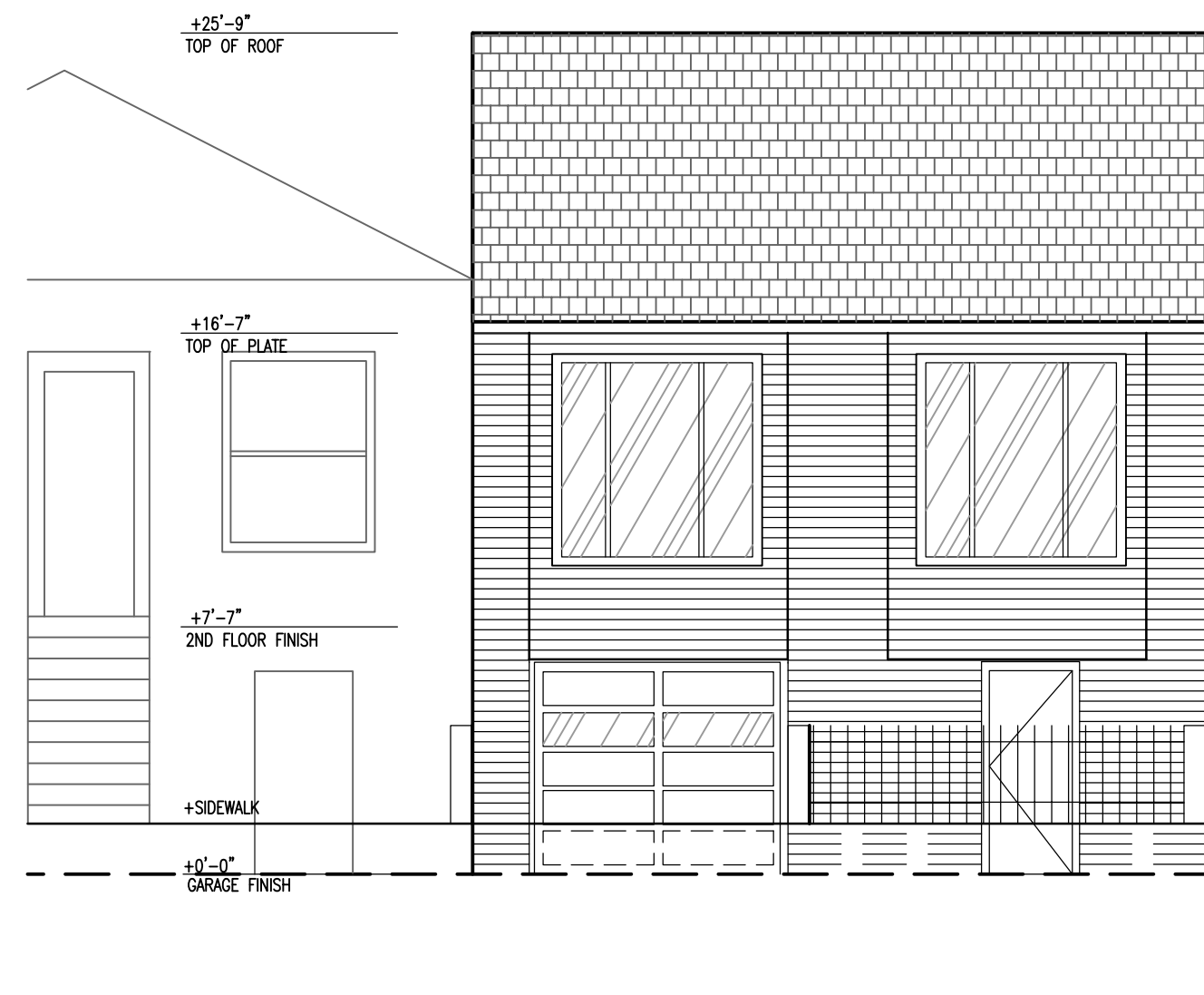
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CHECK BY:
DATE: 10/09/22



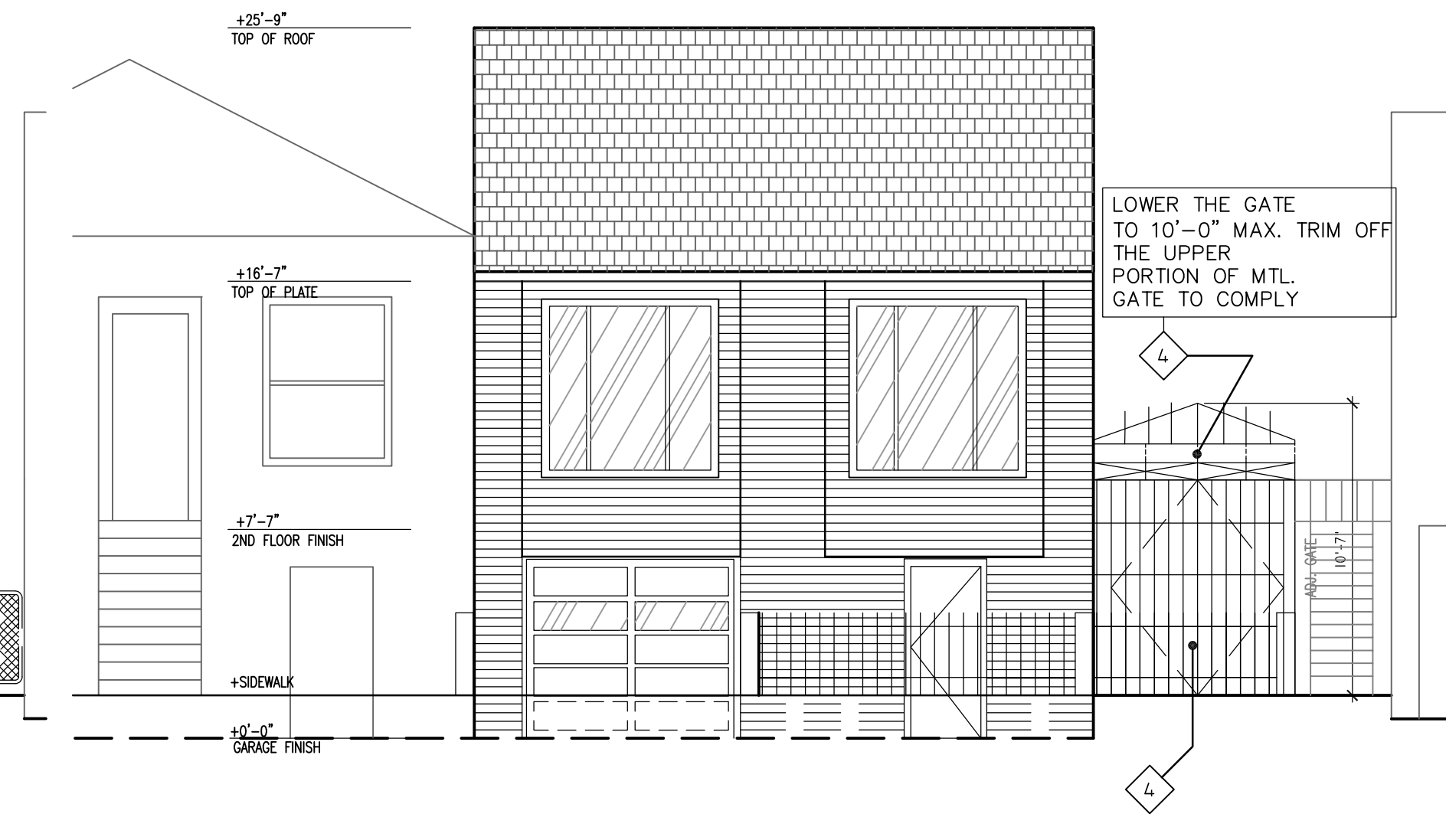
SHEET TITLE

**FLOOR
PLANS**

A2.1



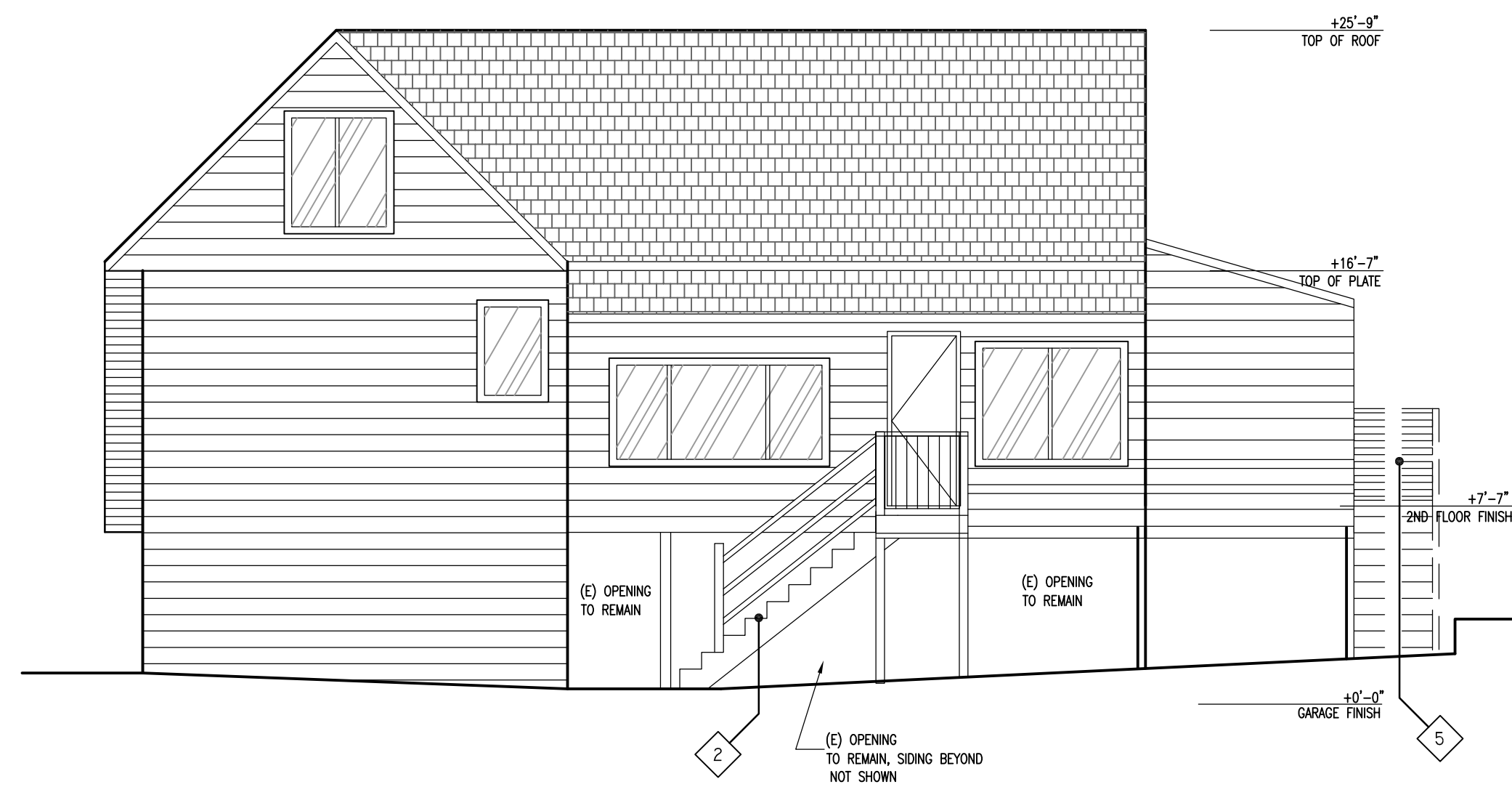
1-ORIGINAL FRONT (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



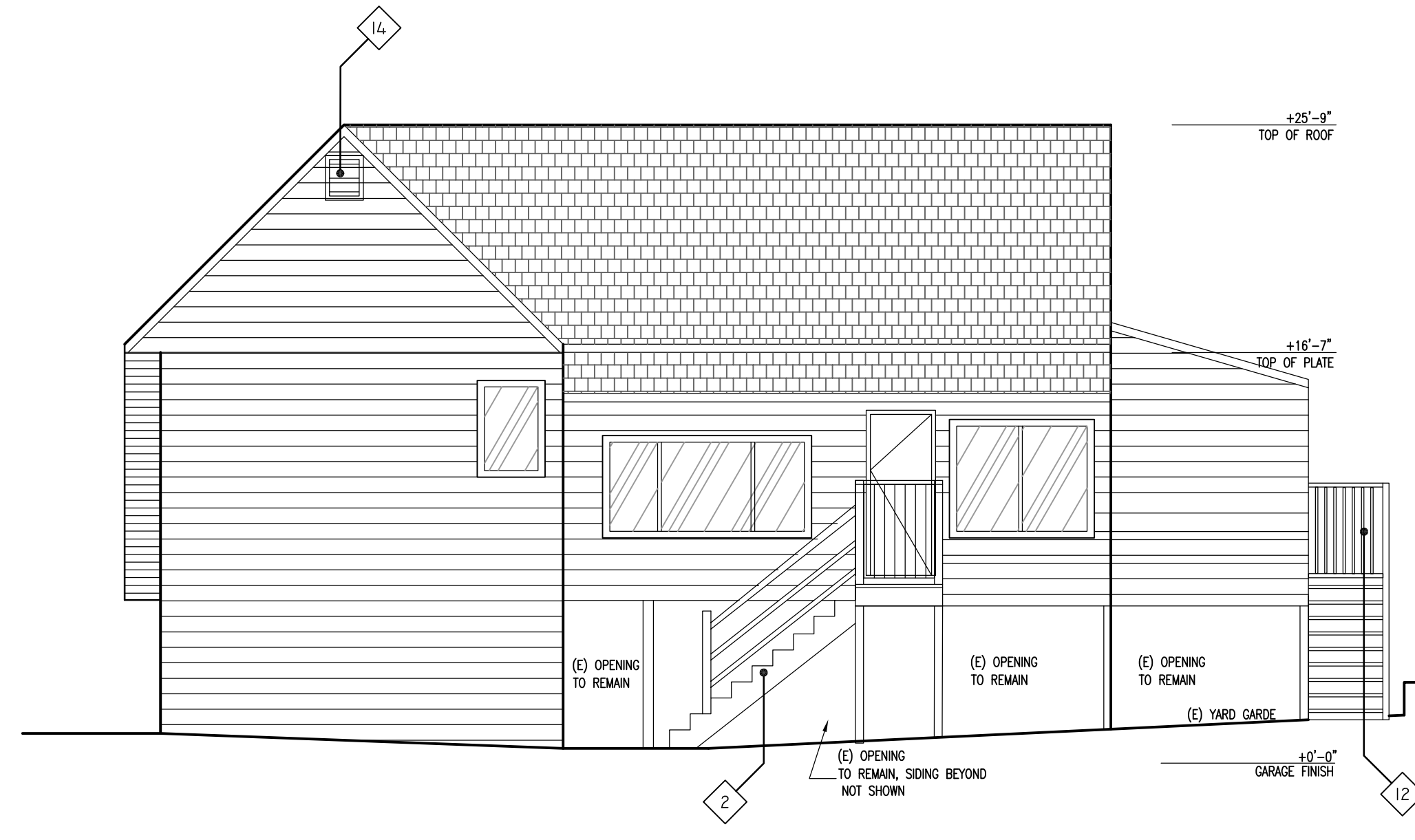
2-AS-BUILT FRONT(SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



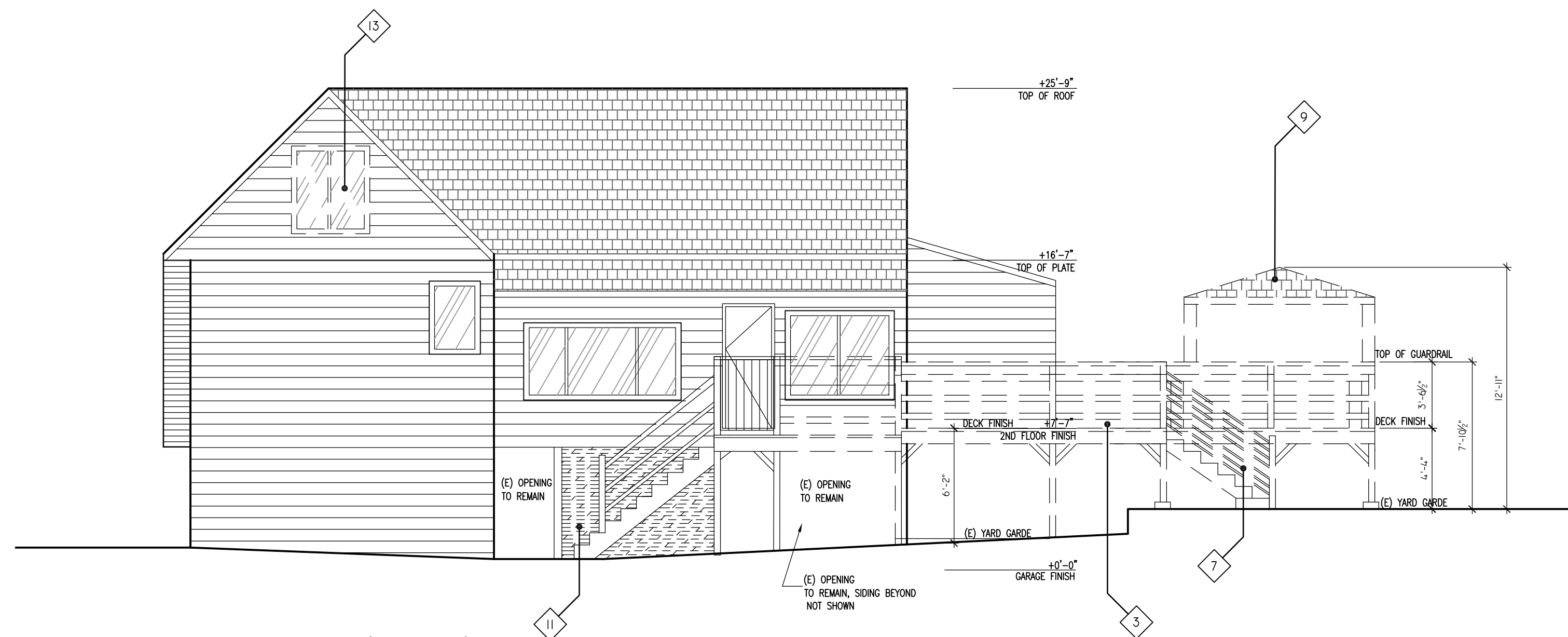
3-PROPOSED FRONT(SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



4-ORIGINAL RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"



6-PROPOSED RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"



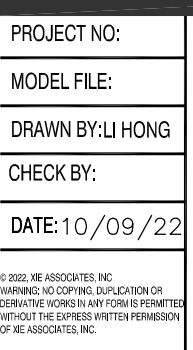
5-AS-BUILT RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"

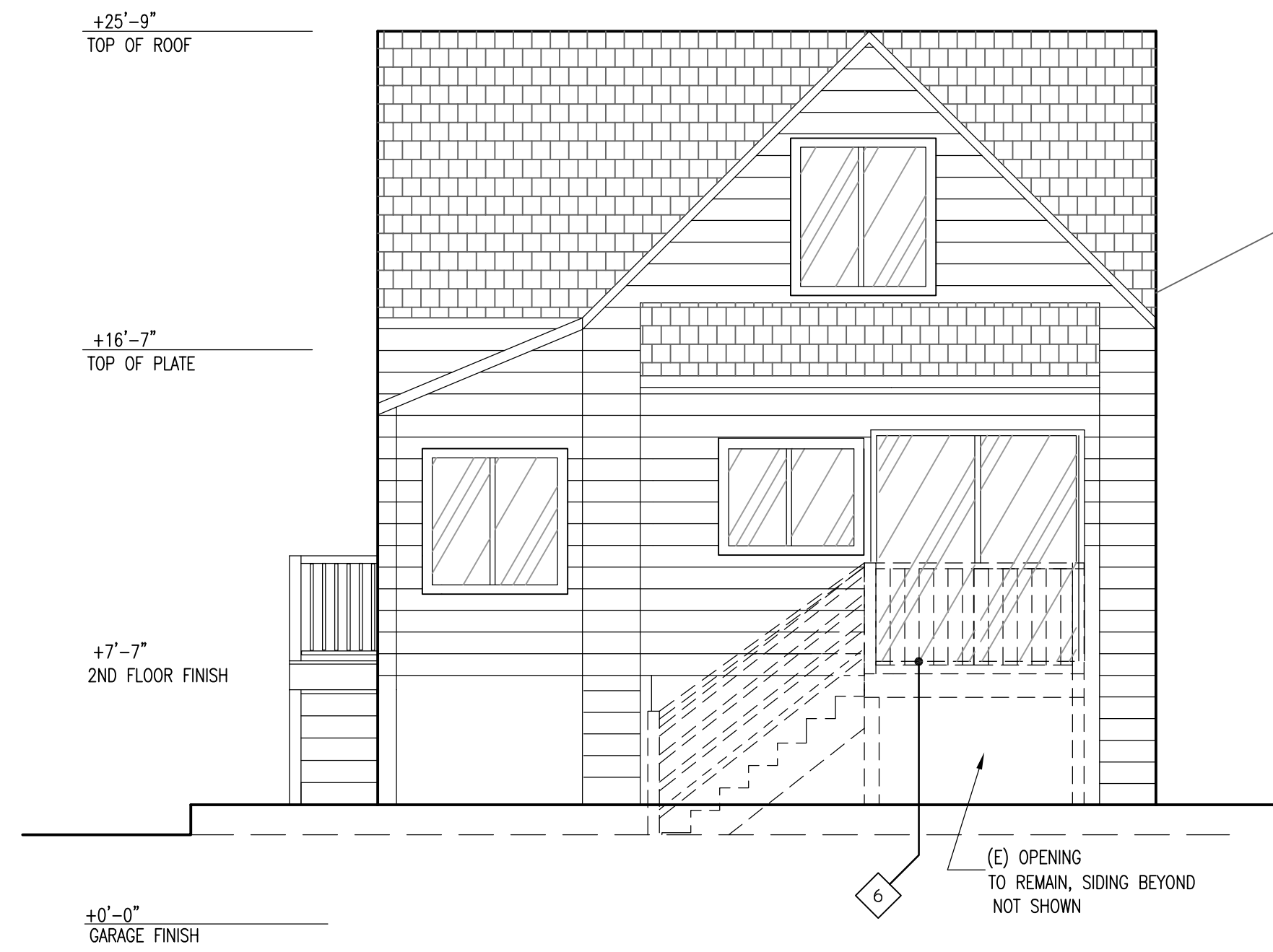
GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL (E) CONSTRUCTION RELATED CONDITIONS PRIOR TO COMMENCING WITH ANY WORK
2. ALL THE WEATHER EXPOSED BOLTS OR NAILS SHALL BE GALVANIZED & HOT-DIPPED
3. ALL EXPOSED WOOD MEMBERS SHALL BE RED WOOD OR PRESSURE TREATED
5. THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS 34" NOR MORE THAN 38" ABOVE LANDINGS & THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" B/W THE WALL & THE HANDRAIL AND RETURN TO WALL OR FLOOR
6. THE TOP OF GUARDRAILS SHALL NOT BE PLACED LESS 42" A.F.F. RAILING DISTANCE B/W BALUSTERS SHALL NOT MORE THAN 5-1/2" O.C. (SUCH THAT A 4" Ø SPHERE CAN'T PASS THROUGH)
7. ALL CONNECTORS USED IN CONJUNCTION WITH PRESSURE TREATED LUMBER MUST BE HOT-DIPPED ZINC GALVANIZED AND A MIN. GALVANIZATION LEVEL OF G185.

ELEVATION WORK NOTES

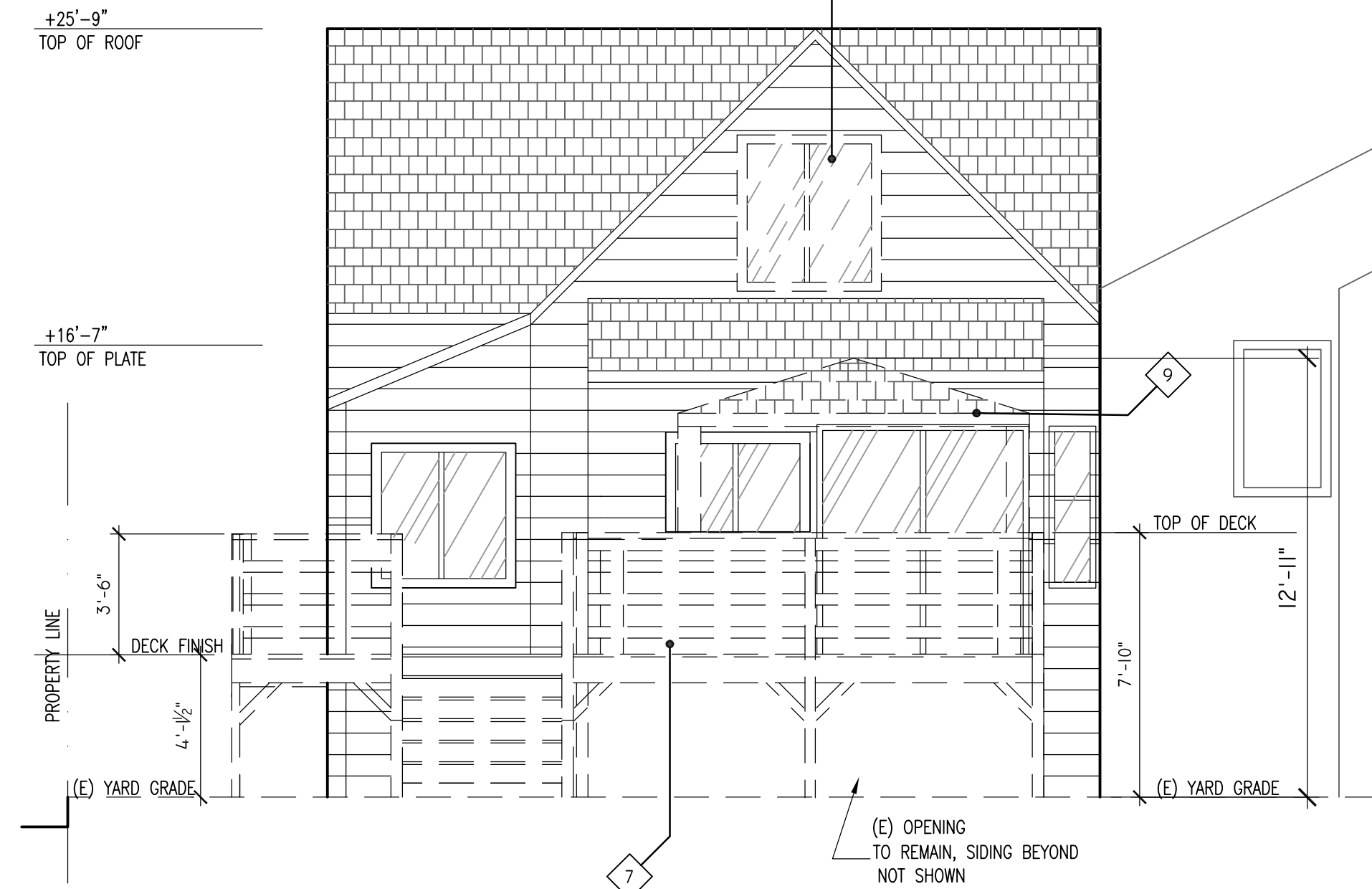
- 1 (E) ADJ. BUILDING
- 2 (E) WOOD STAIR
- 3 NEW 42" HT. WOOD GUARDRAIL TO BE DEMO., TYP.
- 4 NEW MTL SECURITY GATE, REMOVE BLACK BACKING, TYP. AND LOWER THE GATE TO 10'-0" MAX. TRIM OFF THE UPPER PORTION OF MTL. GATE TO COMPLY
- 5 EXISTING STAIR, REMOVED
- 6 (E) WOOD GATE TO BE DEMOLISH
- 7 WOOD STAIR WITH WOOD RAILING TO BE DEMO
- 8 (E) ADJ. BUILDING
- 9 (E) GAZEBO TO BE REMOVED
- 10 NEW 10" MAX. HT. MTL SECURITY GATE, WITH NO MTL BACKING, KEEP GATE TRANSPARENT, TYP.
- 11 EXISTING PLYWOOD TO BE REMOVED
- 12 RESTORE WOOD STAIR AND DECK WITH WOOD RAILING
- 13 (E) WINDOWS AND (E) DOORS TO BE REMOVED, FINISH MATCH (E) WALL, TYP.
- 14 NEW ATTIC VENT FOR AIR VENTILATION





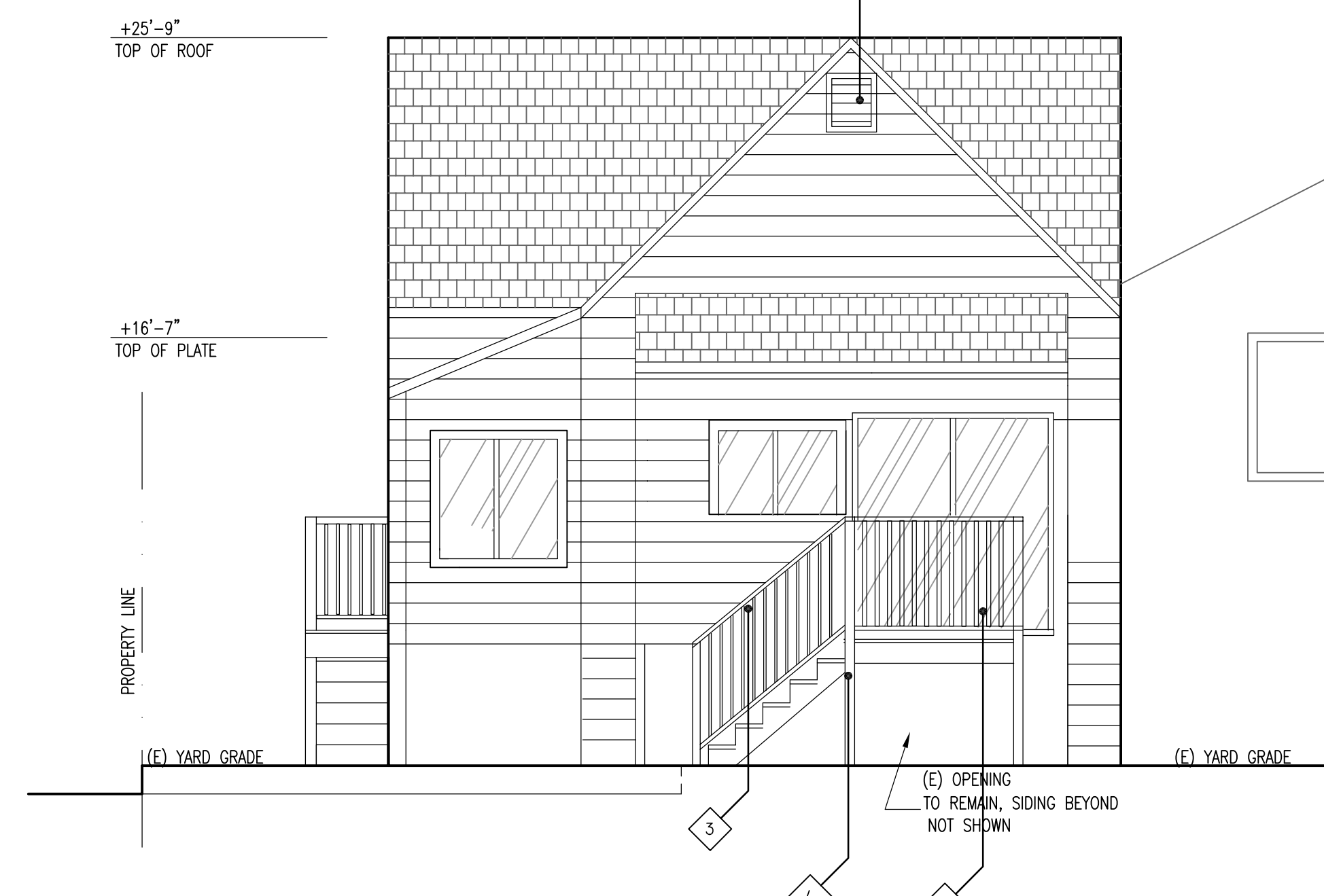
1-ORIGINAL REAR (NORTH) BUILDING

SCALE: 1/4"=1'-0"



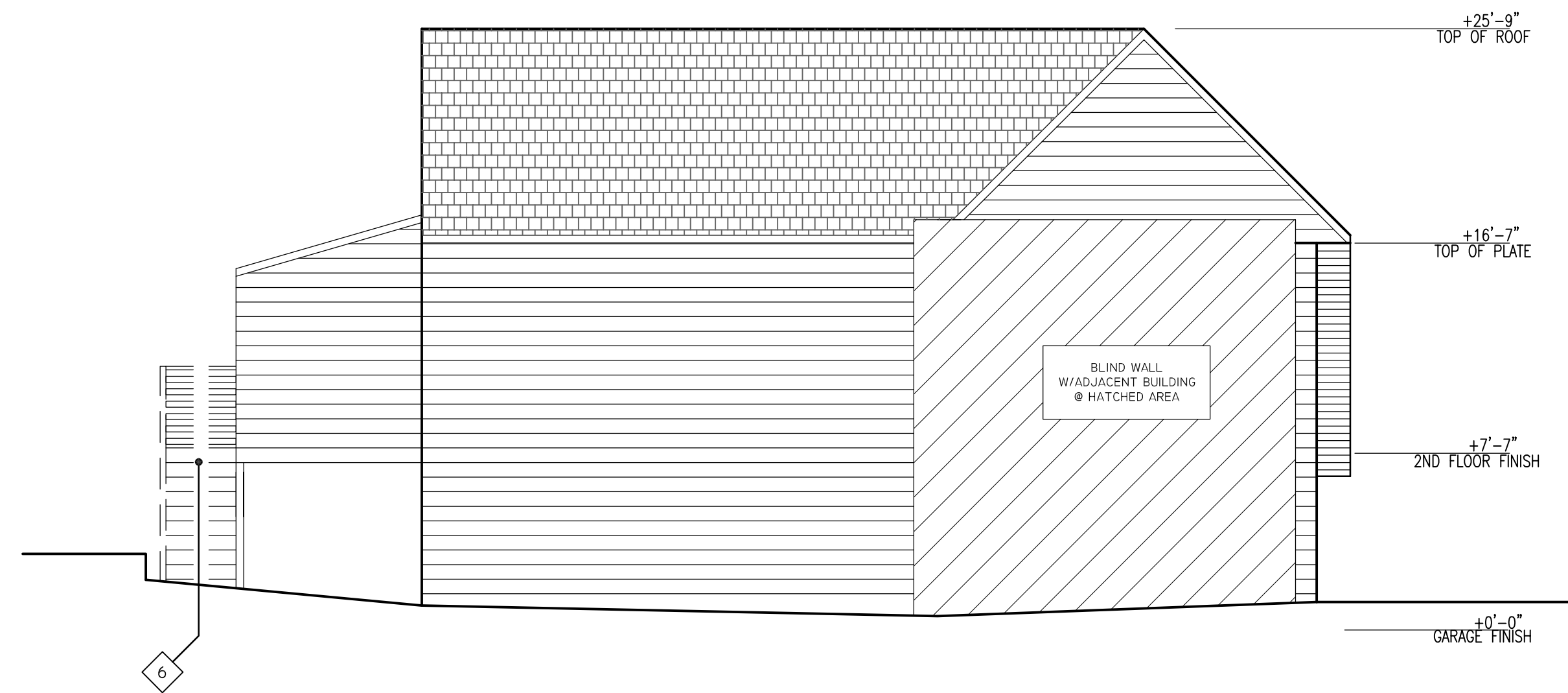
2-AS BUILT REAR (NORTH) BUILDING

SCALE: 1/4"=1'-0"



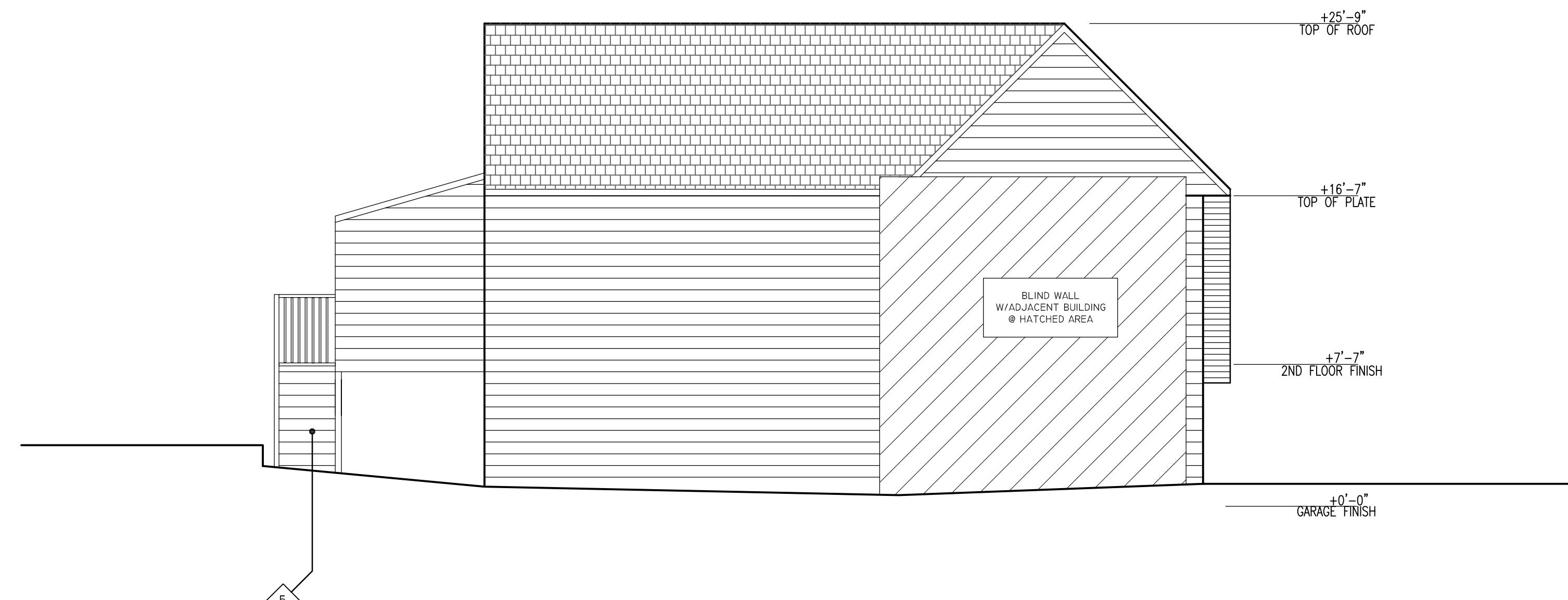
3-PROPOSED REAR(NORTH) BUILDING

SCALE: 1/4"=1'-0"



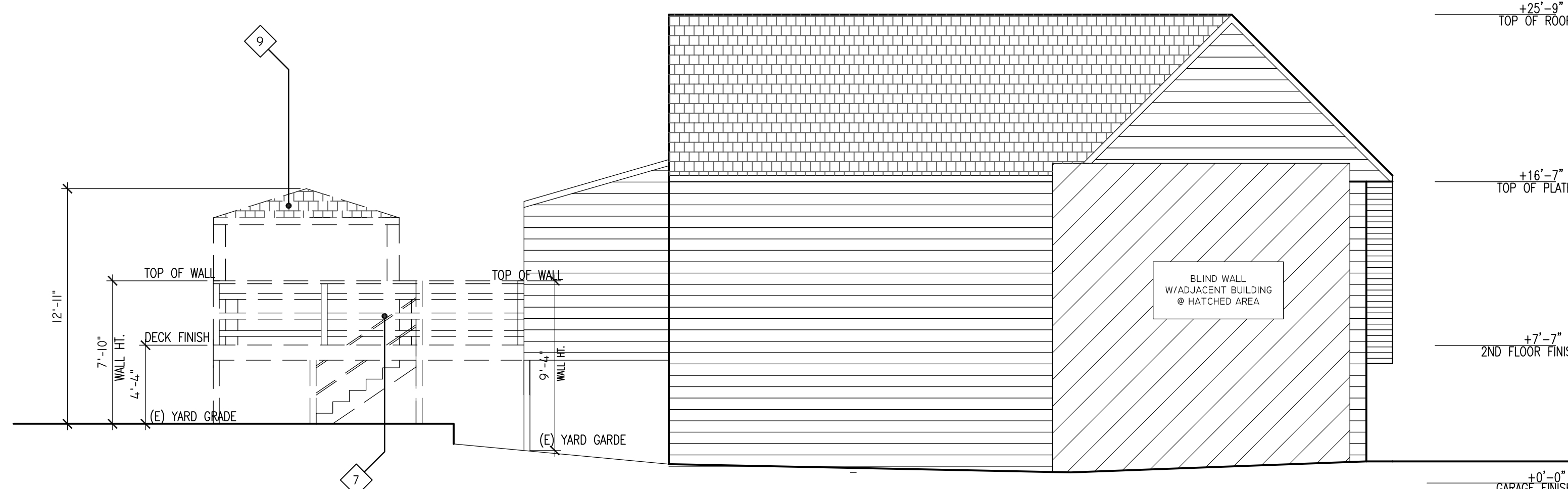
4-ORIGINAL LEFT(WEST) ELEVATION

SCALE: 3/16"=1'-0"



6-PROPOSED LEFT(WEST) ELEVATION

SCALE: 3/16"=1'-0"



5-AS-BUILT LEFT(WEST) ELEVATION

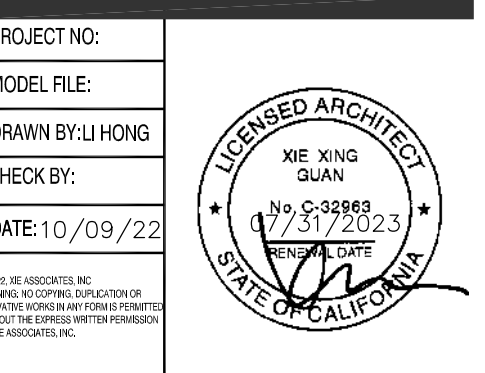
SCALE: 3/16"=1'-0"

ELEVATION WORK NOTES

- 1 (E) ADJ. BUILDING
- 2 (E) WINDOWS AND (E) DOORS TO BE REMOVED, FINISH MATCH (E) WALL, TYP.
- 3 NEW 42" HT. WOOD GUARDRAIL MIN., TYP.
- 4 NEW WOOD COLUMN WITH 4x4 BRACE, TYP.
- 5 RESTORED WOOD DECK AND STAIR TO YARD
- 6 EXISTING WOOD DECK AND WOOD STAIR, REMOVED
- 7 NOT PERMITTED WOOD STAIR AND DECK TO BE REMOVED
- 9 (E) GAZEBO TO BE REMOVED
- 14 NEW ATTIC VENT FOR AIR VENTILATION

GENERAL NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY ALL (E) CONSTRUCTION RELATED CONDITIONS PRIOR TO COMMENCING WITH ANY WORK
- 2. ALL THE WEATHER EXPOSED BOLTS OR NAILS SHALL BE GALVANIZED & HOT-DIPPED
- 3. ALL EXPOSED WOOD MEMBERS SHALL BE RED WOOD OR PRESSURE TREATED
- 5. THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS 34" NOR MORE THAN 38" ABOVE LANDINGS & THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" B/W THE WALL & THE HANDRAIL AND RETURN TO WALL OR FLOOR
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- 7. ALL CONNECTORS USED IN CONJUNCTION WITH PRESSURE TREATED LUMBER MUST BE HOT-DIPPED ZINC GALVANIZED AND A MIN. GALVANIZATION LEVEL OF G185.



DOCUMENTS SUBMITTED FOR THE HEARING ON MARCH 15,
2023

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
TAKESHI MORO,)
Appellant(s))
vs.)
DEPARTMENT OF BUILDING INSPECTION,)
PLANNING DEPARTMENT APPROVAL Respondent)

Appeal No. **23-007**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on February 3, 2023, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on January 23, 2023, to Chau Chung, of an alteration permit (comply with NOV No. 2022291235; legalize one-level rear deck at rear yard with one-hour fire wall; legalize metal gate at front; remove patio cover: gazebo-canopy; new bathroom and home office; remove ladder to attic) at 1468 Van Dyke Avenue.

APPLICATION NO. 2022/07/12/8311

FOR HEARING ON March 15, 2023

Address of Appellant(s):

Address of Other Parties:

Takeshi Moro, Appellant(s) 1470 Van Dyke Avenue San Francisco, CA 94124	Chau Chung, Permit Holder(s) c/o Bill Guan, Agent for Permit Holder(s) Xie Associates, Inc. 26 Farview Court San Francisco, CA 94131
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Date Filed: February 3, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-007

I / We, **Takeshi Moro**, hereby appeal the following departmental action: **ISSUANCE** of **Alteration Permit No. 2022/07/12/8311** by the **Department of Building Inspection** which was issued or became effective on: **January 23, 2023**, to: **Chau Chung** for the property located at: **1468 Van Dyke Avenue**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: 4:30 p.m. on **February 23, 2023, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, tina.tam@sfgov.org, corey.teague@sfgov.org and bill@xiearchdesign.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **March 9, 2023, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, tina.tam@sfgov.org, corey.teague@sfgov.org and takeshimoro@gmail.com.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, March 15, 2023, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant or Agent:

Signature: Via Email

Print Name: Takeshi Moro, appellant

Statement of Appeal

Permit No. 202207128311 Issued Date: January 23, 2023
Property Address: 1468 Van Dyke Avenue, San Francisco, CA 94124

The existing elevated deck in the backyard of 1468 Van Dyke Avenue was built without permits and is located one foot and ten inches from our shared property line. The deck is elevated four feet above ground. It poses a fire hazard, and adversely affects our light and privacy. The owner's request to "legalize" the deck by constructing a firewall does not address our concerns. We request that the deck be reduced in accordance with San Francisco's *Residential Design Guidelines* such that it is five feet from our shared property line. The illegal gazebo canopy over the deck must also be removed.

