

BOARD OF APPEALS, CITY & COUNTY OF SAN FRANCISCO

Appeal of
GINA WHITE,

Appellant(s)

VS.

DEPARTMENT OF BUILDING INSPECTION,

PLANNING DEPARTMENT APPROVAL Respondent

Appeal No. **22-083**

NOTICE OF APPEAL

NOTICE IS HEREBY GIVEN THAT on November 15, 2022, the above named appellant(s) filed an appeal with the Board of Appeals of the City and County of San Francisco from the decision or order of the above named department(s), commission, or officer.

The substance or effect of the decision or order appealed from is the ISSUANCE on November 1, 2022, to Matthew Manteuffel, of a Site Permit (addition at first & second floors extend by approximately 9'-7 1/2"; adding 224 square feet to each level; relocate powder room, replace existing wood deck, new sliding door & window at rear, add new bathroom, laundry, office & skylight; renovate kitchen) at 272 Eureka Street.

APPLICATION NO. 2021/08/10/6180

FOR HEARING ON January 4, 2023

Address of Appellant(s):

Address of Other Parties:

Gina White, Appellant(s)
278 Eureka Street
San Francisco, CA 94114

Matthew Manteuffel, Permit Holder(s)
c/o Jack Backus, Agent for Permit Holder(s)
Jack Backus Architects
1057 Hubert Road
Oakland, CA 94610



Date Filed: November 15, 2022

**CITY & COUNTY OF SAN FRANCISCO
BOARD OF APPEALS**

PRELIMINARY STATEMENT FOR APPEAL NO. 22-083

I / We, **Gina White**, hereby appeal the following departmental action: **ISSUANCE of Site Permit No. 2021/08/10/6180** by the **Department of Building Inspection** which was issued or became effective on: **November 1, 2022**, to: **Matthew Manteuffel**, for the property located at: **272 Eureka Street**.

BRIEFING SCHEDULE:

The Appellants may, but are not required to, submit a one page (double-spaced) supplementary statement with this Preliminary Statement of Appeal. No exhibits or other submissions are allowed at this time.

Appellants' Brief is due on or before: 4:30 p.m. on **December 15, 2022, (no later than three Thursdays prior to the hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org, jack@jbackusarchitects.com and manteuffel415@gmail.com.

Respondent's and Other Parties' Briefs are due on or before: 4:30 p.m. on **December 29, 2022, (no later than one Thursday prior to hearing date)**. The brief may be up to 12 pages in length with unlimited exhibits. It shall be double-spaced with a minimum 12-point font. An electronic copy shall be emailed to: boardofappeals@sfgov.org, julie.rosenberg@sfgov.org, corey.teague@sfgov.org, tina.tam@sfgov.org and ginabythebay@gmail.com

Hard copies of the briefs do NOT need to be submitted to the Board Office or to the other parties.

Hearing Date: **Wednesday, January 4, 2023, 5:00 p.m., Room 416 San Francisco City Hall, 1 Dr. Carlton B. Goodlett Place**. The parties may also attend remotely via Zoom. Information for access to the hearing will be provided before the hearing date.

All parties to this appeal must adhere to the briefing schedule above, however if the hearing date is changed, the briefing schedule MAY also be changed. Written notice will be provided of any changes to the briefing schedule.

In order to have their documents sent to the Board members prior to hearing, **members of the public** should email all documents of support/opposition no later than one Thursday prior to hearing date by 4:30 p.m. to boardofappeals@sfgov.org. Please note that names and contact information included in submittals from members of the public will become part of the public record. Submittals from members of the public may be made anonymously.

Please note that in addition to the parties' briefs, any materials that the Board receives relevant to this appeal, including letters of support/opposition from members of the public, are distributed to Board members prior to hearing. All such materials are available for inspection on the Board's website at www.sfgov.org/boa. You may also request a hard copy of the hearing materials that are provided to Board members at a cost of 10 cents per page, per S.F. Admin. Code Ch. 67.28.

The reasons for this appeal are as follows:

See attachment to the preliminary Statement of Appeal.

Appellant:

Signature: Via email

Print Name: Gina White, appellant

My name is Gina White, and I own the home at 278 Eureka St. I am appealing permit 202108106180 for an expansion project at 272 Eureka St that is adjacent to my home. I first learned of this project on Friday, 11/4/22 when I received the permit issuance letter dated 11/1/22. I am disturbed that I wasn't given notice of the pre-application meeting or given any opportunity to provide input on the project. The lack of outreach shows a lack of concern for neighbors by the developer. I hope to reach an amicable resolution with the developer to reduce the impacts to my home.

The addition will significantly reduce my privacy, with south-facing windows that can see directly into bedrooms on my second floor. The windows will also have views into my kitchen and dining room. Moreover, because of our location on the side of a hill, there are many months when my home does not receive direct sunlight, but I do receive indirect light from the north. The addition will block the majority of the indirect light I receive, leaving my home in the bottom of a dark canyon. The reduced privacy and light in my home will significantly impact the enjoyment of my home and my property value.

I request the following modifications to the proposed addition:

1. Eliminate the south-facing windows and skylight.
2. Set the addition back from our shared property line by 6 feet.
3. Reduce the total extension length to a maximum of 9' to the rear on all levels.

Multiple neighbors have all expressed concerns about this permit, which demonstrates a lack of consideration for the neighborhood. I support the appeal submitted by Megan Porter; another affected neighbor who lives at 282 Eureka. Daisy Church and Stephanie Berman at 268 and 270 Eureka also have concerns and their lightwell will be blocked by the expansion. Tori Downes and Estelle Rubenstein of 254 Eureka St. also have concerns.



Capacity Charges

Water \$ 0
Wastewater \$ 0
DU 7/19/22BUILDING ENLARGEMENT
☒ HORIZONTAL
☐ VERTICAL
STRUCTURAL NOTIFICATIONDO NOT REVIEWED BY FIRE DEPT.
FEE

FIRE DEPT. INSPECTIONS

APPLICATION FOR BUILDING PERMIT
ADDITIONS, ALTERATIONS OR REPAIRSFORM 3 ☒ OTHER AGENCIES REVIEW REQUIREDFORM 8 ☐ OVER-THE-COUNTER ISSUANCE

2

NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

CITY AND COUNTY OF SAN FRANCISCO
DEPARTMENT OF BUILDING INSPECTIONAPPLICATION IS HEREBY MADE TO THE DEPARTMENT OF
BUILDING INSPECTION OF SAN FRANCISCO FOR
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS
AND SPECIFICATIONS SUBMITTED HERewith AND
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE
HEREINAFTER SET FORTH.