The owner of 1468 Van Dyke Avenue (Chung Chau) has repeatedly shown disregard for DBI regulations in renovating this property, including the recent illegal installation of bedrooms in the attic level. The violations in the attic level were detailed in DBI Inspector Guaiumi's email to neighbors on August 4, 2022. Inspector Guaiumi insisted that the attic bathroom, plumbing, electric wall heaters, and staircase be removed. He stated that the attic area should only be used for storage. It should also be noted that the plans submitted by Ms. Chau in October 2022 (to the DBI) and December (to the Planning Department) show two large windows on the north and east side of the attic level as part of the original house. Instead, both windows had recently been installed without permits by the owner to illuminate the illegal rooms she built in the attic.

Given the owner's egregious violation of DBI regulations and her record of misleading the DBI, we ask that you grant our request to significantly reduce the size and scope of the rear elevated deck, which was constructed without permits and which negatively affects our safety, our privacy, and the value of our adjacent home at 1470 Van Dyke Avenue.

Takeshi Moro // 408-384-1610 // 1470 Van Dyke Avenue, SF 94124 // tgc8tj8wh@mozmail.com

Permit Details Report

Report Date: 2/3/2023 1:25:55 PM

Application Number: 202207128311
 Form Number: 8
 Address(es): 4810 / 008 / 0 1468 VAN DYKE AV
 Description: COMPLY W/ NOV 2022291235. LEGALIZE ONE-LEVEL REAR DECK AT REAR YARD W/1HR FIRE WALL, LEGALIZE METAL GATE AT FRONT, REMOVE PATIO CONVERD GAZEBO, CANOPY NEW BATHROOM AND HOME OFFICE, Remove ladder to attic
 Cost: \$40,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
7/12/2022	TRIAGE	
7/12/2022	FILING	
7/12/2022	FILED	
1/23/2023	APPROVED	
1/23/2023	ISSUED	

Contact Details:

Contractor Details:

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CES	7/12/22	7/12/22			7/12/22	MALCHOW CARL	
2	INTAKE	7/12/22	7/12/22			7/12/22	JINGJING LU	
3	BID-INSP	10/26/22	10/26/22			10/26/22	NG JOE	
4	CES	10/26/22	10/26/22			10/26/22	HINCHION JOHN	
5	INTAKE	10/26/22	10/26/22			10/26/22	STORM WILLIAM	10/26/22 NEW PLANSET SUBMITTED, REROUTE TO CP-ZOC; WS
6	CP-ZOC	7/13/22	7/22/22	10/26/22	1/3/23	1/3/23	PAGE VINCENT	APPROVED 01/03/23 (V. PAGE): Legalize (1) interior alterations undertaken without benefit of permit; and (2) a deck within the buildable area of lot and less than 10'-0" in height from grade. Attic to be used for storage only. Replace unpermitted gate at front, also within the buildable area of the lot, with a new gate no taller than 10'-0" and at least 75% open to perpendicular view. Abate 2022-005104ENF.
7	BLDG	1/20/23	1/20/23			1/20/23	LIU CHU	approved
8	MECH	1/20/23	1/20/23			1/20/23	TAN (PETER) JIA JIAN	Approved OTC
9	SFPUC	1/20/23	1/20/23			1/20/23	ARRIOLA LAURA	OTC - Capacity Charge not applicable. Not enough additional water fixtures/GPM. Return to Permit Applicant - 01/20/2023
10	PERMIT-CTR	1/4/23	1/4/23			1/4/23		01/04/2023: Project received by Permit Center Team. Applicant may collect the project to continue OTC review. See email from PERMITCENTER@SFGOV.ORG for instructions.-NB
11	CPB	1/23/23	1/23/23			1/23/23	PANGELINAN MARIANNE	1/23/23,MPANG RECEIVED STAMP APPLIED AT ISSUANCE NO SIGNATURE ON PLANS 7/12/22-JJ

This permit has been issued. For information pertaining to this permit, please call 688-652-2450

BRIEF SUBMITTED BY THE APPELLANT(S)

Law Offices of Niall Vignoles

February 23, 2023

Via Email: BoardOfAppeals@sfgov.org

Mr. Rick Swig, President
San Francisco Board of Appeals
49 S Van Ness Ave.
San Francisco, CA 94103

**Re: Appeal of Planning Department's Approval of Permit 2022/07/1208311
Board of Appeals No. 23-007 Scheduled Hearing: March 15, 2023
Property Address: 1468 Van Dyke Ave; Assessor's Block: 4810, Lot 008**

Dear President Swig and Members of the Board:

Takeshi Moro appeals Planning's approval and DBI's issuance of a permit (the "2023 Permit") to "legalize" the unpermitted construction that converted the 2-bedroom, 1-bathroom single family residence (SFR), next door to his family's SFR home, into a 5-bedroom, 4-bathroom Airbnb hotel, with large, elevated back deck, operated by owner Chang Chau at 1468 Van Dyke Avenue (the "Property"), in the residential heart of the Bayview neighborhood. [Ex. A, Moro's Appeal Packet.] Moro bases his appeal on three main grounds. First, the 2023 Permit allows Chau to convert the two-bedroom, 1-bath SFR into a functional 4-bedroom, 3-bath Airbnb hotel, partially based on inaccurate "as built" drawings that depict the rooms that were not in existence when Chau bought the property in 2021. Second, the 2023 Permit does not properly address the large windows in the illegally converted attic; though the City has ordered the attic to be restored back to storage use following its unpermitted conversion into a 2-bedroom, 1-bathroom hotel suite, the 2023 Permit does not explicitly require the removal of the large windows. Third, the 2023 Permit allows for *de facto* expansion of the envelope of the Property, without 311 neighborhood notification, by allowing "legalization" of the unpermitted construction of a high, large rear-yard – currently gazebo-covered – deck with the construction of a tall, over 15-foot-wide firewall along Moro's and Chau's joint property line.

HISTORY

2021 and prior: When Chau bought the Property on September 15, 2021, it had been lived-in by a rental tenant, Beverly Choice, for the prior 15 years.¹ Moro has been the next-door neighbor at 1470 Van Dyke since 2017, with his wife and two children.



The photos and marketing materials show the Property as a comfortable 2-bedroom, 1 bathroom home with, at the rear, a landing and backstairs; there are no depictions of the attic, because it was just storage (with no windows) and [Ex. B, Materials from September 15, 2021, sale.]²

2021 Complaint: Immediately upon purchase, Chau began *unpermitted* construction at the Property. On September 27, 2021, pursuant to complaint, DBI attempted to inspect the Property and “observed construction debris at rear of building.” On October 1, 2021, Chau went to DBI, ostensibly to get a permit for the work being performed. DBI would not issue a permit without

¹ Henrietta Jones is the prior owner. She is in her 80s and lives in the Portola neighborhood. She sold the Property when Mr. Choice died after a long illness. Moro had been in the home numerous times to assist and socialize with Ms. Choice, and her adult children that live nearby. Moro and Ms. Jones jointly built their joint property line, rear yard fence.

² Moro, a professional photograph artist and educator who took some of the pictures included here.

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inspection first. Chau did not timely allow inspection and DBI issued a notice of violation for the work performed without permit. [Ex. C, 2021 DBI NOV Record.]

2021 Permit: On November 11, 2021, to abate the NOV, Chau applied for permit to “*remodel two bathrooms on second floor*” and to install two small skylights and a larger window at rear. [Emphasis added.] [Note: the addition of the skylights and the window at the rear was in preparation of illegal conversion of attic space without permits.] A week later, DBI issued permit 202111222856 (the “2021 Permit”). On March 3, 2022, the work was inspected and finalized. [Ex. D, Permit Detail Report.]³

Work After 2021 Permit Finalized: Immediately after the March 3, 2022, final sign-off of the 2021 Permit, Chau *again* proceeded to perform a vast amount of *unpermitted* work including, but not limited to: constructing a large, elevated deck close to the joint property line; installing an illegal, opaque front gate; and converting the storage attic two a two-bedroom loft with bathroom. To provide access to the illegal attic bedrooms and bathroom, Chau replaced the pull-down ceiling ladder with a below-code, steep, narrow staircase. To make the attic appear habitable, Chau installed a *second* new large attic window. [See Photos Ex. E (Deck), Ex. F (Front Gate), Ex. G (Windows).]



³ Moro did not appeal the issuance of the 2021 Permit because he did not know it was based on inaccurate statements by Chau and did not know the work to be performed was in an effort to convert the use of the Property from single-family residency to hotel/Airbnb use.



Conversion to Hotel Use: By May 2022, Chau had listed each of main floor bedrooms (now three of them) as separate suites/rooms for rent on Airbnb and the storage attic was listed as a “two-bedroom loft with shared half-bath.” [Exs. H, I, J & K, Airbnb Listings of Bdrms No.1, No. 2, and No. 3, and 2-Bdrm Attic Suite.] On June 15, 2022, the City’s Office of Short-Term Rentals confirmed that Chau had been continuing to rent the Property for hotel use.

[Ex. L, June 15, 2022 email.]⁴ Each of the – now five – rooms were shown, on Airbnb listing, as being reserved into August 2022. [See Calendars on Pgs 2 & 3 of each of Exs. H-K.] The Property is still not used for residential use, by Chau or a tenant.

2023 Permit: By May 20, 2022, DBI received a complaint that Chau was again performing unpermitted work at the Property including:

1. a solid metal gate approximately 12 ft in height was installed at the front setback of property.
2. rear landing and stairs were removed and a new rear deck approximately 5ft above grade was built and extends approximately to within 3ft of both East and West property lines.
3. a patio cover was installed encompassing approximately 1/3 of the deck.
4. a new attic window at the rear (north side) of the building was installed. DBI NOV 202291235. Potential ILO. [See Ex. M, Planning Dept. Summary.]

⁴ As soon as Chau was no longer able to list the Property for short-term rental, Chau began using the house as storage of building materials – windows, tiles, fixtures, etc. – instead of using the Property as a single-family residence.

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On June 30, 2022, the Planning Department issued a Notice of Complaint to Chau for Chau's illegal work. [Ex. N, NOC 2022-005104ENF.] DBI Insp. Guaiumi could not gain access to inspect the property – in part because of the new, imposing gate – so, on July 12, 2022, transferred the case to DBI's Code Enforcement Division and Notice of Violation 202291235 issued. [Ex. O, Report of Complaint and NOV.]

DBI Code Enforcement found that the large, elevated rear deck was built (a) within 2-feet of the joint property line, (b) with unpermitted plumbing and gas, and (c) with a large wooden gazebo. [See Ex. D. and Photos above.]

On October 26, 2022, to abate the latest NOV, Chau submitted inaccurate “original”, “existing” 1st Floor plans that show the Property as supposedly being an existing three-bedroom, two-bathroom, though the home was sold to Chau as being two-bedroom, one-bathroom.⁵ Chau has also asked to be allowed to add *fourth* bedroom (termed an “office”) and a *third* bathroom, to create fourth unit for Airbnb rental with another unit that can be marketed as *en suite*. [Ex. P, Plans.]

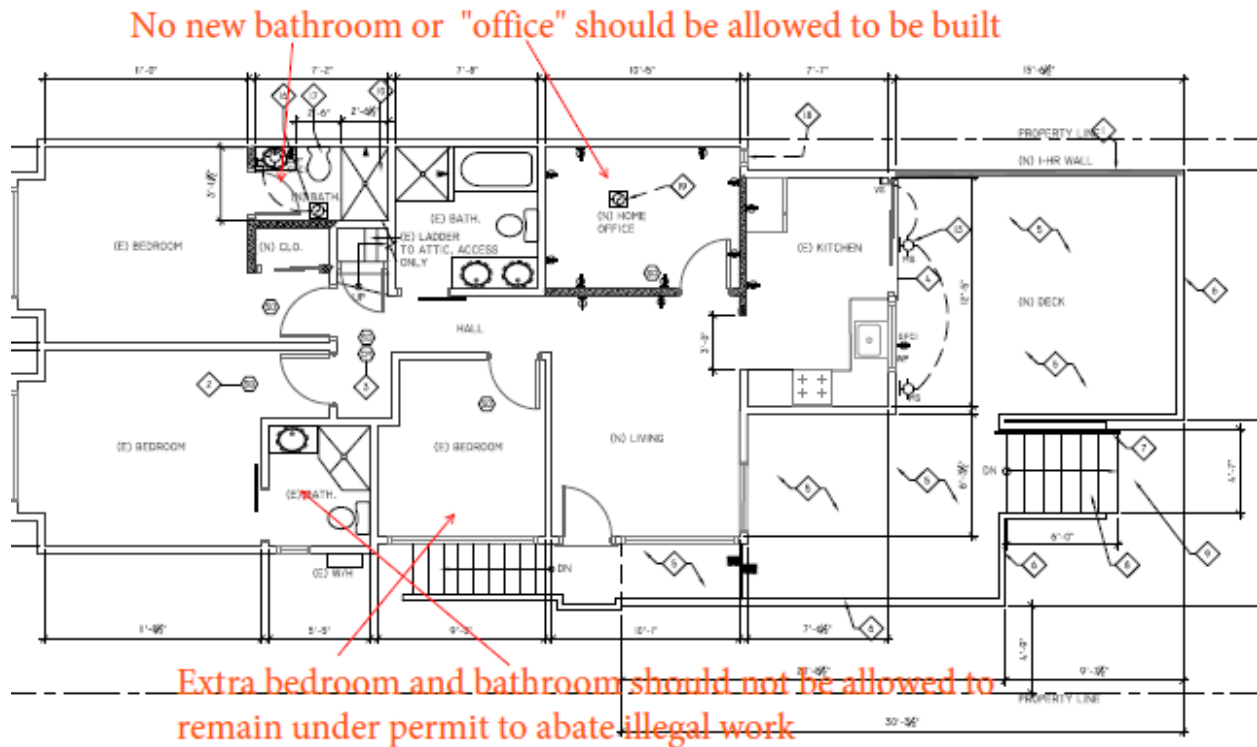
On January 3, 2023, the Planning Department approved the back deck construction because Chau's architect shows the firewall as inches lower than 311 notification triggering 10 feet height and the deck is pulled back from the *rear* property line. The deck is less than two feet from the joint property line, has a floor surface at the same height as Chau's and Moro's joint property line fence. The new solid firewall appears over 10 feet tall when viewed from base of

⁵ The Central Permit Bureau (CPB) noted that the plans submitted were unsigned. [Ex. A, Pg 4 Appeal.]

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the Property's main house. On January 23, 2023, DBI issued the 2023 Permit. Moro timely appealed the issuance of the 2023 Permit.



ARGUMENT and REQUESTS

Bedrooms and Bathrooms: The 2023 Permit was issued pursuant to inaccurate as-built drawings that incorporated work Chau performed based on her false assertions in the 2021 Permit that the Property already had three bedrooms and two bathrooms, when the Property clearly had only two bedrooms and one bathroom prior to Chau's illegal work. The 2021 Permit was also inaccurate to the extent it did disclose the only purpose of the work was to convert the building to hotel/Airbnb use. Pursuant to Building Code 106A.4.5, the City may revoke a permit issued on the basis of incorrect information supplied by the permit applicant. Work performed under an invalid or revoked permit can be ordered to be removed. Now, Chau seeks not only to

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keep the extra bedroom and extra bathroom beyond its properly permitted 2-bedroom, 1-bathroom construction, but to add another rentable room and to add another bathroom. Every extra bedroom, “office” and bathroom increases the number of Airbnb guests Chau will rent to once her current NOV(s) issues are resolved. The Board should act to remove Chau’s incentives not to return the Property to its proper single-family residence use. Another neighbor described their concerns regarding the Property to Planning and DBI thusly:

While i recognize that this may (hopefully) go out for community review the bottom line is that [Chau] is clearly now attempting to simply keep the already unpermitted modifications, while further expanding upon them due to the loss of utilization of the unpermitted second story for the sole purpose of continuing to use this property as a functioning hostel for listing on Airbnb, *as was the property owners intention all along*. There is a clear intent in this case to flaunt short term rental requirements, similar to the shown indifference to following requirements by DBI and her own contentions to others that "This is San Francisco, nobody follows the rules". It would seem to me that a little digging would likely reveal that this property owner, along with her effective personal contractor, is likely part of a group that is buying properties and simply converting them into Airbnb or short term rental properties to maximize revenues outside of regulations. As soon as she was no longer able to rent the current property at 1468 Van Dyke we as neighbors immediately began to see the property used as storage for building materials (Windows, Tile, Fixtures) suggesting that they had already moved onto another property to renovate, and it is only coincidental that the address she had provided upon previous documents was for a property that was for sale and seemingly no longer a reachable address.

[Ex. Q, Email to Planning and DBI, December 8, 2022.]

Request: Appellant respectfully asks this Board to uphold the appeal of the issuance of the 2023 Permit and require that the Departments (a) not to consider the 2021 Permit as validly issued, because it was issued based on inaccurate plans and false statements of Chau, and (b) to limit approved construction at the Property to two-bedroom, 1-bath, and certainly not allow the proposed new 3rd bathroom and new “office.”

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Attic Windows: The 2023 Permit was issued pursuant to inaccurate as-built drawings that incorporated work Chau performed without benefit of permit, including the addition of large attic windows. Because the 2021 Permit was issued based on Chau's inaccurate statement that a window already existed on the rear wall of the attic, the City can order the removal of that window. The attic has been ordered to be returned to storage use, but the permit does not explicitly require Chau to remove the windows that were installed to create the appearance of habitable space. Chau has previously been evasive about the configuration of the attic space, but the photographs show that the Property did not have the large side window at the attic level when Chau purchased the building. Chau added the windows so to make the attic storage space appear habitable for Airbnb use.⁶ To not require the removal of the windows is tantamount to rewarding Chau for performing unpermitted construction and illegal conversion of the space to short-term rental occupancy. Furthermore, removal of the windows will decrease the chance that Chau, in the future, improperly uses the attic storage space illegally for surreptitious short-term occupancy.

Request: Appellant respectfully asks this Board to uphold the appeal of the issuance of the 2023 Permit and require that the Departments take all appropriate steps to assure the timely removal of the large attic windows and return the exterior walls to a substantial similar condition as existed before Chau installed the windows.

Back Deck: Chau illegally built a deck 5 feet off the ground and close up to the joint property line fence with Moro, such that Chau's Airbnb guests hover over Moro's family when they

⁶ The large opening also allowed Chau access to hoist in the queen-sized mattress and box spring for the illegal Airbnb unit.

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attempt to enjoy their previously somewhat private rear yard space. Residential Design Guidelines for rear yards provide that planning and structures should consider the effect of privacy and light to neighboring properties. (*See* Residential Design Guidelines, Pg 16-17; Rear Yard.) The Planning Department required only that the deck be pulled back 2'-1" from the back edge of the overblown deck - to meet rear yard open space requirement - without addressing the light and privacy concerns of the neighbors to the side. DBI has informed Moro that it will require Chau to build a firewall along the side of the illegally constructed deck if the deck is allowed to remain within five feet of a joint property line. Because of the height of the deck, the firewall would be required to extend almost, if not over, 10 feet in height for the length of the deck along the joint property line. Pursuant to Planning Department January 2019 Information Bulletin on Decks, 10-foot-high construction would require 311 neighborhood notification.

[**Ex. R**, Planning Notice re: Decks.]

Appellant notes that the Plans appear to be purposefully inaccurately drawn. The below west elevation plan for the current, approved project, shows area under the extension as walled off.

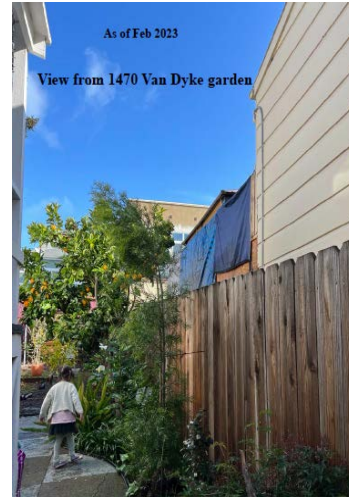
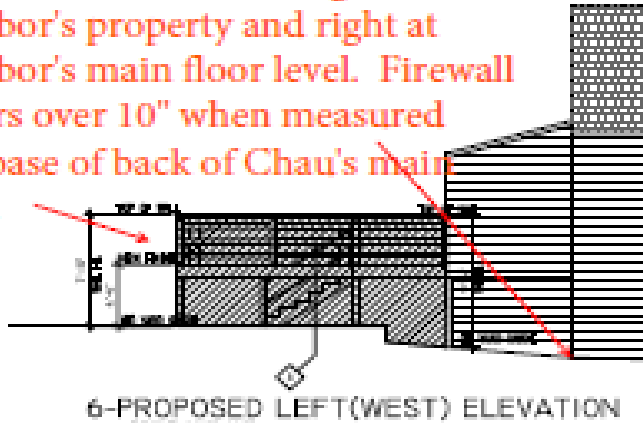
[*See* Ex. P, Pg. 6.] The initial drawings, also below, [**Ex. S**, October 2022 Plans, Pg 5], and Moro's photo, below and at **Ex. T**, however, show the area is open.

Given Chau's Airbnb history at the Property, and the inaccurate drawings, there is little reason to weigh Chau's desire to have an obtrusive deck over Chau's neighbor's rights to light and privacy.⁷

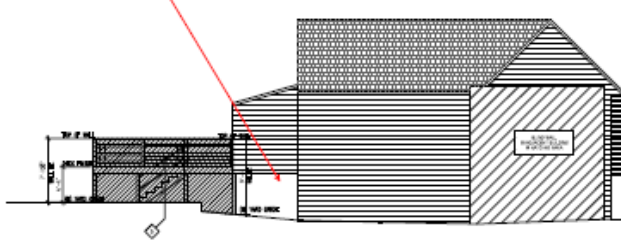
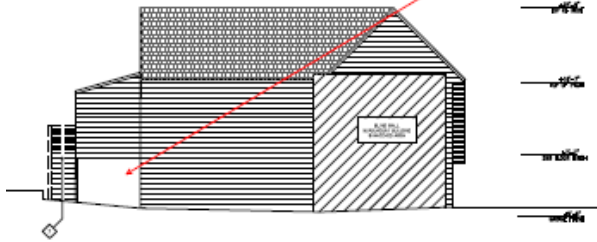
⁷ Here, Chau could have easily built her deck closer to ground level, if not just pavers on the ground, with just a few steps down from the back door, and recessed five feet from the property line, so that her hotel/Airbnb guests are not looming over Moro and his family when Chau's guests use Chau's rear yard open space. The pictures at **Ex. D** show that Chau's deck is out of place given the emphasis on open ground as opposed to elevated decks.

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Deck and Firewall looming over Neighbor's property and right at Neighbor's main floor level. Firewall appears over 10" when measured from base of back of Chau's main house.



October 2022 Plans show this area open, while later plans show the area as having existing exterior wall.



Picture taken in September 2022 shows the area under the extension is open, unlike as shown in approved plans.

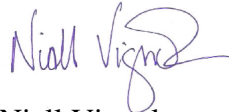
Request: Appellant respectfully asks this Board to grant the appeal and require that the Departments take all appropriate steps to assure the timely removal of entire existing deck and

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allow only a deck that steps down to the minimum allowable deck height and that ends at least 5 feet from the Property's rear yard joint property lines.

Thank you for your thoughtful consideration.⁸

Very truly yours,



Niall Vignoles

Attachments: Exhibits A - T

cc: Corey Teague, Zoning Administrator (via email: corey.teague@sfgov.org)
Tina Tam, DBI (via email: tina.tam@sfgov.org)
Julie Rosenberg, (via email: julie.rosenberg@sfgov.org)
Bill Guan, (via email: bill@xiarchdesign.com)

⁸ Over and above the damage Chau is doing to the neighborhood and interfering with the Moro family's enjoyment of their home, Chau is destroying the joint property line fence Moro built with the responsible prior owner, Ms. Henrietta Jones, by leaning mattress(es) and bed frames against the fence.



City and County of San Francisco



London Breed
Mayor

Board of Appeals

Julie Rosenberg
Executive Director

February 3, 2023

Chang Chau, Permit Holder(s)
c/o Bill Guan, Agent for Permit Holder(s)
Xie Associates, Inc.
26 Farview Court
San Francisco, CA 94131
bill@xiearchdesign.com

Appeal No.: 23-007
Appeal Title: Moro vs. DBI, PDA
Subject Property: 1468 Van Dyke Avenue
Permit Type: Alteration Permit
Permit No.: 2022/07/12/8311

Dear Bill Guan:

This is to notify you that an appeal has been filed with this office protesting the **ISSUANCE** of the above-referenced permit. Pursuant to Article I, §8 of the San Francisco Business & Tax Regulations Code, the permit is hereby **SUSPENDED** until the Board of Appeals decides this matter and releases a notice of decision and order.

We are enclosing a copy of the **Preliminary Statement of Appeal** for your information.

The hearing regarding this matter has been scheduled for **March 15, 2023, at 5:00 p.m., and will be held in Room 416 of San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place.** The parties may also attend remotely via the Zoom video platform.

If you have any further questions, you may email this office at boardofappeals@sfgov.org or call (628) 652-1150.

Sincerely,

BOARD STAFF

cc: Department of Building Inspection c/o Matthew Greene, Chief Building Inspector
matthew.greene@sfgov.org

Takeshi Moro, Appellant(s)
1470 Van Dyke Avenue
San Francisco, CA, 94124
takeshimoro@gmail.com



Date Filed: February 3, 2023

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 23-007

I / We, **Takeshi Moro**, hereby appeal the following departmental action: **ISSUANCE** of **Alteration Permit No. 2022/07/12/8311** by the **Department of Building Inspection** which was issued or became effective on: **January 23, 2023**, to: **Chang Chau**, for the property located at: **1468 Van Dyke Avenue**.

BRIEFING SCHEDULE:

The Appellant may, but is not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellant's Brief is due on or before: 4:30 p.m. on **February 23, 2023, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, tina.tam@sfgov.org, corey.teague@sfgov.org and bill@xiarchdesign.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **March 9, 2023, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be doubled-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, tina.tam@sfgov.org, corey.teague@sfgov.org and takeshimoro@gmail.com.

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, March 15, 2023, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant or Agent:

Signature: Via Email

Print Name: Takeshi Moro, appellant

Statement of Appeal

Permit No. 202207128311 Issued Date: January 23, 2023
Property Address: 1468 Van Dyke Avenue, San Francisco, CA 94124

The existing elevated deck in the backyard of 1468 Van Dyke Avenue was built without permits and is located one foot and ten inches from our shared property line. The deck is elevated four feet above ground. It poses a fire hazard, and adversely affects our light and privacy. The owner's request to "legalize" the deck by constructing a firewall does not address our concerns. We request that the deck be reduced in accordance with San Francisco's *Residential Design Guidelines* such that it is five feet from our shared property line. The illegal gazebo canopy over the deck must also be removed.

The owner of 1468 Van Dyke Avenue (Chung Chau) has repeatedly shown disregard for DBI regulations in renovating this property, including the recent illegal installation of bedrooms in the attic level. The violations in the attic level were detailed in DBI Inspector Guaiumi's email to neighbors on August 4, 2022. Inspector Guaiumi insisted that the attic bathroom, plumbing, electric wall heaters, and staircase be removed. He stated that the attic area should only be used for storage. It should also be noted that the plans submitted by Ms. Chau in October 2022 (to the DBI) and December (to the Planning Department) show two large windows on the north and east side of the attic level as part of the original house. Instead, both windows had recently been installed without permits by the owner to illuminate the illegal rooms she built in the attic.

Given the owner's egregious violation of DBI regulations and her record of misleading the DBI, we ask that you grant our request to significantly reduce the size and scope of the rear elevated deck, which was constructed without permits and which negatively affects our safety, our privacy, and the value of our adjacent home at 1470 Van Dyke Avenue.

Takeshi Moro // 408-384-1610 // 1470 Van Dyke Avenue, SF 94124 // tgc8tj8wh@mozmail.com

Permit Details Report

Report Date: 2/3/2023 1:25:55 PM

Application Number: 202207128311
 Form Number: 8
 Address(es): 4810 / 008 / 0 1468 VAN DYKE AV
 Description: COMPLY W/ NOV 2022291235. LEGALIZE ONE-LEVEL REAR DECK AT REAR YARD W/1HR FIRE WALL, LEGALIZE METAL GATE AT FRONT, REMOVE PATIO CONVERD GAZEBO, CANOPY NEW BATHROOM AND HOME OFFICE, Remove ladder to attic
 Cost: \$40,000.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
7/12/2022	TRIAGE	
7/12/2022	FILING	
7/12/2022	FILED	
1/23/2023	APPROVED	
1/23/2023	ISSUED	

Contact Details:

Contractor Details:

License Number: OWN
 Name: OWNER OWNER
 Company Name: OWNER
 Address: OWNER * OWNER CA 00000-0000
 Phone:

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CES	7/12/22	7/12/22			7/12/22	MALCHOW CARL	
2	INTAKE	7/12/22	7/12/22			7/12/22	JINGJING LU	
3	BID-INSP	10/26/22	10/26/22			10/26/22	NG JOE	
4	CES	10/26/22	10/26/22			10/26/22	HINCHION JOHN	
5	INTAKE	10/26/22	10/26/22			10/26/22	STORM WILLIAM	10/26/22 NEW PLANSET SUBMITTED, REROUTE TO CP-ZOC; WS
6	CP-ZOC	7/13/22	7/22/22	10/26/22	1/3/23	1/3/23	PAGE VINCENT	APPROVED 01/03/23 (V. PAGE): Legalize (1) interior alterations undertaken without benefit of permit; and (2) a deck within the buildable area of lot and less than 10'-0" in height from grade. Attic to be used for storage only. Replace unpermitted gate at front, also within the buildable area of the lot, with a new gate no taller than 10'-0" and at least 75% open to perpendicular view. Abate 2022-005104ENF.
7	BLDG	1/20/23	1/20/23			1/20/23	LIU CHU	approved
8	MECH	1/20/23	1/20/23			1/20/23	TAN (PETER) JIA JIAN	Approved OTC
9	SFPUC	1/20/23	1/20/23			1/20/23	ARRIOLA LAURA	OTC - Capacity Charge not applicable. Not enough additional water fixtures/GPM. Return to Permit Applicant - 01/20/2023
10	PERMIT-CTR	1/4/23	1/4/23			1/4/23		01/04/2023: Project received by Permit Center Team. Applicant may collect the project to continue OTC review. See email from PERMITCENTER@SFGOV.ORG for instructions.-NB
11	CPB	1/23/23	1/23/23			1/23/23	PANGELINAN MARIANNE	1/23/23,MPANG RECEIVED STAMP APPLIED AT ISSUANCE NO SIGNATURE ON PLANS 7/12/22-JJ

This permit has been issued. For information pertaining to this permit, please call 628-652-2450

This permit has been issued. For information pertaining to this permit, please call 628-652-3400.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

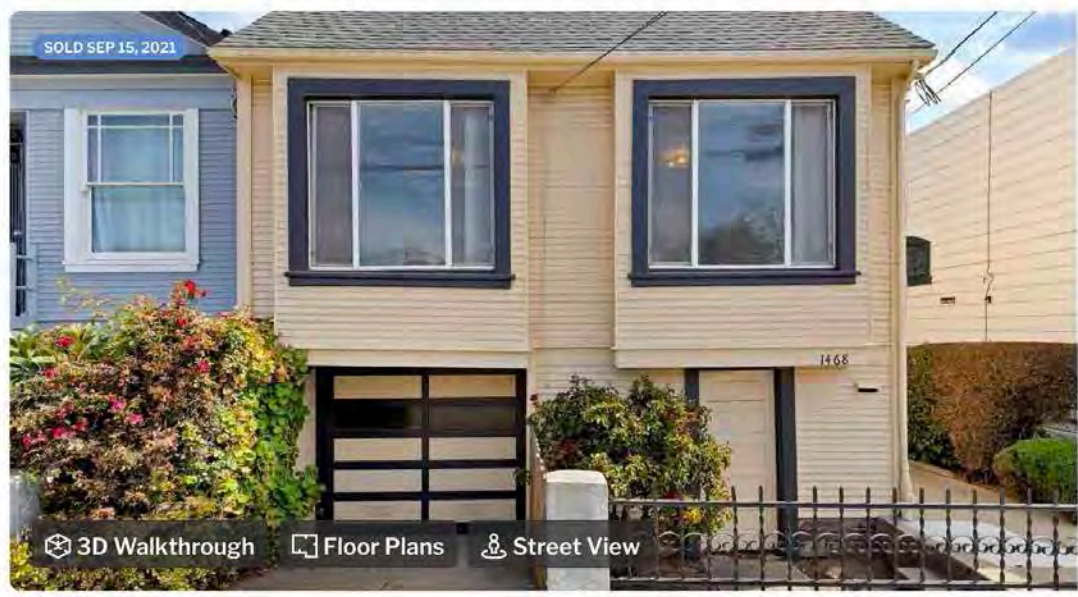
Station Code Descriptions and Phone Numbers

[Online Permit and Complaint Tracking](#) home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

Feed Overview Property Details Sale & Tax History Public Facts Schools Favorite Edit Facts Share



LAST SOLD ON SEP 15, 2021 FOR \$738,000
1468 Van Dyke Ave, San Francisco, CA 94124
\$1,065,190 **2** **1** **1,000**
Redfin Estimate Beds Bath Sq Ft



Thinking about selling?

Get a Redfin Home Sales Advisor's opinion on your home's value and the state of the San Francisco market.

Estimated Sale Price
\$1.04M - \$1.15M

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Photos 3D Walkthrough Floor Plans Street View

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GROSS INTERNAL AREA

23 of 23

EXCLUDES COMMERCIAL USE, COMMON AREAS, 84,116, 888, 890, 891

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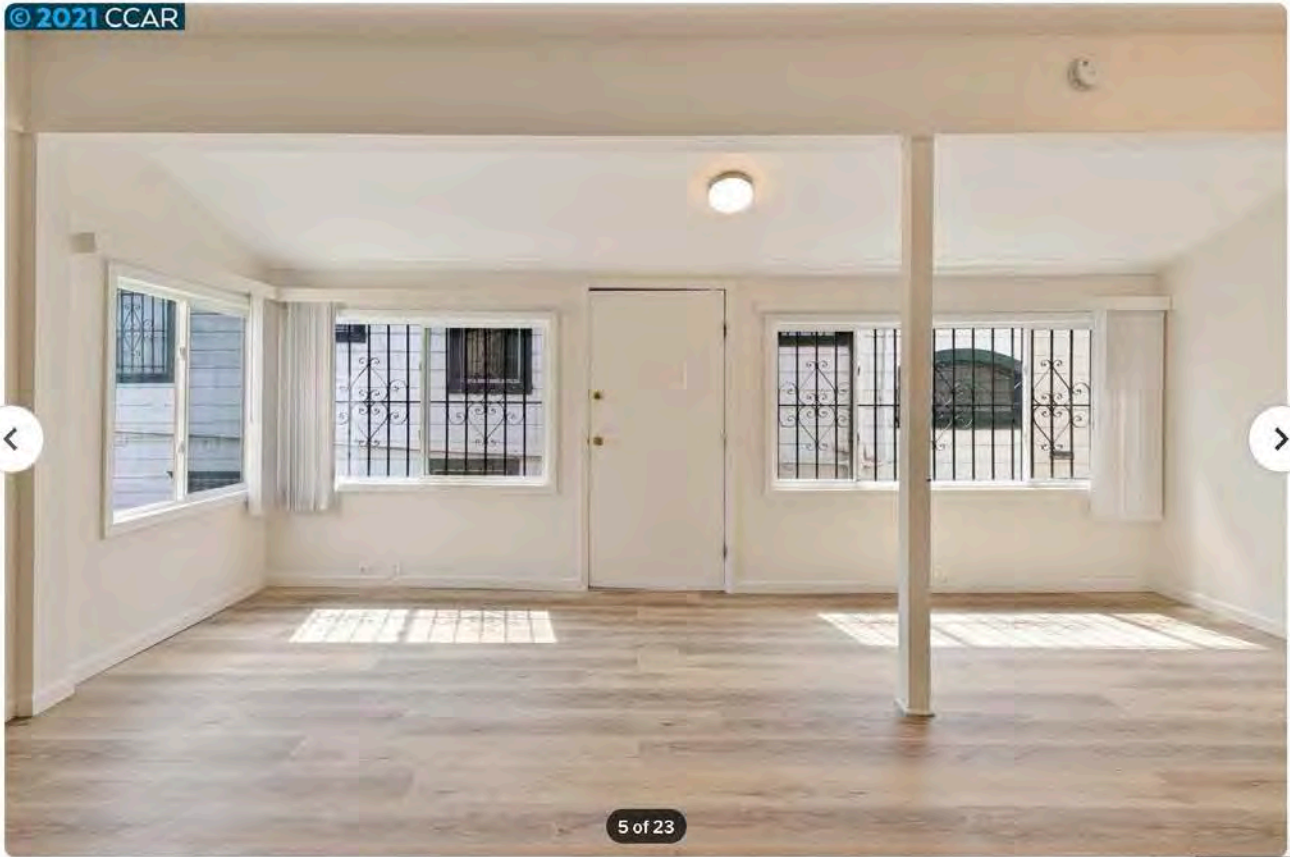
Request a free analysis

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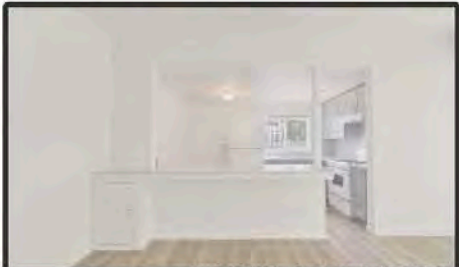
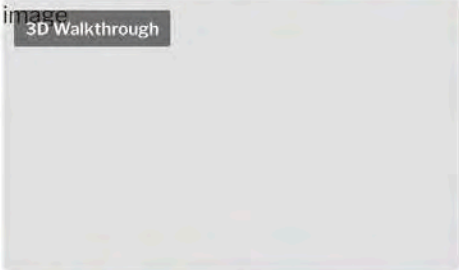
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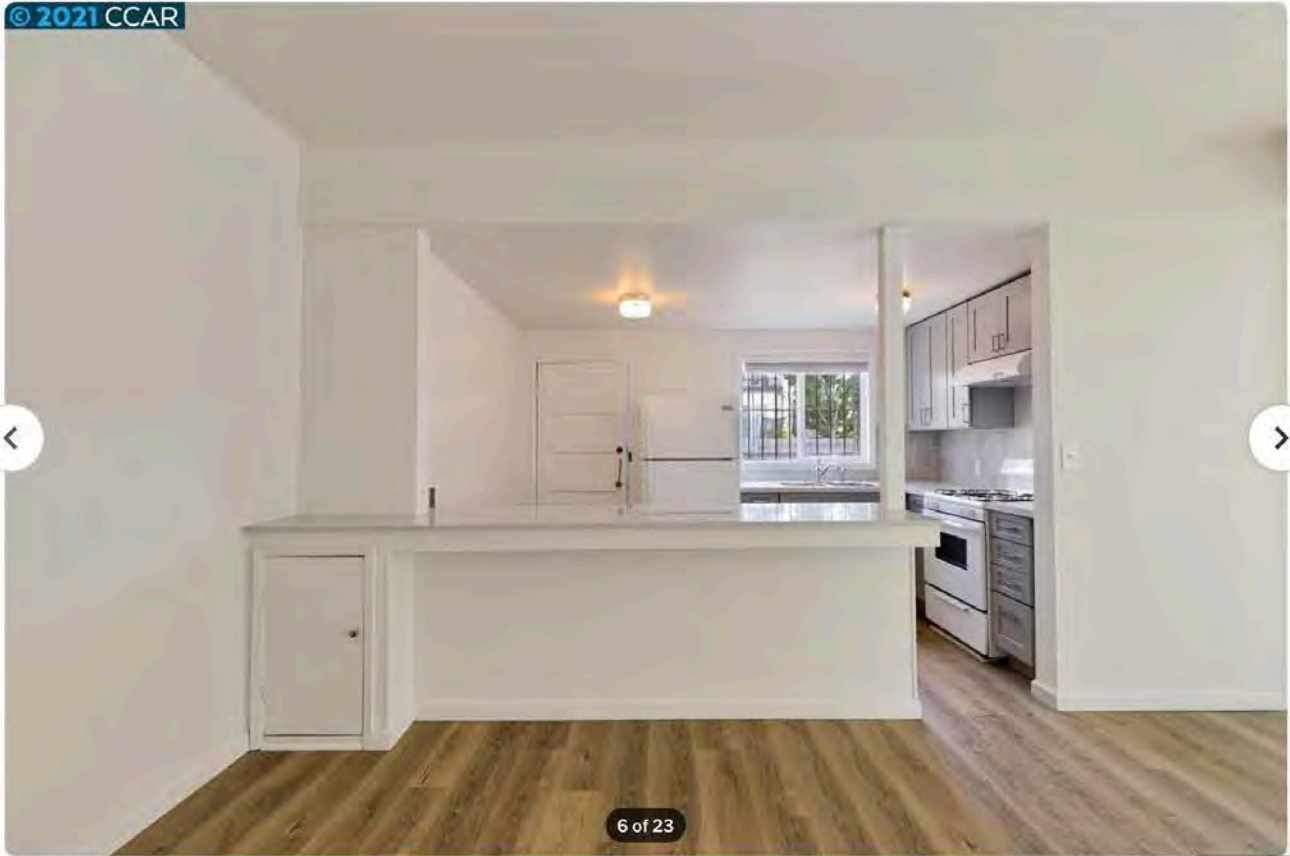


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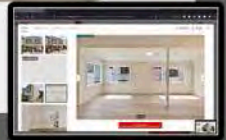
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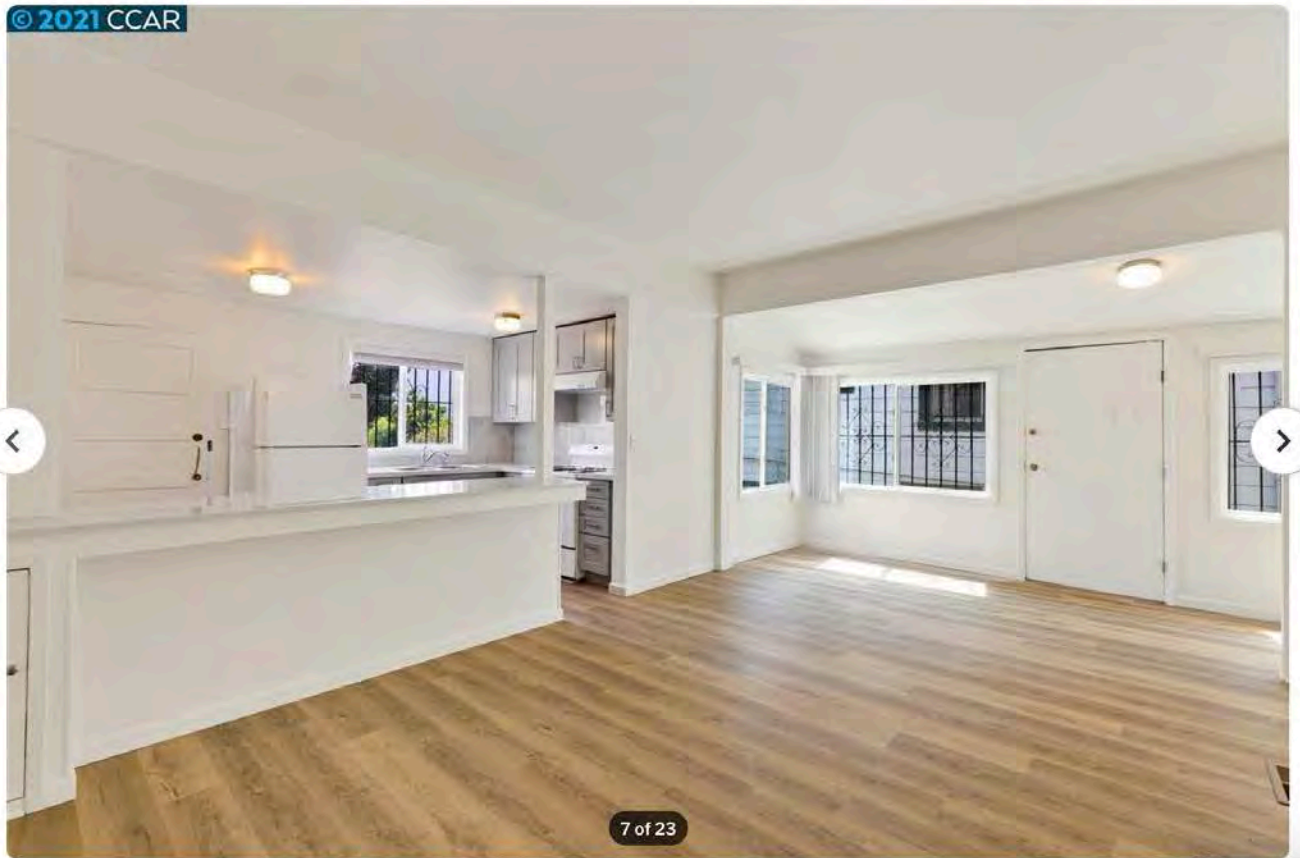
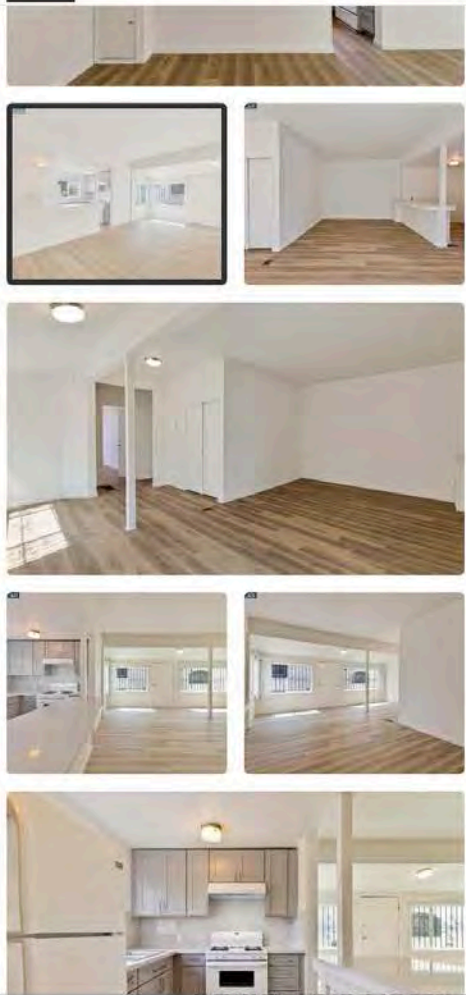
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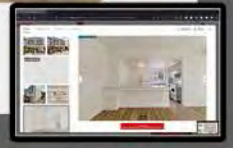
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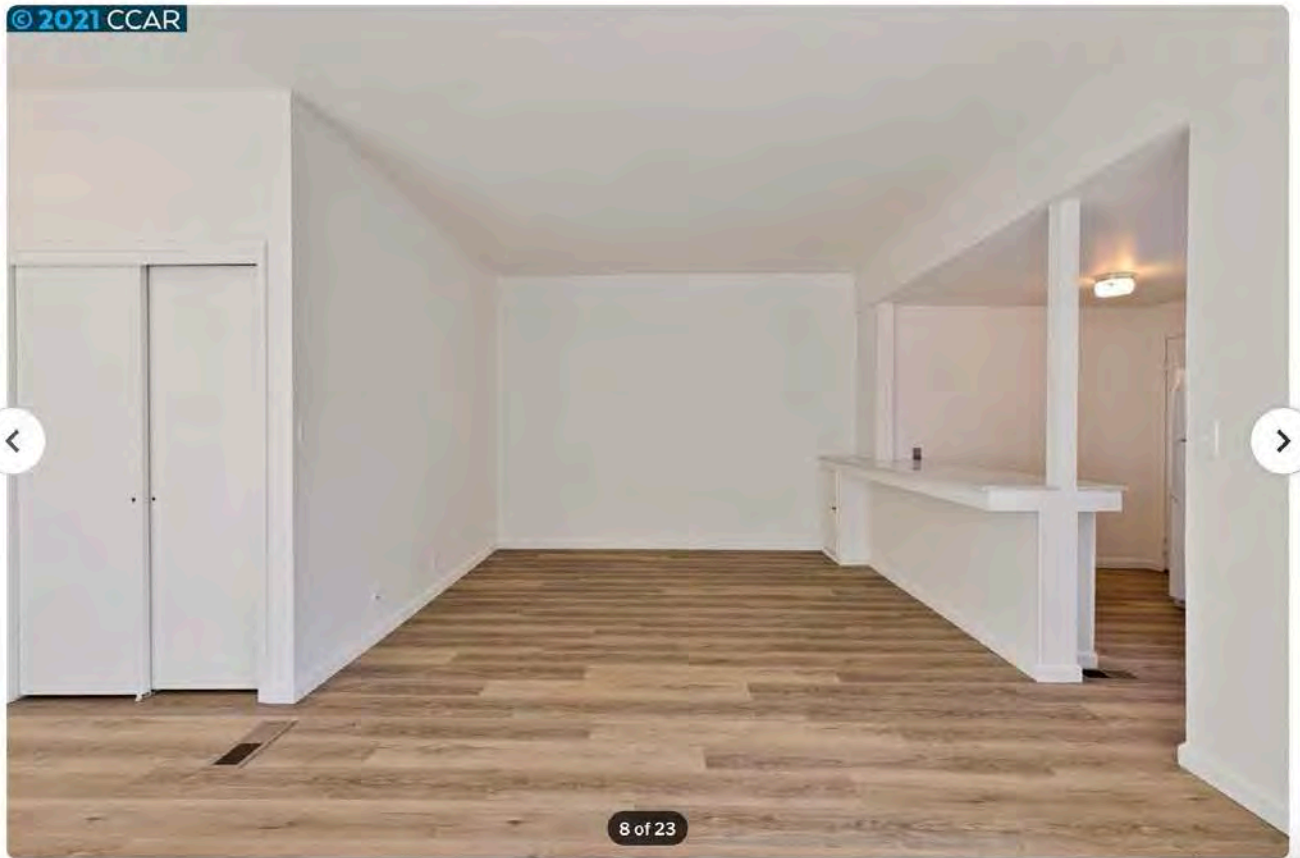
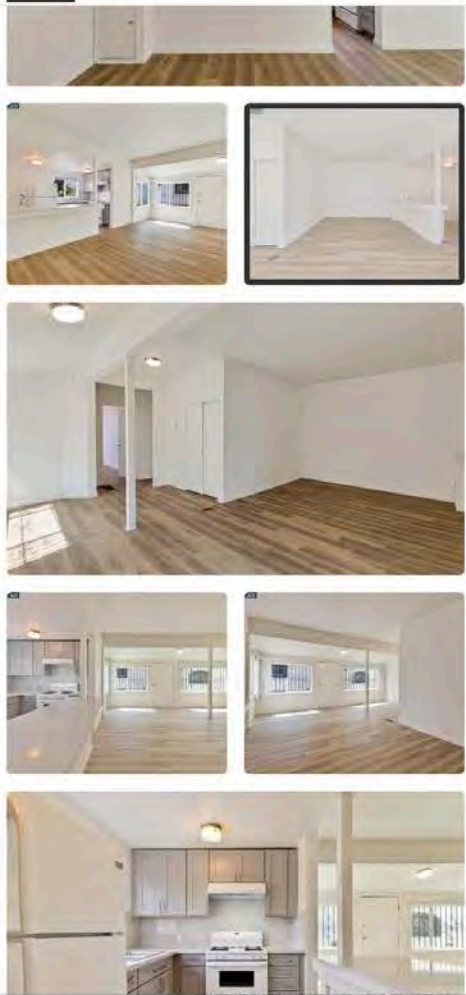
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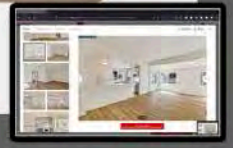
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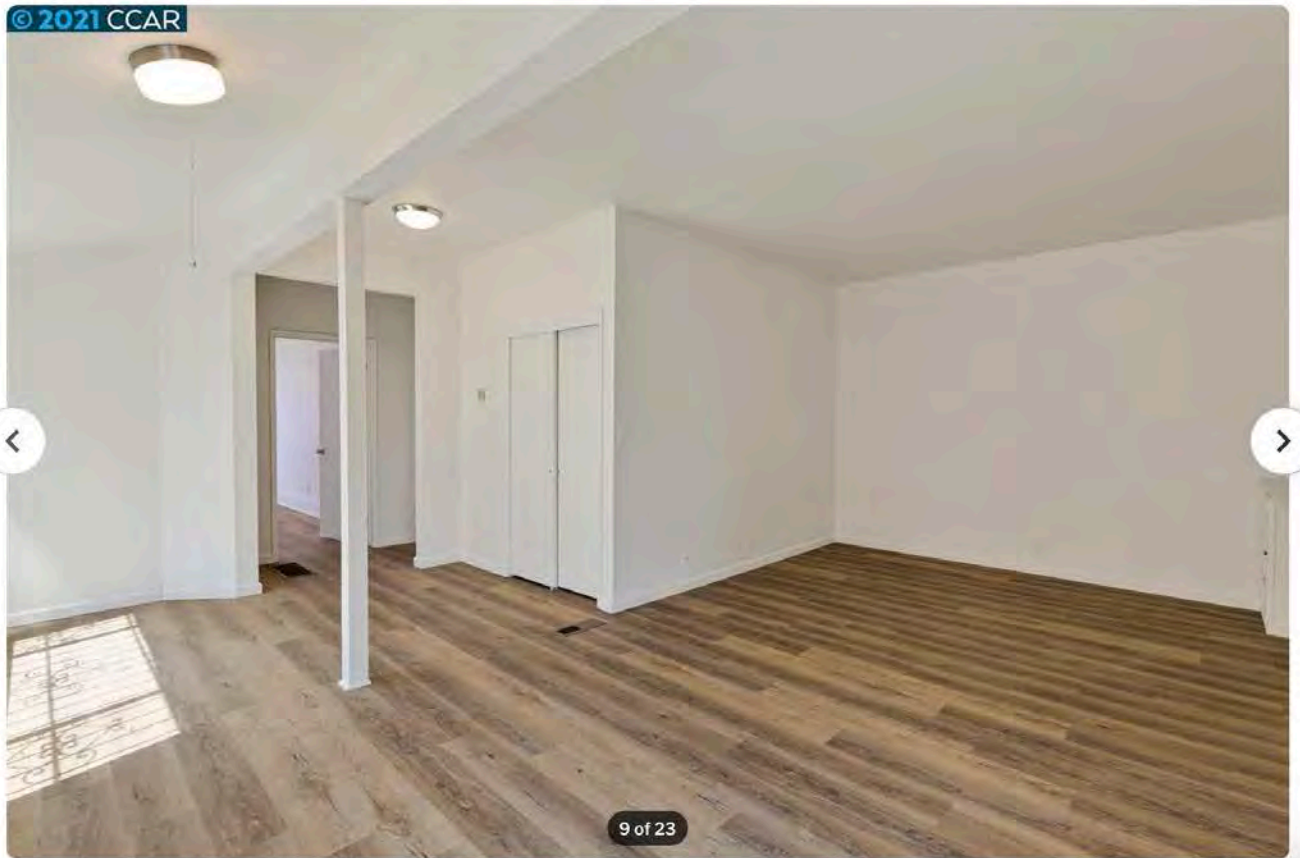
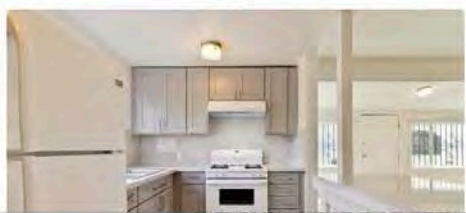
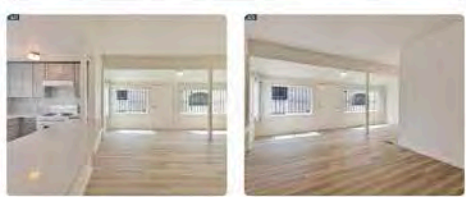
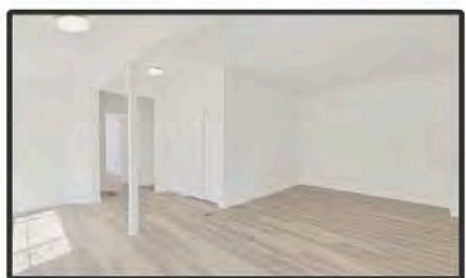
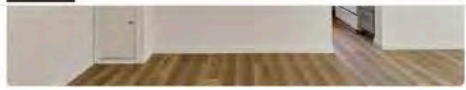
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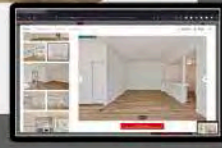
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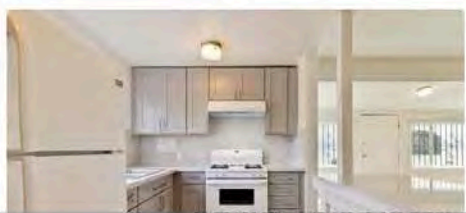
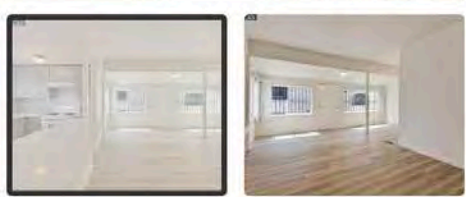
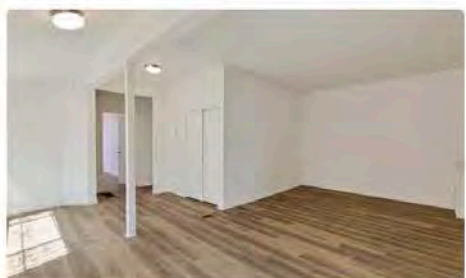
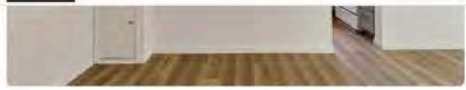
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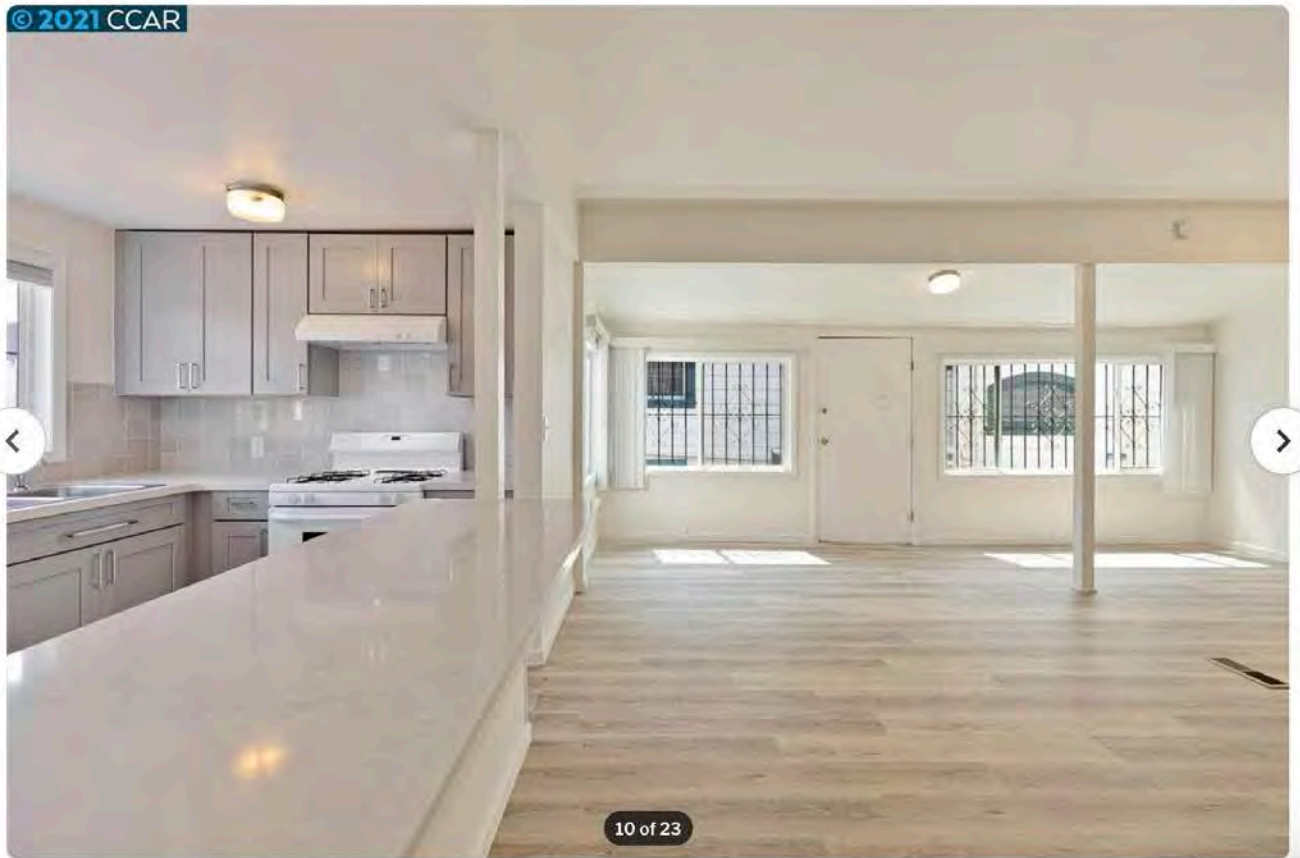


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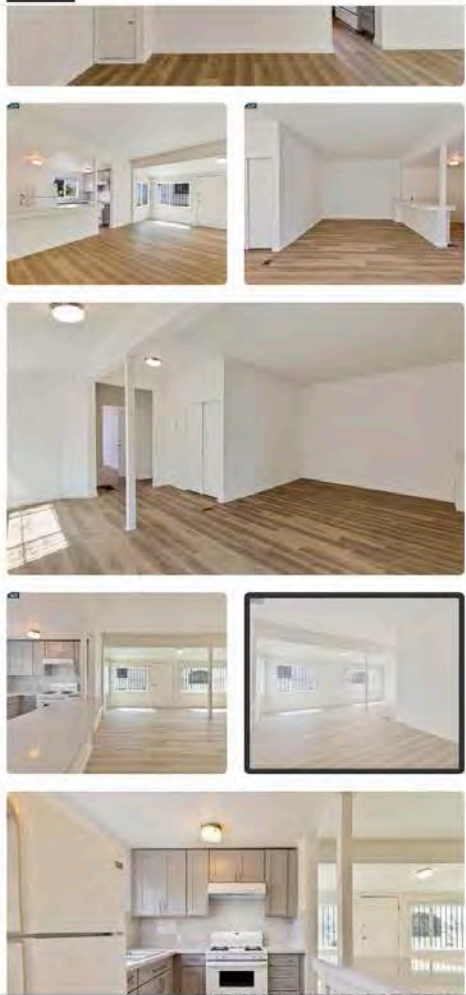
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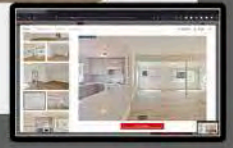
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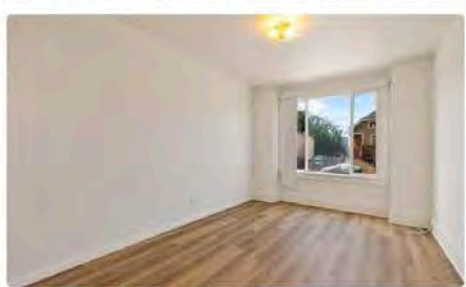
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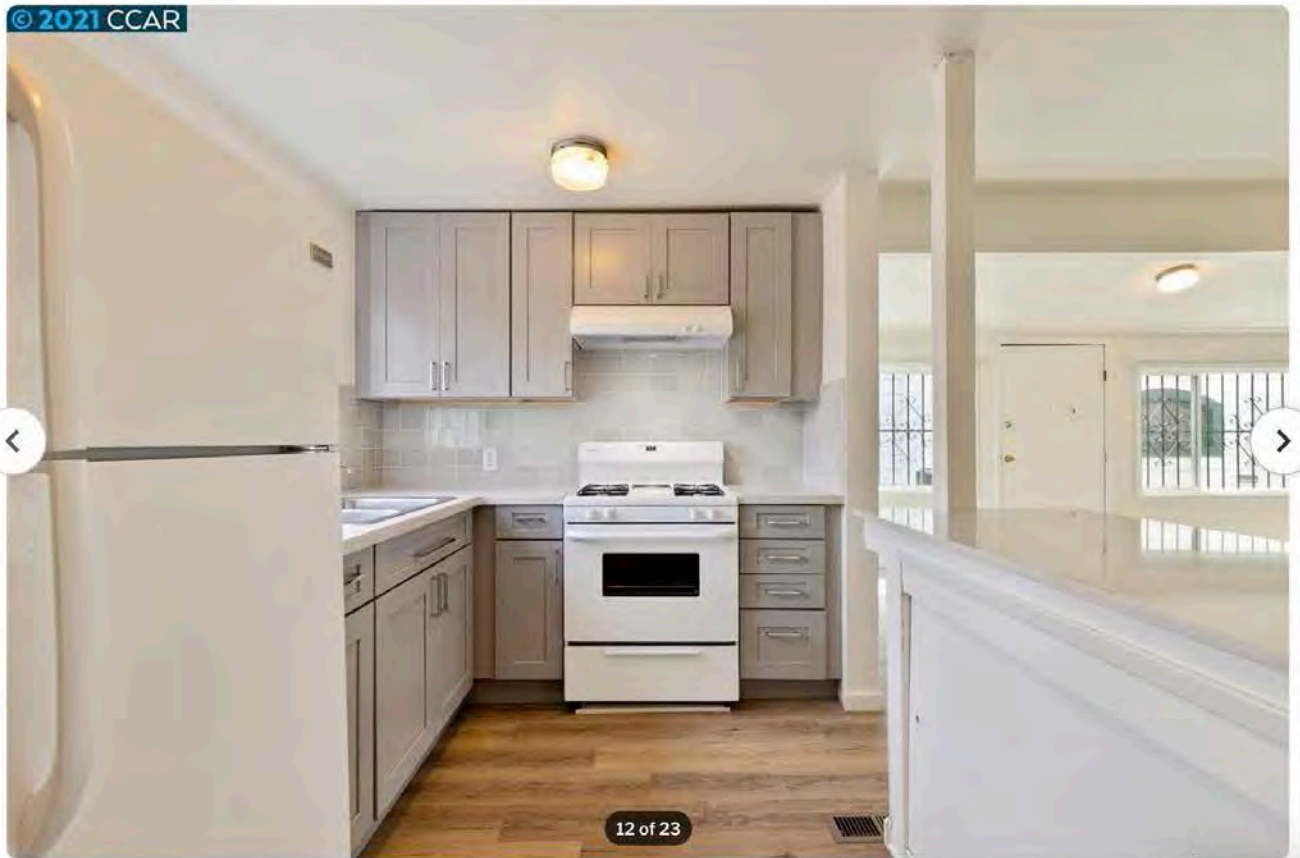


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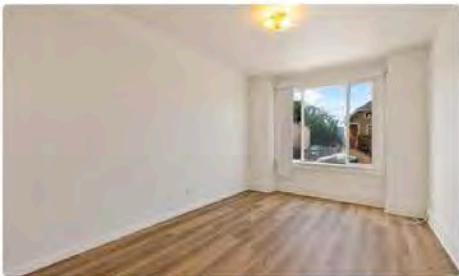
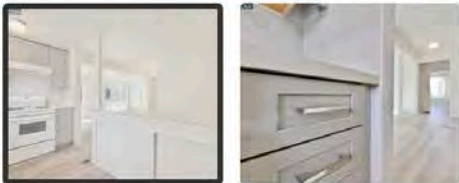
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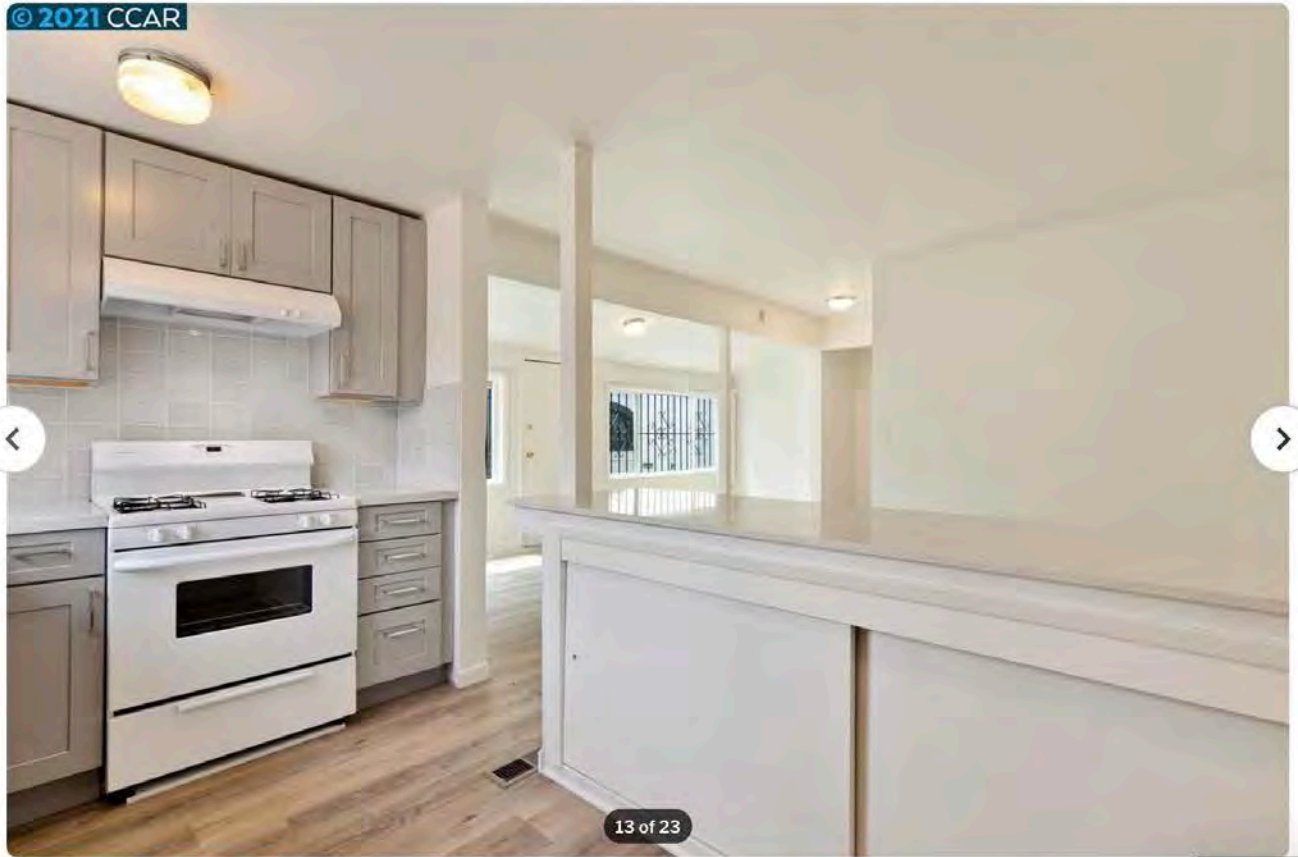
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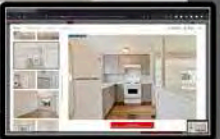
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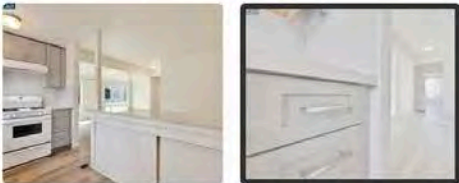
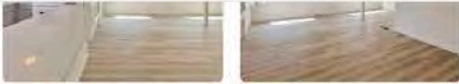
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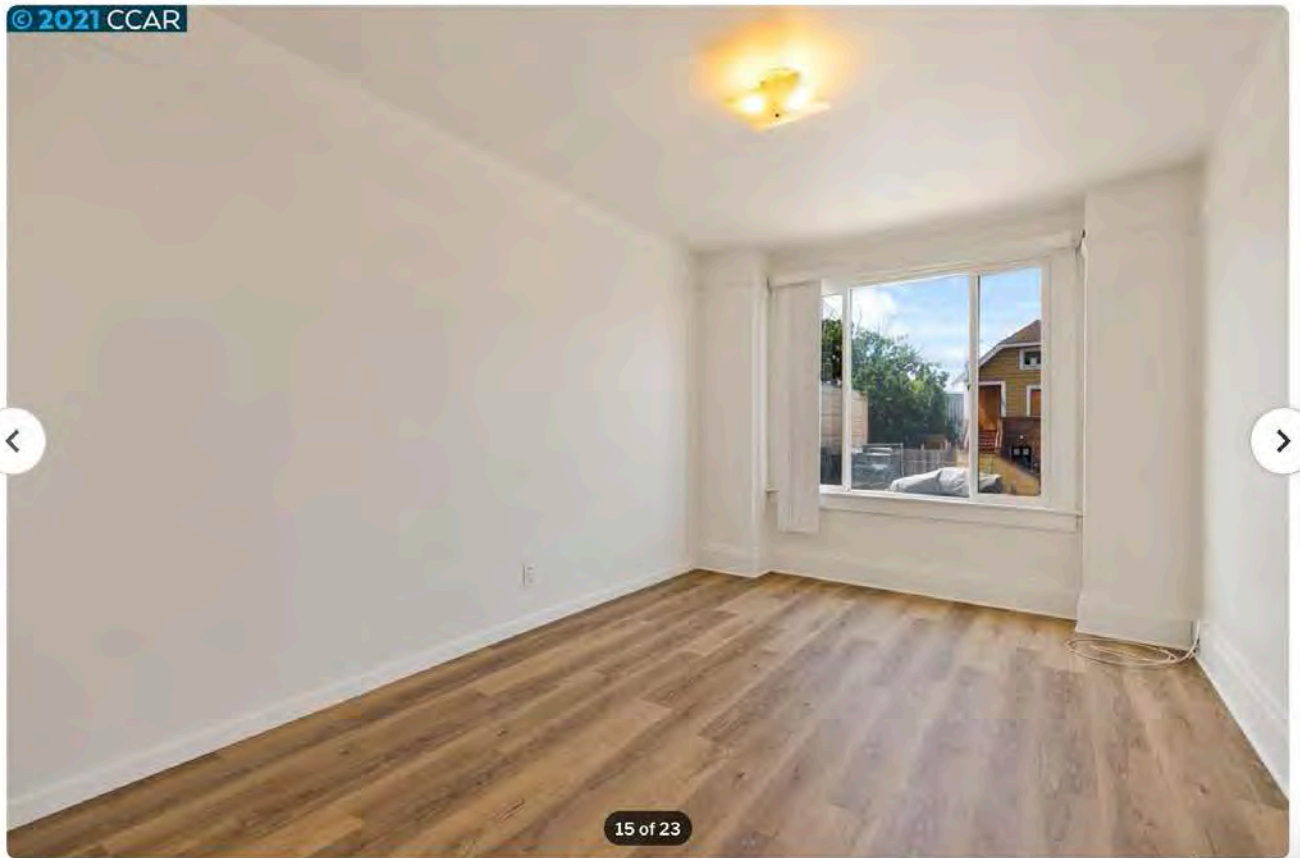
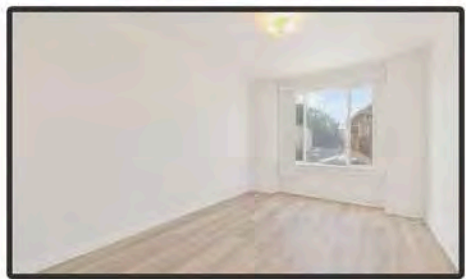
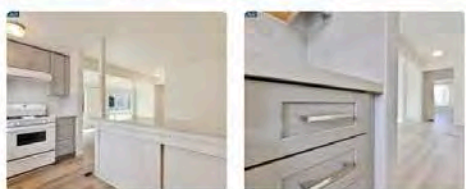
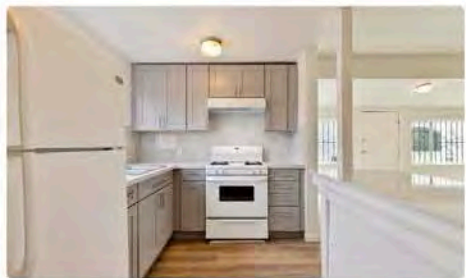
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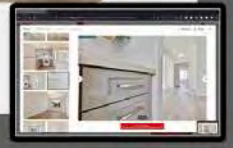
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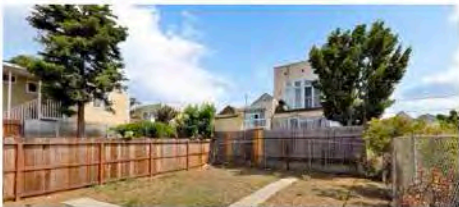
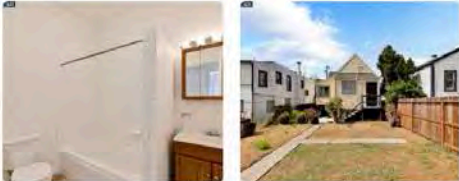
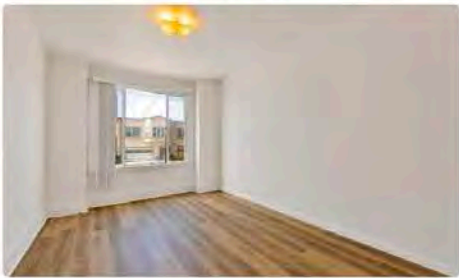
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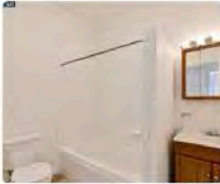
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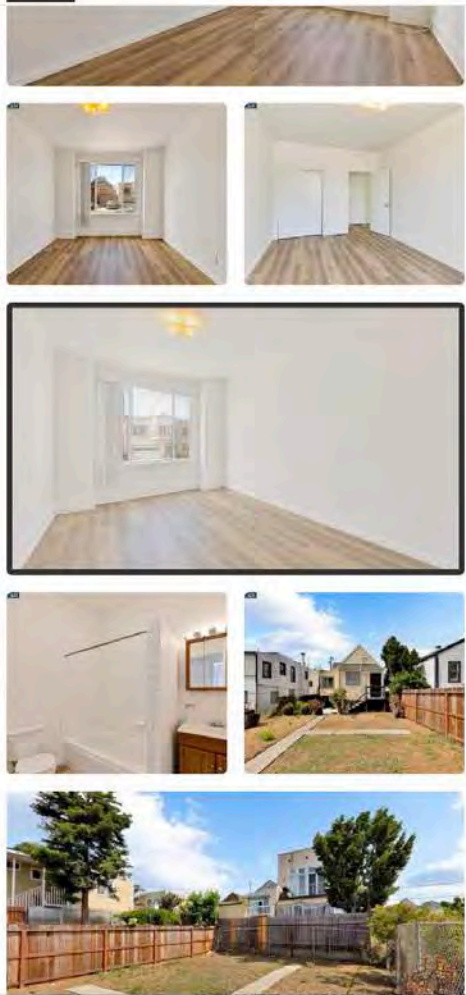
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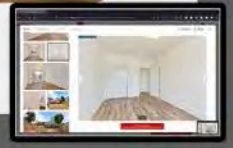
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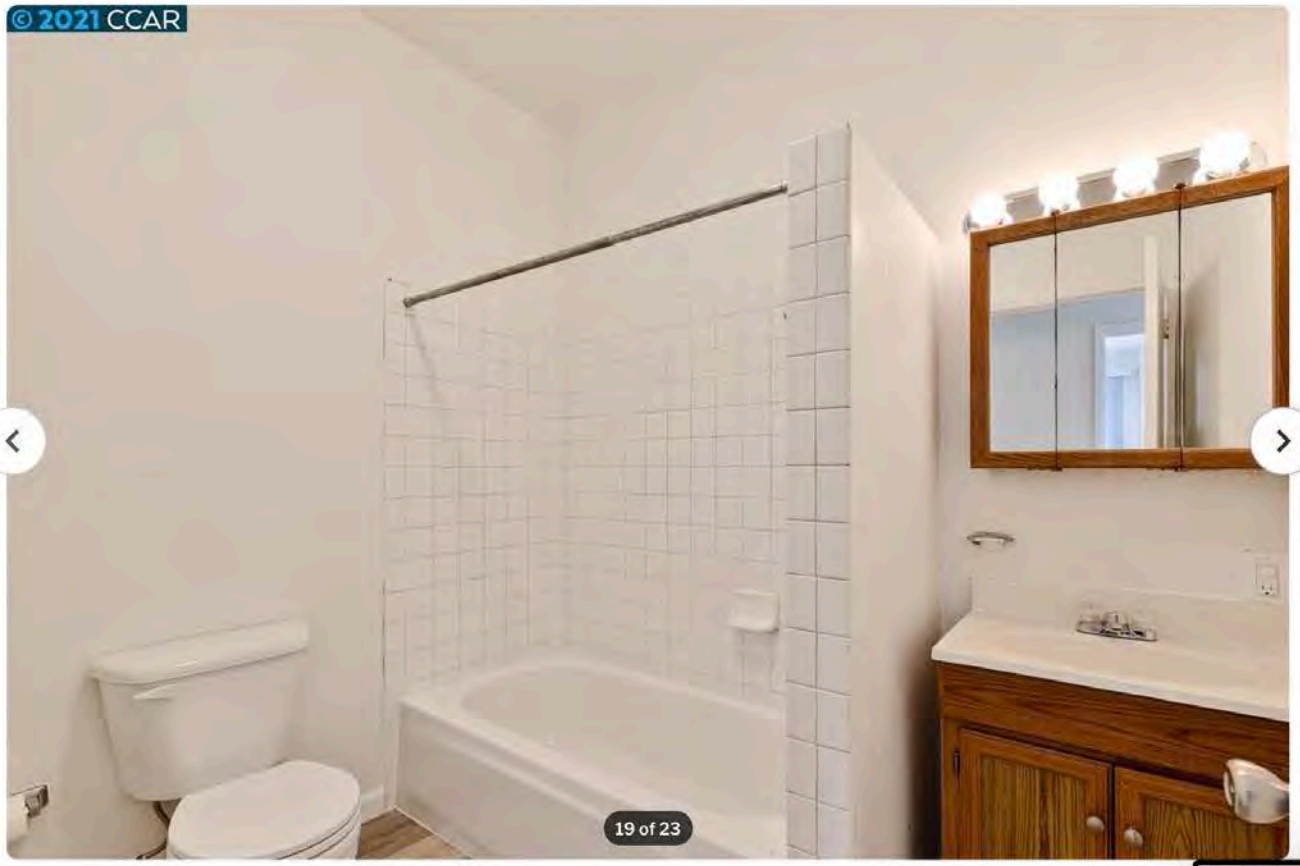
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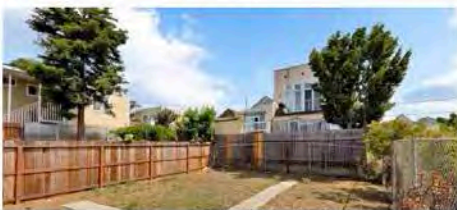
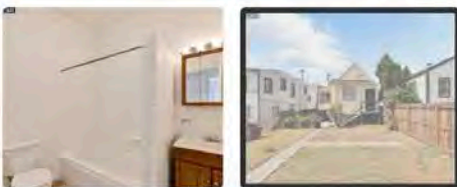
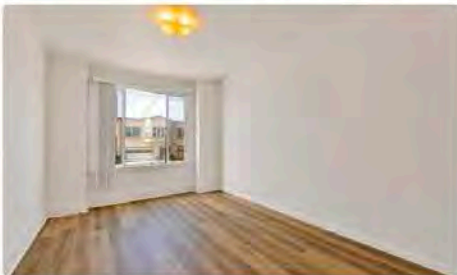
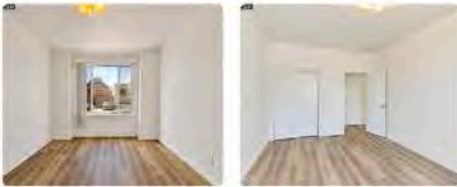
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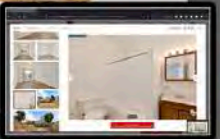
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About This Home

Property Details for 1468 Van Dyke Ave

Virtual Tour, Parking / Garage, Documents & Disclosures

Virtual Tour

- [Branded Virtual Tour \(External Link\)](#)

Garage & Parking

- Has Garage
- # of Garage Spaces: 1

- Attached Garage, Workshop in Garage

Documents & Disclosures

- Natural Hazard Disclosure, Disclosure Package Avail, Lead Hazard Disclosure

Interior Features

Bathroom Information

- # of Baths: 1

Interior Features

- # of Rooms: 4
- Laminate Flooring
- Garage Door Opener, Water Heater (Gas), Carbon Monoxide Detector, Double Strapped Water Htr, Smoke Detector, All Public Utilities, Individual Electric Meter, Individual Gas Meter

Kitchen Features

- Counter (Stone), Updated Kitchen

Laundry Features

- Hookups Only

Additional Rooms

- Unfinished Room

Heating & Cooling

- Gas Heating

Exterior Features

Water & Sewer

- Sewer System (Public), Water (Public)

Building Information

- Existing Construction
- Brick Exterior, Other Exterior, Window Screens

- Other Foundation

- Composition Shingles Roof

Property / Lot Details

Property Information

- Sq. Ft. Source: Public Records
- Parcel #: 4810 -008
- Unknown

Lot Information

- Level
- Back Yard, Dog Run, Fenced

Location Details

Thinking about selling?

Get a Redfin Home Sales Advisor's opinion on your home's value and the state of the San Francisco market.

Estimated Sale Price

\$1.04M - \$1.15M

[Request a free analysis](#)

OR

[Schedule selling consultation](#)

Review your analysis and discuss selling strategies

I'm the owner

Claim this home to track its value and nearby sales activity



Location Details

Street Level Features

- 2 Bedrooms, 1 Bath

Location Information

- Directions to Property: 3rd to Van Dyke
- Cross Street: Keith Street

Listing Information

Listing Price Information

- Original Price: \$680,000
- Previous Price: \$680,000

Listing Information

- Commission to Selling Office: 2.5
- Possession: COE, Negotiable

Selling Office Information

- Board ID: CONTRA COSTA

Property information provided by bridgeMLS, Bay East AOR, or Contra Costa AOR when last listed in 2021. This data may not match public records. [Learn more.](#)

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Estimated Sale Price
\$1.04M - \$1.15M

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OR

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Review your analysis and discuss selling strategies.

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Claim this home to track its value and nearby sales activity.



Sale & Tax History for 1468 Van Dyke Ave

Sale History Tax History

Today		
Sep 15, 2021 <small>Date</small>	Sold (Public Records) <small>Public Records</small>	\$738,000 <small>Price</small>
Sep, 2021		
Sep 15, 2021 <small>Date</small>	Sold (MLS) (Sold) <small>bridgeMLS, Bay East AOR, or Contra Costa AOR</small>	\$738,000 <small>Price</small>

COMPLAINT DATA SHEET

Complaint Number: 202182389
Owner/Agent: OWNER DATA SUPPRESSED
Owner's Phone: --
Contact Name: --
Contact Phone: --
Complainant: COMPLAINANT DATA SUPPRESSED

Date Filed:
Location: 1468 VAN DYKE AV
Block: 4810
Lot: 008
Site:
Rating:
Occupancy Code:
Received By: Bonnie Kim
Division: BID

Complainant's Phone:
Complaint Source: 311 INTERNET REFERRAL
Assigned to Division: BID

Description: 1468 Van Dyke Ave. --- Home at 1468 Van Dyke Ave. recently sold property, construction immediately began with no permits pulled or listed on the DBI permit tracking site. Was a recently renovated property prior to sell, work appears to be structural with removal of framing, and sounds of construction/demolition activity ongoing. (311 SR 14381746)

Instructions:

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
BID	TIENDA	6365		

REFERRAL INFORMATION

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
09/22/21	OTHER BLDG/HOUSING VIOLATION	BID	Saunders	CASE UPDATE	case pending review from MH (BK)
09/22/21	CASE OPENED	BID	Saunders	CASE RECEIVED	
09/22/21	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	CASE UPDATE	case referred to complaint team. bk for mh
09/24/21	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	CASE UPDATE	Permit research
09/27/21	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	CASE UPDATE	Observed construction debris at rear of building. Front gate was locked. Left door hanger. Would be incredibly helpful having customer who filed complaint to obtain details.
09/29/21	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	CASE UPDATE	Complaint access letter generated as well as address restriction.
10/01/21	OTHER BLDG/HOUSING VIOLATION	CES	Hernandez	CASE UPDATE	Owner visited DBI to obtain permit. At this time permit was not approved until a site visit confirms the ongoing work. Owner was told to stop any work and contact inspector Tienda or Hernandez to set a site visit. Owner stated that it would contact either inspector to schedule a site visit.MH
10/08/21	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	CASE UPDATE	Upon inspection It was observed that all walls were still complete. Will discuss with mh
10/12/21	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	CASE UPDATE	REinspection was scheduled for this week. Confirming a discrepancy.
10/13/21	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	CASE UPDATE	Nov To be generated after reinspection
10/15/21	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	FIRST NOV SENT	1st NOV issued per BT; WS
10/18/21	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	CASE UPDATE	1st NOV mailed; WS
03/04/22	OTHER BLDG/HOUSING VIOLATION	BID	Tienda	CASE ABATED	NOv abeted under PA 202110019612

COMPLAINT ACTION BY DIVISION

NOV (HIS): **NOV (BID):** 10/15/21

Inspector Contact Information

Permit Details Report

Report Date: 2/17/2023 6:18:50 AM

Application Number: 202111222856
Form Number: 8
Address(es): 4810 / 008 / 0 1468 VAN DYKE AV
Description: REVISION UNDER PA #202110019612: RE-ARRANGE 2 BATHROOM FIXTURES AT 2ND FLOOR. INSTALL 2 2'X3' SKYLIGHT & 1 NEW ALUMINUM CLAD-WOOD WINDOW ON 1 EAST WALL.
Cost: \$6,000.00
Occupancy Code: R-3
Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
11/22/2021	TRIAGE	
11/22/2021	FILING	
11/22/2021	FILED	
11/30/2021	APPROVED	
11/30/2021	ISSUED	
3/3/2022	COMPLETE	5905065 Final Inspection/Approved

Falsely claims remodeling 2 baths. Does not provide that East Wall window is part of illegal conversion.

Contact Details:

Contractor Details:

Addenda Details:

Description:

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	INTAKE	11/22/21	11/22/21			11/22/21	CHEUNG DEREK	
2	BID-INSP	11/22/21	11/22/21			11/22/21	TIENDA BRAULIO	
3	CP-ZOC	11/22/21	11/22/21			11/22/21	AJELLO HOAGLAND LINDA	Modification to permit 2021001962 - remodel 2 bathrooms on second floor; install 2 new 2x3 skylights and install one new aluminum clad window on the east side of the house. linda.ajellohoagland
4	BLDG	11/22/21	11/22/21			11/22/21	YIN DIANE	11/22/2021: approved etc. diane.yin@sfgov.org
5	CPB	11/30/21	11/30/21			11/30/21	VICTORIO CHRISTOPHER	OTC Issued

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
------------------	-------------------	------------------	------------------	-------------	------------

Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
3/3/2022	Philip Saunders	FINAL INSPECT/APPRVD	FINAL INSPECT/APPRVD
3/1/2022	Philip Saunders	FINAL INSPECT/APPRVD	PRE-FINAL
2/22/2022	Philip Saunders	FINAL INSPECT/APPRVD	OTHER

Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

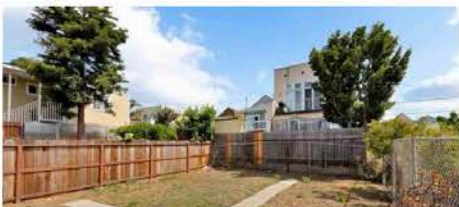
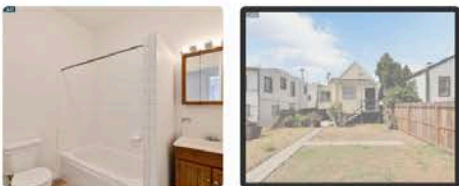
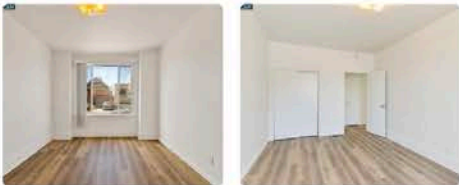
Online Permit and Complaint Tracking home page.