DATE FILED 8-11-21 5/27/2022	FILING FEE RECEIPT NO. 20210811-11801	(1) STREET ADDRESS OF JOB 272 EUREKA STREET	BLOCK & LOT 2699016
PERMIT NO. 2022101-11601	ISSUED NOV 01 2022	(2A) ESTIMATED COST OF JOB \$ 158,000.00	(2B) REVISED COST \$ 373,275.00 BY: SRS DATE: 8/15/22

INFORMATION TO BE FURNISHED BY ALL APPLICANTS

LEGAL DESCRIPTION OF EXISTING BUILDING

(4A) TYPE OF CONSTR. VB	(5A) NO. OF STORIES OF OCCUPANCY 2	(6A) NO. OF BASEMENTS AND CELLARS 1	(7A) PRESENT USE RESIDENTIAL SINGLE FAMILY	(8A) OCCUP. CLASS R3	(9A) NO. OF DWELLING UNITS 1
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DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION

(4) TYPE OF CONSTR. VB	(5) NO. OF STORIES OF OCCUPANCY 2	(6) NO. OF BASEMENTS AND CELLARS 1	(7) PROPOSED USE (LEGAL USE) RESIDENTIAL SINGLE FAMILY	(8) OCCUP. CLASS R3	(9) NO. OF DWELLING UNITS 1
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(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(13) PLUMBING WORK TO BE PERFORMED?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
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(14) GENERAL CONTRACTOR FED STEPHEN BARRON - BARRON CONST.	ADDRESS 432 BRIARWOOD DR	CITY OAKLAND	STATE CA	ZIP 94608	PHONE 415.407.464	EXPIRATION DATE 10-31-24
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(15) OWNER - LESSEE (CROSS OUT ONE) Matthew Mantuffel	ADDRESS 272 EUREKA ST	CITY SAN FRANCISCO	STATE CA	ZIP 94114	PHONE (FOR CONTACT BY DEPT.) 415.407.1244
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(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT)

SECONDA LEVEL - EXTEND 9'-3 1/2" TO WARD THE REAR OF THE PROPERTY, ADDING 244 S.F. EXISTING POWER ROOM TO BE RELOCATED. EXISTING WOOD DECK TO BE DEMOLISHED & REPLACED W/ NEW WOOD DECK. KITCHEN TO BE RENOVATED. NEW DOORS & WINDOWS.

THIRD LEVEL - EXTEND 18'-0 5/8" TO WARD THE REAR. ADDING 245 S.F. EXISTING BATH TO BE RENOVATED. 1 BATH & 1 LAUNDRY ROOM ADDED. NEW WINDOWS & SKYLIGHT.

ADDITIONAL INFORMATION

(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	(20) IF (19) IS YES, STATE NEW GROUND FLOOR AREA	724	SQ. FT.
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON FLG PLAN)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

(25) ARCHITECT OR ENGINEER (DESIGN OR CONSTRUCTION) JACK BACKUS ARCHITECTS	ADDRESS 1057 HUBERT RD OAKLAND, CA 94610	CALIF. CERTIFICATE NO. C-30743
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(26) CONSTRUCTION LENDER (ENTER NAME AND BRANCH DESIGNATION IF ANY. IF THERE IS NO KNOWN CONSTRUCTION LENDER, ENTER "UNKNOWN")	ADDRESS UNKNOWN
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IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction is to be closer than 6'0" to any wire containing more than 750 volts. See Sec 385, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown, revised drawings showing correct grade lines, cuts and fills, and complete details of retaining walls and wall footings must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (12) (13) (22) OR (24).

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings, all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX
☐ OWNER
☐ LESSEE
☐ CONTRACTOR☒ ARCHITECT
☐ AGENT
☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THERETO WILL BE COMPLIED WITH.

REV 06/13

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claims, demands and actions for damages resulting from operations under this permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3800 of the Labor Code of the State of California, the applicant shall have worker's compensation coverage under (I) or (II) designated below, or shall indicate item (III), (IV), or (V), whichever is applicable. If however item (V) is checked, item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

(I) I have and will maintain a certificate of consent to self-insure for worker's compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

(II) I have and will maintain worker's compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My worker's compensation insurance carrier and policy number are:

Carrier
Policy Number

(III) The cost of the work to be done is \$100 or less.

(IV) I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the worker's compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the worker's compensation provisions of the Labor Code of California and fail to comply forthwith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

(V) I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the worker's compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

Signature of Applicant or Agent

Date

OFFICE COPY

BLDG. 3/8
FORMAPPLICATION NUMBER
20210810618015

APPROVAL NUMBER

CONDITIONS AND STIPULATIONS

REFER TO:	APPROVED: <u>Sebastian Bendozu, DBI</u> AUG 15 2022 BUILDING INSPECTOR, DEPT. OF BLDG. INSP.	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <u>N. Karimzadeh</u> Rear addition to a single family <u>SYLVIA JIMENEZ</u> OCT 2 5 2022 DEPARTMENT OF CITY PLANNING	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <u>Erik Ziegler, SFPD</u> SEP 0 8 2022 BUREAU OF FIRE PREVENTION & PUBLIC SAFETY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: _____ MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: _____ CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: SFPW/BSM SIGN OFF ON JOB CARD REQUIRED PRIOR TO DBI FINAL CALL (628) 271-2000 TO SCHEDULE By <u>Clinton Choy, SFPW</u> BUREAU OF ENGINEERING	DATE: <u>10/14/2022</u> REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: _____ DEPARTMENT OF PUBLIC HEALTH	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: <u>SFPUC</u> <u>Diana Chung</u> 9/19/22 REDEVELOPMENT AGENCY	DATE: _____ REASON: _____ NOTIFIED MR. _____
<input type="checkbox"/>	APPROVED: _____ HOUSING INSPECTION DIVISION	DATE: _____ REASON: _____ NOTIFIED MR. _____

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or departments noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT

Permit Details Report**Report Date:** 11/15/2022 7:43:44 AM

Application Number: 202108106180
 Form Number: 3
 Address(es): 2699 / 016 / 0 272 EUREKA ST
 Description: ADDITION AT 1ST & 2ND FLRS. EXTEND BY APPX 9'-7 1/2". ADDING 224 SQ FT TO E
 RELOCATE PWDR RM, REPLACE (E) WOOD DECK, (N) SLIDING DOOR & WINDOW
 (N) BATH RM-LAUNDRY-OFFICE & SKYLIGHT. RENOVATE KITCHEN.
 Cost: \$373,273.00
 Occupancy Code: R-3
 Building Use: 27 - 1 FAMILY DWELLING

Disposition / Stage:

Action Date	Stage	Comments
8/10/2021	TRIAGE	
8/10/2021	FILING	
8/10/2021	FILED	
11/1/2022	PLANCHECK	
11/1/2022	APPROVED	
11/1/2022	ISSUED	