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

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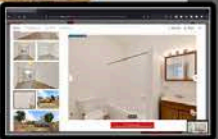
No Deck as of 2021 Sep



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**Built after final inspection in 2022 April
Includes gazebo, sink, lights, and electrical**

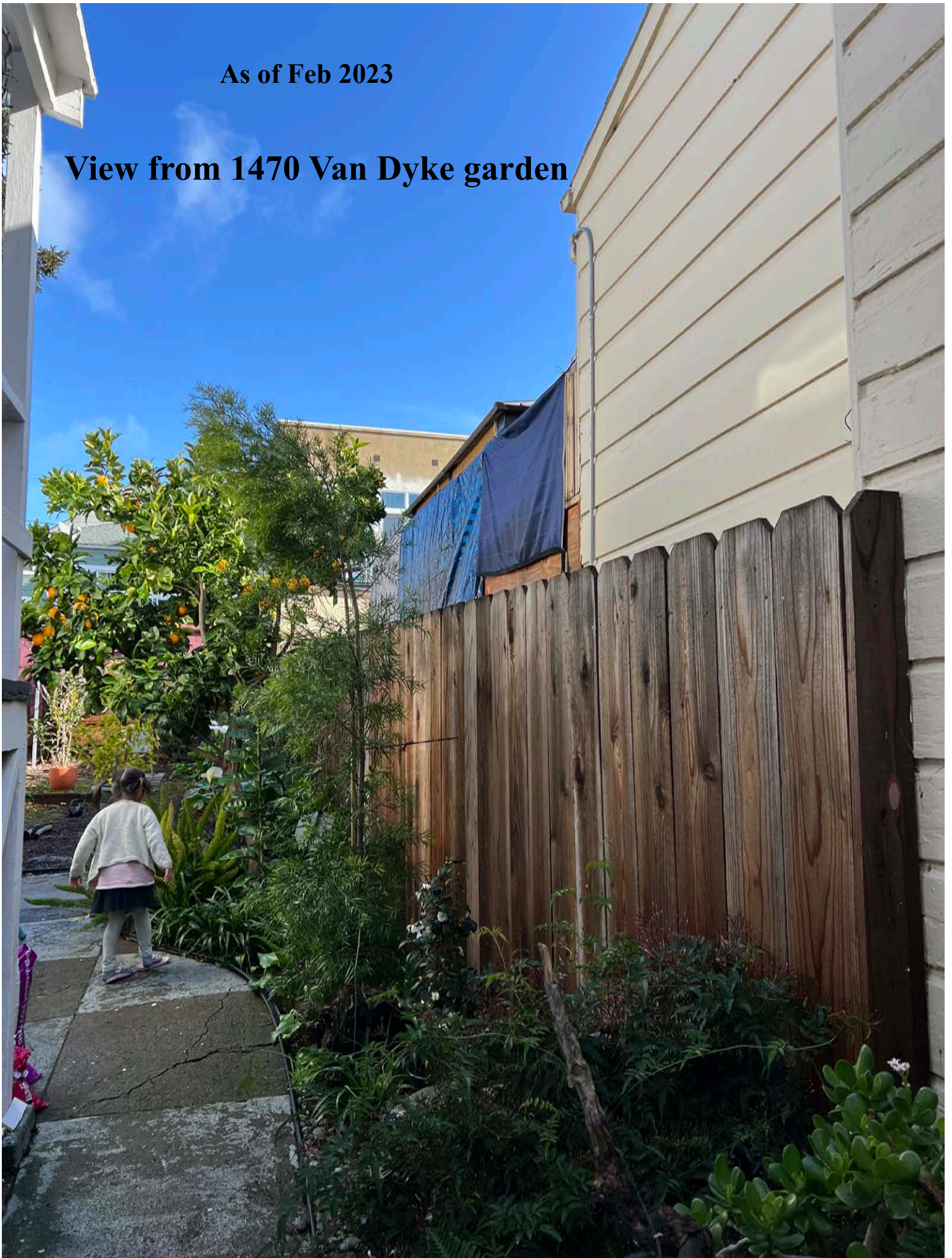


**View from 1470 Van Dyke Main Floor
Use of tarp and cloth, a fire hazard**



As of Feb 2023

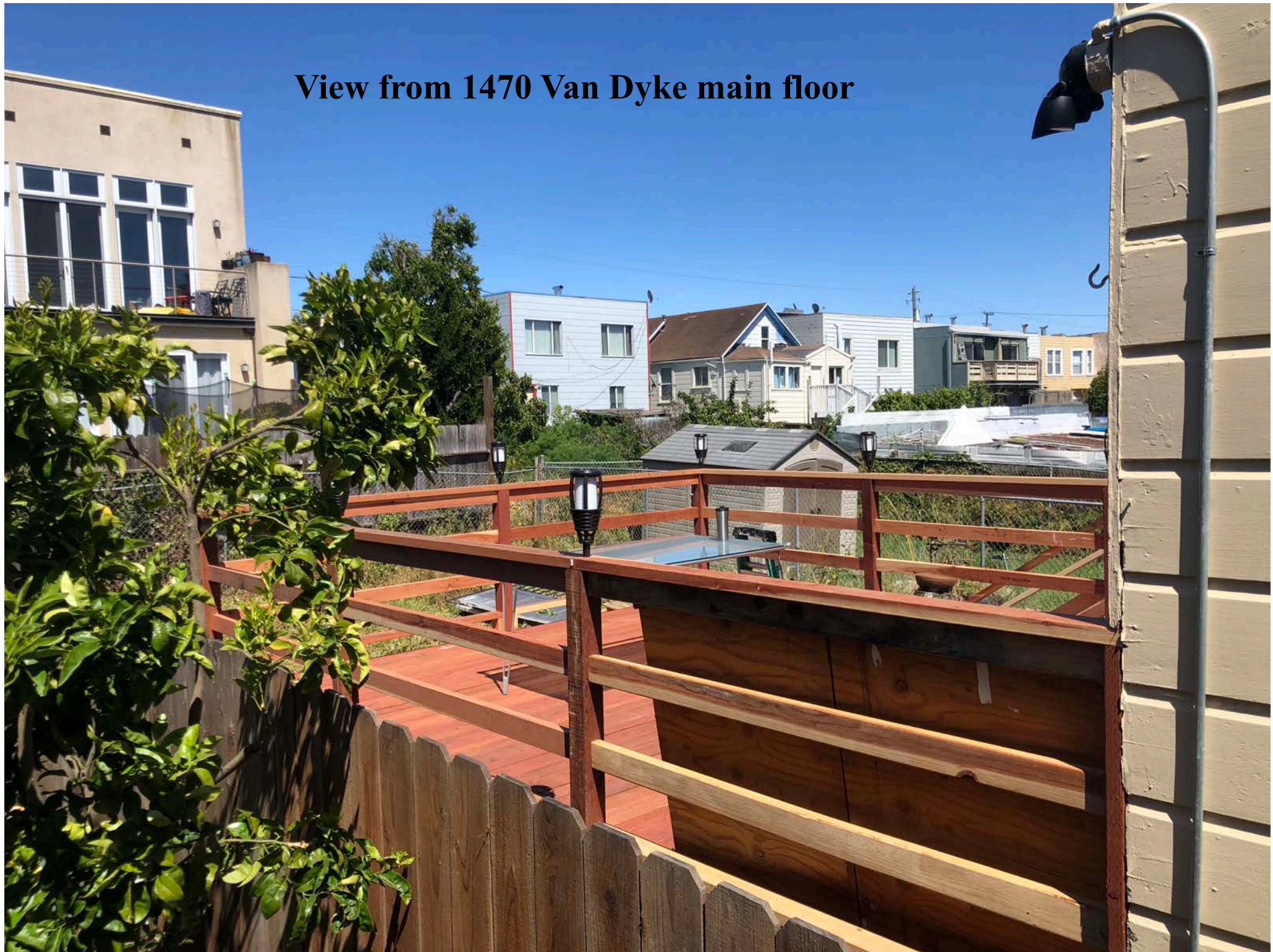
View from 1470 Van Dyke garden

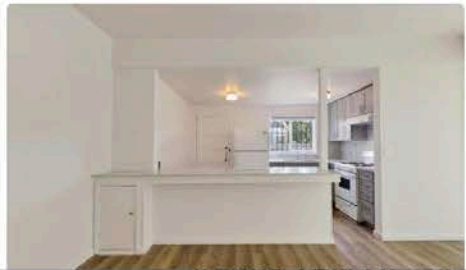


View from 1470 Van Dyke garden



View from 1470 Van Dyke main floor





ABOUT THIS HOME



2 of 23

I'm the owner
Track this home's value in our Home Report email

Request a free analysis



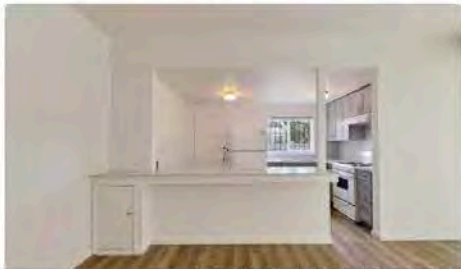
2022 April
Tall opaque gate



Photos 3D Walkthrough Floor Plans Street View

No Window as of 2021 Sep

Favorite Share X



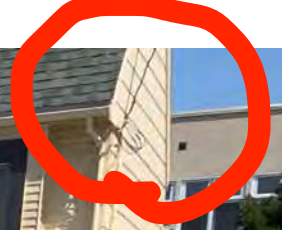
ABOUT THIS HOME



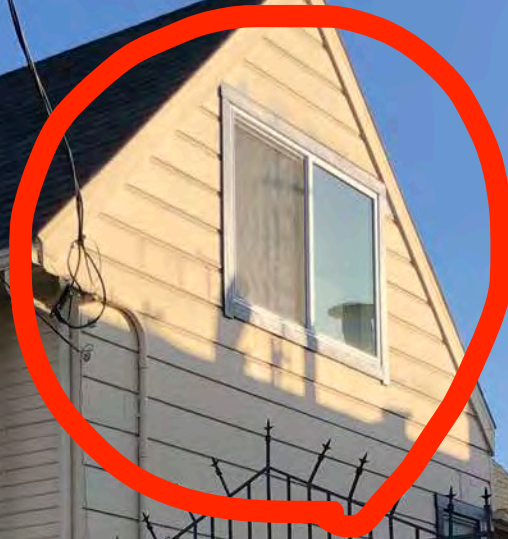
I'm the owner
Track this home's value in our Home Report email

Request a free analysis

No Window as of 2021 Sep

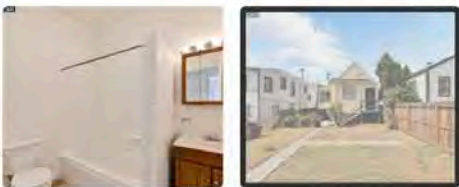


Installed without permit during 2022



Photos 3D Walkthrough Floor Plans Street View

Favorite Share X



ABOUT THIS HOME

© 2021 CCAR

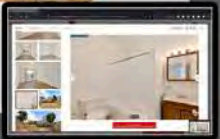


No Window as of 2022 Sep

20 of 23

I'm the owner
Track this home's value in our Home Report email

Request a free analysis



Installed without permit during 2022





Start your search



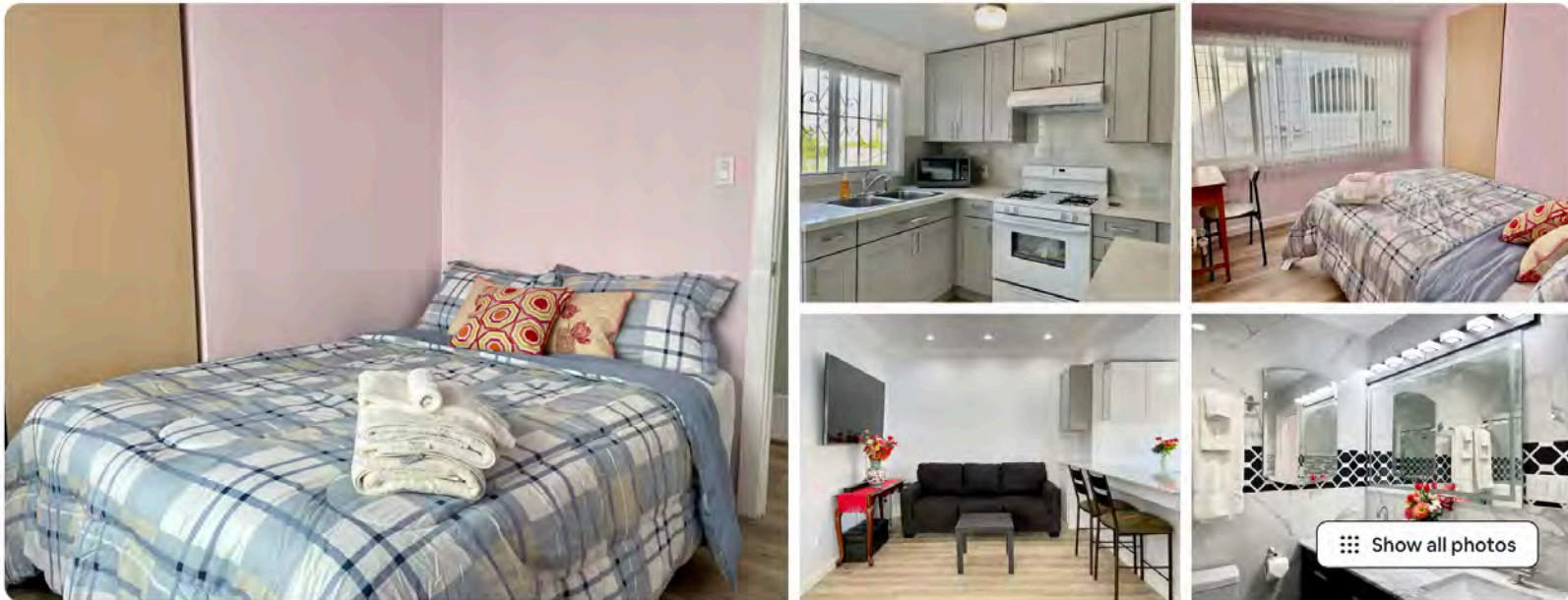
Become a Host



Private Room in a Lovely Bayview Home (Rm #1)

San Francisco, California, United States

[Share](#) [Save](#)



Show all photos

Private room in home hosted by Chau

2 guests · 1 bedroom · 1 bed · 1 shared bath



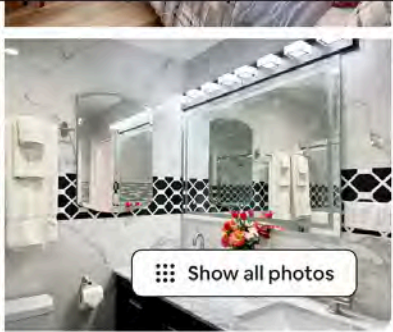
aircover

\$74 night

CHECK-IN
Add date

CHECKOUT
Add date

GUESTS



Show all photos

Private room in home hosted by Chau

2 guests · 1 bedroom · 1 bed · 1 shared bath

aircover

Every booking includes free protection from Host cancellations, other issues like trouble checking in.

[Learn more](#)

Private 1 bedroom in a San Francisco home.

The kitchen, living room, full bathroom, and dining areas are sha

Bayview is a colorful residential neighborhood.

...

[Show more >](#)



\$74 night

Select dates

Add your travel dates for exact pricing

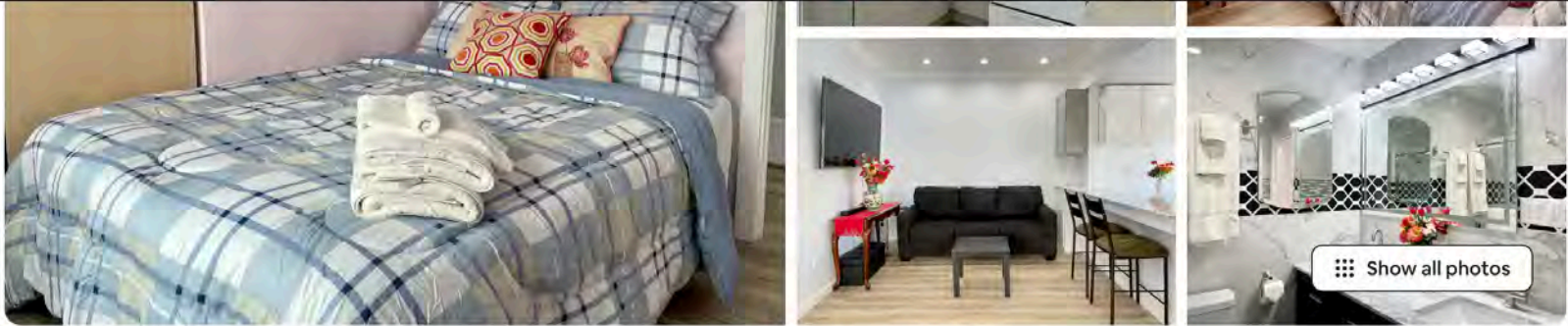
CHECK-IN
MM/DD/YYYY

May 2022							June 2022						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7				1	2	3	4
8	9	10	11	12	13	14	5	6	7	8	9	10	11
15	16	17	18	19	20	21	12	13	14	15	16	17	18
22	23	24	25	26	27	28	19	20	21	22	23	24	25
29	30	31					26	27	28	29	30		



Clear dates

Close



Private room in home hosted by Chau

2 guests · 1 bedroom · 1 bed · 1 shared bath

aircover

Every booking includes free protection from Host cancellations, other issues like trouble checking in.

[Learn more](#)

Private 1 bedroom in a San Francisco home.

The kitchen, living room, full bathroom, and dining areas are shared.

Bayview is a colorful residential neighborhood.

[Show more >](#)



\$74 night

Select dates

Add your travel dates for exact pricing

CHECK-IN Add date

July 2022							August 2022						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
					1	2		1	2	3	4	5	6
3	4	5	6	7	8	9	7	8	9	10	11	12	13
10	11	12	13	14	15	16	14	15	16	17	18	19	20
17	18	19	20	21	22	23	21	22	23	24	25	26	27
24	25	26	27	28	29	30	28	29	30	31			
31													



Clear dates

Close











Renting with Deck
under construction





Start your search

Become a Host



Private Room+Bath in Lovely Bayview Home (Rm #2)



San Francisco, California, United States

Share Save



Show all photos

Private room in home hosted by Chau

2 guests · 1 bedroom · 1 bed · 1 private bath



\$75 night

CHECK-IN Add date	CHECKOUT Add date
----------------------	----------------------

GUESTS



Private room in home hosted by Chau

2 guests · 1 bedroom · 1 bed · 1 private bath



Every booking includes free protection from Host cancellations, other issues like trouble checking in.

[Learn more](#)

Private 1 bedroom + full bathroom room in a San Francisco home

The kitchen, living room, full bathroom, and dining areas are shared

Bayview is a colorful residential neighborhood.

[Show more >](#)



\$75 night

Select dates

Add your travel dates for exact pricing

CHECK-IN MM/DD/YYYY CHECKOUT Add date

May 2022							June 2022						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
1	2	3	4	5	6	7				1	2	3	4
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15	16	17	18	19	20	21	12	13	14	15	16	17	18
22	23	24	25	26	27	28	19	20	21	22	23	24	25
29	30	31					26	27	28	29	30		



Clear dates

Close



Private room in home hosted by Chau

2 guests · 1 bedroom · 1 bed · 1 private bath



Every booking includes free protection from Host cancellations, other issues like trouble checking in.

[Learn more](#)

Private 1 bedroom + full bathroom room in a San Francisco home

The kitchen, living room, full bathroom, and dining areas are sha

Bayview is a colorful residential neighborhood.

[Show more >](#)



\$75 night

Select dates

Add your travel dates for exact pricing

CHECK-IN Add date

CHECKOUT Add date

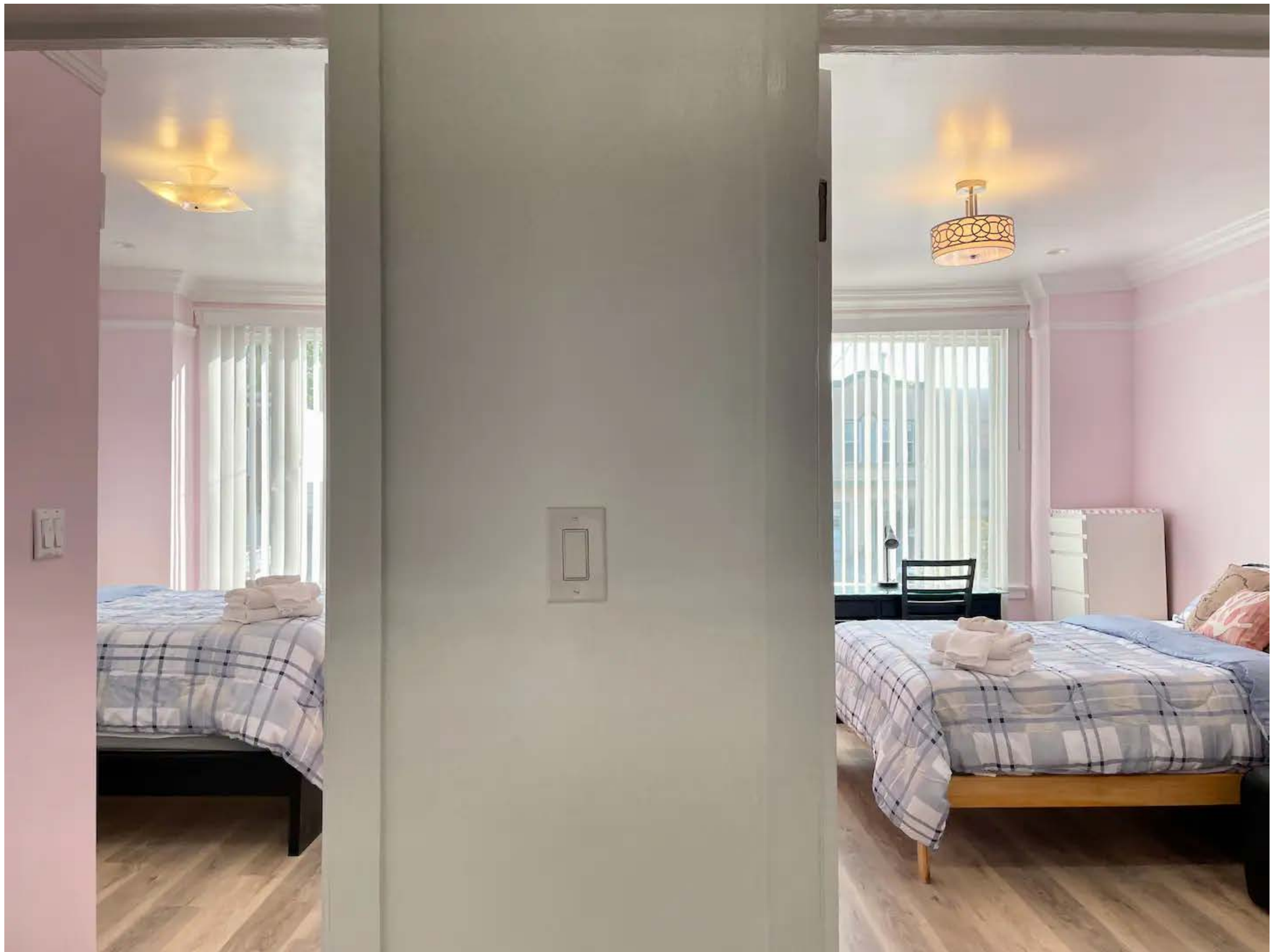
July 2022							August 2022						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
					1	2		1	2	3	4	5	6
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17	18	19	20	21	22	23	21	22	23	24	25	26	27
24	25	26	27	28	29	30	28	29	30	31			
31													



[Clear dates](#)

[Close](#)









Start your search



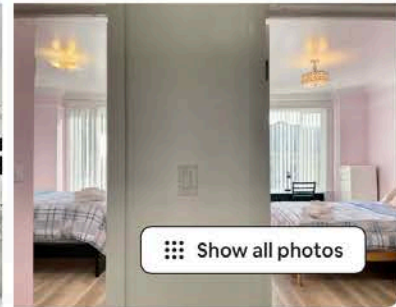
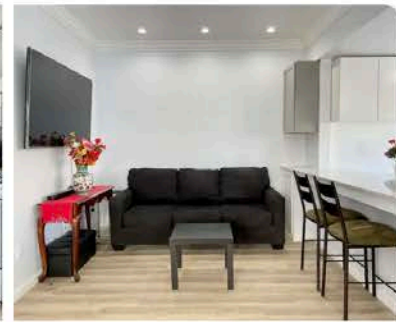
Become a Host



Private Room + Bath in Lovely Bayview Home (Rm #3)

1 review · San Francisco, California, United States

[Share](#) [Save](#)



Show all photos

Private room in home hosted by Chau

2 guests · 1 bedroom · 1 bed · 1.5 shared baths



Dedicated workspace

A private room with wifi that's well-suited for working.

\$79 night

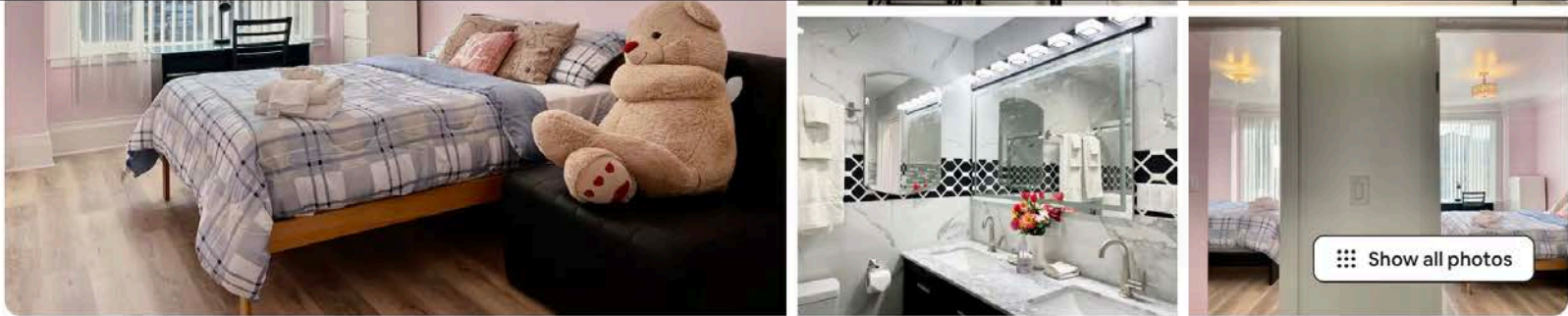
1 review

CHECK-IN
5/25/2022

CHECKOUT
5/27/2022

GUESTS





Private room in home hosted by Chau

2 guests · 1 bedroom · 1 bed · 1.5 shared baths

Dedicated workspace

A private room with wifi that's well-suited for working.

aircover

Every booking includes free protection from Host cancellations, other issues like trouble checking in.

[Learn more](#)

Private 1-bedroom + half bathroom in a San Francisco home.

The kitchen, living room, full bathroom, and dining areas are shared.

Bayview is a colorful residential neighborhood.



\$79 night

1 review

2 nights

May 25, 2022 - May 27, 2022

CHECK-IN
5/25/2022

CHECKOUT
5/27/2022

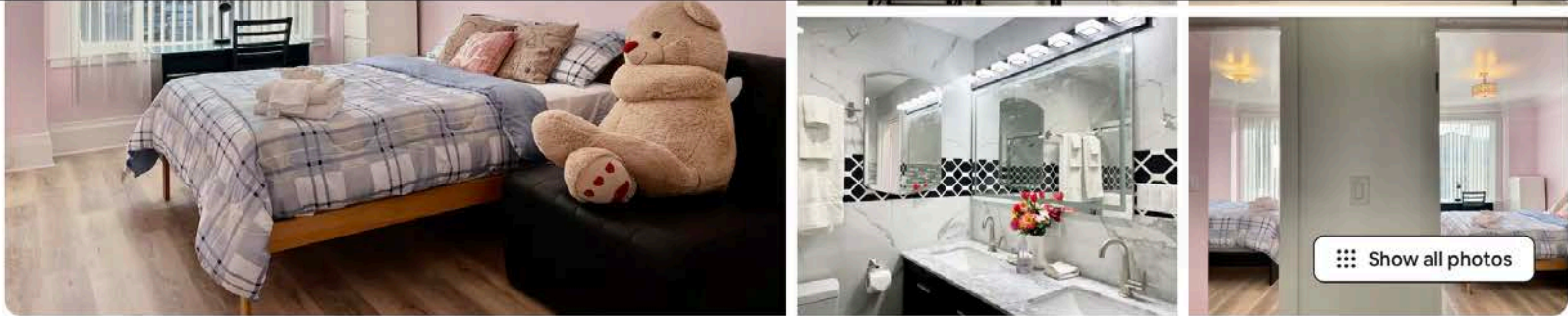
May 2022							June 2022						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
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15	16	17	18	19	20	21	22	23	24	25	26	27	28
29	30	31											

[Clear dates](#)

Close

Only 9 hours left to book. The host





Private room in home hosted by Chau

2 guests · 1 bedroom · 1 bed · 1.5 shared baths

Dedicated workspace

A private room with wifi that's well-suited for working.

aircover

Every booking includes free protection from Host cancellations, other issues like trouble checking in.

[Learn more](#)

Private 1-bedroom + half bathroom in a San Francisco home.

The kitchen, living room, full bathroom, and dining areas are shared.

Bayview is a colorful residential neighborhood.



\$79 night

1 review

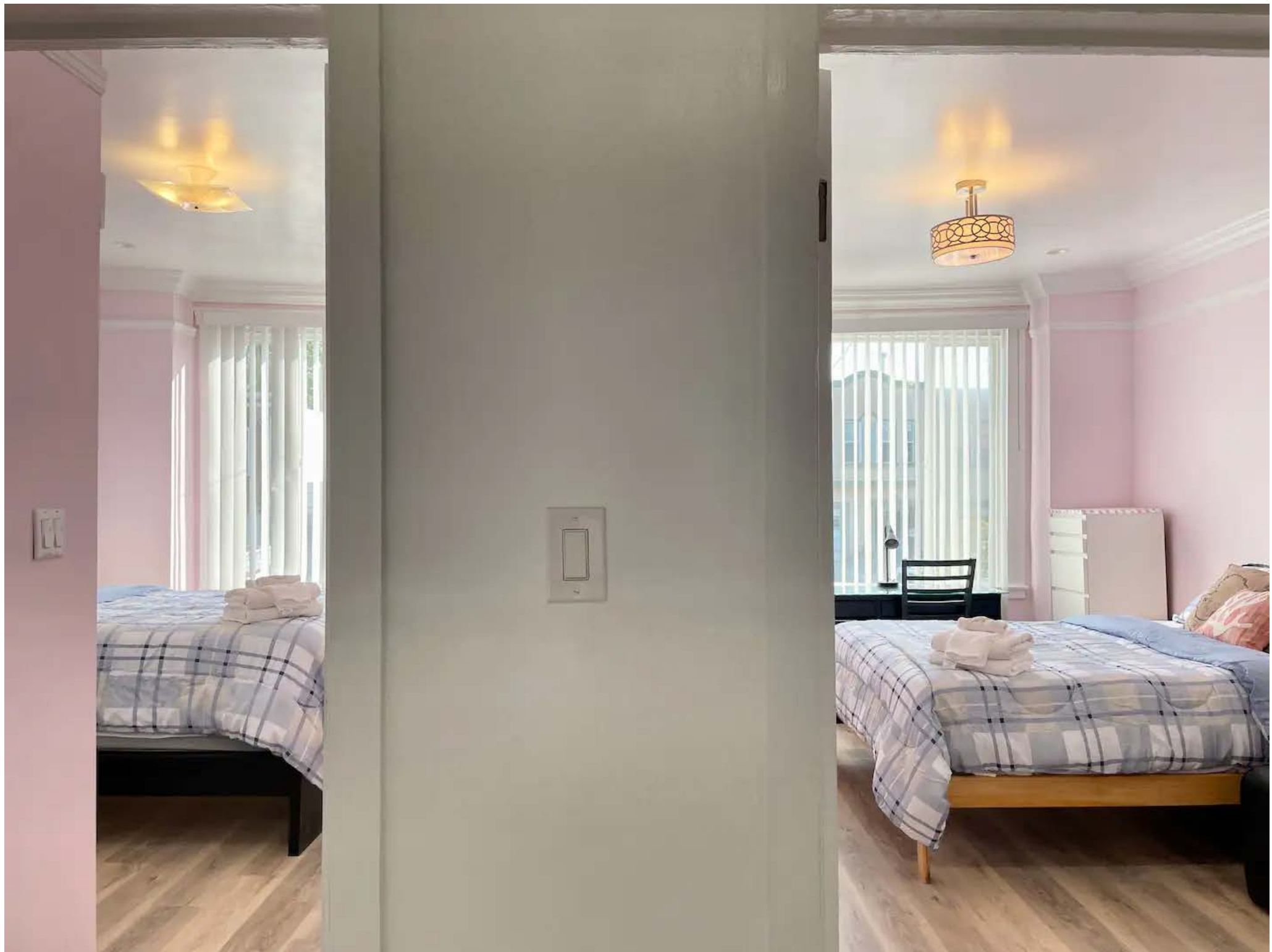
2 nights

May 25, 2022 - May 27, 2022

CHECK-IN 5/25/2022	X	CHECKOUT 5/27/2022	X
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July 2022							August 2022						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
					1	2	1	2	3	4	5	6	
3	4	5	6	7	8	9	7	8	9	10	11	12	13
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17	18	19	20	21	22	23	21	22	23	24	25	26	27
24	25	26	27	28	29	30	28	29	30	31			







Start your search



Become a Host



2-Bedroom Loft in a Lovely Bayview Home

★ 4.20 · 5 reviews · San Francisco, California, United States

[Share](#) [Save](#)



Private room in home hosted by Chau

6 guests · 2 bedrooms · 2 beds · Shared half-bath



Dedicated workspace

A private room with wifi that's well-suited for working.

\$114 night

★ 4.20 · 5 reviews

CHECK-IN
Add date

CHECKOUT
Add date

GUESTS



Private room in home hosted by Chau

6 guests · 2 bedrooms · 2 beds · Shared half-bath



\$114 night

★ 4.20 · 5 reviews

Dedicated workspace

A private room with wifi that's well-suited for working.

Self check-in

Check yourself in with the keypad.

aircover

Every booking includes free protection from Host cancellations, other issues like trouble checking in.

[Learn more](#)

Private 2-bedroom loft + half bathroom room in a San Francisco

Select dates

Add your travel dates for exact pricing

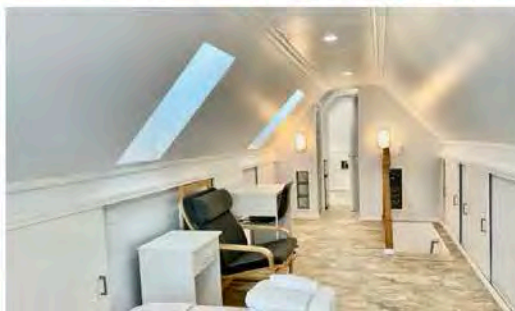
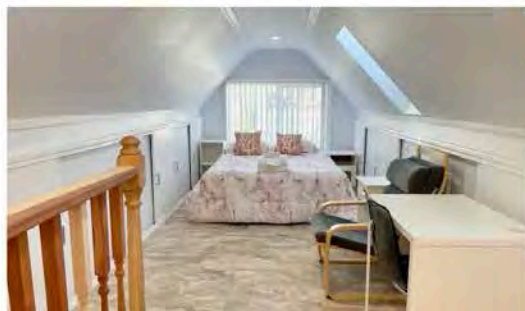
CHECK-IN
MM/DD/YYYY

CHECK-OUT
MM/DD/YYYY

May 2022							June 2022						
Su	Mo	Tu	We	Th	Fr	Sa	Su	Mo	Tu	We	Th	Fr	Sa
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29	30	31					1	2	3	4	5	6	7

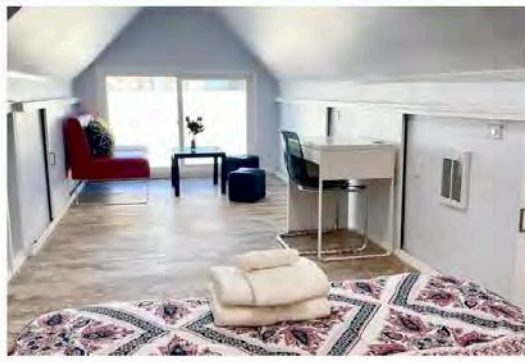
[Clear dates](#)

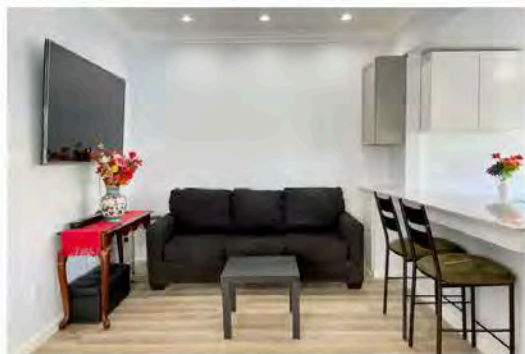
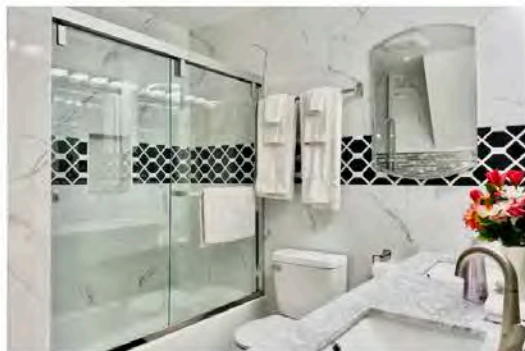
[Close](#)





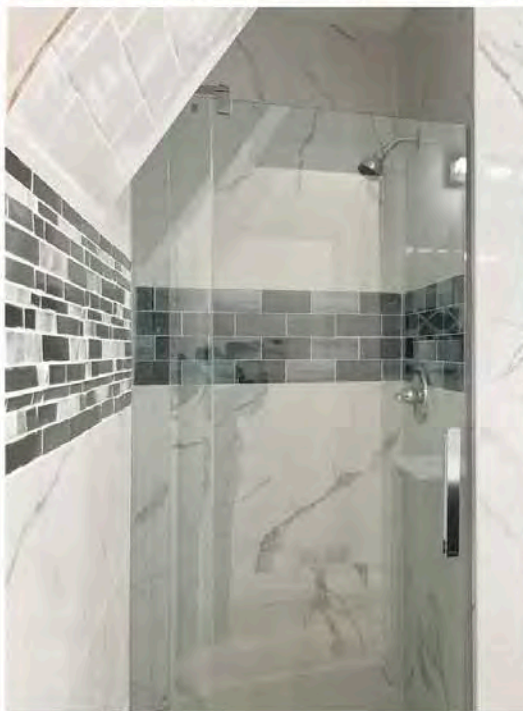
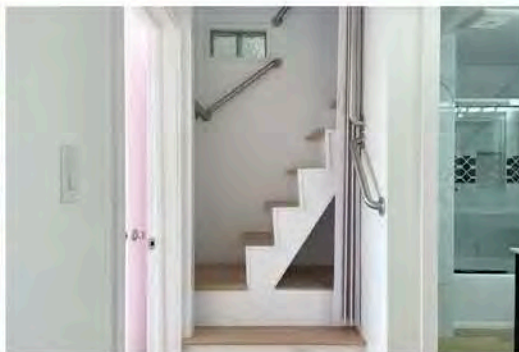
[Share](#) [Save](#)







[Share](#) [Save](#)





**Steep, Narrow
Staircase**













★ 6 reviews

2-Bedroom Loft in a Lovely Bayview Home

May 2022



Our stay here was really nice. Chau was very accommodating and helpful; we forgot some stuff at the place and she was nice enough to mail it. Hence the 5 star review.

There is a nice back deck with furniture for some late night conversations and a drink.

Only thing I would add is that the property is a shared one. The artic is private but the bathroom and common areas are shared. However, it worked out pretty nicely for us.

[read less](#)



Hillal, Atlanta, GA

Joined in 2019

IMPORTANT Airbnb complaint

Byrne, Peter (CPC) <peter.byrne@sfgov.org>
To: Van [REDACTED]@gmail.com>

Wed, Jun 15, 2022 at 10:30 AM

Hi,

Watching the video it appears there is a group of four taking an Uber from the property on the 13th and 14th. When was the first day this party was observed?

For clarity. The message to close the booking was sent to Airbnb on the 31st (the day a denial was issued). Airbnb then had until June 3rd to act. At which point they follow a policy which allows for the final booking to end, and wrapping up all activity not starting on or before the 9th. These benchmarks are codified in a settlement agreement stemming from a law suit in federal court. It allows for reasonable turn around times for for Airbnb to act. We conduct hundreds of these cancellations on a monthly basis, thus the need for practice and policy.

I assure you, the practice and policy is audited on a monthly basis, and a lack of compliance can result in large fines for platform and host. I recognize that process doesn't account for the nuisance the activity has caused you in the past two weeks, and accordingly why I want to work with you to understand what is happening on the property and take appropriate action where possible.

As of now, I am not observing, in both data feeds, and a manual searches the property being advertised, this is something we are vigilant about. It is also unlikely that these are new bookings, wherein the host found new immediate bookings within a week. It is likely these are either the final booking from Airbnb, personal guests of the owner, or something happening "off book". I will continue monitor platforms for the property, if the activity continues with new parties arriving please let us know.

Any further info is appreciated.

Thank you for the videos I hope the above helps, as always please feel free to call me at 628-652-7426.

Peter Byrne, Senior Analyst
Office of Short-Term Rentals

San Francisco Planning
49 South Van Ness Avenue, Suite 1400, San Francisco, CA 94103
Direct: 628.652.7426 | www.sfplanning.org
[San Francisco Property Information Map](#)

From: Van [REDACTED]@gmail.com>
Sent: Tuesday, June 14, 2022 11:15 PM
To: Byrne, Peter (CPC) <peter.byrne@sfgov.org>
Cc: Hinchion, John (DBI) <john.hinchion@sfgov.org>
Subject: Re: Fw: IMPORTANT Airbnb complaint

[Quoted text hidden]

IMPORTANT Airbnb complaint

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Wed, Jun 15, 2022 at 10:30 AM

To: [REDACTED]@gmail.com>

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Direct: 628.652.7426 | www.sfplanning.org[San Francisco Property Information Map](#)

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[Quoted text hidden]

For technical issues or error messages email planning.webmaster@sfgov.org.
Providing a screenshot, error message, and the action being taken can speed the response or correction greatly.

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[Search Applications/Permits](#)

[Review My Applications](#)

**Record 2022-005104ENF:
Enforcement (ENF)
Record Status: Under Review
Expiration Date: 01/31/2022**

[Record Info](#) ▾

For Documents:

1. **Select the record of interest ***
2. **Click Record Info**
3. **Select Attachments**

* To list project records, click on Record Info and select Related Records.

Documents available online do not represent the full administrative record. To review the complete file for active records, please contact the assigned planner. To review closed records, please request the record via email at CPC-RecordRequest@sfgov.org.

Work Location

1468 VAN DYKE AVE

, 94124 *

Record Details

Project Description:

Work exceeding scope of permit; Work done without the benefit of a building permit or City Planning approval after 202111222856 and 202110019612 were completed. 1. a solid metal gate approximately 12 ft in height was installed at the front setback of property. 2. rear landing and stairs were removed and a new rear deck approximately 5ft above grade was built and extends approximately to within 3ft of both East and West property lines. 3. a patio cover was

installed encompassing approximately 1/3 of the deck. 4. a new attic window at the rear (north side) of the building was installed. DBI NOV 202291235. Potential ILO

▶ **More Details**



NOTICE OF COMPLAINT

June 30, 2022

Property Owner

Chung Chau

456 W 12th St

Pittsburg, CA 94565

Site Address: 1468 Van Dyke Ave
Assessor's Block/Lot: 4810/008
Zoning District: RH-1, Residential- House, One Family
Complaint Number: 2022-005104ENF
Administrative Penalty: Up to \$250 Each Day of Violation
Enforcement T & M Fee: \$1,542 (Minimum Fee for confirmed violations, Additional charges may apply)
Response Due: Within 15 days from the date of this Notice
Staff Contact: Vincent Page II, (628) 652-7396, Vincent.W.Page.II@sfgov.org

You are receiving this courtesy notice because the Planning Department has received a complaint alleging that one or more violations of the Planning Code exist on the above-referenced property. As the property owner you are a responsible party.

The Planning Department requires compliance with the Planning Code in the development and use of land and structures. Any new building permits or other applications are not issued until a violation is corrected.

Pursuant to Planning Code Section 350(g)(1), the Planning Department shall charge for 'Time and Materials' to recover the cost of correcting Planning Code violations. In addition, pursuant to Planning Code Section 176, penalties may also be assessed for verified violations. Therefore, your prompt action to resolve the complaint is important.

Please contact the staff planner shown above within 15 days of this notice for information on the alleged violation and assistance on how to resolve the complaint. Delay in response will result in further enforcement action including assessment of administrative penalties as stated in the above.

COMPLAINT DATA SHEET

Complaint Number: 202291235
Owner/Agent: OWNER DATA SUPPRESSED
Owner's Phone: --
Contact Name: --
Contact Phone: --
Complainant: COMPLAINANT DATA SUPPRESSED

Date Filed:
Location: 1468 VAN DYKE AV
Block: 4810
Lot: 008
Site:
Rating:
Occupancy Code:
Received By: Julie Yu
Division: INS

Complainant's Phone:
Complaint Source: TELEPHONE
Assigned to Division: CES
Description: caller believes deck and bedroom in attic was built not to code for Airbnb.

Instructions: (New 311 SR# 15365186 on 5/24/2022) 1468 Van Dyke Ave. --- Home at 1468 Van Dyke Ave. has been converted from 2 bedroom/1 bath to 5 bedroom/ 3 bath under a permit that allowed for addition of a single bedroom and bath for a 3bd/2ba, (Permit 202110019612) and is now being used for an illegal Airbnb without any registration with SF planning as a long term rental. This home has effectively been turned into a hotel/hostel and photos show that much of the work is not to building codes. Permit shows that it was completed in March 2022, so additional work must have been done after the permit was signed off...or another City Inspector on the Take! (cal)

INSPECTOR INFORMATION

DIVISION	INSPECTOR	ID	DISTRICT	PRIORITY
CES	LAM	6383		

REFERRAL INFORMATION

DATE	REFERRED BY	TO	COMMENT
6/2/2022	Suzanna Wong	CES	Per Jimmy Guaiumi

COMPLAINT STATUS AND COMMENTS

DATE	TYPE	DIV	INSPECTOR	STATUS	COMMENT
05/23/22	CASE OPENED	BID	Chiu	CASE RECEIVED	
05/24/22	OTHER BLDG/HOUSING VIOLATION	BID	Guaiumi	PERMIT RESEARCH	Permit research and review of complaint per complaint team request found that additional work may have been performed after 3/3/2022 final inspection including converting attic storage to habitable space, adding stairs, deck and gazebo. At 3/3/2022 final inspection layout was in accordance with approved plas of PA 202111222856. PS
05/24/22	OTHER BLDG/HOUSING VIOLATION	BID	Chiu	CASE UPDATE	New 311 referral has been added to the instruction box and information provided to assigned inspector. (311 SR #15365186) (cal/cm)
05/24/22	OTHER BLDG/HOUSING VIOLATION	INS	Chiu	CASE UPDATE	Case reviewed and assigned to district inspector per CM; ag
05/24/22	OTHER BLDG/HOUSING VIOLATION	BID	Guaiumi	CASE UPDATE	Case reassigned to complaint team per CM; slw
05/26/22	OTHER BLDG/HOUSING VIOLATION	BID	Guaiumi	CASE UPDATE	Took photos of the metal gate installed without permits and the rear deck built without permits. NOV TO FOLLOW. JG
05/27/22	OTHER BLDG/HOUSING VIOLATION	INS	Guaiumi	CASE UPDATE	1st NOV mailed, and cc DCP; ag
05/27/22	OTHER BLDG/HOUSING VIOLATION	INS	Guaiumi	FIRST NOV SENT	1st NOV issued per JG; ag
05/27/22	OTHER BLDG/HOUSING VIOLATION	BID	Guaiumi	CASE UPDATE	Posted NOV. JG
06/02/22	OTHER BLDG/HOUSING VIOLATION	BID	Guaiumi	REFERRED TO OTHER DIV	Case referred to CES per JG; slw
06/02/22	OTHER BLDG/HOUSING VIOLATION	BID	Guaiumi	CASE UPDATE	Final warning letter mailed; slw
06/02/22	OTHER BLDG/HOUSING VIOLATION	BID	Guaiumi	FINAL WARNING LETTER ISSUED	no permit filed. no contact with owner. JG
06/02/22	OTHER BLDG/HOUSING VIOLATION	BID	Guaiumi	FINAL WARNING LETTER SENT	refer to CES. JG
06/02/22	GENERAL	BID	Guaiumi	REFERRED TO OTHER	transfer to div CES

06/06/22	MAINTENANCE	CES	Hinchion	CASE RECEIVED	Case received in CES. SB
06/17/22	OTHER BLDG/HOUSING VIOLATION	CES	Hinchion	PERMIT RESEARCH	Assigned to G.L. Jh
06/17/22	OTHER BLDG/HOUSING VIOLATION	CES	Lam	REFER TO DIRECTOR'S HEARING	Case Reviewed. No Permit to Comply. Prep and Schedule for 7/26/22 DH. GL
06/22/22	OTHER BLDG/HOUSING VIOLATION	CES	Lam	CASE UPDATE	Hold Case for 30 Days per CM. Removed case from DH Calendar. -GL

COMPLAINT ACTION BY DIVISION

NOV (HIS):

NOV (BID):

5/27/2022

Inspector Contact Information

[Online Permit and Complaint Tracking home page.](#)

Technical Support for Online Services

If you need help or have a question about this service, please visit our FAQ area.

1468 VAN DYKE AVE

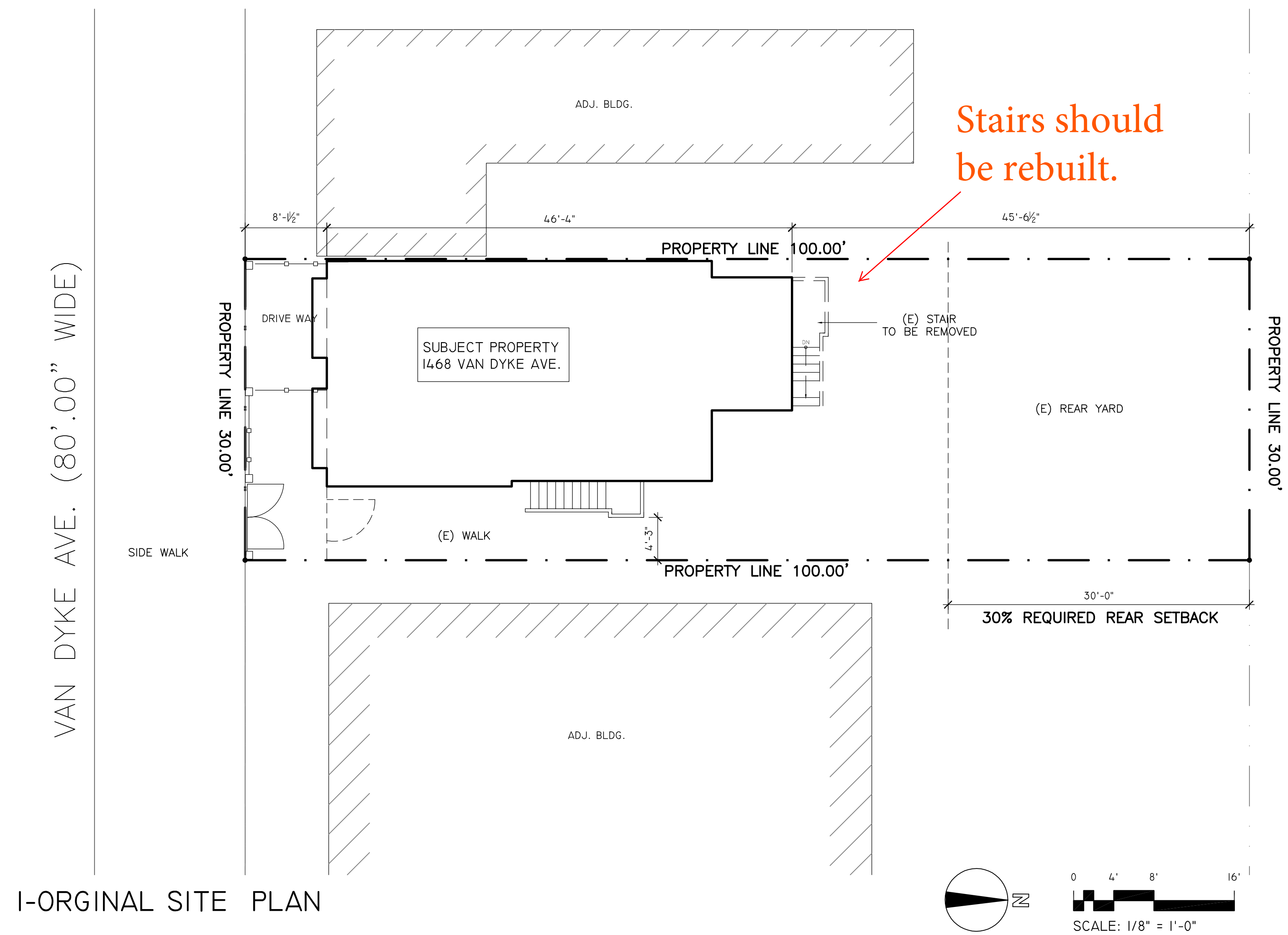
NEW DECK AND GATE



2-NEW FRONT SECURITY METAL GATE



3-FRONT FACADE



1-ORIGINAL SITE PLAN

PROJECT:

**RESIDENTIAL
REMODEL**

FOR

CHUNG CHAU

XIE ASSOCIATES, INC
Architectural Design & Planning

26 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: bill@xiearchdesign.com

**1468
VAN DYKE AVE
SAN FRANCISCO,
CALIFORNIA**

PROJECT NO:
MODEL FILE:
DRAWN BY: L.H.HONG
CHECK BY:
DATE: 10/09/22

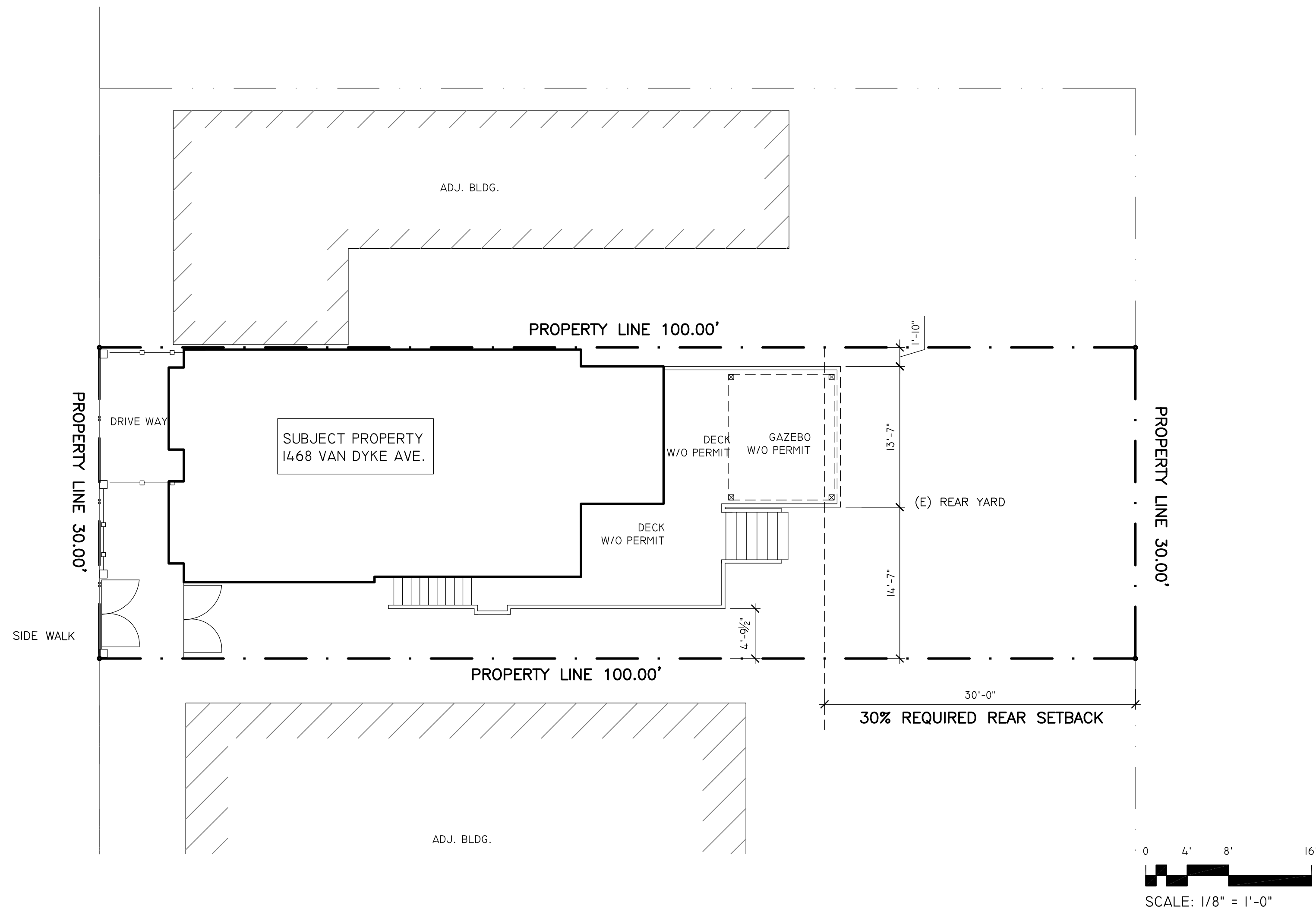


SHEET TITLE

**SITE PLAN
AND PHOTOS**

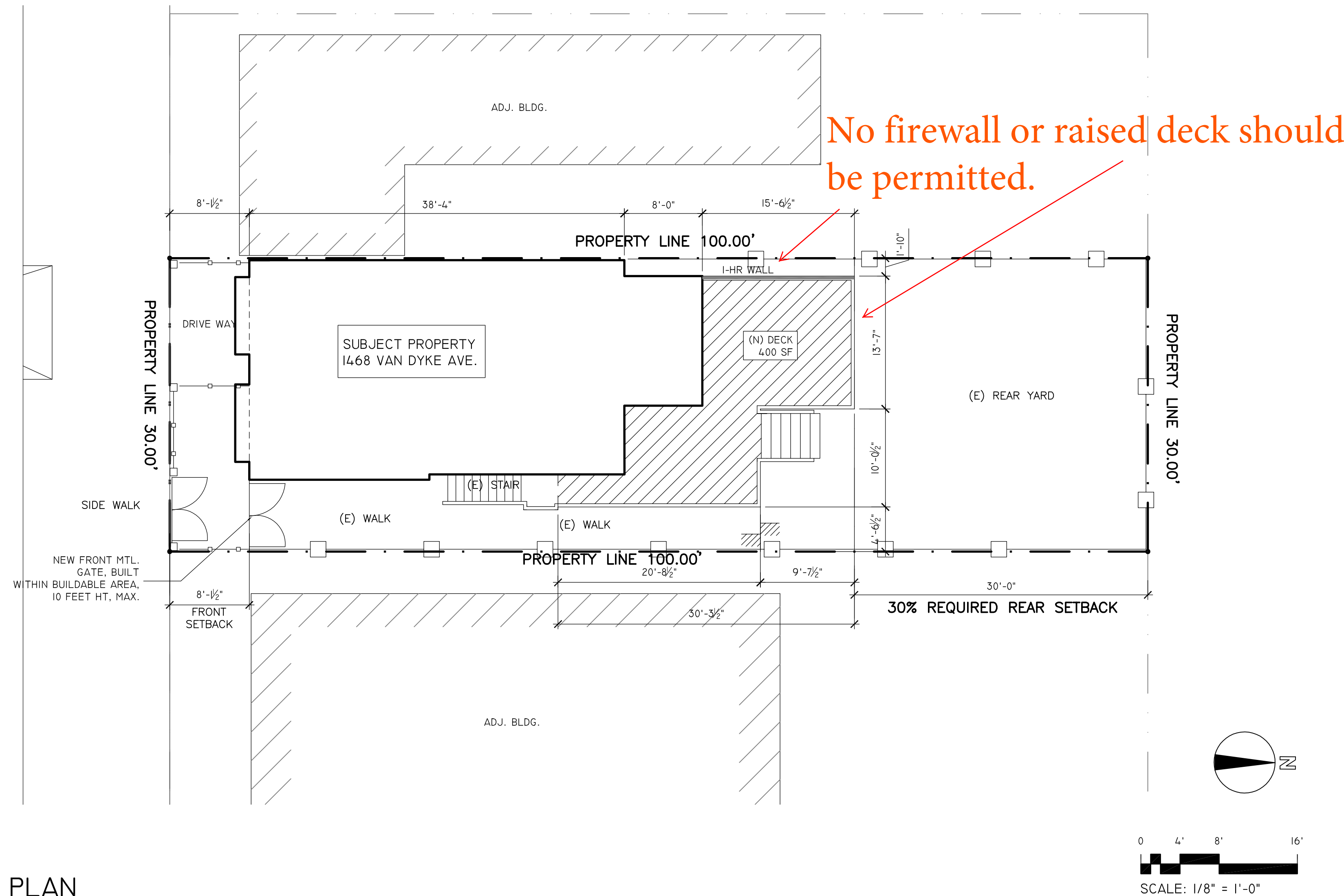
A0.0

VAN DYKE AVE. (80'.00" WIDE)



I-AS-BUILT SITE PLAN

VAN DYKE AVE. (80'.00" WIDE)



2-PROPOSED SITE PLAN

GENERAL NOTES

- ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE, CITY AND COUNTY CODES AND ORDINANCES. ANY WORK FOUND IN THESE DRAWINGS NOT IN CONFORMANCE WITH ANY APPLICABLE CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCEMENT OF ANY RELATED WORK.
 CODES USED:
 2019 SAN FRANCISCO BUILDING CODE
 2019 CALIFORNIA PLUMBING CODE W/ S.F. AMENDMENTS
 2019 CALIFORNIA ELECTRICAL CODE W/ S.F. AMENDMENTS
 2019 CALIFORNIA MECHANICAL CODE W/ S.F. AMENDMENTS
 2019 SAN FRANCISCO HOUSING CODE
 2019 CALIFORNIA FIRE CODE(CFC)
 2019 CALIFORNIA ENERGY CODE(CEC/T-24)W/ S.F. AMENDMENTS
 2. ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL WORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS.
- ANY DEVIATION CAUSED BY THE FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS SHALL BE BROUGHT TO THE ATTENTION OF RAUM. ANY DISCREPANCY NOT REPORTED TO RAUM WILL ABSOLVE RAUM FROM ANY LIABILITY.
- TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE PROVIDED.
- DO NOT SCALE THESE DRAWINGS. DIMENSIONS SHOWN ON PLANS OR DETAILS SHALL TAKE PRECEDENCE OVER SCALES SHOWN. ALL INTERIOR DIMENSIONS ARE MEASURED TO FINISHED SURFACES AND ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR SHEATHING, U.N.O.
- THIS IS A STANDARD PERMIT SET DRAWINGS. FINISHES, SPECIFICATIONS, SHOP DRAWINGS, AND DETAILS BY OTHERS
- PLUMBING, ELECTRICAL ARE UNDER A SEPARATE PERMIT
- PROPERTY LINES LOCATION ON SITE PLAN ARE FOR REFERENCE ONLY, AND SHALL VERIFY BY LIC. SURVEYOR.
- DURING ALL PHASE OF WORK, DO NOT DISTURB THE ADJACENT NEIGHBORS.
- THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL PLANS AND DETAILS
- "TYP" SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITION, THROUGHOUT.
- CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS REQUIRED BY GOVERNING LAWS AND REGULATIONS. CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHTING SERVICES FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE MATERIAL, EQUIPMENT AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF OCCUPANCY.
- STREET TREES SHALL BE LOCATED EITHER WITHIN A SETBACK AREA ON THE LOT OR WITHIN THE PUBLIC RIGHT-OF-WAY ALONG THE SUBJECT LOT. 24" BOX MIN. SOIL SHALL BE BELOW-GRADE ENVIRONMENT WITH NUTRIENT-RICH, FREE FROM OVERLY-COMPACTED AND GENERALLY CONDUCIVE TO TREE DEVELOPMENT

PROPERTY DATA

OWNER:	CHUNG CHAU	
ADDRESS:	1468 VAN DYKE AVE SAN FRANCISCO, CA 94124	
BLOCK/LOT#:	4810/008	
ZONING:	RH-1	
YEAR BUILT:	1917	
EXISTING ASSESSOR USE:	1 FAMILY DWELLING	
EXISTING BLDG FLOOR AREA:	1,000	☐
TOTAL VOLUME OF SOIL THAT WILL BE MOVED:	0	QUBIC YARD
LOT AREA:	3,000	☐
MAX. HEIGHT LIMIT:	40'-X	
NEW DECK AREA:	400	SF
HISTORIC PRESERVATION:	B	
	EXISTING	PROPOSED
CONSTRUCTION TYPE	V-B	V-B
OCCUPANCY TYPE	R3/U	R3/U
BUILDING HT.	25'-9"	25'-9", NO CHANGE
NUMBER OF STORIES	2	2
FIRE SPRINKLER	NONE	NONE
TRAVEL DISTANCE	<75'-0"	<75'-0"
PARKING SPACE	1	1

SHEET INDEX

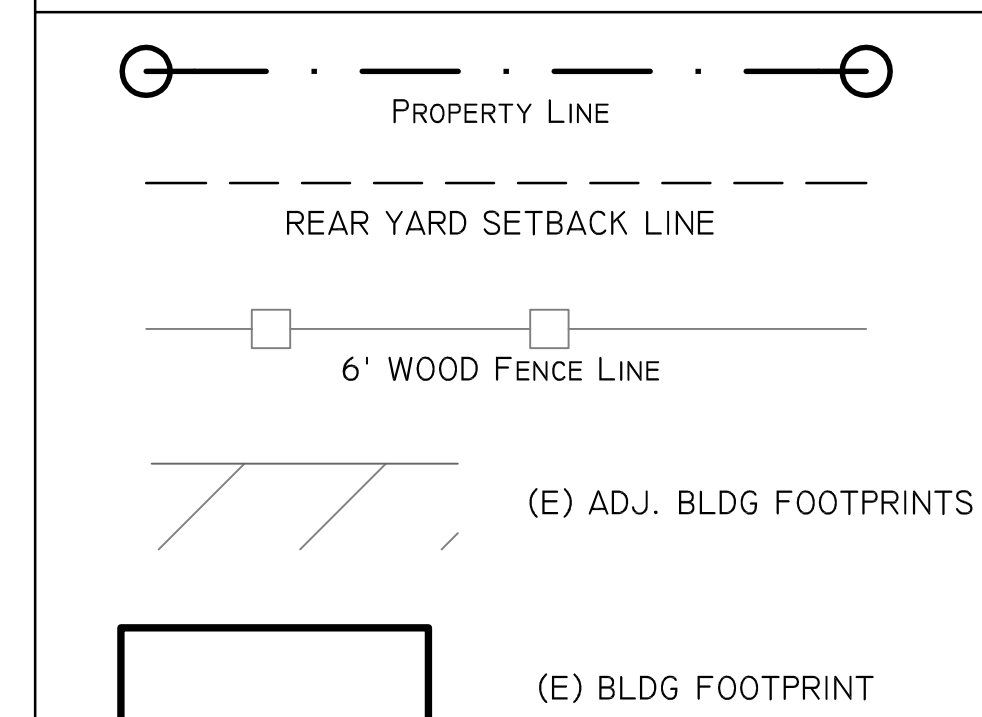
A0.0	SITE PLAN AND PHOTO
A1.0	SITE PLAN, NOTES
A1.1	SITE PLAN, FLOOR PLAN AND NOTES
A2.0	EXISTING & PROPOSED FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS, AND SECTIONS
A3.1	EXTERIOR ELEVATIONS, AND SECTIONS
A5.0	DETAILS
S1.0	GENERAL NOTES & DTLS
S2.0	FRAMING AND FOUNDATION PLAN
S3.0	DETAILS
S4.0	INSPECTION

SCOPE OF WORK

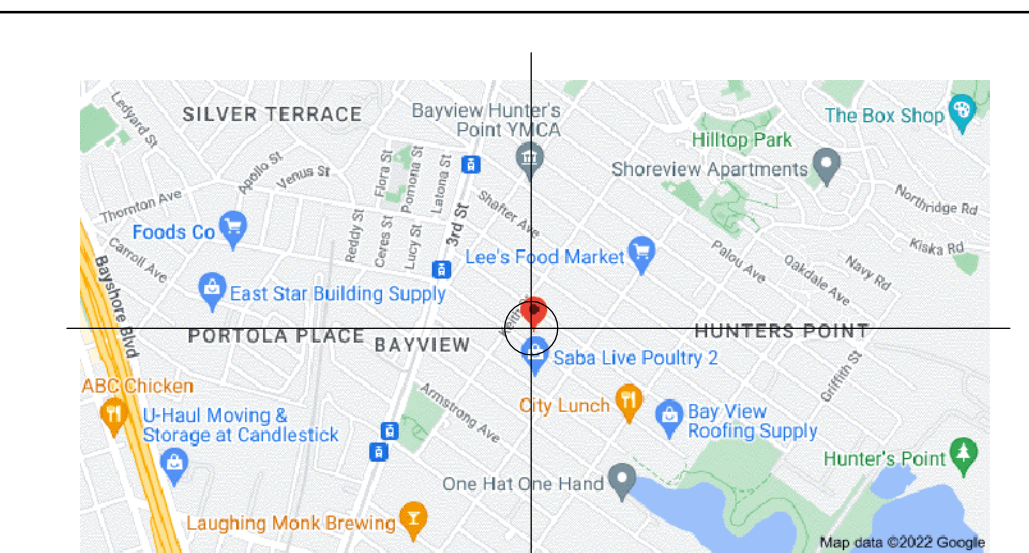
COMPLY TO NOV#202291235

- LEGALIZE ONE-LEVEL REAR DECK AT REAR YARD
- LEGALIZE METAL GATE AT FRONT, NO MORE THAN 10'-0" HT.
- REMOVE PATIO COVER-GAZEBO CANOPY
- NEW BATHROOM AND HOME OFFICE
- EAST WINDOW WORK UNDER PERMIT# 202111222856

SITE LEGEND



LOCATION MAP (NTS)



PROJECT:

RESIDENTIAL REMODEL

FOR

CHUNG CHAU

XIE ASSOCIATES, INC
Architectural Design & Planning

26 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: bil@xiearchdesign.com

1468 VAN DYKE AVE
SAN FRANCISCO, CALIFORNIA

PROJECT NO:

MODEL FILE:

DRAWN BY: LU HONG

CHECK BY:

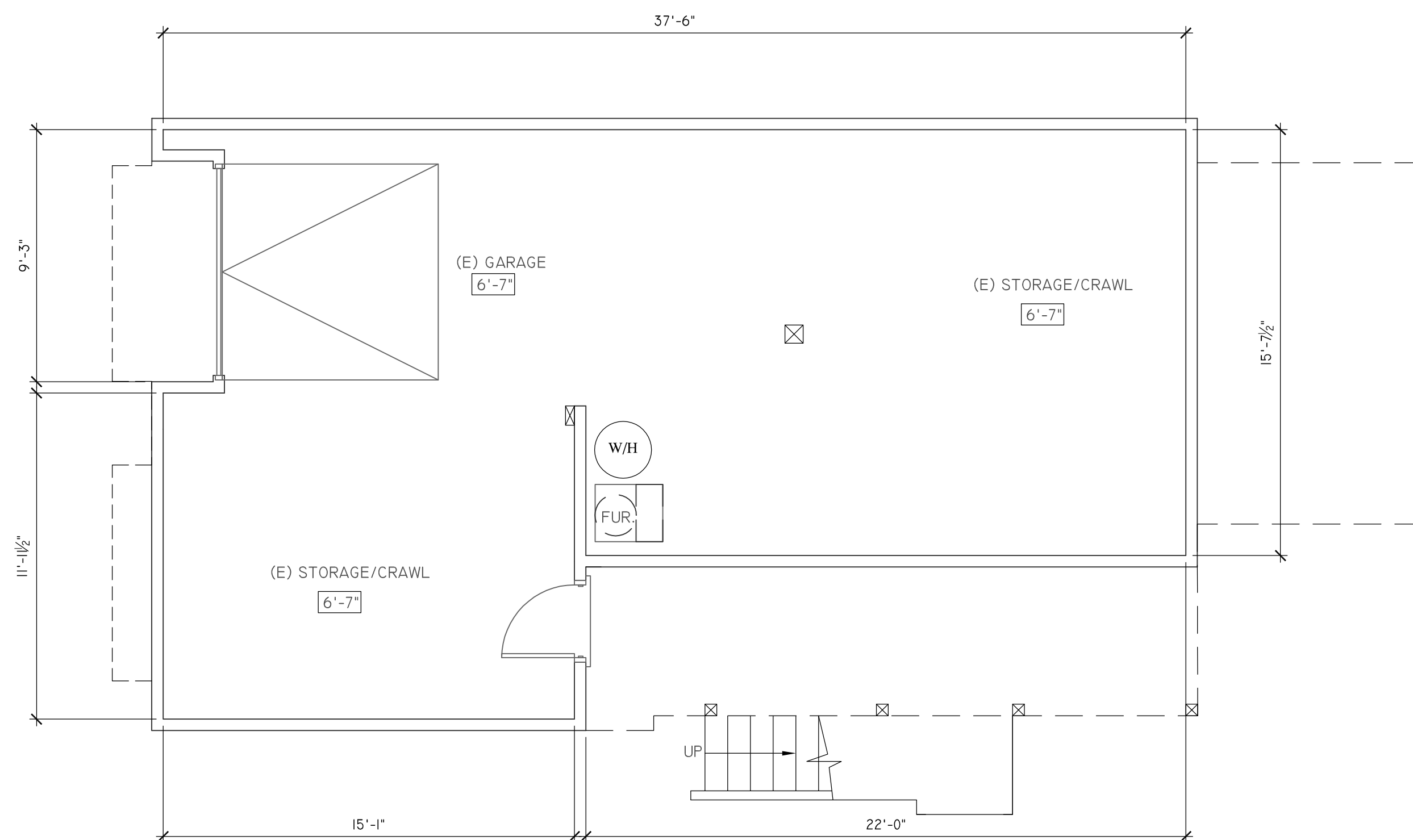
DATE: 10/09/22



SHEET TITLE

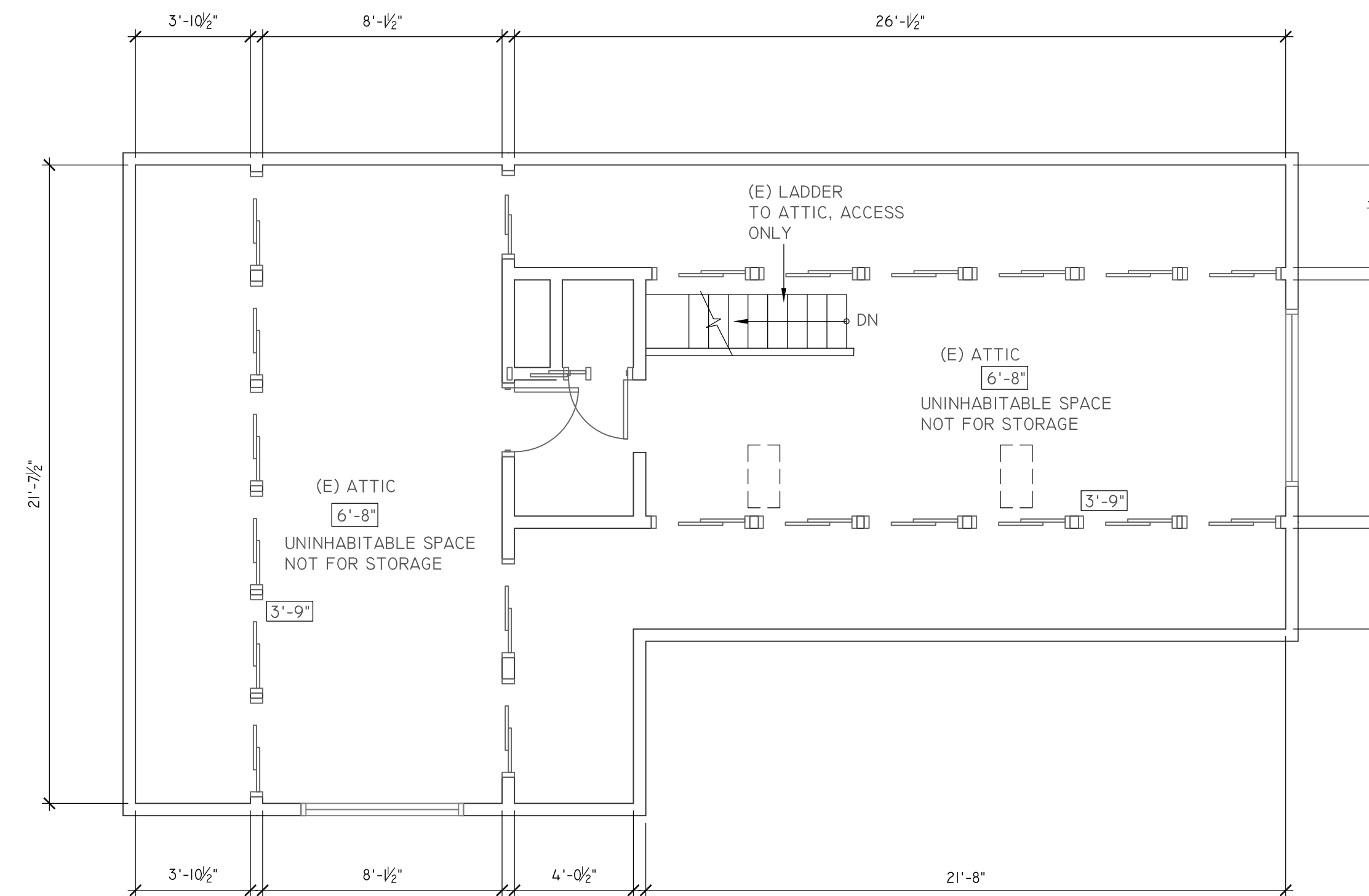
SITE PLANS & NOTES

A1.0



1-(E) GARAGE PLAN/BASEMENT (NO WORK)

SCALE: 1/4"=1'-0"



3-(E) ATTIC (NO WORK)

SCALE: 1/4"=1'-0"

Attic windows encourage habitation instead of storage; should be required to be removed

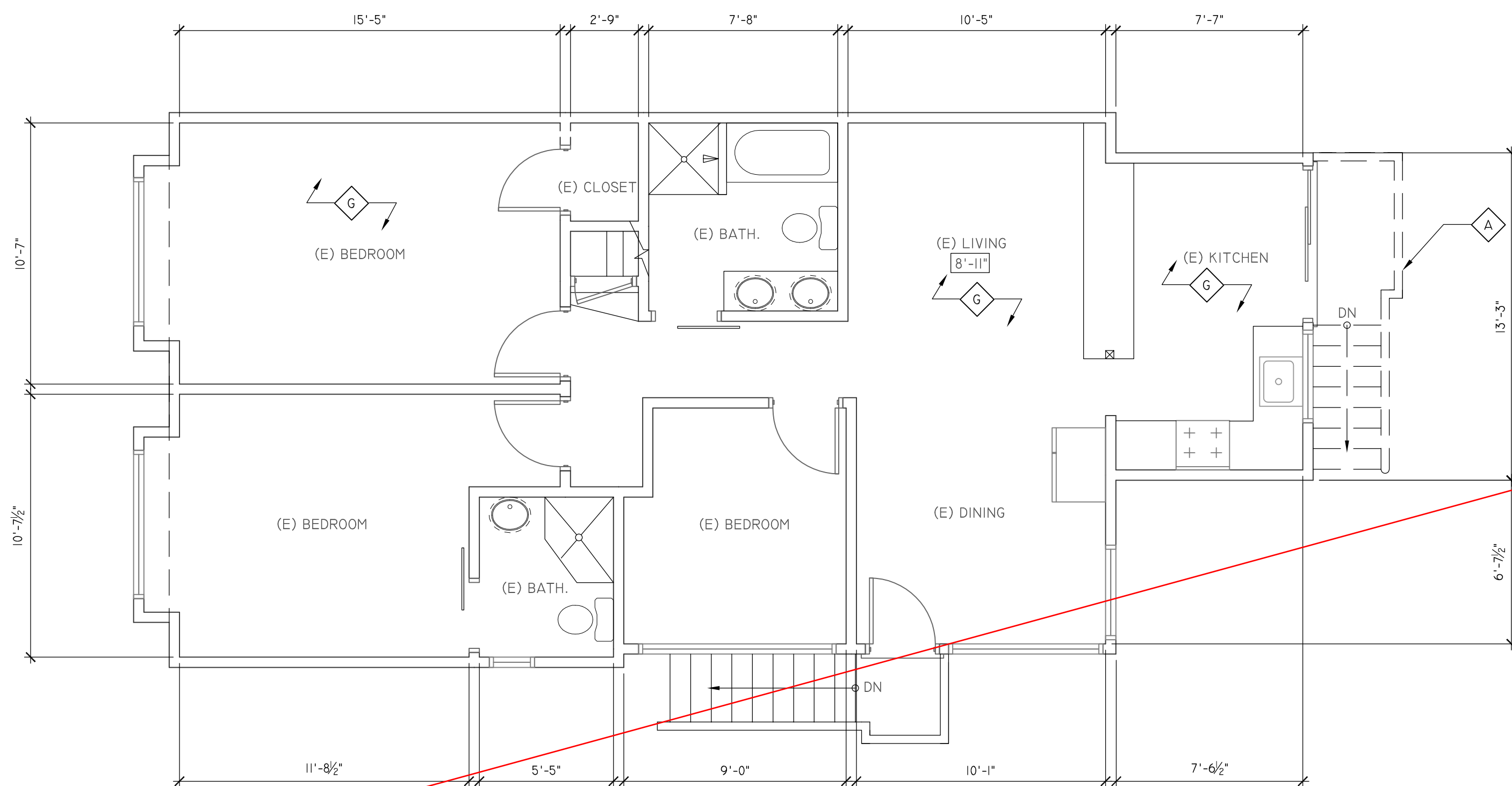
DEMO WORK NOTES

A REMOVE EXISTING STAIR AND LANDING

F REMOVE PARTIAL OF EXISTING WALL FOR NEW OPENING, SEE PROPOSED PLAN FOR EXTEND OF WORK

G PREPARE WALL, FLOOR, AND CEILING TO RECEIVE NEW WORK

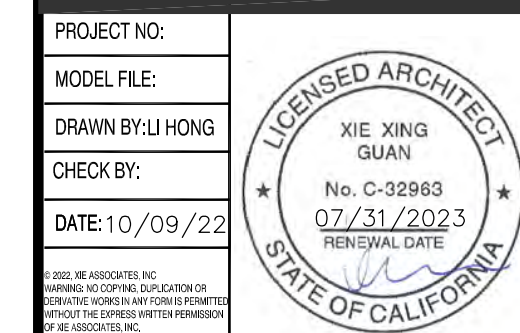
H REMOVE/REPLACE WINDOW FOR NEW OPENING



This is an egregious missatement as to "Existing Original" 1st Floor layout. At time of Chau's purchase, Sept 2021, the building was 2-bedrooms, 1-bathroom. That construction has not legally changed pursuant to permit without inaccurate information as to legal existing conditions.

2-(E) ORIGINAL 1ST FLOOR PLAN

SCALE: 1/4"=1'-0"



SITE PLAN
AND FLOOR
PLANS

A1.1

**RESIDENTIAL
REMODEL**

FOR

CHUNG CHAU

XIE ASSOCIATES, INC
Architectural Design & Planning
26 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: bill@xiearchdesign.com

**1468
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SAN FRANCISCO,
CALIFORNIA**

PROJECT NO:	
MODEL FILE:	
DRAWN BY: L.HONG	
CHECK BY:	
DATE: 10/09/22	

LICENSED ARCHITECT
XIE JING GUAN
No. C-32983
07/31/2023
RENEWAL DATE

THIS ARCHITECT IS NOT BEING LICENSED IN ANY OTHER STATE OR COUNTRY. ANY OTHER STATE OR COUNTRY ARCHITECTS MUST BE LICENSED IN THEIR RESPECTIVE JURISDICTIONS.

SHEET TITLE

**FLOOR
PLANS**

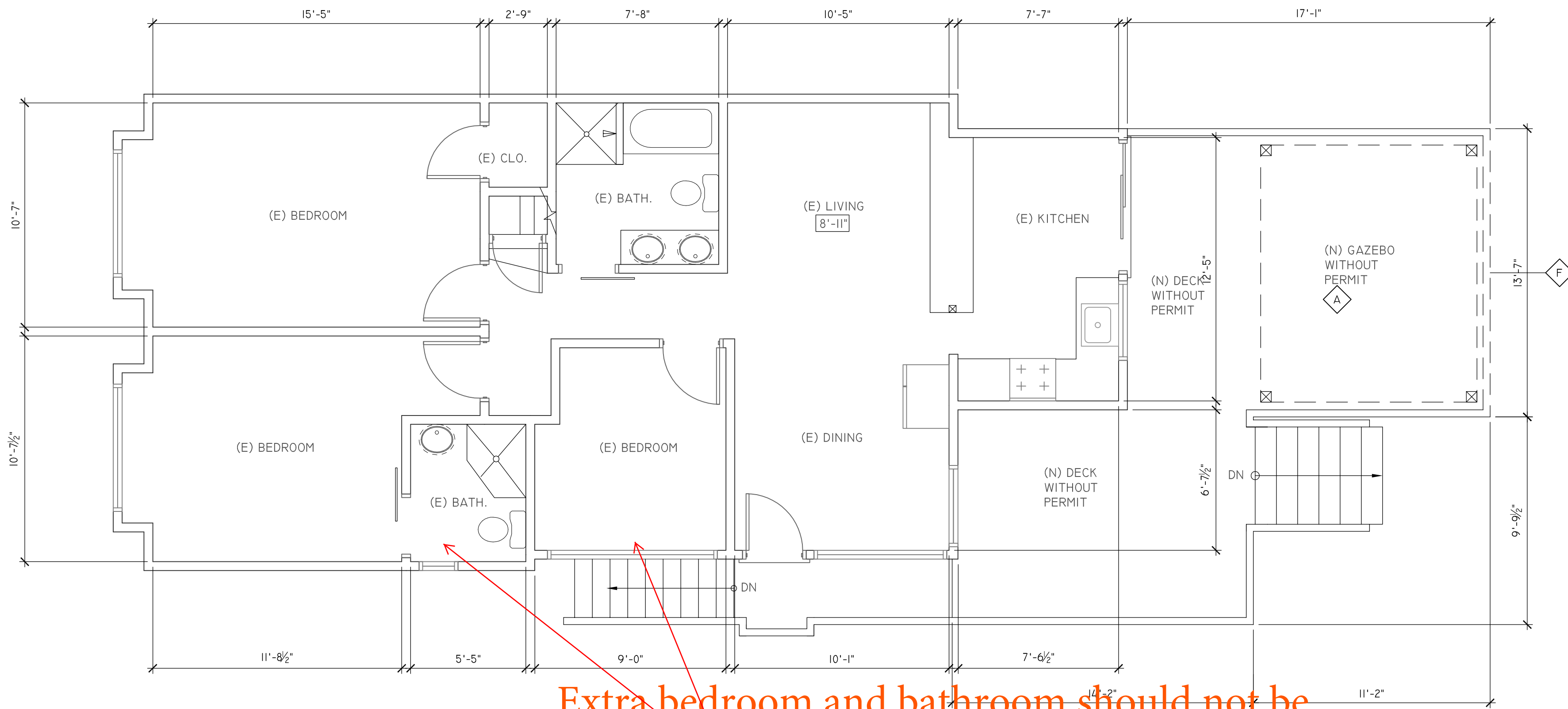
A2.0

DEMO WORK NOTES

- A REMOVE EXISTING GAZEBO CANOPY
- F REMOVE PARTIAL OF EXISTING GUARDRAIL THAT BUILT INTO REQUIRED SETBACK AREA
- G PREPARE WALL, FLOOR, AND CEILING TO RECEIVE NEW WORK
- H REMOVE/REPLACE WINDOW FOR NEW OPENING

CONSTRUCTION WORK NOTES

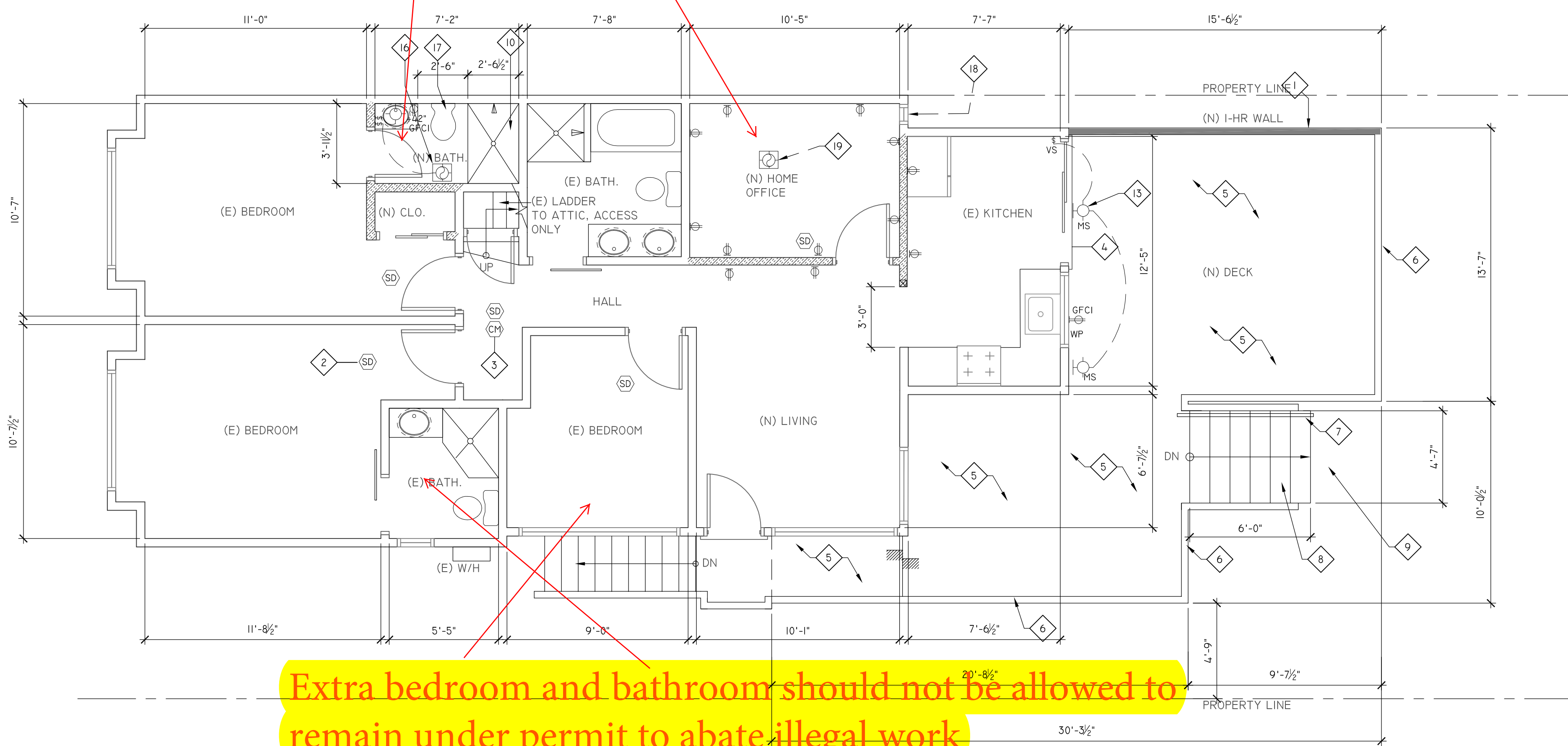
- 1 NEW 1-HR WALL @ PROPERTY LINE, SEE A3.1/D2
- 2 PROVIDE SMOKE DETECTOR ALARMS. PROVIDE HARDWIRED SMOKE DETECTORS TO HAVE BATTERY BACKUP INSIDE EACH BEDROOM AND HALL LEADING TO THE SLEEPING BEDROOMS, INTERCONNECTED, TYP.
- 3 PROVIDE CARBON MONOXIDE ALARMS TO BE INSTALLED IN HALLWAY @ EACH FLOOR, NEXT TO BEDROOM, TYP.
- 4 PROVIDE 36" DEEP LANDING IN THE DIRECTION OF TRAVEL; 4" MIN. 7.75" MAX STEP DOWN FOR INSWING AND SLIDING DOORS; SLOPE 2% AWAY FROM HOUSE. SEE DTL. @ D1/A3.1
- 5 NEW DECK, FINISH W/ SLIP RESISTANT BOARD. NAIL TO ALL SUPPORT @ 8" O.C., DRAINAWAY FROM THE BUILDING
- 6 42" HT. WOOD GUARDRAIL, THE TOP OF GUARDRAILS SHALL NOT BE PLACED NO LESS 42" A.F.F. RAILING DISTANCE B/W CABLE SHALL NOT MORE THAN 4" O.C. (SUCH THAT A 4" Ø SPHERE CAN'T PASS THROUGH), TEMPERED, SEE A5.0/8
- 7 PROVIDE/VERIFY HANDRAIL THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS 34" NOR MORE THAN 38" ABOVE LANDINGS & THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. SEE A5.0/8
- 8 ALL STAIRWAYS TO BE MIN. 36" WIDE. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4" NOR GREATER THAN 7.75". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". SEE A5.0/8
- 9 PROVIDE 36" DEEP x STAIR WIDTH LEVEL LANDING IN THE DIRECTION OF TRAVEL
- 10 THE TUB/SOWER WALLS TO BE SMOOTH, HARD, NONABSORBENT SURFACE(E.G., CERMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT BOARD, ETC.) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET, SEE DTL. @ A5.0/3
PROVIDE 1024 SQUARE INCHES MIN. & CAPABLE OF ENCOMPASSING A 30" DIA. CIRCLE AT SHOWER SPACE. SHOWER DOOR SHALL BE TEMPERED GALSS, AND OPEN SO AS TO MAINTAIN A MIN. 22 INCH UNOBSTRUCTED OPENING FOR EGRESS
- 15 NEW EXTERIOR LIGHTS TO BE HIGH-EFFICACY W/ MANUAL ON/OFF SWITCH CONTROL AND PHOTOCNTROL & MOTION SENSOR, TYP.
- 16 PROVIDE AN EXHAUST VENT/FAN, 50 CFM MIN., AT THE BATHROOM W/ THE DUCT DISCHARGE IS DIRECTLY CONNECTED TO THE OUTSIDE OF THE BUILDING AND LOCATED AT LEAST 3- FEET FROM ANY OPENINGS INTO THE BUILDING & PROPERTY LINE, TYP.
- 17 PROVIDE A 15" CLR. ON EACH SIDE MEASURE FROM CENTERLINE OF WATER CLOSET AND A MIN. 24" CLR. IN FRONT OF THE WC, TYP. SEE A5.0/13
- 18 PROVIDE A NEW 12"x60" SINGLE HUNG WINDOW WITH .30 U FACTOR
- 19 PROVIDE SUPPLY FAN, 50 CFM MIN.