Contact Details:**Contractor Details:**

License Number: 960464
 Name: STEPHEN BARRON
 Company Name: BARRON CONSTRUCTION INC.
 Address: 432 BRIARWOOD DR * SO. SAN FRANCISCO CA 94080-0000
 Phone:

Addenda Details:**Description:**

Step	Station	Arrive	Start	In Hold	Out Hold	Finish	Checked By	Hold Description
1	CPB	8/12/21	8/12/21			8/12/21	ROBINSON CHARLES	to ppc
2	CP-ZOC	8/12/21	5/20/22			5/20/22	KARIMZADEGAN NILOUFAR	5/20/2022: N.Karimzadegan 311 cleared on
3	CP-NP	3/18/22	3/18/22			3/23/22	KARIMZADEGAN NILOUFAR	3/18/22: Emailed the 311 cover letter. (JL) 3 the 311 notice on 4/1/22; expires on 5/2/22.
4	BLDG	6/6/22	7/5/22			7/5/22	SZETO DAVID	RE-ASSIGNED (BR)
5	BLDG	7/5/22	7/18/22	8/1/22	8/15/22	8/15/22	BENDEZU SEBASTIAN	Approved after comments issued were addre #1. Customer provided complete new set.
6	SFFD	8/15/22	9/8/22			9/8/22	ZIEGLER ERIK	9/8/22 Project approved by Ziegler of SFFD by Lt. Kathy Gilbraith. Plans routed to PPC. erik.ziegler@sfgov.org
7	DPW-BSM	9/8/22	9/9/22	9/9/22		10/14/22	CHOY CLINTON	Approved SITE Permit only *revision*. 10/1 ADDENDUM requirement(s) for sign off: In of-Way Conformity (final inspection). Down application(s) at http://www.sfpublishworks.org/services/performs and submit electronically to bsmpermitdivision@sfdpw.org. Your constr will be ON-HOLD until all necessary permit or the assigned BSM plan checker(s) may re off. Please call the office at (628) 271-2000 c bsmpermitdivision@sfdpw.org for more info Hold 09/29/22 Revision to sheet A1.1 (slip s hold 9/09/2022. Requirement(s) for sign of Sidewalk Encroachment (Property line incor MG
8	SFPUC	9/12/22	9/19/22			9/19/22	CHUNG DIANA	Capacity Charge not applicable. No change i enough fixtures added to warrant a larger m PPC - 09/19/22.
9	BLDG	10/11/22	10/12/22			10/12/22	BENDEZU SEBASTIAN	10/12/22: Reviewed page A1.1 and stamped
10	CP-ZOC	10/14/22	10/18/22			10/18/22	JIMENEZ SYLVIA	10/18/22: Re-stamp plans for horizontal ad changes to scope of work or unit count. Appl routed to DBI. SJ
11	CP-ZOC	10/18/22	10/18/22			10/18/22	JIMENEZ SYLVIA	Re-stamped sheet. No changes to plans sinc

11	CPB	10/20/22	10/25/22			10/25/22	JIMENEZ SYLVIA	stamp. SJ
12	PERMIT-CTR	5/18/22	5/18/22			5/18/22	ESPINO HENRY	05/27/2022: New Form 3/8 Pink Application transferred to SF Planning Attn: Niloufar K& 05/18/2022: Project received by Permit Center transferred to SF Planning Intake for review Applicants may contact pic@sfgov.org for future updates. -MT
13	PPC	10/19/22	10/27/22			10/27/22	TAING SOK-IM	10/27/22: To CPB; ST 10/27/22: Planning signatures; ST 10/20/22: To Sylvia Jimenez stamp on page A0.2 and stamps & signature application; ST 10/14/22: TO PLANNING for plans received on 08/15/22;me 10/12/22: To (BSM) to review revised page A1.1; ST 10/11, Bendezu (BLDG) to review revised sheet page 9/29/22, then to BSM to sign off; ST 9/30/22 pending BSM approval; ST 09/21/22: TO BSM meeting;me 9/20/22: To hold bin pending F 9/12/22: To SFPUC to review revised set rec ST 09/08/22: TO BSM;me 08/15/22: TO SF To Sebastian Bendezu (BLDG) per applicant 7/20/22: to PUC;EC. 6/6/22: To BLDG; ST PLANNING;me
14	CPB	10/27/22	11/1/22			11/1/22	SECONDEZ GRACE	11/1/22: issued. gs 11/1/22: invoiced. gs 11/1 need payer info. sent email to Matt Manteuf

This permit has been issued. For information pertaining to this permit, please call 628-652-3450.

Appointments:

Appointment Date	Appointment AM/PM	Appointment Code	Appointment Type	Description	Time Slots
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Inspections:

Activity Date	Inspector	Inspection Description	Inspection Status
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Special Inspections:

Addenda No.	Completed Date	Inspected By	Inspection Code	Description	Remarks
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For information, or to schedule an inspection, call 628-652-3400 between 8:30 am and 3:00 pm.

Station Code Descriptions and Phone Numbers

[Online Permit and Complaint Tracking](#) home page.

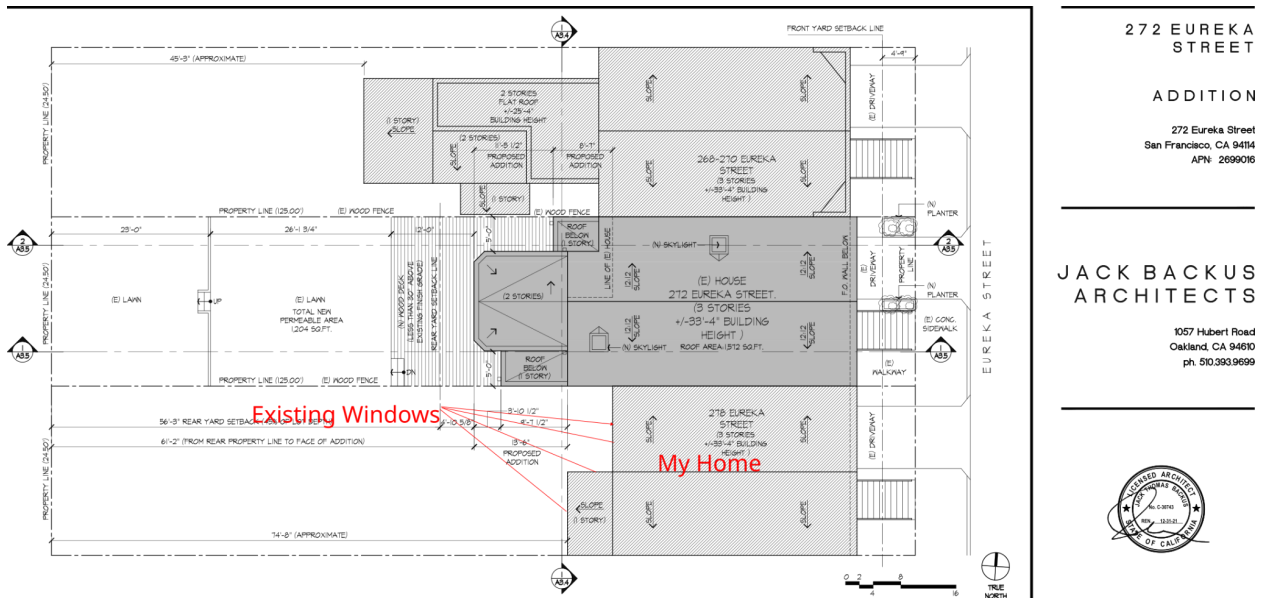
Technical Support for Online Services

If you need help or have a question about this service, please visit our [FAQ](#) area.

BRIEF SUBMITTED BY THE APPELLANT(S)

STATEMENT OF FACTS

I own and reside at 278 Eureka Street, next door to the project site, and have lived here for twelve years. I first discovered the plans to create an addition at 272 Eureka Street when I received a letter from the city dated November 1, 2022, stating that a permit had been granted. I include below an excerpt of the plan, with my notes in red indicating my home, and indicating my existing windows impacted by the plan.



I never received notice of the pre-application meeting and was never afforded the opportunity to raise my concerns to the Project Sponsor or the Planning Department before this appeal. When I asked other neighbors about this, many of them had also not been informed about the plans.

The proposed project includes a rear addition that would extend 9-and-a-half-feet back on the second floor. The cantilevered third-floor addition would extend even further, extending thirteen feet into the rear yard beyond the existing home. My home is

located on the side of a hill with buildings above me to the south and to the west. Because of this, most of my windows currently receive only indirect light in the winter. A significant portion of that light comes from the space where the addition will be built and will be blocked by the project. Exhibit A and Exhibit B show the indirect light currently available in my kitchen and dining room.

My home has two bedrooms in the back, on the third floor, and I am also concerned about privacy with the project's south-facing windows in the addition, which will be quite near and look into my bedroom windows.

ARGUMENT

A. Lack of Notice

Several neighbors and I never received the pre-application meeting notice or the 322 notice. After receiving the permit issuance letter, I spoke to the Project Sponsor, Matthew Manteuffel, who told me he had posted a notice on his garage door about construction. His garage door is only partially visible to me from my property as his stairway is in between my property and his garage door. At no point did Mr. Manteuffel reach out to me during the permit process to discuss his plans until I was forced to submit this appeal. Multiple neighbors have concerns with the project design, and another neighbor has submitted an appeal. The amount of opposition this far along in the process confirms a lack of outreach by the Project Sponsor.

Because of the lack of notice, I was unable to raise my concerns to the Project Sponsor at the pre-application meeting, or to the Planning Department. I was also unable to file a request for Discretionary Review. This appeal represents my only

opportunity to protect the light and privacy of my home. These concerns should be addressed now, before construction proceeds.

B. Adverse Light Impacts

If the construction proceeds as planned, my dining room and kitchen will be at the bottom of a dark canyon, receiving almost no natural light. The existing building at 272 Eureka *already* extends more than 5 feet further into the rear yard than my home, and the proposed extension will increase that to over fourteen feet. (See Exhibit A and B) The addition on the lower floors is built all the way up to the side property line, which will prevent any light from reaching my windows. The lower floor additions should be set back at least 6 feet from the side property lines to lessen the impact to my home.

The cantilevered third-story addition is particularly problematic, as it extends *even further* than the lower floor additions, significantly impacting any light from reaching my windows. The third floor adds a third bedroom measuring over 170 square feet, which could easily be reduced without impacting the project design, while significantly reducing the impacts to my home.

Rather than make any project modifications, Mr. Manteuffel has told me that he plans to remove his plum tree to compensate for the light blocked by the addition. The plum tree does not significantly block light, especially in the winter when it loses its leaves, and will not compensate for the light blocked by the addition. Mr. Manteuffel has not offered to provide any changes to respond to my concerns.

C. Impacts to Privacy

I also have significant privacy concerns about the south facing windows on the third-story addition. Due to the higher elevation, these windows will look directly down into my home and should be eliminated.


CONCLUSION

Steps should be taken to address the privacy issues and the light issues. If the construction goes forward as planned, my enjoyment of my home will be significantly reduced and my property value will also be significantly reduced.

Please grant the three items listed in the appeal:

1. Eliminate the south-facing windows and skylight.
2. Set the addition back from our shared property line by 6 feet.
3. Reduce the total extension length to a maximum of 9' to the rear on all levels.

I am open to alternative suggestions from the project sponsor about ways to compensate for the loss of light caused by this project.



Gina White

EXHIBIT A - PHOTO FROM KITCHEN

WINDOW



Natural light from the kitchen window. Red dashes show where the construction will block the light.

EXHIBIT B - PHOTO FROM DINING ROOM

WINDOW



Natural light from the dining room window. Red dashes show where the construction will block the light.