I-EXISTING AS-BUILT 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

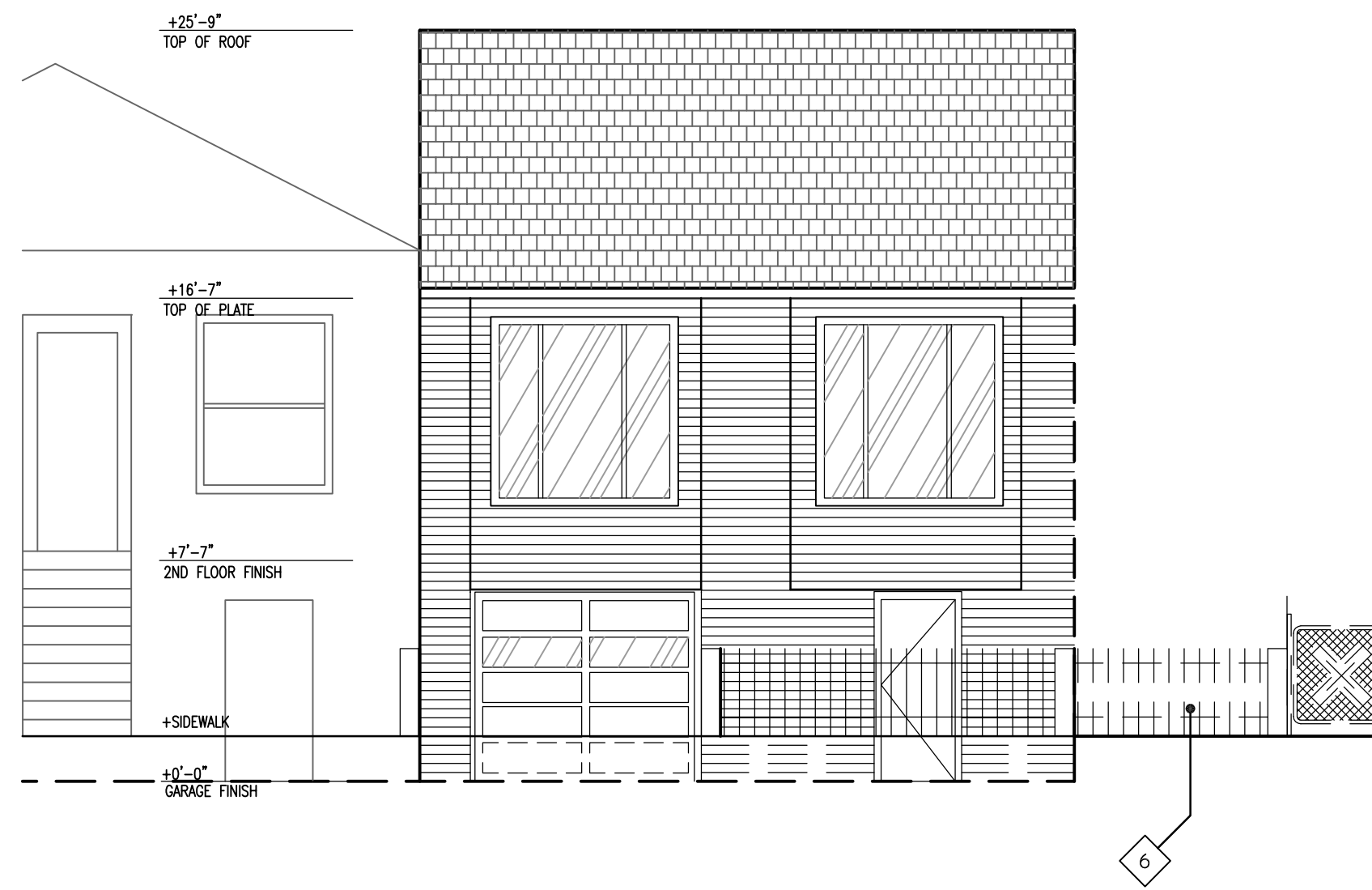
Extra bedroom and bathroom should not be allowed to remain under permit to abate illegal work

No new bathroom or "office" should be allowed to be built

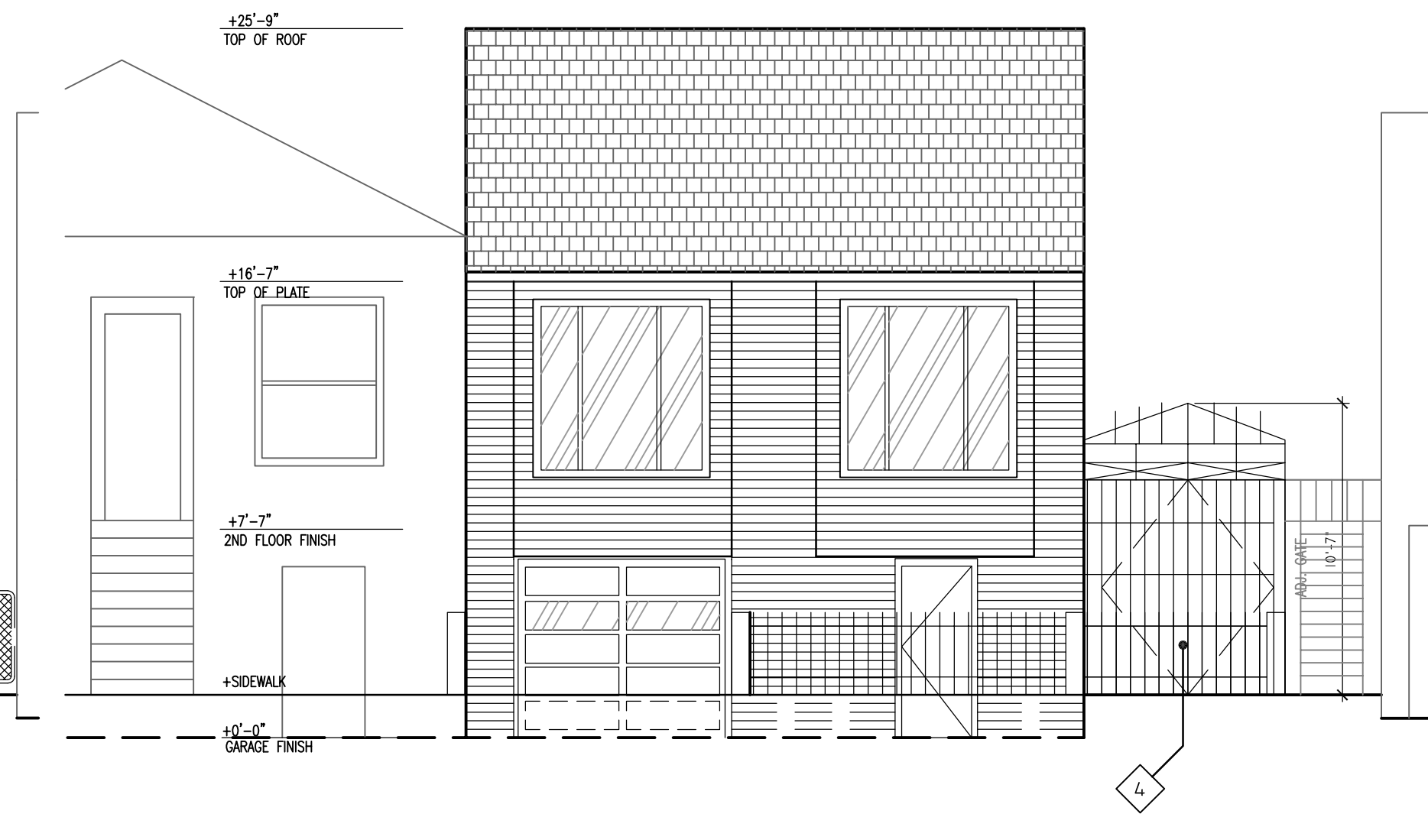


2-PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

Extra bedroom and bathroom should not be allowed to remain under permit to abate illegal work



1-ORIGINAL FRONT (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



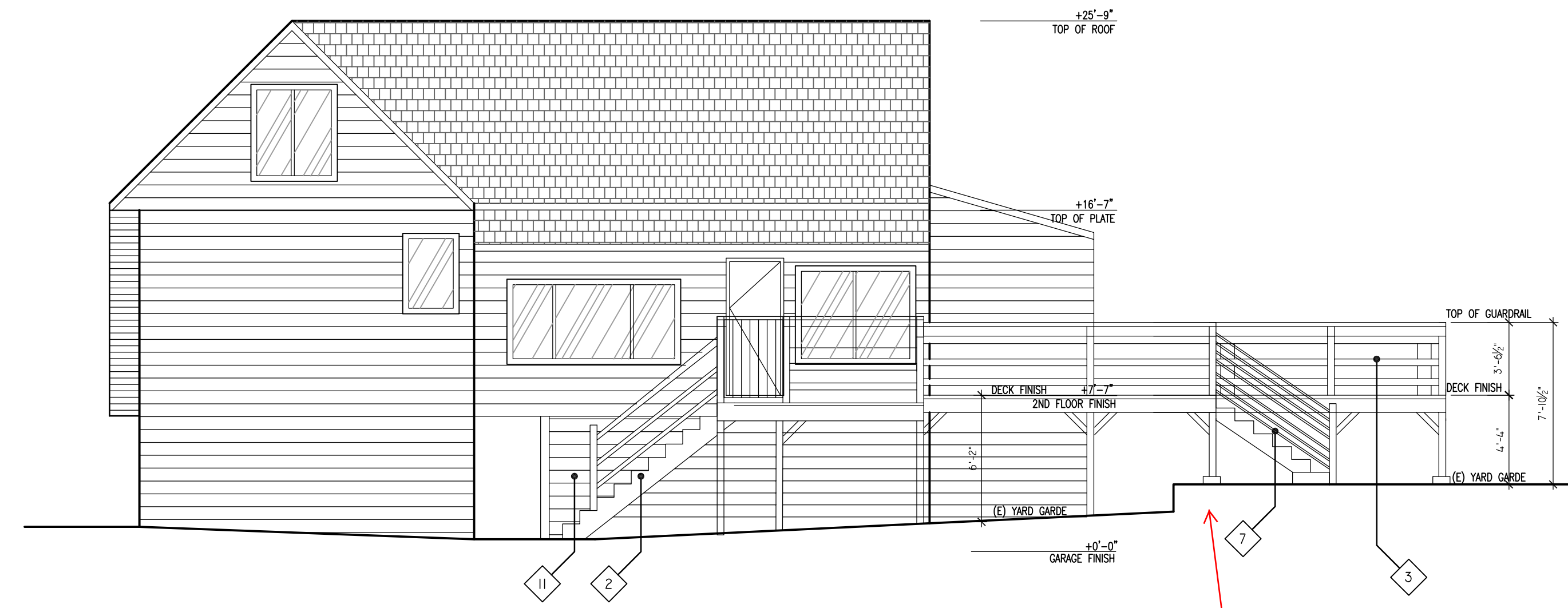
2-AS-BUILT FRONT(SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



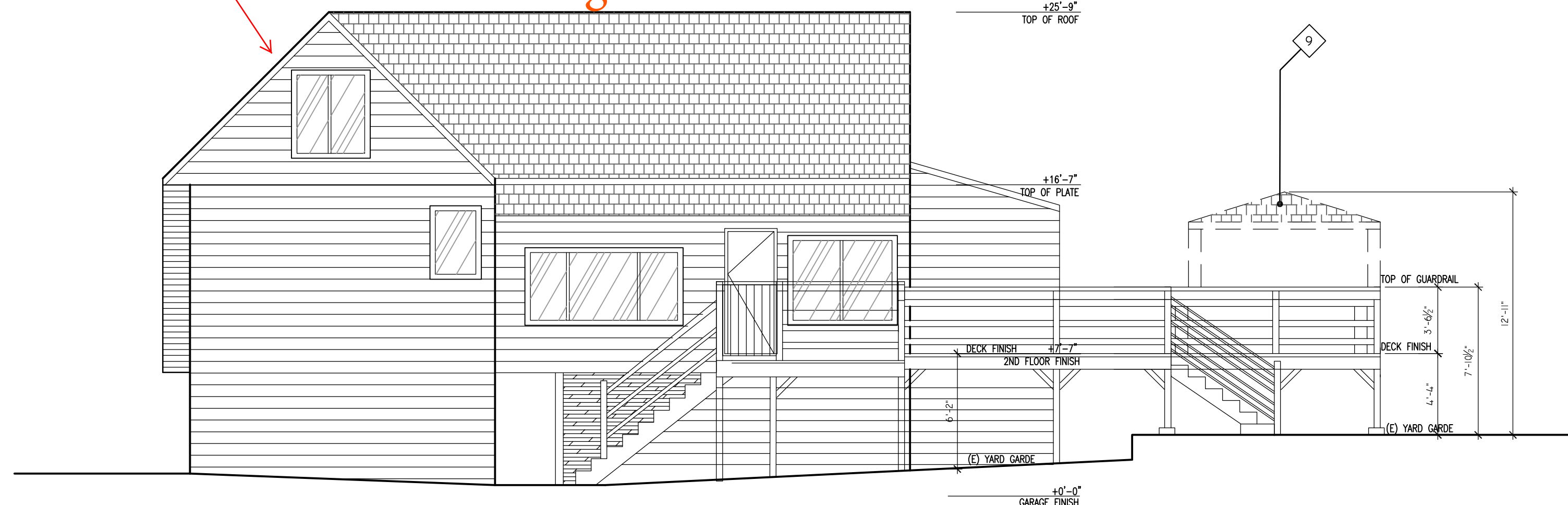
3-PROPOSED FRONT(SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



4-ORIGINAL RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"



6-PROPOSED RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"



5-AS-BUILT RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL (E) CONSTRUCTION RELATED CONDITIONS PRIOR TO COMMENCING WITH ANY WORK
2. ALL THE WEATHER EXPOSED BOLTS OR NAILS SHALL BE GALVANIZED & HOT-DIPPED
3. ALL EXPOSED WOOD MEMBERS SHALL BE RED WOOD OR PRESSURE TREATED
5. THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS 34" NOR MORE THAN 38" ABOVE LANDINGS & THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" B/W THE WALL & THE HANDRAIL AND RETURN TO WALL OR FLOOR
6. THE TOP OF GUARDRAILS SHALL NOT BE PLACED LESS 42" A.F.F. RAILING DISTANCE B/W BALUSTERS SHALL NOT MORE THAN 5-1/2" O.C. (SUCH THAT A 4" Ø SPHERE CAN'T PASS THROUGH)
7. ALL CONNECTORS USED IN CONJUNCTION WITH PRESSURE TREATED LUMBER MUST BE HOT-DIPPED ZINC GALVANIZED AND A MIN. GALVANIZATION LEVEL OF G185.

ELEVATION WORK NOTES

- 1 (E) ADJ. BUILDING
- 2 (E) WOOD STAIR
- 3 -NEW 42" HT. WOOD GUARDRAIL MIN., TYP.
- 4 -NEW MTL SECURITY GATE, REMOVE BLACK BACKING, TYP.
- 5 -NEW 1-HR WALL AT PROPERTY LINE
- 6 (E) WOOD GATE TO BE DEMOLISH
- 7 -WOOD STAIR WITH WOOD RAILING
- 8 (E) ADJ. BUILDING
- 9 (E) GAZEBO TO BE REMOVED
- 10 -NEW 10' MAX. HT. MTL SECURITY GATE, WITH NO MTL BACKING, KEEP GATE TRANSPARENT, TYP.
- 11 -REPAIR WALL WITH NEW SIDING, MATCH (E), TYP.

Unpermitted Attic window encourages habitation instead of storage

Deck, if allowed at all, should be lowered to grade or close to grade and not allowed withing 5 feet of joint property line.

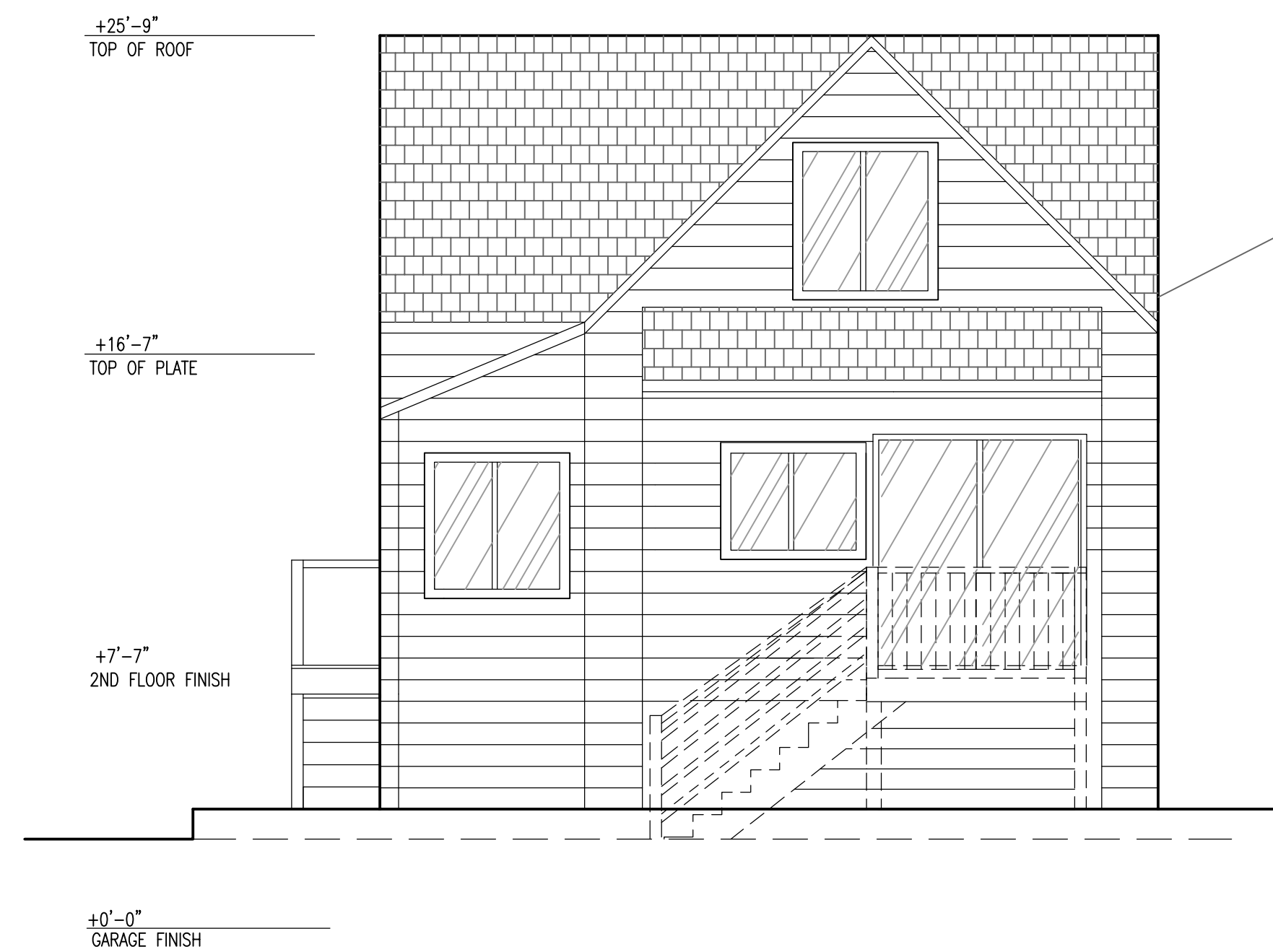
PROJECT NO:
MODEL FILE:
DRAWN BY: LI HONG
CHECK BY:
DATE: 10/09/22



SHEET TITLE

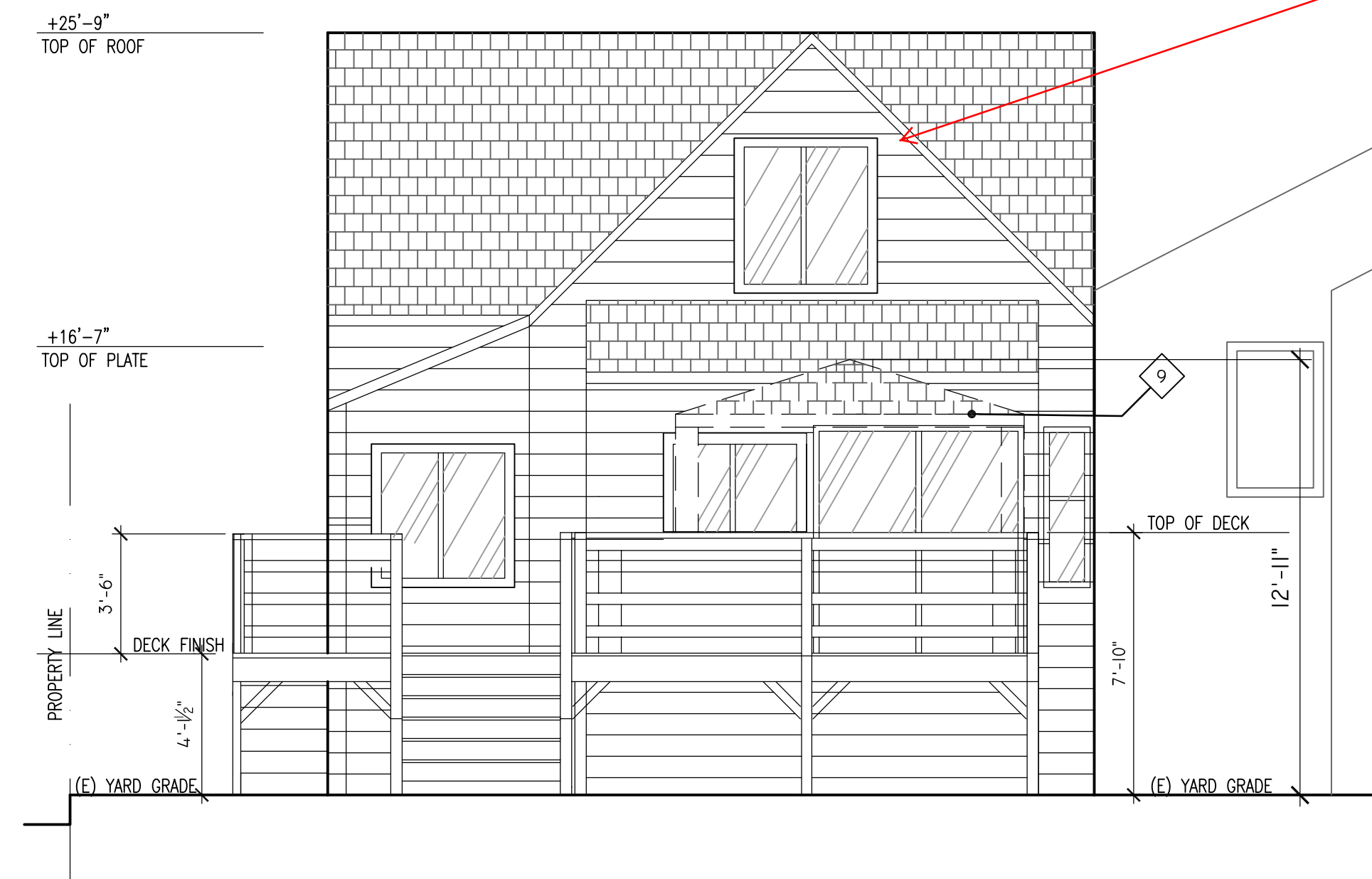
EXTERIOR
ELEVATIONS

A3.0



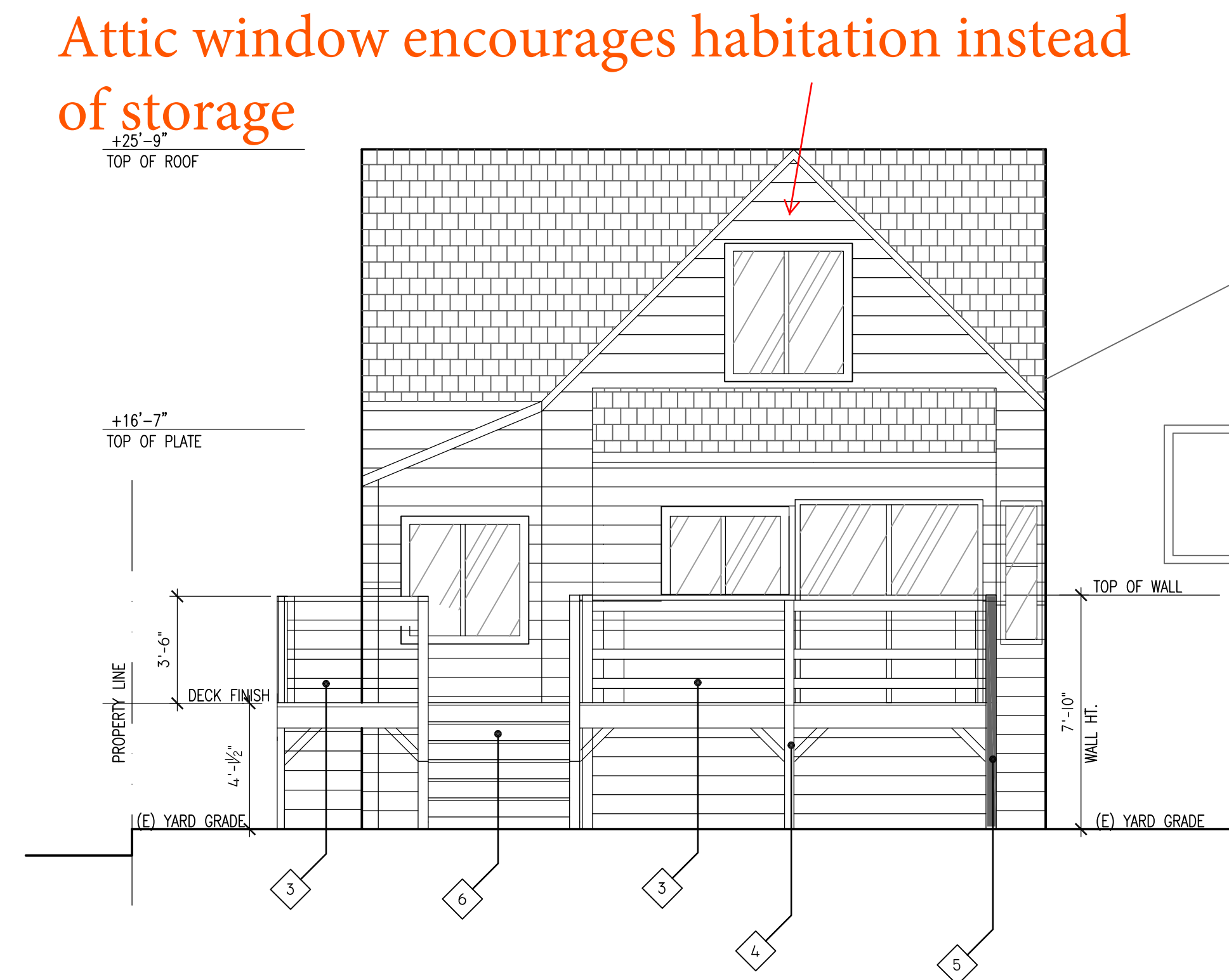
1-ORIGINAL REAR (NORTH) BUILDING

SCALE: 1/4"=1'-0"



2-AS BUILT REAR (NORTH) BUILDING

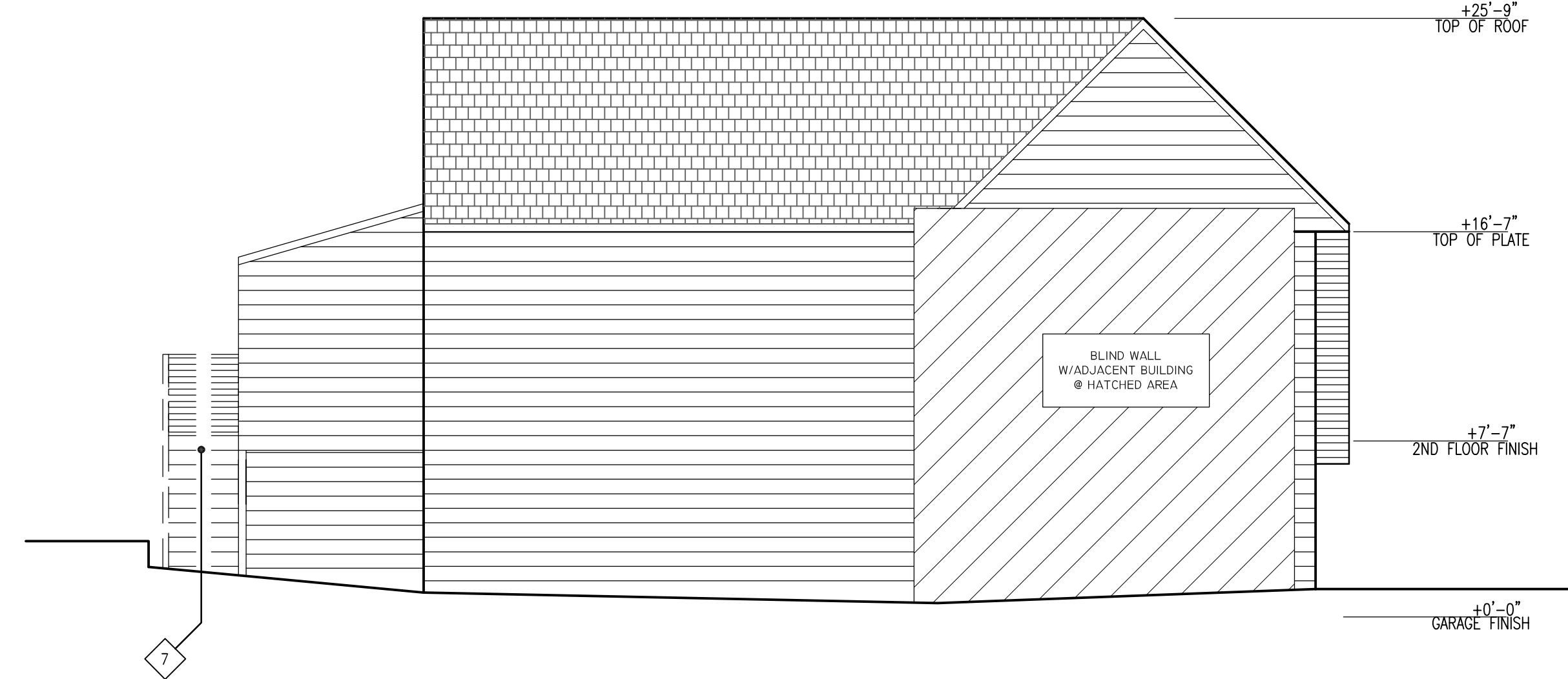
SCALE: 1/4"=1'-0"



3-PROPOSED REAR(NORTH) BUILDING

SCALE: 1/4"=1'-0"

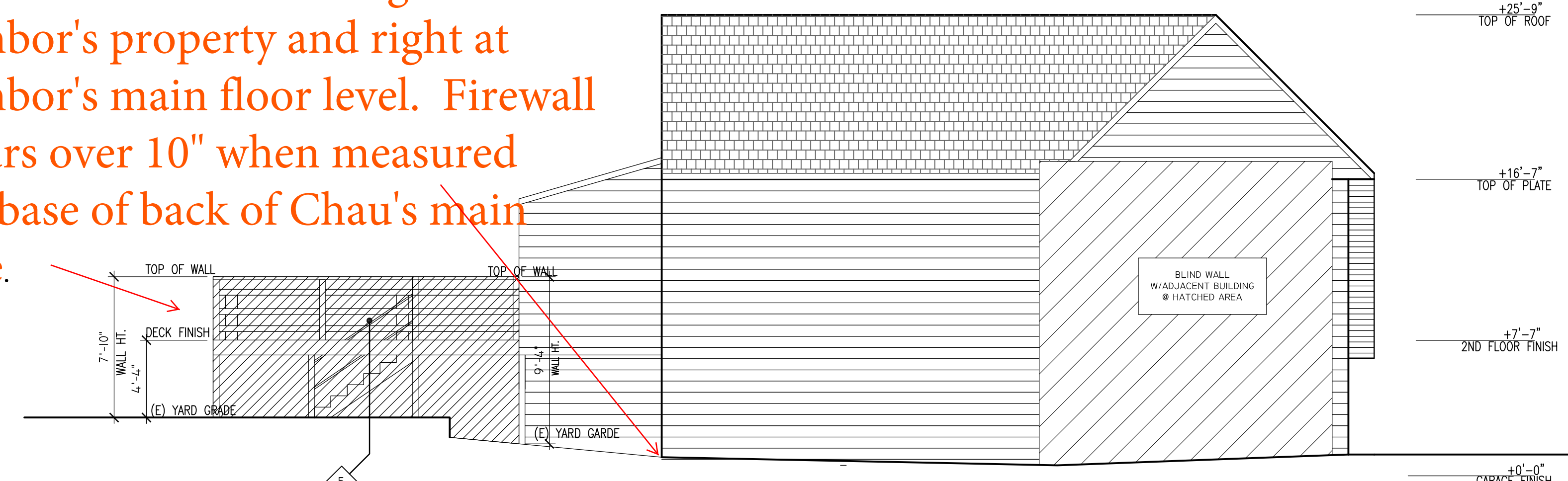
Attic window encourages habitation instead of storage



4-EXISTING LEFT(WEST) ELEVATION

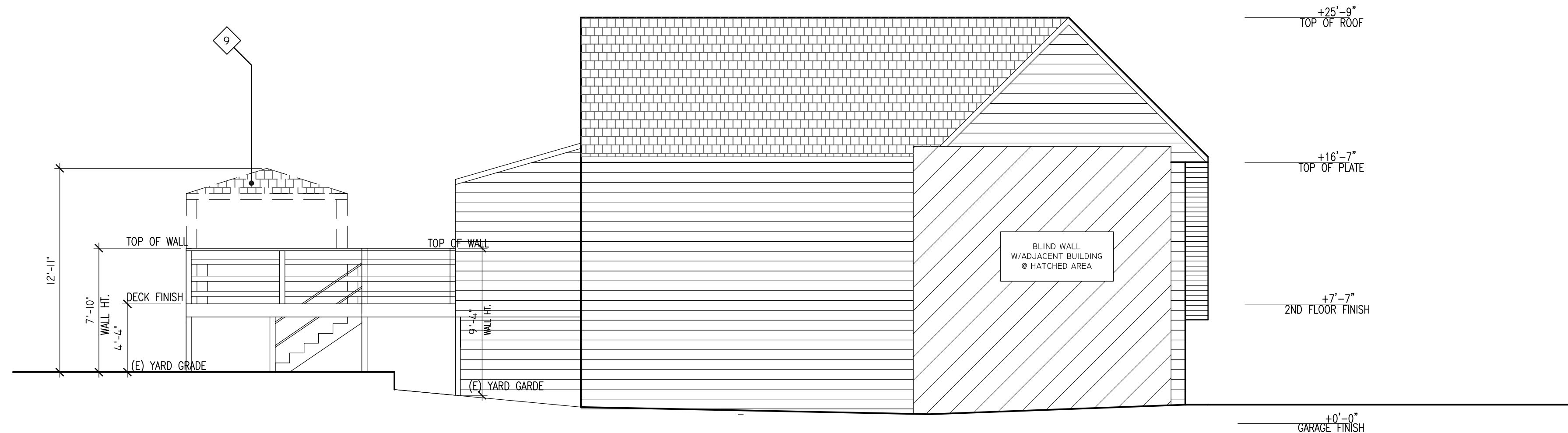
SCALE: 3/16"=1'-0"

Deck and Firewall looming over Neighbor's property and right at Neighbor's main floor level. Firewall appears over 10" when measured from base of back of Chau's main house.



6-PROPOSED LEFT(WEST) ELEVATION

SCALE: 3/16"=1'-0"



5-AS-BUILT LEFT(WEST) ELEVATION

SCALE: 3/16"=1'-0"

ELEVATION WORK NOTES

- 1 (E) ADJ. BUILDING
- 2 (E) WINDOWS AND (E) DOORS TO BE REMOVED, TYP.
- 3 NEW 42" HT. WOOD GUARDRAIL MIN., TYP.
- 4 NEW WOOD COLUMN WITH 4x4 BRACE, TYP.
- 5 NEW 1-HR WALL AT PROPERTY LINE
- 6 NEW WOOD STAIR
- 7 EXISTING WOOD STAIR TO BE REMOVED
- 9 (E) GAZEBO TO BE REMOVED

GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL (E) CONSTRUCTION RELATED CONDITIONS PRIOR TO COMMENCING WITH ANY WORK
2. ALL THE WEATHER EXPOSED BOLTS OR NAILS SHALL BE GALVANIZED & HOT-DIPPED
3. ALL EXPOSED WOOD MEMBERS SHALL BE RED WOOD OR PRESSURE TREATED
5. THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS 34" NOR MORE THAN 38" ABOVE LANDINGS & THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" B/W THE WALL & THE HANDRAIL AND RETURN TO WALL OR FLOOR
6. THE TOP OF GUARDRAILS SHALL NOT BE PLACED LESS 42" A.F.F. RAILING DISTANCE B/W BALUSTERS SHALL NOT MORE THAN 5-1/2" O.C. (SUCH THAT A 4" Ø SPHERE CAN'T PASS THROUGH)
7. ALL CONNECTORS USED IN CONJUNCTION WITH PRESSURE TREATED LUMBER MUST BE HOT-DIPPED ZINC GALVANIZED AND A MIN. GALVANIZATION LEVEL OF G185.

PROJECT NO:
MODEL FILE:
DRAWN BY: JHONG
CHECK BY:
DATE: 10/09/22



SHEET TITLE

ELEVATION & DTLS

A3.1

Re: Application Number: 2022-005104ENF

Thu, Dec 8, 2022 at 10:53 AM

To: [REDACTED]
Cc: "Page, Vincent (CPC)" <Vincent.W.Page.II@sfgov.org>, "Lam, Gilbert (DBI)" <gilbert.lam@sfgov.org>

I concur with what has been stated regarding what is assumed as simply existing conditions. While those are the current existing conditions of the property, those conditions were created as the result of work that was done without a permit. The architect of record should clearly be aware of the fact that the property was not configured as such by way of original plan or simply modification. I emphasize this given that as of September 2021 there are online photos from time of sale that show the floorplan layout at the time of sale. As such the detail as provided in Plan A1.1 is wholly incorrect with regards to how the house has already been modified without permits. The house was sold in September 2021 as a 1000 sq. ft. 2 bedroom/1 bath home. The plans showing what is called the (E) condition show an existing 3 bedroom/2 bath home, and while I understand that unpermitted work occurs and the property may transfer between parties and pass on as disclosure, this is not the case. In this case the current property owner is the one who has performed the unpermitted work and is now trying to maintain the unpermitted work as existing in light of the fact that a greater scope of the work that was done cannot be made permissible without great cost.

Simply put the bedroom on **Plan A1.1** next to the entry stairs was created by the existing owner. The 3 piece bath as an en suite bathroom to one of the bedrooms was never permitted (though shown as exiting), the existing main bathroom was reconfigured to provide a second floor access that is well out of code and was rented illegally for a time. In **Plan 2.0** there is a proposal to place a new bathroom into the Northwest bedroom to create another en suite bathroom though this bathroom does not seem to meet Title 24 standards in any configuration. The bathroom is a mere 47.5" wide with a toilet of standard depth of 28.5" which clearly would not leave the required 21" clearance to other fixtures to the sides or directly in front. In **Plan A 3.1** in the detail categorized as the "I-ORIGINAL REAR (NORTH) BUILDING a window is shown on the upper story overlooking the rear yard which again is not the original condition, but instead the current condition following them placing in a window to that space to convert the attic space to occupied space. The Structural plans don't effectively stand as "plans" in the traditional construction plans as the deck is already constructed and there are no provided demolition plans for the existing structure and are essentially what anyone in construction would call "as-built" plans. While there may be some call outs for framing connectors the bottom line is that they are still just as-builts to permit unpermitted with some possible modifications and reliance upon an inspector to verify details of the plans.

While i recognize that this may (hopefully) go out for community review the bottom line is that the homeowner is clearly now attempting to simply keep the already unpermitted modifications, while further expanding upon them due to the loss of utilization of the unpermitted second story for the sole purpose of continuing to use this property as a functioning hostel for listing on Airbnb, **as was the property owners intention all along**. There is a clear intent in this case to flaunt short term rental requirements, similar to the shown indifference to following requirements by DBI and her own contentions to others that "This is San Francisco, nobody follows the rules". It would seem to me that a little digging would likely reveal that this property owner, along with her effective personal contractor, is likely part of a group that is buying properties and simply converting them into Airbnb or short term rental properties to maximize revenues outside of regulations. As soon as she was no longer able to rent the current property at 1468 Van Dyke we as neighbors immediately began to see the property used as storage for building materials (Windows, Tile, Fixtures) suggesting that they had already moved onto another property to renovate, and it is only coincidental that the address she had provided upon previous documents was for a property that was for sale and seemingly no longer a reachable address.

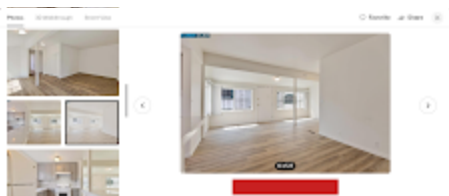
All that withstanding, I recognize that there are avenues by which properties may be modified within established building codes. There are also processes by which those modifications may happen and standards established for safety of spaces and occupancy. In the case of this property those processes have only come into play because she was caught not abiding by those processes. Standards of construction seem now to not be relevant and honest construction means and methods now seem to be compromised with this filing without any mention of the work that has been done and is now being passed off as existing conditions. Access to the second floor per the latest plan revisions seem to ignore the existence of the second floor, and simply does not mitigate any future use of this space (a callout for simple access means little). This is concerning especially since the property owner has shown no intention to occupy the property, which simply leaves that as space that can again be utilized as rented space should she again choose to not care about following established requirements. While this may all be speculation, it is speculation born of past experience, and thus the push back against simply allowing for some of this work that may well allow for a hostel to operate in the middle of a residential neighborhood, where we as neighbors have little recourse but to endure.

Thank you for your time. I have attached a few screenshot which show some of the configuration in september 2021 versus

what is shown as existing on the submitted plans.