EXHIBIT C - LETTER OF SUPPORT

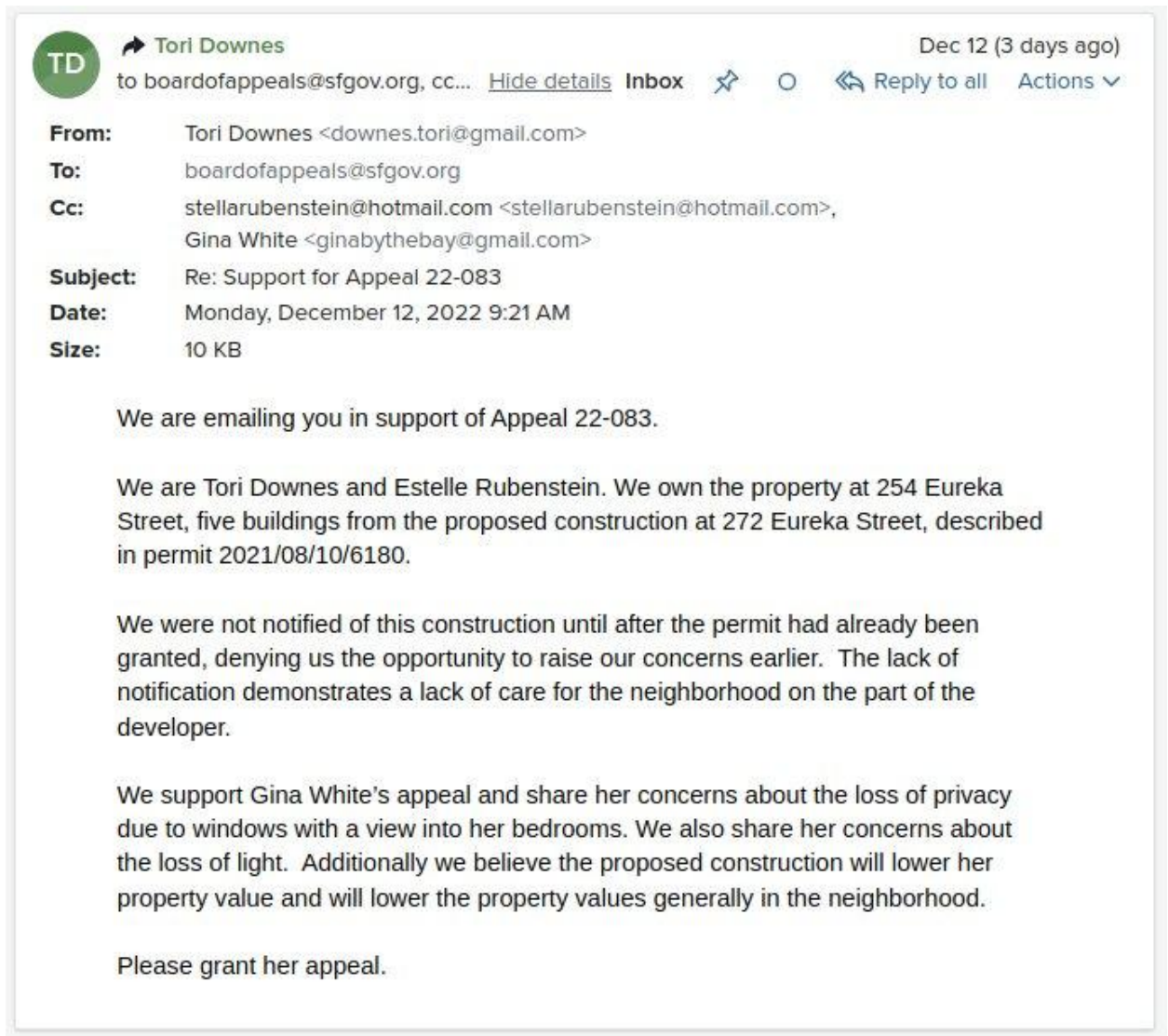
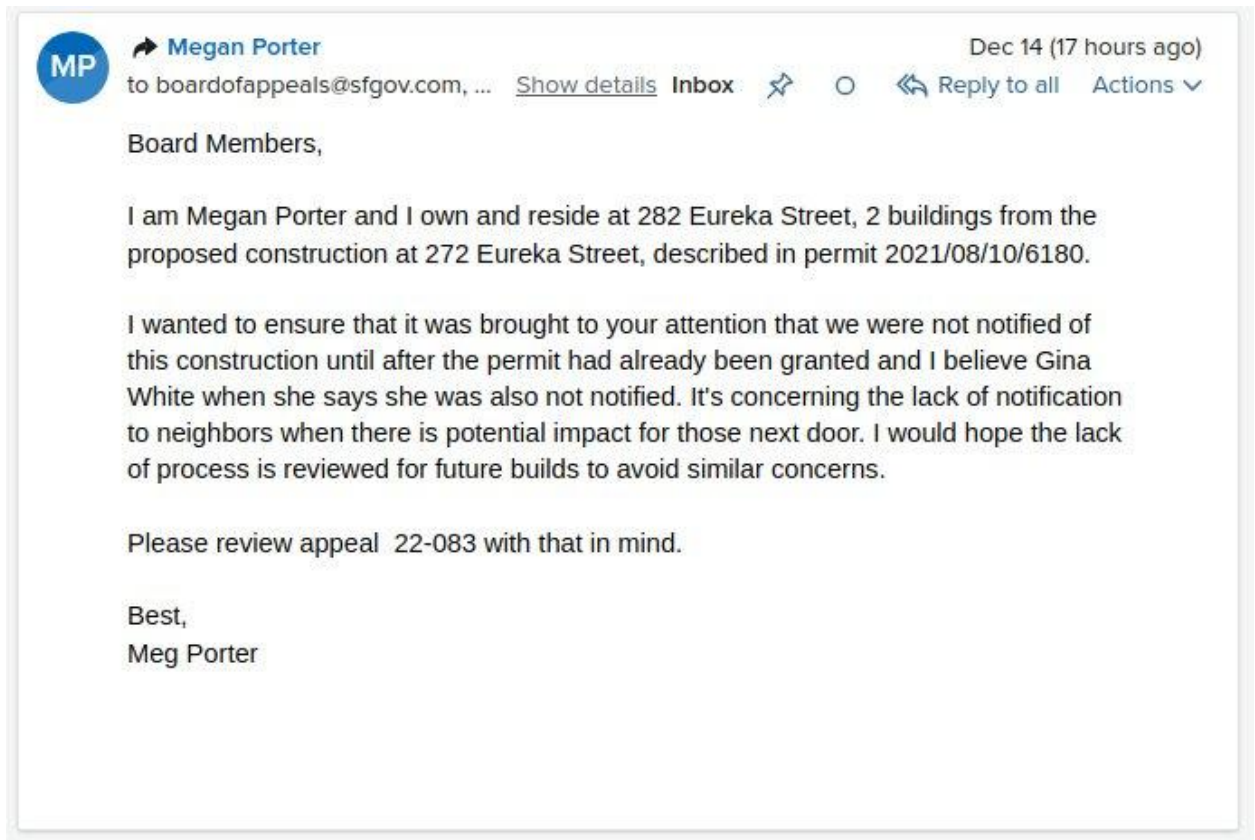


EXHIBIT D - LETTER ABOUT LACK OF NOTICE



BRIEF SUBMITTED BY THE PERMIT HOLDER(S)

Response to Appeal 22-083

My name is Matt Manteuffel and my family bought 272 Eureka Street in 1983. This street and neighborhood has been the greatest community we could have asked for and we have strived to pay it back by being good neighbors to all of those around us. I have lived here for all 34 years of my life and, serendipitously, my wife attended St. Philip's elementary school just a few blocks away. We have made many memories here, both good and bad. My parents brought me back here from the hospital in 1988, my mother passed away here in 2002, I had graduation parties here in 2003 and 2007 – the full circle of life. 272 Eureka is not just a house, it is our home. The only modest construction we've done to our 120+ year old house was in 1993. It has been my lifelong goal to renovate my childhood home and grow my family there. My wife and I love this neighborhood and the community, as a result we have great respect for our neighbors and the City's building permit procedures. Over the past 16 months, we have worked with City departments to obtain their approvals, diligently followed all codes and regulations, selected an architect to design a plan that would respect our neighbors' property, and worked with our neighbors, to make this a reality. We were ecstatic to receive our site permit.

I will address all points that the appellant, Gina White ("Ms. White") raised in her appeal, as well as the proposed compromise we have offered ahead of this appeal hearing. In sum, we feel that (1) adequate notice was provided; (2) we have already changed our plans in accordance with planner guidance to account for neighboring buildings so indirect light will no longer be materially impacted (we are also willing to compromise further by removing a tree); and (3) we have already offered to address Ms. White's privacy concerns by volunteering to

remove the bedroom windows at issue completely from our design. For context, I feel it is important to begin with a timeline of events as it addresses Section A of Ms. White's appeal:

Timeline and Summary of Communication with Neighbors

- **8/12/2021** – initial plans submitted (copy and rendering of the 2nd floor plan included as [Exhibit A](#)).
- **9/22/2021** – pre-application notices sent out as required by the Planning Department: “Applicants should mail the pre-app notices to *adjacent* neighbors and neighborhood organizations per usual, but with the addition of a copy of the plans.” We elected to send these out via certified mail. This included Ms. White at 278 Eureka as her property is adjacent to the south. Per USPS, notice was left on 9/28/2021 at 11:09am. Please see receipt of certified mail ([Exhibit B](#)).
- **10/8/2021** – at Pre-application meeting, the owners of the adjacent building to the north of our home at 268/270 Eureka were the only attendees and voiced concerns about their lightwell potentially being partially impacted by the rear horizontal addition.
- **10/21/2021** – we met with adjacent owners of 268/270 Eureka to discuss their concerns in person.
- **1/21/2022** – providing these concerns and asking for a solution, we met with our assigned Planner and the City's architect planner who instructed us to set back the proposed horizontal addition by 5 ft on the 2nd floor away from both of our adjacent neighbor's property lines. They also asked us to remove the pitched roof to reduce the height so we revised our plans accordingly. Please see email from Planner ([Exhibit C](#)) and revised plan and rendering. While not our first choice from a design perspective, we

were more than willing to make modifications to be accommodating neighbors and comply with City guidance.

- **4/1/2022** – as instructed and carried out by the Planning department, “Neighborhood Notification (311 notice) is mailed to residents and owners of properties located *within 150 feet* of the subject property and registered neighborhood groups for a 30-day public review period.” A list of those mailed can be found in [Exhibit D](#) including Ms. White and the others cited in her appeal as they live within 150 feet. Those names are highlighted for ease of reference. As instructed by Planning, we posted an 11”x17” notice on the front of our home for 30 days. Please see [Exhibit E](#) for photo of notice posted and declaration of posting.
- **4/12/2022** – in our discussions, our adjacent owners from 268/270 Eureka relay that they are satisfied with the revised plans received in the 311 neighborhood notification notice. From these conversations, no outstanding follow-up items remained.
- **5/2/2022** – 311 notice period expires with no discretionary reviews filed.
- **11/1/2022** – the site permit is issued.
- **11/15/2022** – two appeals are issued. One from Gina White and one from Meg and Joe Porter at 282 Eureka which was subsequently withdrawn. Please reference [Exhibit E](#).
- **11/18/2022** – I met with Ms. White to hear her concerns and discuss the plans.
- **11/28/2022** – I called Tori Downes from 254 Eureka because she was listed in Ms. White’s initial appeal as “having concerns”. To my relief, she stated that she had, “no problems with the structure as I live 5 houses down but want to support my friend Gina

White. Please discuss with her.” From this conversation, no outstanding follow-up items remained.

- In response to Exhibit C in Ms. White’s appeal, please note that Tori Downes is included in the 311 neighborhood notification mail list, [Exhibit D](#) below, as her house is within 150 feet.
- **12/2/2022** – I called Meg Porter from 282 Eureka to discuss her privacy concerns as stated in her initial appeal. She explained that she misunderstood the windows in our plans and subsequently withdrew her appeal on 12/9/2022 (see [Exhibit F](#)). From this conversation, no outstanding follow-up items remained.
 - In response to Exhibit D in Ms. White’s appeal, please note that Meg Porter is included in the 311 neighborhood notification mail list, [Exhibit D](#) below, as her house is within 150 feet.
- **12/10/2022** – met with Ms. White for second time and **offered to remove the windows in the bedroom** as requested in her appeal to alleviate her privacy concerns.

As the timeline demonstrates, we have met all of the notification requirements provided by the City and also carried ongoing conversations with our neighbors. Please see letters of support included as [Exhibit G](#) and [Exhibit H](#).

Although we believe we have followed all permitting steps appropriately and have already proposed a design plan that is respectful of our neighbors, we care very much about this community and are willing to compromise even further. I have outlined our proposed modifications below to address the light and privacy concerns (Sections B and C) raised in Ms.

White's appeal. Please note for clarity purposes, our homes on Eureka Street have a basement/garage, 1st floor, and 2nd floor.

Notice was Provided

As described in the timeline above, the pre-application notice was mailed certified to Ms. White on 9/22/2021 and notice was left at her door on 9/28/2021 (please see [Exhibit B](#)). Then, as the Planning department mailed a 311 notice to Ms. White and others named in her appeal on 4/1/2022 (please see [Exhibit D](#)), we also posted the required notice on the front of our house for 30 days (please see [Exhibit E](#)). We wanted to be sure we were respecting our neighbors and the City's process so we placed the notice sign on our home where it would be in clear view from the sidewalk. All required notice was provided. In addition, since other neighbors appeared at our pre-application meeting, we believed the notice process had been adequate, so we had no reason to believe further communication was necessary. However, I did meet with Ms. White in person on 11/18/2022 and 12/10/2022 to discuss our plans as soon as I learned of her concerns.

No Adverse Light Impacts

Ms. White's indirect light will not be adversely impacted by our proposed addition because: (1) our houses get direct sun throughout the day and our build does not impact this; (2) the sun rises and sets to the south and west of our houses and Ms. White's house is south and up the hill of our home; and (3) we have already adjusted our design in accordance with guidance from our planner to better accommodate neighboring buildings.

Living on Eureka Street, we are fortunate enough to have the backside of our homes facing directly west. The sun travels over our houses, to the south, and sets behind our back fences which affords all of our houses a lot of direct light. Perhaps that is why Ms. White references “indirect light”, as opposed to direct light, in her appeal. Our home, 272, is situated on the north side and down the hill of Ms. White’s house at 278. The sun maps shown in [Exhibit I](#) shows the sun rising and setting pattern in relation to our houses. You will see that a modest addition to our home, north of Ms. White’s home, should have no significant impact to the light of her home as the sun rises and sets to the south and west of our homes.

In addition, our neighbors to the north of our home at 268/270 Eureka have a 33’-11” long 2-story addition that **does not** impact our light or cast any shadows on our property. Please see [Exhibit J](#) for orientation which includes northern directional arrow. Although our proposed addition is much smaller than our neighbors at 268/270, it would similarly not cast any shadows on to Ms. White’s property.