[Quoted text hidden]

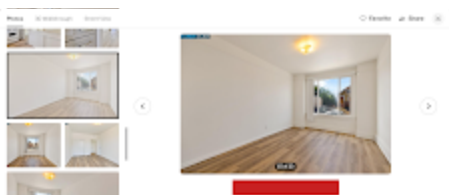
3 attachments



Screenshot 2022-12-08 9.41.00 AM.png
502K



Screenshot 2022-12-08 9.37.36 AM.png
424K



Screenshot 2022-12-08 9.39.30 AM.png
446K



SAN FRANCISCO
PLANNING
DEPARTMENT

GENERAL PLANNING INFORMATION

Decks

Planning Department
1650 Mission Street
Suite 400
San Francisco, CA
94103-9425

T: 415.558.6378
F: 415.558.6409

Date:
January 2019

Subject:
Decks, Roof Decks, and Notification Requirements for Decks

Reprinted:
January 2019

**Planning Code Section 136c24, 136c25, 311, 312,
and related interpretations**

Introduction

The addition of decks to existing buildings requires a building permit application with plans if any part of the walking surface is more than 30 inches above grade. (Roof decks also require a building permit). Some decks may be approved over the counter (OTC) by the Planning Department. Others require neighborhood notification as described below.

Neighborhood Notification

Notification is required for any building expansion in an RH, RM, RTO, Neighborhood Commercial (NC), or Eastern Neighborhoods Mixed Use district per Section 311 of the Planning Code. If the proposed project meets certain thresholds, it will also require a mandatory Pre-Application Meeting. Please see our handout on Pre-Application Meetings.

Under the Planning Code, and associated Zoning Administrator interpretations, some minor projects have been deemed exempt from the notification requirement. Decks, in certain instances, are exempt from notification.

Decks that are cantilevered, i.e. entirely supported by the walls to which they are attached, without any additional posts or other external support, are exempt from notice. Decks that are supported by posts but no more than 10 feet above grade and within the "buildable area" of a lot are also exempt. Railings above these decks are allowed without triggering notice.

If a firewall is required for a proposed deck and the firewall exceeds 10' in height, both a Pre-Application Meeting and notice would be required. ('Buildable area of the lot' means the area that is not part of the required yards or set backs under the Planning Code and within the applicable height limit. See Zoning Administrator Bulletin No. 5.)

The Planning Code allows limited projections into yards and setbacks for specified extensions of buildings. These are known as 'permitted obstructions' and include certain decks. However, if your deck is allowed to extend into the yard as an exception under the Code, it will likely need neighborhood notification. Specifically, there is an allowable

projection into the rear yard for districts with a rear yard requirement of 45% of lot depth (typically RH-2, RH-3, RM-1 and RM-2, and RTO districts). One or two-story projections of up to 12 feet in depth into the rear yard are allowed by the Planning Code, subject to other limitations, per Section 136(c)(25). A deck that fits within the area allowed by this section is a 'permitted obstruction'. However, if you must utilize this section of the Code for your deck to be allowed, then both a Pre-Application Meeting and neighborhood notification will be required.

The Planning Code provides exceptions from rear yard restrictions for decks in certain situations. Decks that are 3 feet above grade or less are permitted anywhere in the required rear yard. If your yard has a slope greater than 15 %, decks higher than 3 feet may be permitted in the required rear yard and approvable over the counter, subject to limits described and illustrated in the Planning Code at § 136(c)(24). Please feel free to come to the Planning Information Center at 1660 Mission Street, first floor, with your questions. They may also be reached by phone at (415) 558-6377 or via email at pic@sfgov.org.

Roof Decks

As noted, roof decks also require permits. A deck placed on a flat roof that is entirely within the buildable area of a lot, including any area needed to access the deck and related railings or parapets up to 4 feet tall, may be approved over the counter. (See discussion above regarding buildable area).

If the proposed roof deck or access to it is on a portion

of the structure that encroaches on a yard or setback, a 'non-complying' structure under the Planning Code, then all railings are limited to 42 inches tall and of an open design and a limited notice will be required. In these cases, the Planning Department will notify owners and occupants of all properties which border the subject property. Adjacent neighbors will be given a 10 day period to raise any concerns they might have regarding the project.

Deck Replacement

If you are replacing a deck, do not assume that it may be fully replaced in-kind. Many decks that were legally constructed with a building permit now protrude into required yards. This is generally due to a change in yard setback requirements since the time the deck was constructed. These decks are now partly or wholly 'non-complying' under the Planning Code. If a non-complying feature is removed, it may only be re-constructed if it is in compliance with current Codes or if you seek and justify a Variance from the Code. A Variance requires a separate application and a hearing before the Zoning Administrator subject to public notification.

If a legal, complying deck is replaced in-kind or with a smaller deck within the same footprint and envelope as the original deck, it would not require notice.



SAN FRANCISCO
PLANNING
DEPARTMENT

FOR OTHER PLANNING INFORMATION: Call or visit the San Francisco Planning Department

Central Reception

1650 Mission Street, Suite 400
San Francisco CA 94103-2479

TEL: **415.558.6378**

FAX: **415.558.6409**

WEB: <http://www.sfplanning.org>

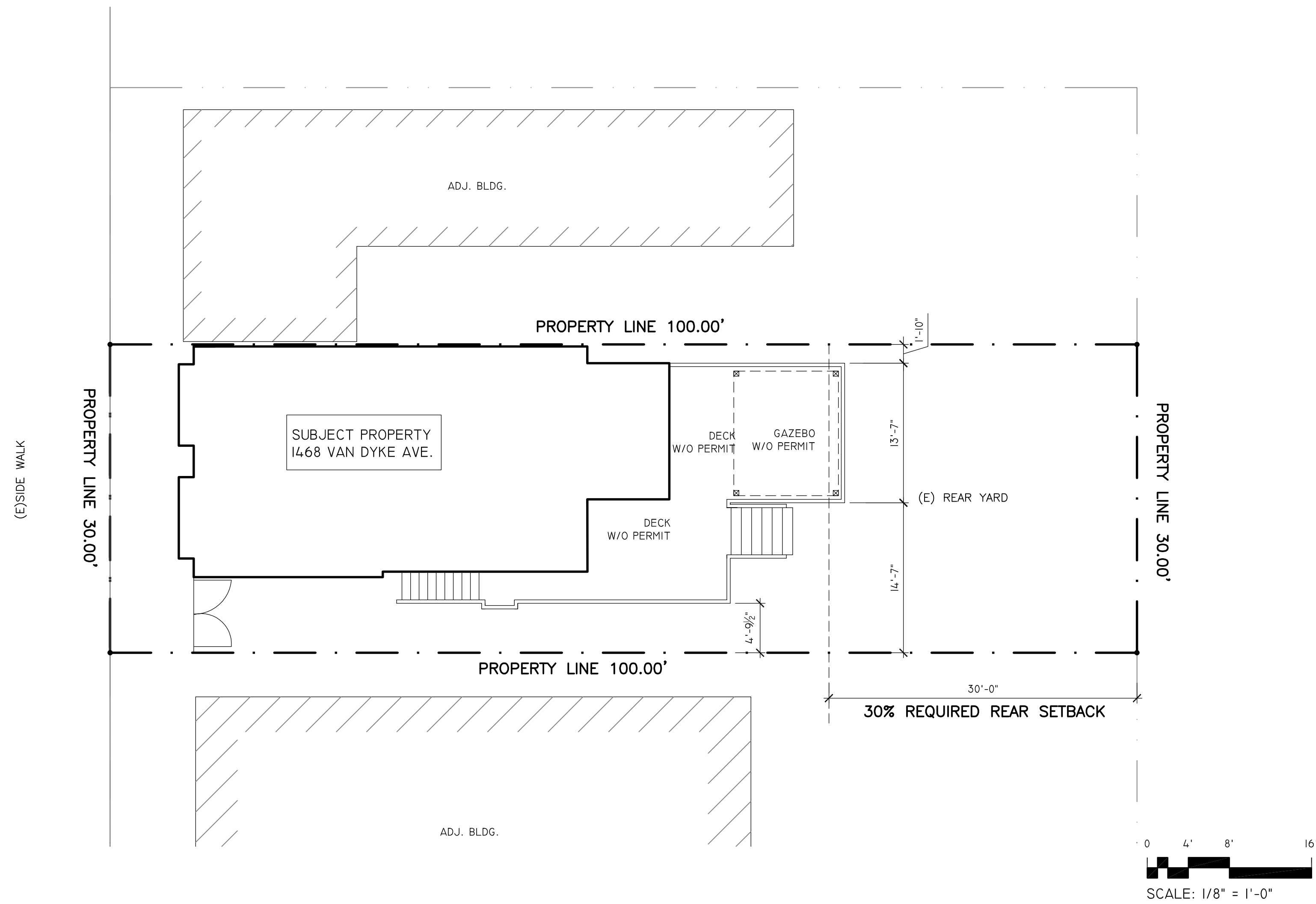
Planning Information Center (PIC)

1660 Mission Street, First Floor
San Francisco CA 94103-2479

TEL: **415.558.6377**

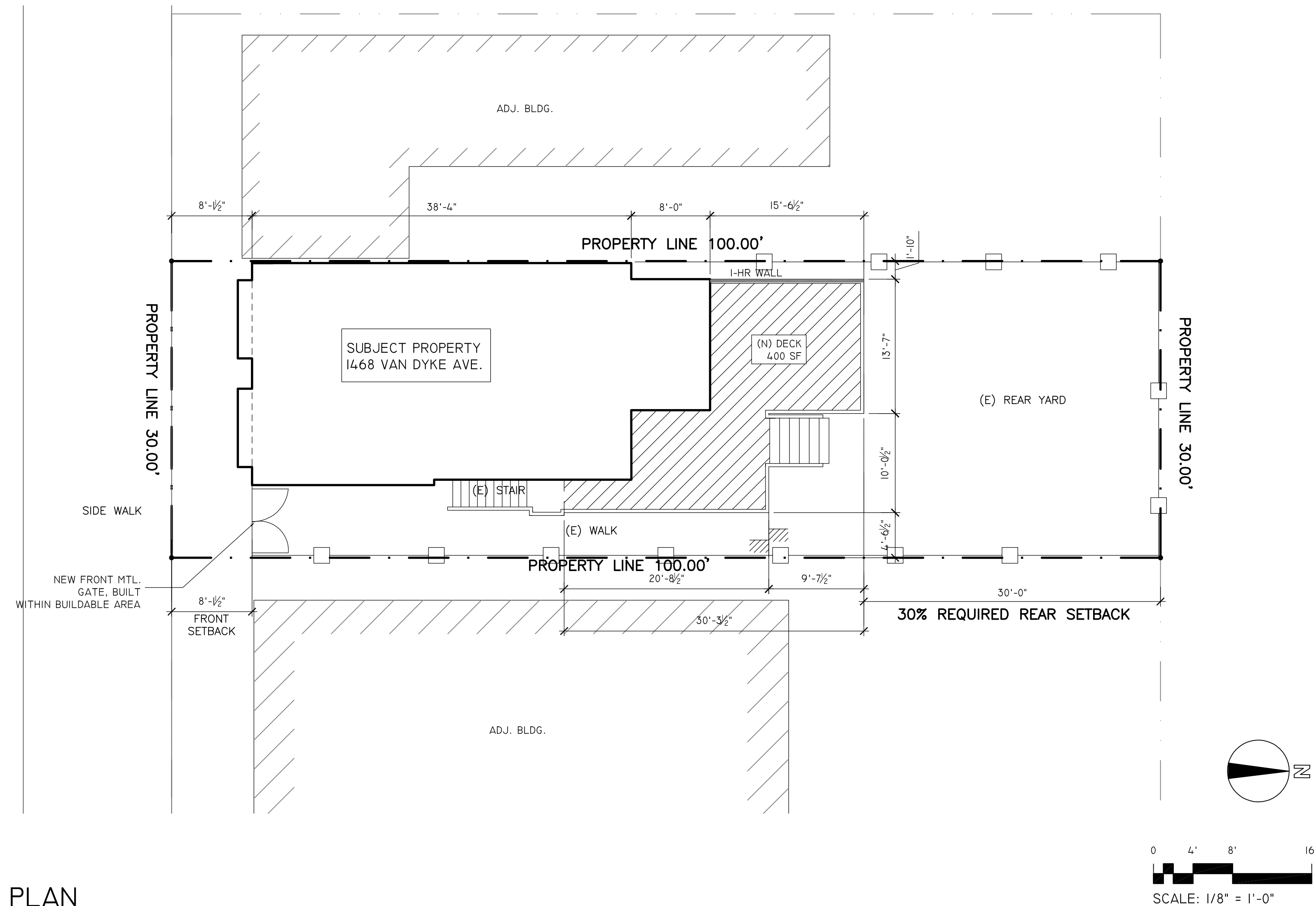
*Planning staff are available by phone and at the PIC counter.
No appointment is necessary.*

VAN DYKE AVE. (80'.00" WIDE)



I-AS-BUILT SITE PLAN

VAN DYKE AVE. (80'.00" WIDE)



2-PROPOSED SITE PLAN

GENERAL NOTES

- ALL DESIGN AND CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE, CITY AND COUNTY CODES AND ORDINANCES. ANY WORK FOUND IN THESE DRAWINGS NOT IN CONFORMANCE WITH ANY APPLICABLE CODES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO COMMENCEMENT OF ANY RELATED WORK.
 CODES USED:
 2019 SAN FRANCISCO BUILDING CODE
 2019 CALIFORNIA PLUMBING CODE W/ S.F. AMENDMENTS
 2019 CALIFORNIA ELECTRICAL CODE W/ S.F. AMENDMENTS
 2019 CALIFORNIA MECHANICAL CODE W/ S.F. AMENDMENTS
 2019 SAN FRANCISCO HOUSING CODE
 2019 CALIFORNIA FIRE CODE(CFC)
 2019 CALIFORNIA ENERGY CODE(CEC/T-24)W/ S.F. AMENDMENTS
 2. ALL WORK SHALL CONFORM TO APPLICABLE LOCAL CODE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SATISFACTORY COMPLETION OF ALL WORK IN ACCORDANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS.
- ANY DEVIATION CAUSED BY THE FIELD CONDITIONS, OR ANY CONDITIONS DIFFERENT FROM THOSE INDICATED ON PLANS SHALL BE BROUGHT TO THE ATTENTION OF RAUM. ANY DISCREPANCY NOT REPORTED TO RAUM WILL ABSOLVE RAUM FROM ANY LIABILITY.
- TYPICAL DETAILS SHALL APPLY WHERE NO SPECIFIC DETAILS OR SECTIONS ARE PROVIDED.
- DO NOT SCALE THESE DRAWINGS. DIMENSIONS SHOWN ON PLANS OR DETAILS SHALL TAKE PRECEDENCE OVER SCALES SHOWN. ALL INTERIOR DIMENSIONS ARE MEASURED TO FINISHED SURFACES AND ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR SHEATHING, U.N.O.
- THIS IS A STANDARD PERMIT SET DRAWINGS. FINISHES, SPECIFICATIONS, SHOP DRAWINGS, AND DETAILS BY OTHERS
- PLUMBING, ELECTRICAL ARE UNDER A SEPARATE PERMIT
- PROPERTY LINES LOCATION ON SITE PLAN ARE FOR REFERENCE ONLY, AND SHALL VERIFY BY LIC. SURVEYOR.
- DURING ALL PHASE OF WORK, DO NOT DISTURB THE ADJACENT NEIGHBORS.
- THE PRECISE DIMENSIONS AND LOCATIONS OF ALL DOORS AND WINDOWS OPENINGS SHALL BE DETERMINED FROM ARCHITECTURAL PLANS AND DETAILS
- "TYP" SHOULD MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITION, THROUGHOUT.
- CONTRACTOR SHALL PROVIDE TEMPORARY SANITARY FACILITIES AS REQUIRED BY GOVERNING LAWS AND REGULATIONS. CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHTING SERVICES FOR THE DURATION OF CONSTRUCTION.
- CONTRACTOR SHALL GUARANTEE MATERIAL, EQUIPMENT AND WORKMANSHIP FOR A PERIOD OF ONE YEAR FROM THE DATE OF OCCUPANCY.
- STREET TREES SHALL BE LOCATED EITHER WITHIN A SETBACK AREA ON THE LOT OR WITHIN THE PUBLIC RIGHT-OF-WAY ALONG THE SUBJECT LOT. 24" BOX MIN. SOIL SHALL BE BELOW-GRADE ENVIRONMENT WITH NUTRIENT-RICH, FREE FROM OVERLY-COMPACTED AND GENERALLY CONDUCIVE TO TREE DEVELOPMENT

PROPERTY DATA

OWNER:	CHUNG CHAU	
ADDRESS:	1468 VAN DYKE AVE SAN FRANCISCO, CA 94124	
BLOCK/LOT#:	4810/008	
ZONING:	RH-1	
YEAR BUILT:	1917	
EXISTING ASSESSOR USE:	1 FAMILY DWELLING	
EXISTING BLDG FLOOR AREA:	1,000	☐
TOTAL VOLUME OF SOIL THAT WILL BE MOVED:	0	QUBIC YARD
LOT AREA:	3,000	☐
MAX. HEIGHT LIMIT:	40'-X	
NEW DECK AREA:	400	SF
HISTORIC PRESERVATION:	B	
	EXISTING	PROPOSED
CONSTRUCTION TYPE	V-B	V-B
OCCUPANCY TYPE	R3/U	R3/U
BUILDING HT.	25'-9"	25'-9", NO CHANGE
NUMBER OF STORIES	2	2
FIRE SPRINKLER	NONE	NONE
TRAVEL DISTANCE	<75'-0"	<75'-0"
PARKING SPACE	1	1

SHEET INDEX

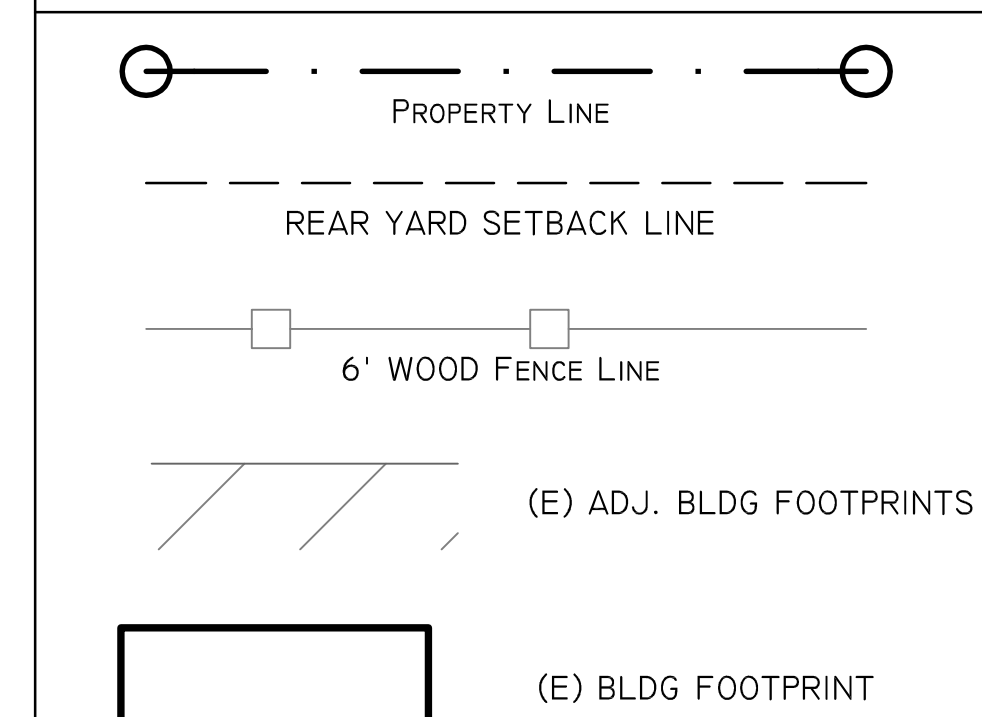
A1.0	SITE PLAN, NOTES
A1.1	SITE PLAN, NOTES
A2.0	EXISTING & PROPOSED FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS, AND SECTIONS
A3.1	EXTERIOR ELEVATIONS, AND SECTIONS
A5.0	DETAILS
S1.0	GENERAL NOTES & DTLS
S2.0	FRAMING AND FOUNDATION PLAN
S3.0	DETAILS
S4.0	INSPECTION

SCOPE OF WORK

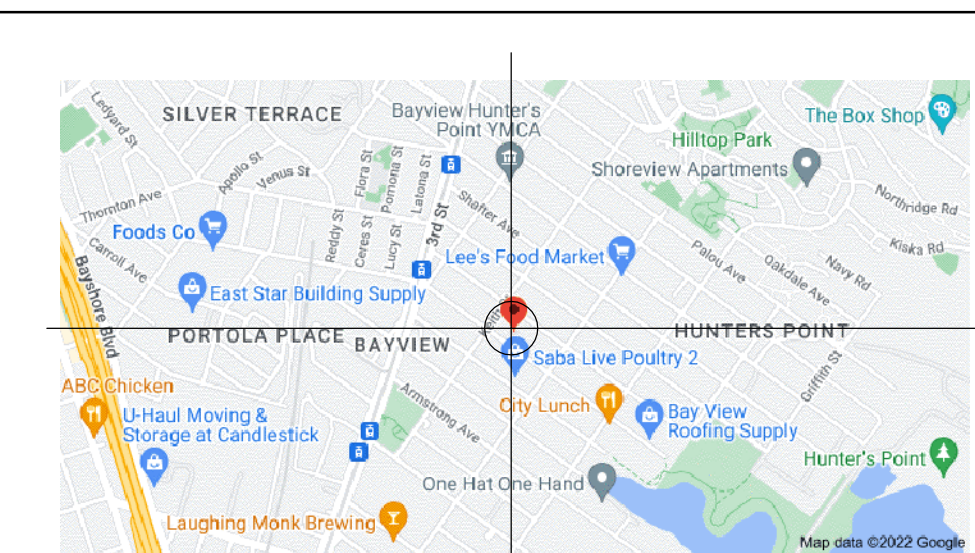
COMPLY TO NOV#202291235

- LEGALIZE ONE-LEVEL REAR DECK AT REAR YARD
- LEGALIZE METAL GATE AT FRONT
- REMOVE PATIO COVER-GAZEBO CANOPY
- NEW BATHROOM AND HOME OFFICE
- EAST WINDOW WORK UNDER PERMIT# 202111222856

SITE LEGEND



LOCATION MAP (NTS)



PROJECT:

RESIDENTIAL REMODEL

FOR

CHUNG CHAU

XIE ASSOCIATES, INC
Architectural Design & Planning

26 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: bil@xiearchdesign.com

1468 VAN DYKE AVE
SAN FRANCISCO, CALIFORNIA

PROJECT NO:

MODEL FILE:

CHECK BY: LU HONG

DATE: 10/09/22

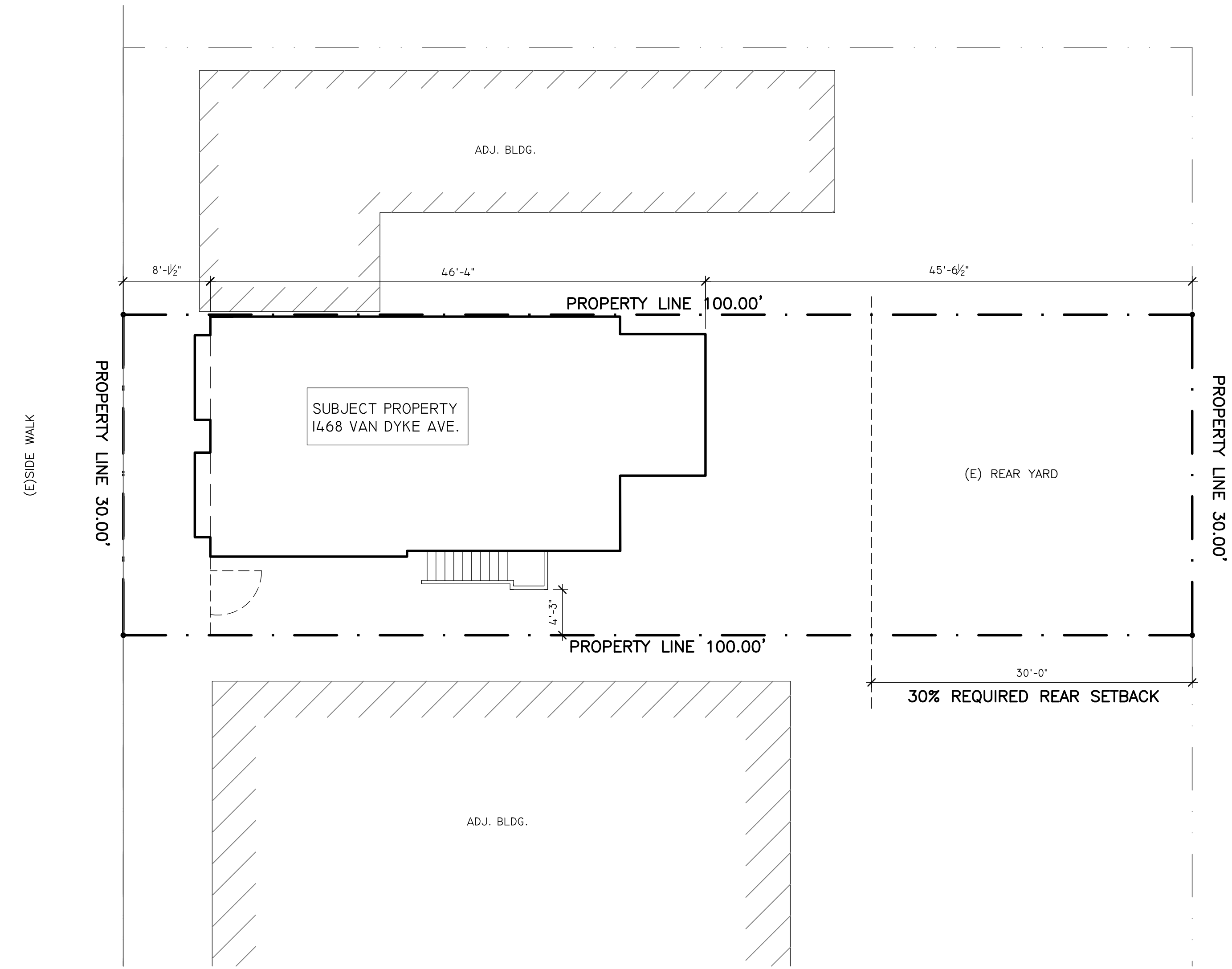


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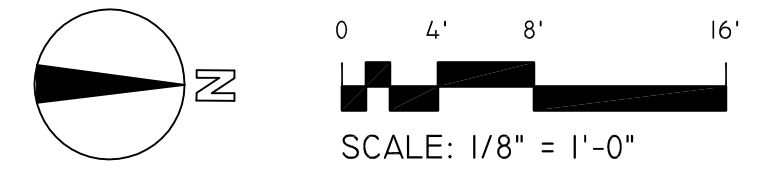
SITE PLANS & NOTES

A1.0

VAN DYKE AVE. (80'.00" WIDE)

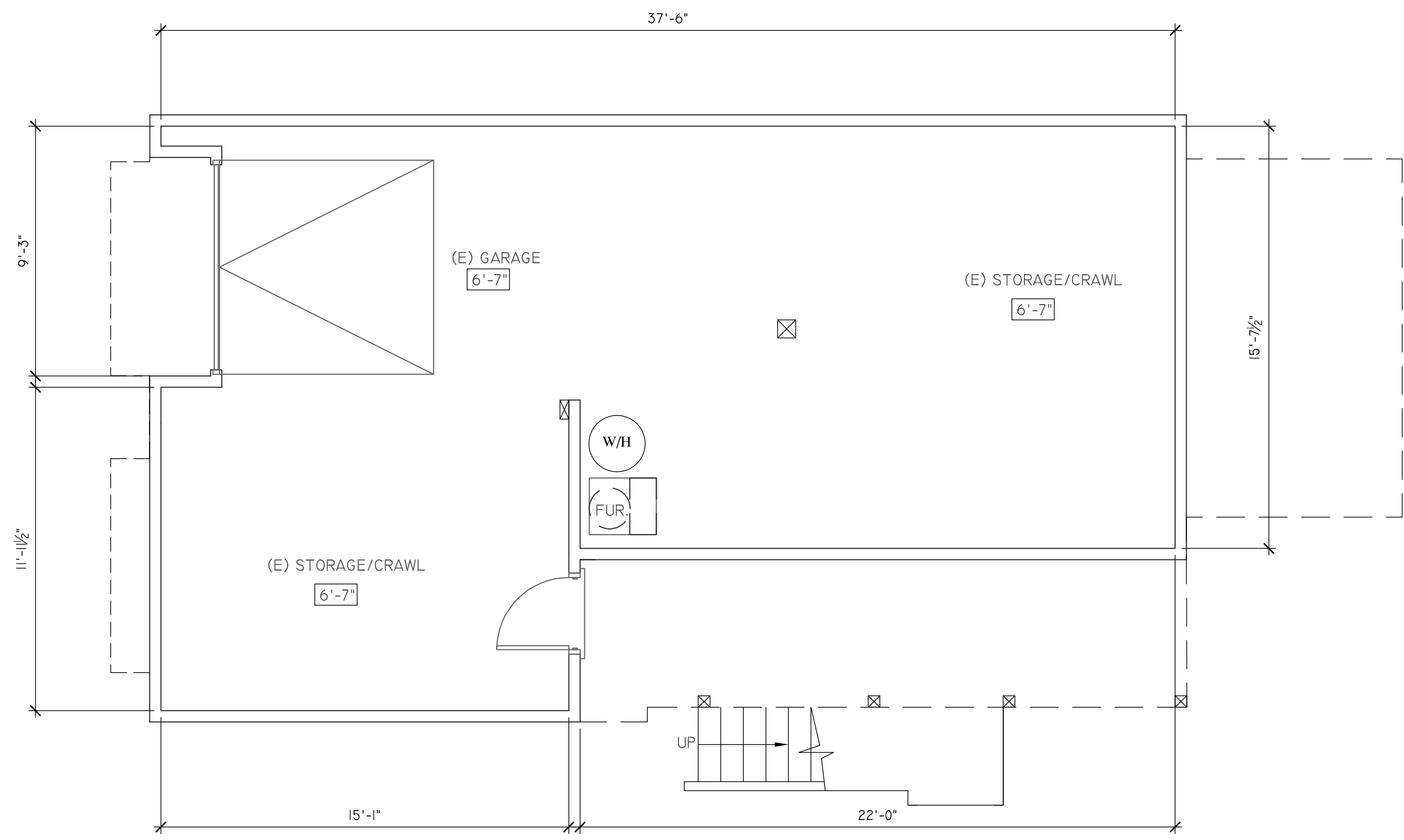


I-ORIGINAL SITE PLAN

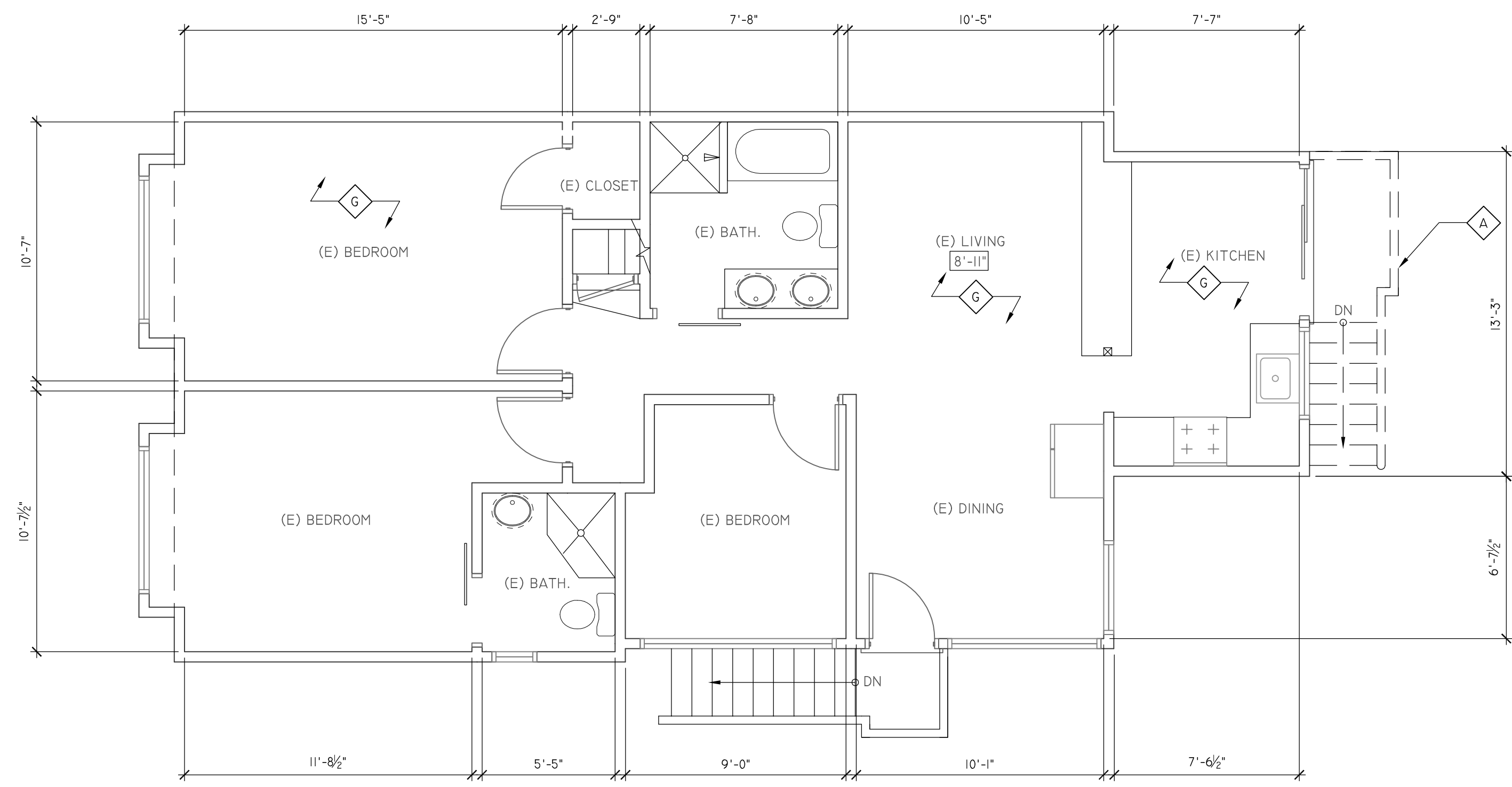


DEMO WORK NOTES

- ◆ A REMOVE EXISTING STAIR AND LANDING
- ◆ F REMOVE PARTIAL OF EXISTING WALL FOR NEW OPENING. SEE PROPOSED PLAN FOR EXTEND OF WORK
- ◆ G PREPARE WALL, FLOOR, AND CEILING TO RECEIVE NEW WORK
- ◆ H REMOVE/REPLACE WINDOW FOR NEW OPENING



2-(E) GARAGE PLAN/BASEMENT (NO WORK)
SCALE: 1/4"=1'-0"



3-(E) ORIGINAL 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

PROJECT:
RESIDENTIAL REMODEL

FOR
CHUNG CHAU

XIE ASSOCIATES, INC
Architectural Design & Planning
86 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchitect.com
Email: xie@xiearchitect.com

1468 VAN DYKE AVE SAN FRANCISCO, CALIFORNIA

PROJECT NO:	
MODEL FILE:	
DRAWN BY: YU HONG	
CHECK BY:	
DATE: 10/09/22	



SHEET TITLE
SITE PLAN AND FLOOR PLANS

A1.1

PROJECT:

**RESIDENTIAL
REMODEL**

FOR

CHUNG CHAU

XIE ASSOCIATES, INC
Architectural Design & Planning
26 FARVIEW CT
SAN FRANCISCO, CA 94131
Tel: (415) 652-3047
Web: www.xiearchdesign.com
Email: bill@xiearchdesign.com

**1468
VAN DYKE AVE
SAN FRANCISCO,
CALIFORNIA**

PROJECT NO:
MODEL FILE:
DRAWN BY: L.J.HONG
CHECK BY:
DATE: 10/09/22



SHEET TITLE

**FLOOR
PLANS**

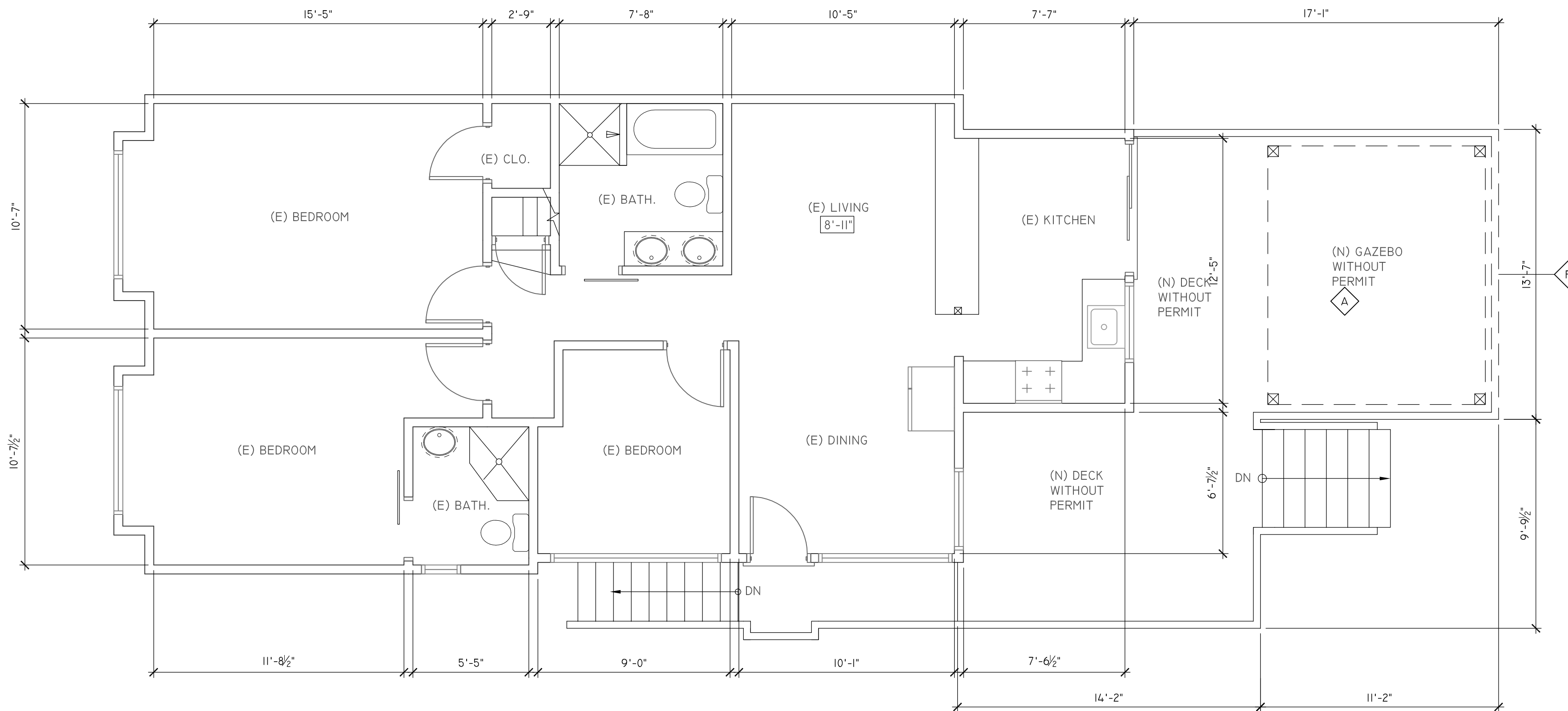
A2.0

DEMO WORK NOTES

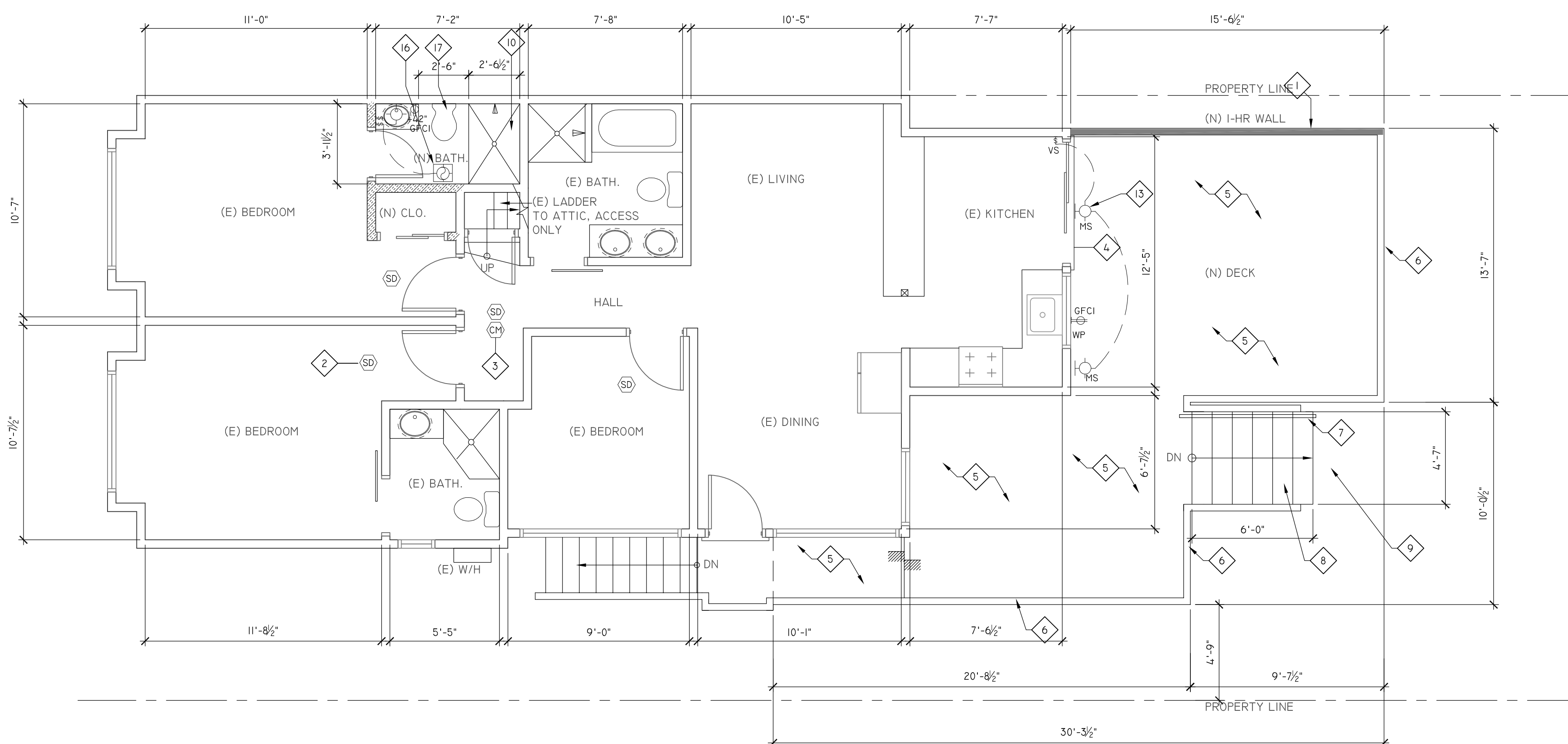
- A REMOVE EXISTING GAZEBO CANOPY
- F REMOVE PARTIAL OF EXISTING GUARDRAIL THAT BUILT INTO REQUIRED SETBACK AREA
- G PREPARE WALL, FLOOR, AND CEILING TO RECEIVE NEW WORK
- H REMOVE/REPLACE WINDOW FOR NEW OPENING

CONSTRUCTION WORK NOTES

- 1 NEW 1-HR WALL @ PROPERTY LINE, SEE A3.1/D2
- 2 PROVIDE SMOKE DETECTOR ALARMS. PROVIDE HARDWIRED SMOKE DETECTORS TO HAVE BATTERY BACKUP INSIDE EACH BEDROOM AND HALL LEADING TO THE SLEEPING BEDROOMS, INTERCONNECTED, TYP.
- 3 PROVIDE CARBON MONOXIDE ALARMS TO BE INSTALLED IN HALLWAY @ EACH FLOOR, NEXT TO BEDROOM, TYP.
- 4 PROVIDE 36" DEEP LANDING IN THE DIRECTION OF TRAVEL; 4" MIN. 7.75" MAX STEP DOWN FOR INSWING AND SLIDING DOORS; SLOPE 2% AWAY FROM HOUSE. SEE DTL. @ D1/A3.1
- 5 NEW DECK, FINISH W/ SLIP RESISTANT BOARD. NAIL TO ALL SUPPORT @ 8" O.C., DRAINAWAY FROM THE BUILDING
- 6 42" HT. WOOD GUARDRAIL, THE TOP OF GUARDRAILS SHALL NOT BE PLACED NO LESS 42" A.F.F. RAILING DISTANCE B/W CABLE SHALL NOT MORE THAN 4" O.C. (SUCH THAT A 4" Ø SPHERE CAN'T PASS THROUGH), TEMPERED, SEE A5.0/8
- 7 PROVIDE/VERIFY HANDRAIL THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS 34" NOR MORE THAN 38" ABOVE LANDINGS & THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. SEE A5.0/8
- 8 ALL STAIRWAYS TO BE MIN. 36" WIDE. RISERS ON STAIRWAYS SHALL NOT BE LESS THAN 4" NOR GREATER THAN 7.75". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". SEE A5.0/8
- 9 PROVIDE 36" DEEP x STAIR WIDTH LEVEL LANDING IN THE DIRECTION OF TRAVEL
- 10 THE TUB/SOWER WALLS TO BE SMOOTH, HARD, NONABSORBENT SURFACE (E.G., CERMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (E.G., CEMENT BOARD, ETC.) TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET. SEE DTL. @ A5.0/3
PROVIDE 1024 SQUARE INCHES MIN. & CAPABLE OF ENCOMPASSING A 30" DIA. CIRCLE AT SHOWER SPACE. SHOWER DOOR SHALL BE TEMPERED GLASS, AND OPEN SO AS TO MAINTAIN A MIN. 22 INCH UNOBSTRUCTED OPENING FOR EGRESS
- 13 NEW EXTERIOR LIGHTS TO BE HIGH-EFFICACY W/ MANUAL ON/OFF SWITCH CONTROL AND PHOTOCONTROL & MOTION SENSOR, TYP.
- 16 PROVIDE AN EXHAUST VENT/FAN, 50 CFM MIN., AT THE BATHROOM W/ THE DUCT DISCHARGE IS DIRECTLY CONNECTED TO THE OUTSIDE OF THE BUILDING AND LOCATED AT LEAST 3- FEET FROM ANY OPENINGS INTO THE BUILDING & PROPERTY LINE, TYP.
- 17 PROVIDE A 15" CLR. ON EACH SIDE MEASURE FROM CENTERLINE OF WATER CLOSET AND A MIN. 24" CLR. IN FRONT OF THE WC, TYP. SEE A5.0/13