We worked diligently with the Planning and Building departments for a plan that would allow us a modest addition but also be mindful of our neighbors and, when a concern was conveyed, we set to work to revise our initial plans in January. It may be prudent to note here that while our yard would allow for a much larger build, we have never proposed anything close to that out of respect for our neighbors. At the City’s direction, we added a 5 ft setback on the 2nd floor from both property lines and reduced the height as well. The 1st floor could remain unchanged as it is below the allowable height of a fence. Please reference Planner’s email [Exhibit C](#). The requirement for a 2nd floor setback is in place to allow for additional light to transfer between neighboring buildings and with a 5 ft setback, we could conceivably build back

to the allowable limit (up 45% of lot size). Per the SF Planning department's guidelines, "In areas with a dense building pattern, some reduction of light to neighboring buildings can be expected with a building expansion... Provide setbacks on the upper floors of the building." We feel that we have already addressed the indirect light concerns by following the planner's recommendations outlined in [Exhibit C](#) while building much less than the allowable limit.

We are still willing to take measures to further address Ms. White's concerns as it is important to us to continue to foster the positive neighborhood environment that we love so much. As a result, we are volunteering to remove a large plum tree from our yard to allow for more light. The location of the tree can also be seen in [Exhibit J](#). Ms. White's appeal includes a photo of this tree from her house (Exhibit A) but I'd like to point out that our proposed addition does not extend out to the base of that tree and the addition is shorter than the tree in height, please see [Exhibit K](#).

No Impact to Privacy

When consulting with the Planning department in January, we were advised that if we wanted to include any windows on the side property lines, we should strongly consider transom or clerestory windows. Please reference Planner's email [Exhibit C](#). Those types of windows are generally around 2 ft in height and placed on the top portion of the wall to protect privacy but allow light to transfer as they are above your head. We chose these purposefully with the privacy of our neighbors in mind. While we are disappointed to diminish the light our bedroom will receive, **we will remove the windows altogether to address Ms. White's privacy concerns.** Please see initial and newly revised plans included as [Exhibit L](#). This compromise was proposed to Ms. White ahead of the hearing on 12/10/2022 as well.

Conclusion

We love our neighborhood and Eureka Street community and have strived to be hospitable neighbors over the decades and especially the last 16 months as we navigated the permitting process. We are proud to raise our growing family in San Francisco and it is our dream to make our house a multigenerational home. While we love the charm of living in a 120+ year old Victorian house, we are also trying to improve on a few limitations while keeping the bedroom count unchanged. Namely, adding more closet space and a 2nd full bathroom as we grow our family. Many other houses on Eureka Street have solved these shortcomings with rear additions. We have followed the City's design and outreach guidance throughout the last 16 months, completed all of the required notifications, and received approval from both the Planning and Building departments. We've been in contact with our neighbors throughout the process and modified our plans based on their feedback.

Because (1) we are confident that adequate notice was provided (although we did respond to Ms. White as soon as we learned that she had concerns); (2) we feel the light concerns have been adequately addressed and we will also remove the plum tree; and (3) at Ms. White's request, we will remove the south facing transom windows to address her stated privacy concerns in Section 3 (please see initial and newly revised plans included as [Exhibit L](#)), we respectfully ask the Board to uphold the site permit with no new conditions.

Thank you for your time.



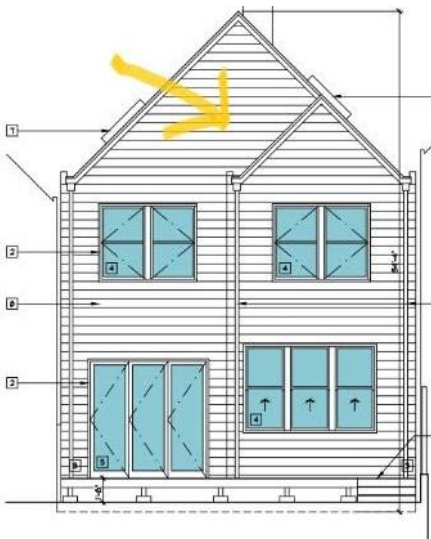
Exhibits

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Exhibit A - Initial Plans for 2nd Floor



Please note highlighted portion which is not set-back.



Please note the pitched roof

Exhibit B – Certified Mail Receipt for 278 Eureka Street (Ms. White's Address) & List of all Pre-Application Recipients

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

San Francisco, CA 94114

Certified Mail Fee \$3.75

Extra Services & Fees (check box, add fee):
☐ Return Receipt (hardcopy) \$0.00
☐ Return Receipt (electronic) \$0.00
☐ Certified Mail Restricted Delivery \$0.00
☐ Adult Signature Required \$0.00
☐ Adult Signature Restricted Delivery \$0.00

Postage \$0.78

Total Postage and Fees \$4.53

Postmark Here 09/22/2021

Send To: Owner/Resident
 Street and Apt. No., or PO Box No. 278 Eureka St.
 City, State, ZIP+4® San Francisco CA 94114

PS Form 3800, April 2015 PSN 7530-02-00-9047 See Reverse for Instructions

Unclaimed/Being Returned to Sender

SAN FRANCISCO, CA 94114
 October 16, 2021, 1:27 pm

Available for Redelivery or Pickup

SAN FRANCISCO, CA 94114
 September 29, 2021, 10:42 am

Notice Left (No Authorized Recipient Available)

SAN FRANCISCO, CA 94114
 September 28, 2021, 11:09 am

Arrived at Post Office

SAN FRANCISCO, CA 94141
 September 28, 2021, 5:02 am

Out for Delivery

SAN FRANCISCO, CA 94114
 September 25, 2021, 8:26 am

Exhibit B - continued

272 Eureka: list of addresses Inbox x



Jack Backus

Thu, Nov 10, 8:38 AM



to Sylvia, me, Amornrit ▾

Sylvia:

Attached is a list of all the associations we sent the drawings/ notification to. In addition are the addresses below of the neighboring homes we sent drawings/ notification to. We have certified mail receipt of all this which I can send after my 9am meeting. Just let me know if you want that too.