I-EXISTING AS-BUILT 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"



2-PROPOSED 1ST FLOOR PLAN
SCALE: 1/4"=1'-0"

PROJECT:

**RESIDENTIAL
REMODEL**

FOR

CHUNG CHAU

XIE ASSOCIATES, INC
Architectural Design & Planning

26 FARVIEW CT
SAN FRANCISCO, CA 94131
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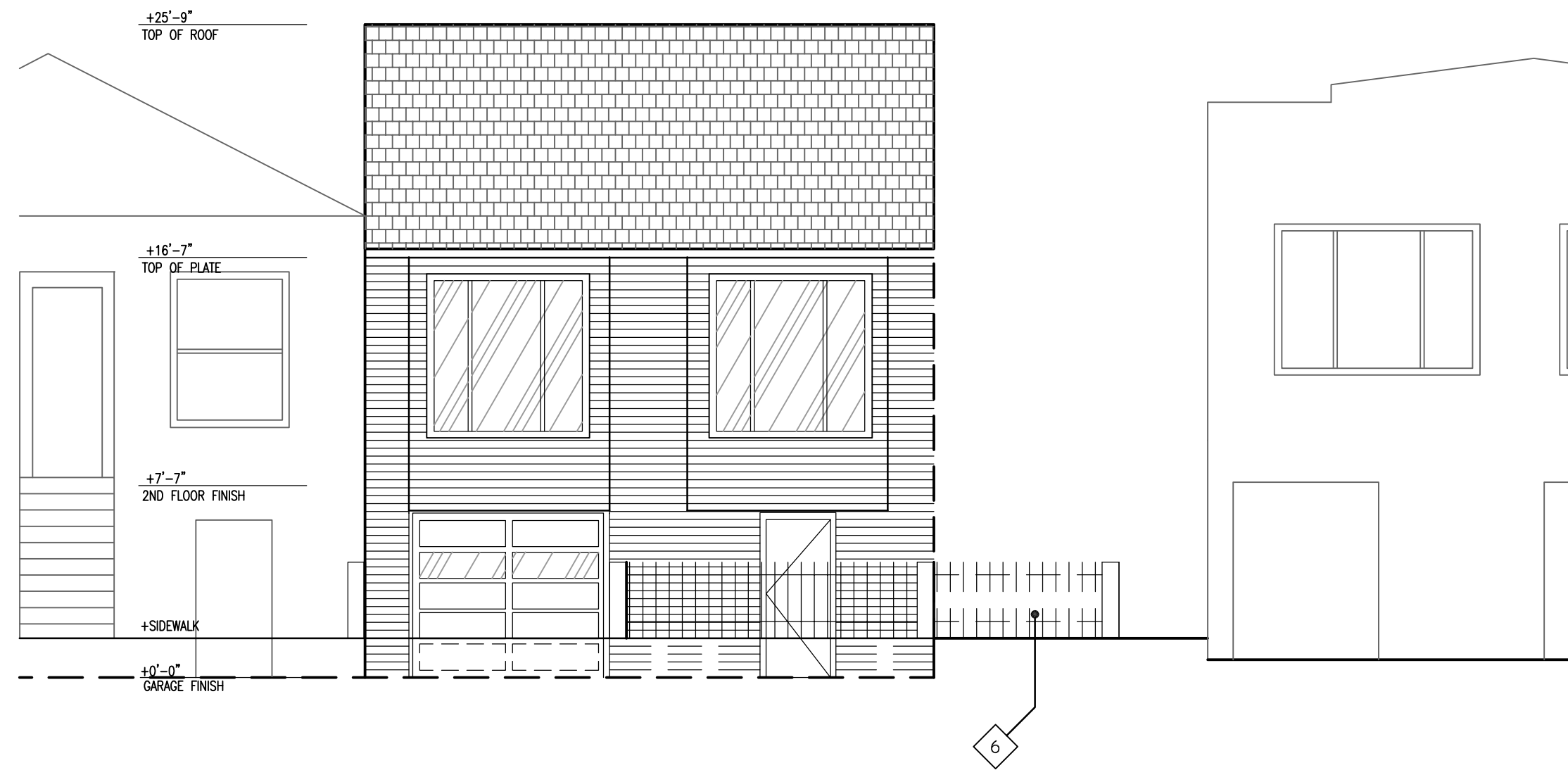
**1468
VAN DYKE AVE
SAN FRANCISCO,
CALIFORNIA**

GENERAL NOTES

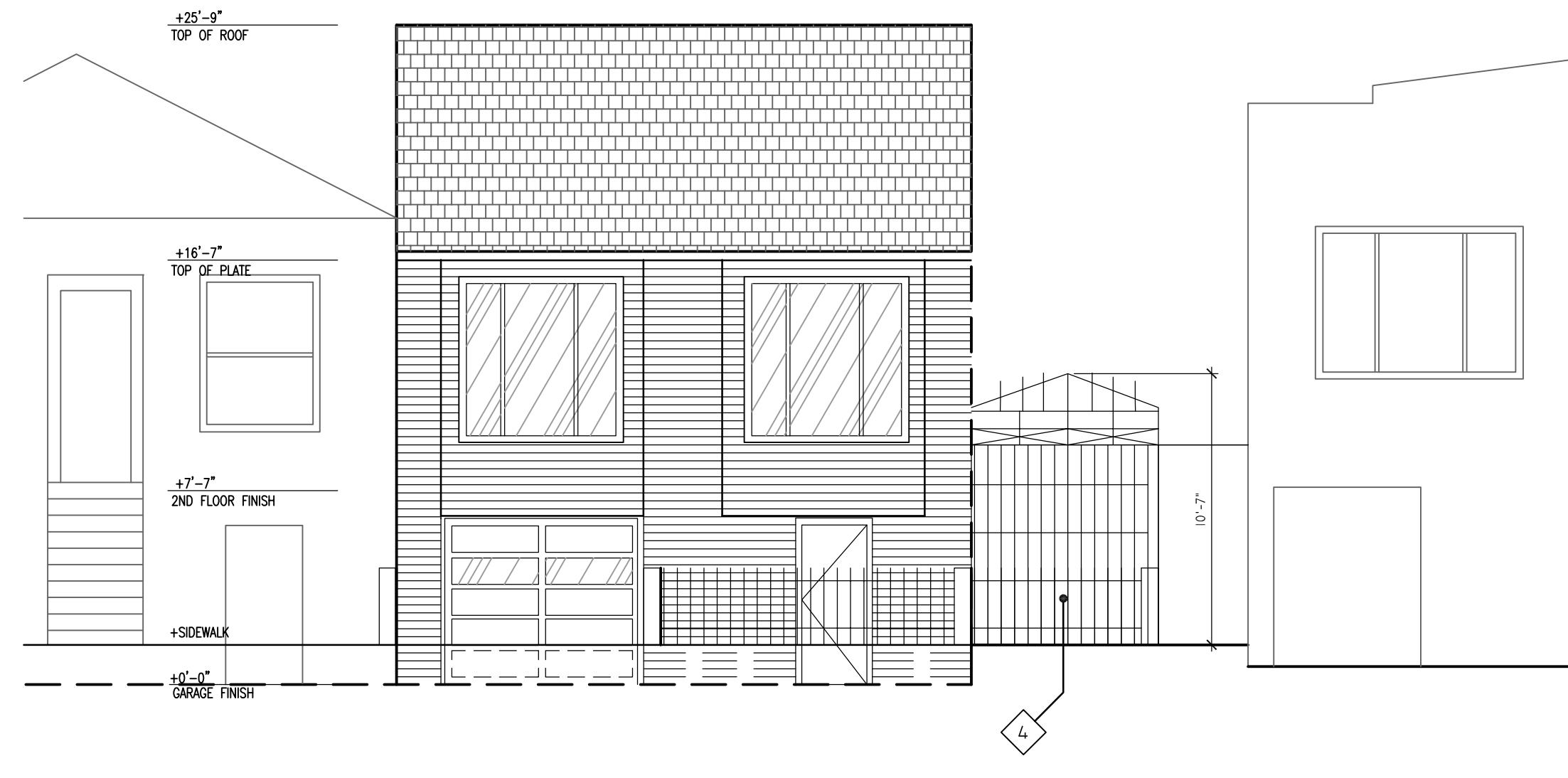
1. CONTRACTOR SHALL FIELD VERIFY ALL (E) CONSTRUCTION RELATED CONDITIONS PRIOR TO COMMENCING WITH ANY WORK
2. ALL THE WEATHER EXPOSED BOLTS OR NAILS SHALL BE GALVANIZED & HOT-DIPPED
3. ALL EXPOSED WOOD MEMBERS SHALL BE RED WOOD OR PRESSURE TREATED
5. THE TOP OF HANDRAILS SHALL NOT BE PLACED LESS 34" NOR MORE THAN 38" ABOVE LANDINGS & THE NOSING OF TREADS. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" NOR MORE THAN 2" IN CROSS SECTION. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" B/W THE WALL & THE HANDRAIL AND RETURN TO WALL OR FLOOR
6. THE TOP OF GUARDRAILS SHALL NOT BE PLACED LESS 42" A.F.F. RAILING DISTANCE B/W BALUSTERS SHALL NOT MORE THAN 5-1/2" O.C. (SUCH THAT A 4" Ø SPHERE CAN'T PASS THROUGH)
7. ALL CONNECTORS USED IN CONJUNCTION WITH PRESSURE TREATED LUMBER MUST BE HOT-DIPPED ZINC GALVANIZED AND A MIN. GALVANIZATION LEVEL OF G185.

ELEVATION WORK NOTES

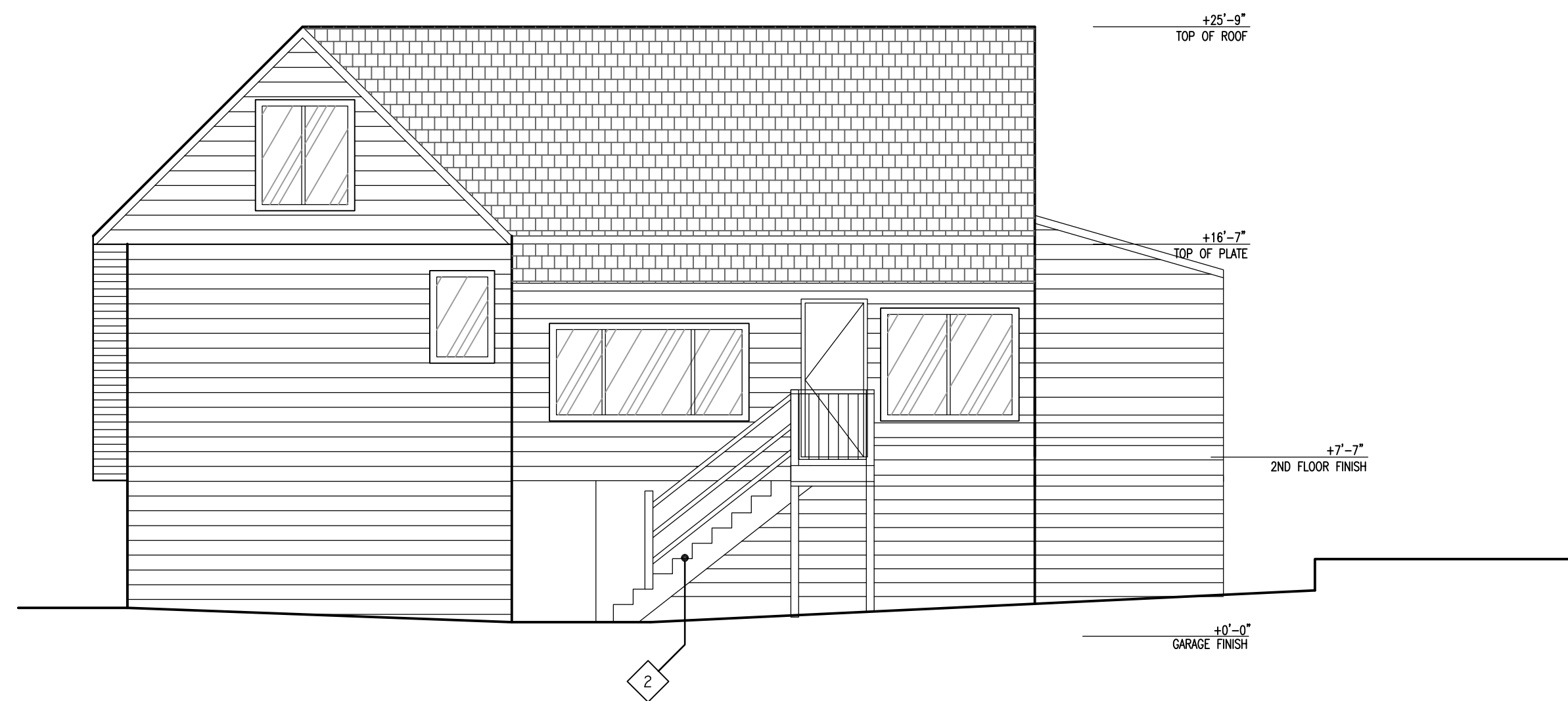
- 1 (E) ADJ. BUILDING
- 2 (E) WOOD STAIR
- 3 NEW 42" HT. WOOD GUARDRAIL MIN., TYP.
- 4 NEW MTL GATE, TYP.
- 5 NEW 1-HR WALL AT PROPERTY LINE
- 6 (E) WOOD GATE TO BE DEMOLISH
- 7 WOOD STAIR WITH WOOD RAILING



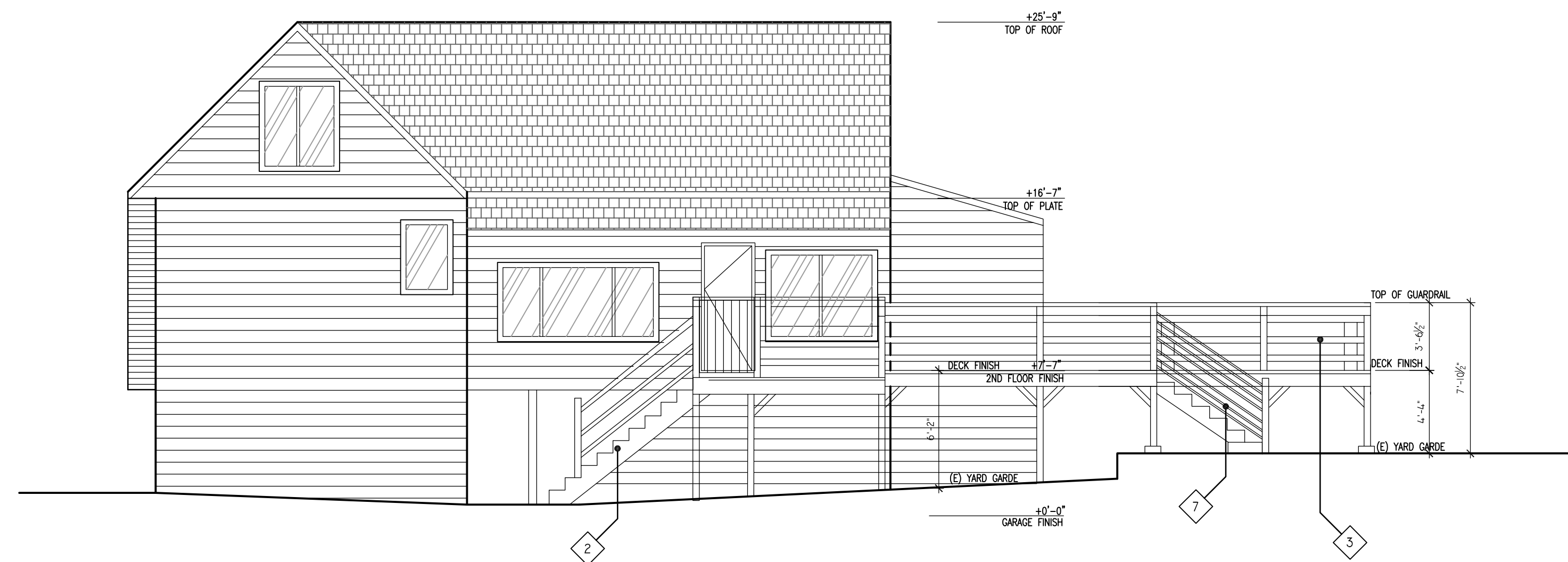
1-EXISTING FRONT (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



2-PROPOSED RIGHT(SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



3-EXISTING RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"



4-PROPOSED RIGHT (EAST) ELEVATION
SCALE: 3/16"=1'-0"

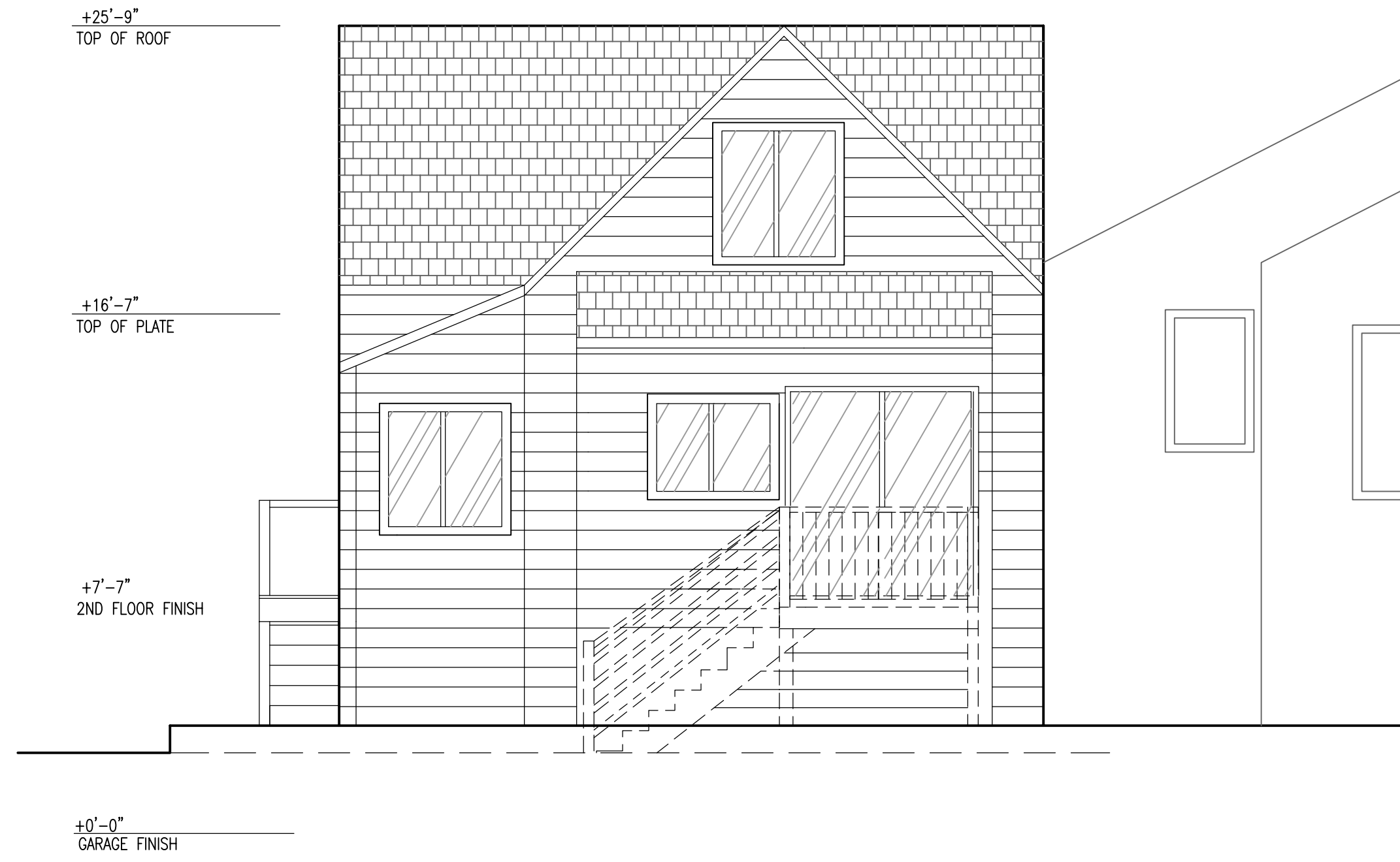
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DRAWN BY: LH HONG
CHECK BY:
DATE: 10/09/22



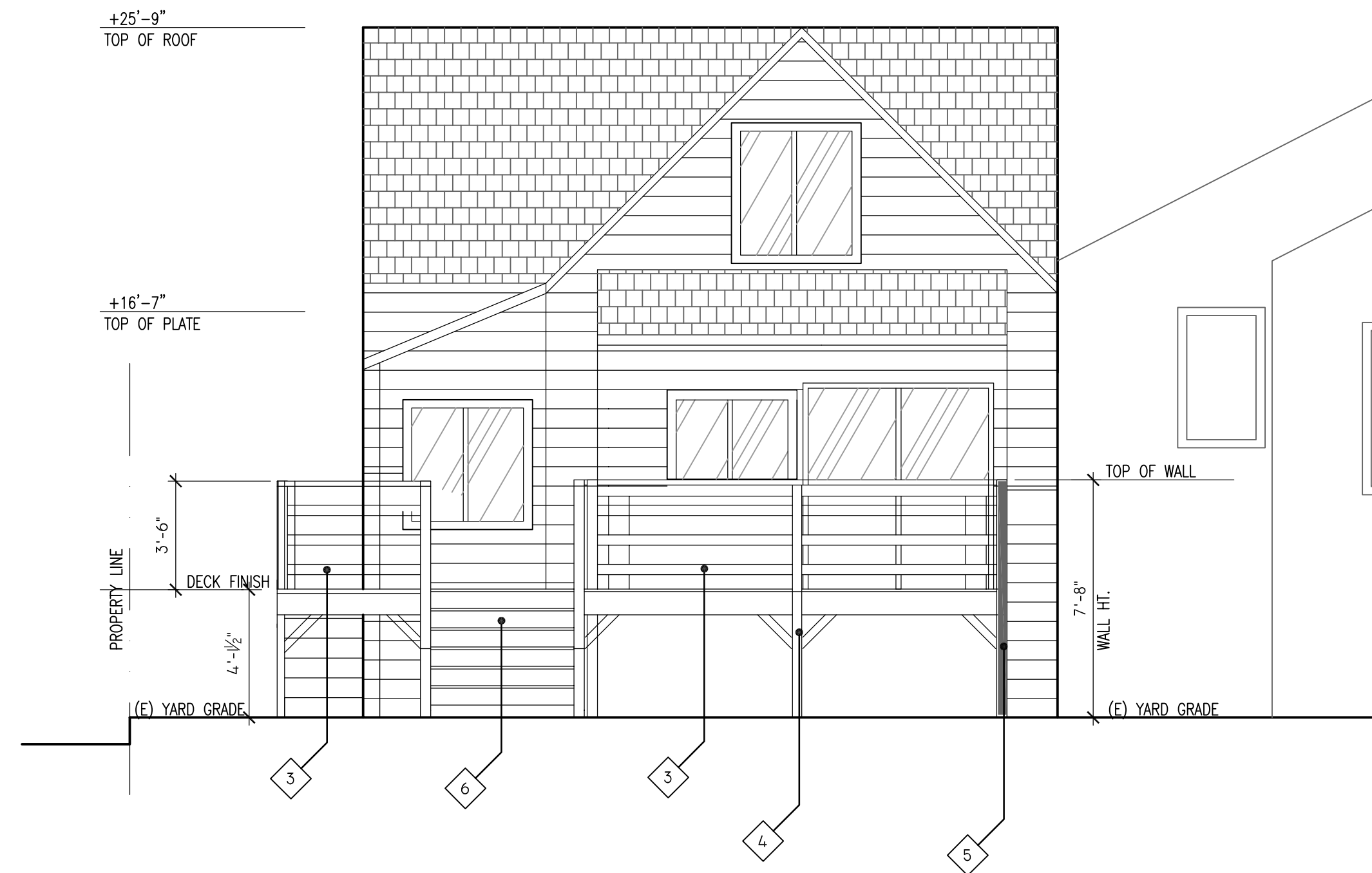
SHEET TITLE

**EXTERIOR
ELEVATIONS**

A3.0



1-EXISTING REAR (NORTH) BUILDING SCALE: 1/4"=1'-0"

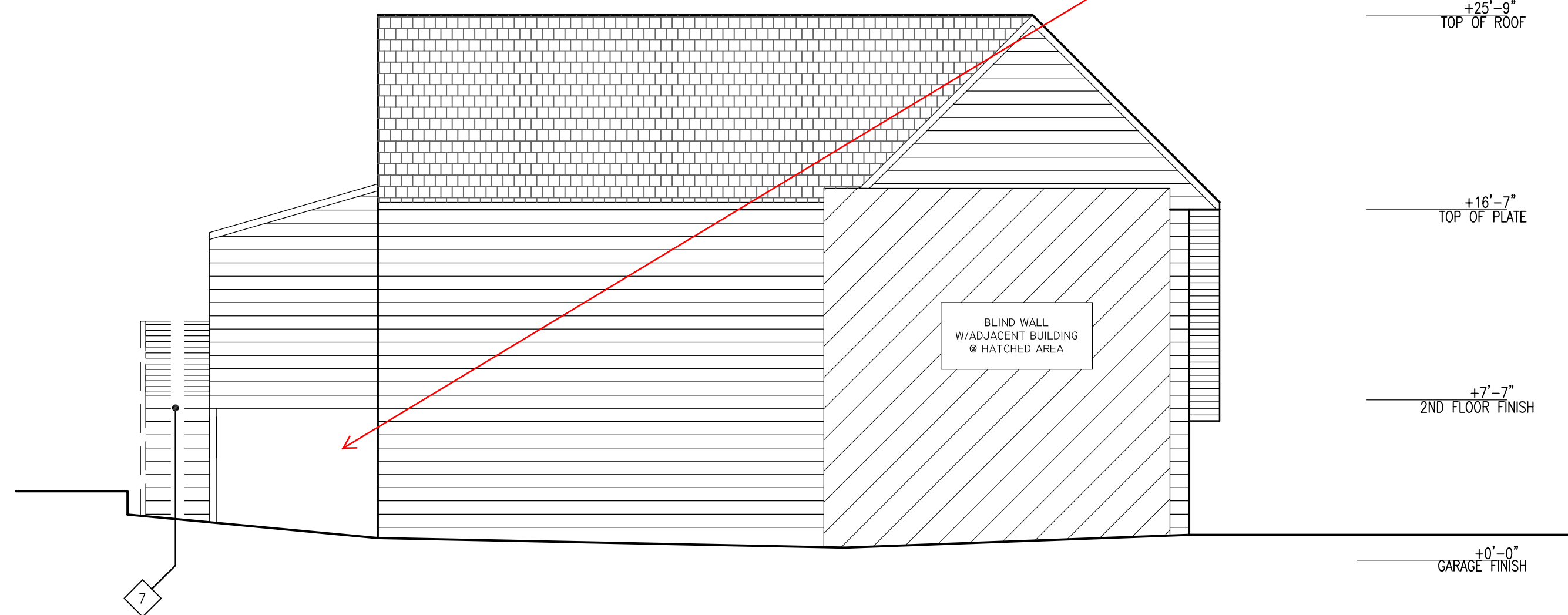


2-PROPOSED REAR(NORTH) BUILDING SCALE: 1/4"=1'-0"

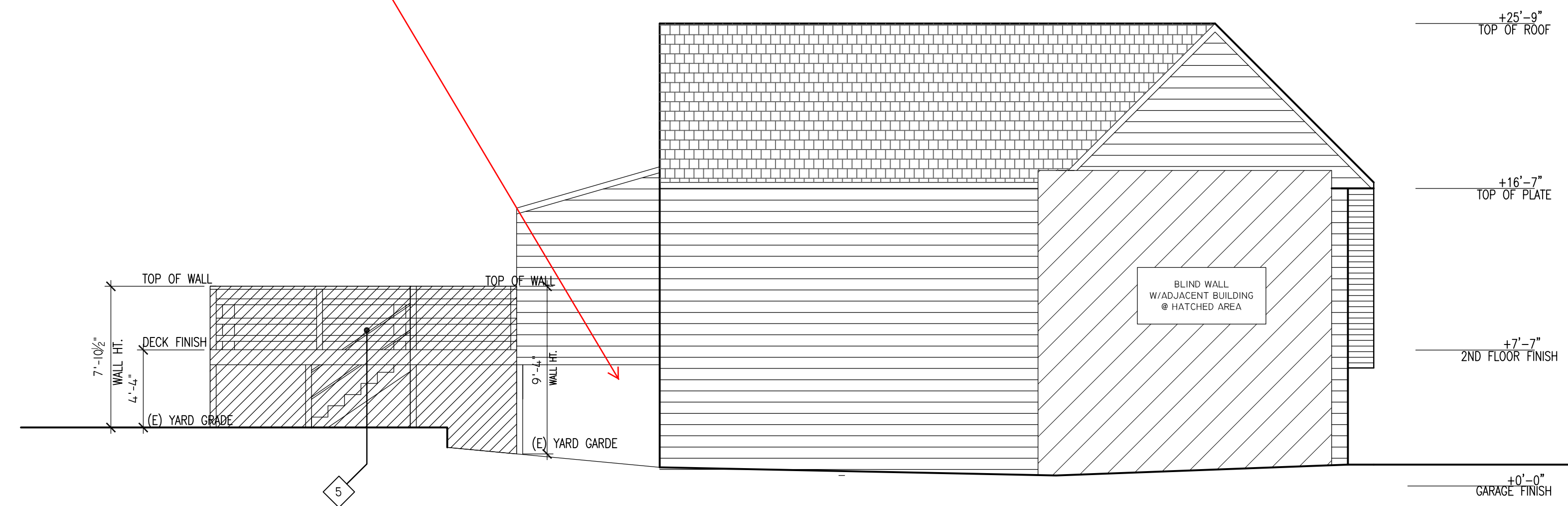
ELEVATION WORK NOTES

- 1 (E) ADJ. BUILDING
- 2 (E) WINDOWS AND (E) DOORS TO BE REMOVED, TYP.
- 3 NEW 42" HT. WOOD GUARDRAIL MIN., TYP.
- 4 NEW WOOD COLUMN WITH 4x4 BRACE, TYP.
- 5 NEW 1-HR WALL AT PROPERTY LINE
- 6 NEW WOOD STAIR
- 7 EXISTING WOOD STAIR TO BE REMOVED

October 2022 Plans show this area open, while later plans show the area as having existing exterior wall.



3-EXISTING LEFT(WEST) ELEVATION SCALE: 3/16"=1'-0"



4-PROPOSED LEFT(WEST) ELEVATION SCALE: 3/16"=1'-0"

PROJECT:

RESIDENTIAL REMODEL

FOR

CHUNG CHAU

XIE ASSOCIATES, INC
 Architectural Design & Planning
 25 FARVIEW CT
 SAN FRANCISCO, CA 94131
 Tel: (415) 652-3047
 Web: www.xiearchdesign.com
 Email: bill@xiearchdesign.com

**1468
 VAN DYKE AVE
 SAN FRANCISCO,
 CALIFORNIA**

PROJECT NO:

MODEL FILE:

DRAWN BY: JH HONG

CHECK BY:

DATE: 10/09/22

REVISION DATE:

ISSUE: XIE ASSOCIATES, INC
 25 FARVIEW CT
 SAN FRANCISCO, CA 94131
 TEL: (415) 652-3047
 WWW.XIEARCHDESIGN.COM
 BILL@XIEARCHDESIGN.COM



SHEET TITLE

**ELEVATION
 & DTLS**

A3.1



Currently Open
Under Extension

THE PERMIT HOLDER DID NOT SUBMIT A BRIEF

PUBLIC COMMENT

February 16, 2023

To Board of Appeals

This is in reference to Permit # 2022/07/12/8311 and Appeal # 23-007.

I strongly agree with appeal #23-007, submitted by my neighbor Mr. Moro.

I live on 1463 Van Dyke Avenue. The permit will adversely impact my quality of life by changing the character of the neighborhood. The unpermitted work has enabled 1468 Van Dyke Ave to utilize the house as an Airbnb hostel, renting out 5 unwarranted rooms and 4 bathrooms. Prior to Ms Chau's purchase, it was a 2 bedroom and 1 bath house, with an elderly woman using it as her primary residence.

This is a historically underserved neighborhood and allowing this permit to stand will exacerbate the underserved Bayview community --the historical injustice cannot continue in this neighborhood. Please review this permit to make certain that unpermitted work is removed (including the deck) and no more rooms are added to the property.

Sincerely,

A handwritten signature in blue ink, appearing to read "Kenneth Buncum", with a long horizontal flourish extending to the right.

Kenneth Buncum

2/23/2023

To San Francisco Board of Appeals

Reference to Permit # 2002207128311 Issued January 23, 2023

Property address: 1468 Van Dyke Avenue, San Francisco, CA 94124

Appeal # 23-007

We strongly agree with our neighbor, Mr Takeshi Moro, who submitted the appeal # 23-007. We believe that the legalization of the deck and work completed inside the interior should be reconsidered. We agree that building a firewall to legalize the illegal deck would affect the light and privacy for Mr. Moro's family.

We live at 1467 Underwood Avenue which is in the back of 1468 Van Dyke Ave. The permit will adversely impact our quality of life by changing the character of the neighborhood.

We live in a residential area of single family homes. During the summer of 2022, we noticed that 1468 Van Dyke was being used by various people. The owner did not appear to reside at the residence.

The unpermitted work enabled the owner of 1468 VanDyke, Ms. Chau, to utilize the house as an AirBnB hostel renting out five unwarranted rooms with 4 bathrooms. One of those bedrooms is a converted attic space into a bedroom suite with a bathroom and windows which did not exist prior to the renovation of the property. It was a two bedroom and one bath residence of an elderly woman with no windows in the attic.

We are not opposed to using the property as an AirBnB. One of our neighbors has operated one for nearly four years. The major difference is they reside in the building and rent out their upper unit. If Ms Chau were to reside on the property, she would certainly have more interest in who she was renting too.

Thank you for your consideration in this matter.

Sincerely,

Jerrold Jones & Denyse Barris-Jones

March 2, 2023

Re: Permit 202207128311

Property Address: 1468 Van Dyke Avenue, San Francisco, CA 94124

San Francisco Board of Appeals,

I am a fellow neighbor to the property at 1468 Van Dyke Avenue, San Francisco, CA 94124. The plans which were submitted and subsequently permitted, represented physical conditions of the property as in an "as-is" condition with full knowledge that the "as-is" conditions of the property were the result of unpermitted work which had just been completed by the property owner for the sole purpose of using the property as an unregistered AirBnB hostel.

Acceptance of this permit is essentially letting significant unpermitted work simply be grandfathered in, simply because an Architect simply did the bare minimum or has intentionally deceived SFDBI. This property was purchased in 2021 as a 2 bedroom, 1 bath, 1000 square foot single family dwelling, with an attic reachable from a drop down ceiling ladder. It was shown on the submitted and approved plans as a 4 bedroom, 3 bathroom, 1000 square foot home. Unfortunately, this house was renovated by the owner to create additional bedrooms, convert closets into bathrooms, create attic access for an illegal conversion to living space all for the sole purpose of listing the property on AirBnB and renting individual rooms. It has been explained to neighbors that recently constructed upstairs space is not to be inhabited, due to the access issues, but acceptance of this permit is acceptance of intentional deception and misuse.

The owner of the property purchased this property and immediately began work on the property converting the entire spaces for the purpose of making it a rental property without applying for an accurate building permit with regards to the work which was performed, and with no intention of abiding by the regulations of a permit that was issued by purposefully performing work well beyond the scope of the permit. The home was hacked within its existing envelope against building codes requirements, to operate as a turnstile of guests. Discovery photos alone show how it was made to look like a Single Room Occupancy (SRO) hotel with individual bedroom doors marked with room rental numbers. Only by the actions of some and follow up by SFDBI was the rental activity stopped but in a twist the owner was forced to supply plans to address deficiencies and did so by presenting plans to deflect away from the other unpermitted work she had just completed. Please take note that from the time that plans were first issued for a permit to a revised set of plans for additional work that there has not been another change in ownership of the property, so the discrepancy is not a matter of oversight or lack of knowledge of work performed.

All manners of evidence exist against the actions of the property owner and all of it should be rejected rather than accepted. Issues of past construction should be reviewed. There is no doubt that regardless of what is permitted that this property will continue to be operated as a hostel simply because the transformation of this property no longer makes any common sense

as a single family residence. It was marketed ,by its very owner, for its very purpose under these new plans all framed around work the property owner would like to simply be accepted. All of which serves the pathway to the owner again renting out the property unimpeded by the regulations of other City departments.

I anticipate that soon this will inevitably rise to a complaint to the Office of Short Term Rentals, but it is being done at the deception of SFDBI. This property deserves to be scrutinized for all the changes made, including any changes that are invasive to fellow neighbors, from large privacy fences, expanded usage, and streams of in and out guests. All of which were also welcomed to spend time on an unpermitted deck, due to a lack of private space amongst fellow renters. Ultimately as homeowners, SFDBI should be looking to make sure that building is safe for all, and not simply about whether someone has the skill to execute changes to spaces outside of what code and safety may suggest.

Robert Whitt *Robert D. Whitt*
(415) 570-3582
1465 Underwood Ave.
San Francisco, CA 94124
robertd.whitt@gmail.com

From: buncumkenneth@gmail.com
To: [BoardofAppeals \(PAB\)](#)
Cc: niall@vignoleslaw.com; vignoleslaw@gmail.com
Subject: Re: Regarding Appeal # 23-007
Date: Monday, March 6, 2023 6:00:18 PM
Attachments: [Mr. Page Clarification on Complaint# 202291235 + PA# 202207128311.pdf](#)
[Site Visit Photos - combined file - 1648 Van Dyke Avenue \(ID 1320107\).pdf](#)

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

To Board of Appeals,

I am following up with additional email information from Mr. Page to Supervisor Walton. Mr. Page sent us images that he took at 1468 Van Dyke Ave when he did a site visit.

Our neighbors share the attached email account to communicate with the City.

Thank you
Kenny Buncum

Sent from my iPhone

On Feb 21, 2023, at 12:46 PM, buncumkenneth@gmail.com wrote:

Please find attached a letter of support in regards to Appeal # 23-007.

Best
Kenny Buncum
415-713-1800

<Scan Feb 21, 2023.pdf>

Clarification on Complaint# 202291235 + PA# 202207128311

Page, Vincent (CPC) <vincent.w.page.ii@sfgov.org>

Fri, Aug 5, 2022 at 1:03 PM

To: "Walton, Shamann (BOS)" <shamann.walton@sfgov.org>

Cc: [REDACTED]@gmail.com>, "Evans, Abe (BOS)" <abe.evans@sfgov.org>, "Burch, Percy (BOS)" <percy.burch@sfgov.org>, "Guaiumi, Jimmy (DBI)" <jimmy.guaiumi@sfgov.org>, "Lam, Gilbert (DBI)" <gilbert.lam@sfgov.org>, "Chen, Josephine (CPC)" <josephine.chen@sfgov.org>, "Wong, Kelly (CPC)" <kelly.wong@sfgov.org>

Dear Supervisor Walton,

I wanted to follow up on this as I am the Planning Department staff person assigned to Planning Complaint No. 2022-005104ENF at 1468 Van Dyke Avenue. I conducted a site visit on July 25 and confirmed several violations of the Planning Code, including the unpermitted extension of a deck at rear; the unpermitted construction of a side yard access gate; and the unpermitted development of habitable space in the attic. (See attached photos.) In its present state, the unpermitted gate is in violation of the Planning Code as it exceeds allowable height and fails to comply with the Residential Design Guidelines. The deck expansion may also require a Variance, but this has not yet been confirmed. The "habitable" space in the attic will also need to be brought into compliance.

The owner and her architect are working with the Planning Department to address the violations. Permit drawings were submitted this week and are currently under review. We will ensure that this property is brought into compliance as expeditiously as possible.

Please let me know if you have any additional questions or if I can be of service in any way.

Thank you,

Vincent W. Page II, Planner [he/him]
Code Enforcement + Flex Team, Current Planning Division

San Francisco Planning Department

[49 South Van Ness Avenue, Suite 1400](#)

[San Francisco, CA 94103](#)

Direct: 628.652.7396 | www.sfplanning.org

[San Francisco Property Information Map](#)

[Quoted text hidden]



Site Visit Photos - combined file - 1648 Van Dyke Avenue (ID 1320107).pdf
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1468



1468

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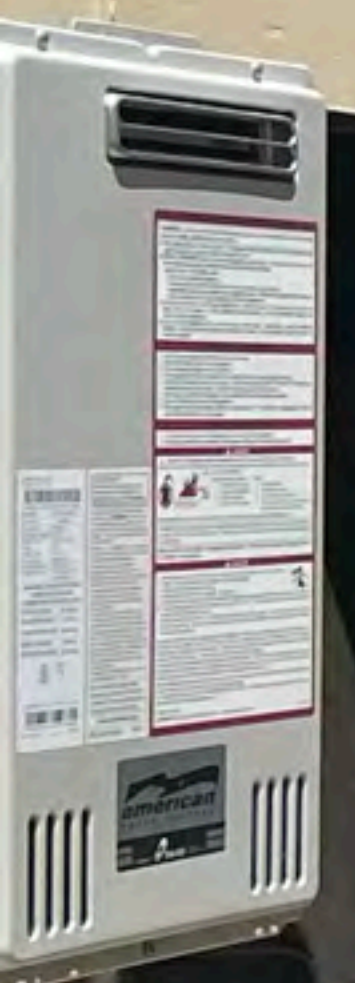
14 68





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2



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amazon

Caviar

KOREAN SPICY
SAUCE
EPICE COREEN

만복

ACECOOK

KOREAN SPICY
SAUCE
EPICE COREEN

120 g x 4 Boîtes x 3 Boîtes
120 g x 4 Boîtes x 3 Boîtes

ACECOOK VIETNAM JOINT STOCK COMPANY





Bayview San Francisco

Home Sweet Home!

Welcome to San Francisco and to your cozy home away from home!

Welcome! We hope your travels and check-in process have been smooth. Please make sure that the front gate, front door, and back doors are locked when you go in and out of the house. Also please turn off all the lights when you go to bed. Please be respectful to the people in the neighborhood and other potential Airbnb guests. If there is ANYTHING you need to make your stay more comfortable please just let me know. You can contact me at (415)-632-7135.

Once again a very warm welcome & we hope you enjoy your stay in San Francisco!

Our Side Street Cleaning: **Wednesday 12-2 pm**
Across the Street Cleaning: **Monday 12-2 pm**

Gate and door code **3252#**

Check out: **11 AM**
Check in: **3 PM**

WiFi: Comcast
User name: **Home 1468**
Password: **12131415**

Warmly,
Chau















Super Ratio
SKU: SP19-3
help@joivi.com
PO: 20210520
Made in china

CARTON 3/4





MAR 06 2023

APPEAL # 23-007

Dear Board of Appeals

We are writing in regards to appeal #23-007. It is in reference to permit # 2022/07/12/8311 at 1468 Van Dyke Avenue. We fully support the appeal and recommend that the issued permit be reconsidered.

We live on 1455 Van Dyke Avenue, across the street from 1468 Van Dyke Ave. After the sale of the property to the current owner, we noticed that it was being used as an Airbnb. Parking became difficult and we noticed people congregating in front of the large black gates at 1468 Van Dyke Ave.

Prior to the current owners, Ms. Choice used to live on this property for over fifteen years. She lived alone and her daughter visited now and then until she passed in 2019. We are concerned that this permit will allow this house to continue to function as a cheap short-term rental that will harm our neighborhood.

Please review the permit once more to find out what was modified illegally. The violations should be corrected based on accurate drawings of what the property looked like before the owner bought the house in 2021.

Best,



Eric Davis

(415) 321-9871

ericandqianad@gmail.com

March 4th, 2023

March 2nd 2023

BOARD OF APPEALS

MAR 06 2023

APPEAL # 23-007

Dear Board of Appeals

My name is Henrietta Jones. I was the owner of 1468 Van Dyke Avenue until I sold the property in September 2021.

Mr. Moro—who lives on 1470 Van Dyke Avenue—and I have helped each other over the years as neighbors. This is especially true once my tenant, Ms. Beverly Choice, passed away in 2019. Mr. Moro often helped take care of the house, whether that was replacing smoke alarms in the house, trimming the roses back from the sidewalk, or keeping an eye on the house during COVID-19 lockdown.

1468 Van Dyke Avenue was a two-bedroom and one-bathroom single family home. For over fifteen years, I rented the house to Ms. Choice. The block is a family friendly neighborhood. I am surprised to hear from Mr. Moro that many bedrooms were added to the small house without changing the envelope of the house. I am not sure if so many people can live in such a small house and I can see why a large deck was built as an overflow space if the house has high occupancy.

Since the property is no longer mine, I cannot comment on how the house is used currently. However, I hope that Mr. Moro and his neighbors are able to safely enjoy what they used to have. Mr. Moro has two young daughters and I'm sure that a large deck that towers over their privacy is not welcome.

Please kindly reconsider the permit issuance.

Best,



Henrietta Jones

March 4, 2023

BOARD OF APPEALS

MAR 06 2023

APPEAL # 23-007

Dear Board of Appeals

My name is Hugo Ayala and I live on 1469 Van Dyke Avenue, across the street from 1468 Van Dyke Ave. I am in agreement with appeal #23-007, submitted by my dear neighbor Mr. Moro.

I agree that the permit must be more carefully scrutinized in light of the current owner's history of changing the fabric of the neighborhood. When they created extra rooms for short term rental, the neighborhood was inundated with visitors from across the nation. Random cars parked around the block and visitors congregated around the building. We implore the board to reexamine this permit to keep this neighborhood friendly to families and longtime residents.

Thank you for your consideration

Hugo Ayala