- 268, 270, 271, 273, 275, 277 278 Eureka Avenue
- 4134 17th Street
- 371, 375, 377, 379, 381 Douglas Street

--

Jack Backus

JACK BACKUS ARCHITECTS

Ph 510.393.9699

www.jbackusarchitects.com

FIRST	LAST	TITLE	ORGANIZATION	ADDRESS	CITY	STATE	ZIP	TELEPHONE	EMAIL	NEIGHBORHOOD OF INTEREST
1 Alex	Lemberg	President	Eureka Valley Neighborhood Association	P.O. Box 14137	San Francisco	CA	94114-2827		0 alex.lemberg@evna.org	Castro/Upper Market
2 Andrea	Alelio	Administrator	Castro Upper Market Community Benefit District	693 14th Street	San Francisco	CA	94114	415-500-1181	ExecDirector@CastroCBD.org	Castro/Upper Market, Haight Ashbury, Noe Valley
3 Bill	Tannenbaum		0 Sharon Street Neighborhood Association	46 Sharon Street	San Francisco	CA	94114	925-890-8841	Btannenbaum@arwa.com	Castro/Upper Market
4 Bruce	Murphy	President	Eureka Valley Trails/Art Network	1281 Quesada Ave	San Francisco	CA	94124-3334	415-863-0207	luckytaowal.sf@gmail.com	Bayview, Castro/Upper Market
5 Dan	Slaughter	President	Mt. Olympus Neighbors Association	379 Upper Terrace	San Francisco	CA	94117	415-532-1800	dan@danslaughtersf.com	Castro/Upper Market, Haight Ashbury
6 Edward	Scruggs		0 Eureka/17th Street Neighbors	4134 17th Street	San Francisco	CA	94114	415-431-4551	jteamj@comcast.net	Castro/Upper Market
7 William	Holtzman	President	Corbett Heights Neighbors	P.O. Box 14493	San Francisco	CA	94114	415-404-9960	info@corbettneighbors.com	Castro/Upper Market, Noe Valley, West of Twin Peaks
8 Jason	Henderson	Vice Chairman	Market/Octavia Community Advisory Comm.	300 Buchanan Street, Apt. 503	San Francisco	CA	94102	415-722-0617	jhenderson@aboglobal.net	Castro/Upper Market, Downtown/Civic Center, Mission, South of Market, Western Addition
7 Joe	Curtin	President	Castro Area Planning + Action	584 Castro Street, Suite 169	San Francisco	CA	94114	415-621-0120		0 Castro/Upper Market
10 Lucia	Bogatay	Board Member	Mission Dolores Neighborhood Association	3676 20th Street	San Francisco	CA	94110	415-863-3950	missiondna@earthlink.net	Castro/Upper Market, Mission
11 Planning and Land Use Committee		0	Dolores Heights Improvement Club-DRC	P.O. Box 14426	San Francisco	CA	94114		0 plu@doloresheights.org	Castro/Upper Market, Mission, Noe Valley
14 David	Troup	President	Duboce Triangle Neighborhood Association	2281 Market Street PMB #301	San Francisco	CA	94114	415-295-1530	president@dtna.org	Castro/Upper Market, Western Addition
15 Priscilla	Botsford	President	Eureka Heights Neighborhood Association	382 Eureka Street	San Francisco	CA	94114	415-643-4414	prbtsford@yahoo.com	Castro/Upper Market
16 Nikolas	Blanchet	Administrator	Castro Merchants	584 Castro Street #333	San Francisco	CA	94114	415-431-2359	info@castromerchants.com	Castro/Upper Market
17 Rafael	Mandelman	Supervisor, District 8	Board of Supervisors	1 Dr. Carlton B Goodlett Place, Room #284	San Francisco	CA	94102-4689	415-554-6968	Rafael.Mandelman@sfgov.org	Castro/Upper Market, Diamond Heights, Glen Park, Noe Valley, Twin Peaks
18 Sean	Quigley	President	Valencia Corridor Merchant Association	766 Valencia Street, 3rd Floor	San Francisco	CA	94110		Kyle Smeallie@sfgov.org; Tom Temprano@sfgov.org; jacob.bintliff@sfgov.org; mandelmanstaff@sfgov.org	Castro/Upper Market, Mission, Potrero Hill
19 Ted	Olson	Member	Market/Octavia Community Advisory Comm.	30 Sharon Street	San Francisco	CA	94114-1709	415-407-0094	0 seanq@paxtongate.com	Castro/Upper Market, Downtown/Civic Center, Mission
20 Craig	Hamburg	President	Hayes Valley Neighborhood Association	400 Grove Street, #E	San Francisco	CA	94102		0 olsonsted@yahoo.com 0 president@hayesvalleyssf.org	Castro/Upper Market, Downtown/Civic Center, Mission, South of Market, Western Addition
21 Antonio	Flores	General Manager	Hotel Zeppelin	545 Post Street	San Francisco	CA		94102 415-447-6960	antonio.flores@viceroymotelgroup.com	Castro/Upper Market, Chinatown, Downtown/Civic Center, Financial District, Nob Hill, North Beach, South of Market, Treasure Island
22 Gary	Weiss	Member	San Francisco Land Use Coalition (SFLUC)	78 Mars Street	San Francisco	CA		94114 415-279-5570	info@sfluc.org	Castro/Upper Market, Diamond Heights, Glen Park, Haight Ashbury, Mission, Noe Valley, South of Market, Twin Peaks, Upper Market, Western Addition
23 Christina	Hanson		0 San Francisco Citizens for Considered Development	355 11th St. Suite 200	San Francisco	CA		94103 415-948-7267	northbaycitizens@gmail.com	Bernal Heights, Castro/Upper Market, Diamond Heights, Marina, Noe Valley, Pacific Heights, Potrero Hill, Presidio, Presidio Heights, Russian Hill, Seaford, South of Market
24 Ramiz	Y		0 Hayes Valley Small Business Association	559 Hayes Street	San Francisco	CA	94102		0 info@hvbaa.org	Castro/Upper Market, Downtown/Civic Center, Mission, South of Market, Western Addition
25 Richard	Johnson		0 Hayes Valley Safe	415 Buchanan St Apt C	San Francisco	CA	94102		0 info@hvsafe.com	Castro/Upper Market, Downtown/Civic Center, Mission, South of Market, Western Addition

Exhibit C – Email from Planner + Revised Plan

From: **Karimzadegan, Niloufar (CPC)** <Niloufar.Karimzadegan@sfgov.org>

Date: Fri, Jan 21, 2022 at 3:23 PM

Subject: 272 Eureka Ave Design Comments

To: Amornrit Pukdeedamrongrit <amornrit@yahoo.com>, Jack Backus <jack@jbackusarchitects.com>

Hello Jack and Amornrit,

I was able to talk to the architect planner yesterday and go over design. As the result of this design review session, please make the following changes:

Ground floor (Labeled on plans as Second Floor) can stay at 10 ft. keeping it a flat roof with no parapets, however starting at the second floor (what is labeled as “Third Floor” on plans), on the north side, at the point where the north neighbor’s lightwell starts, the proposed volume should setback 5 ft. towards the center (toward south) and on the southside, where the new addition starts, the proposed volume should setback 5 ft. towards the center (towards north). Below is a schematic diagram of the floor plan and the rear elevation that addresses the required 5 ft. setback above the 10 ft. volume at the property lines:

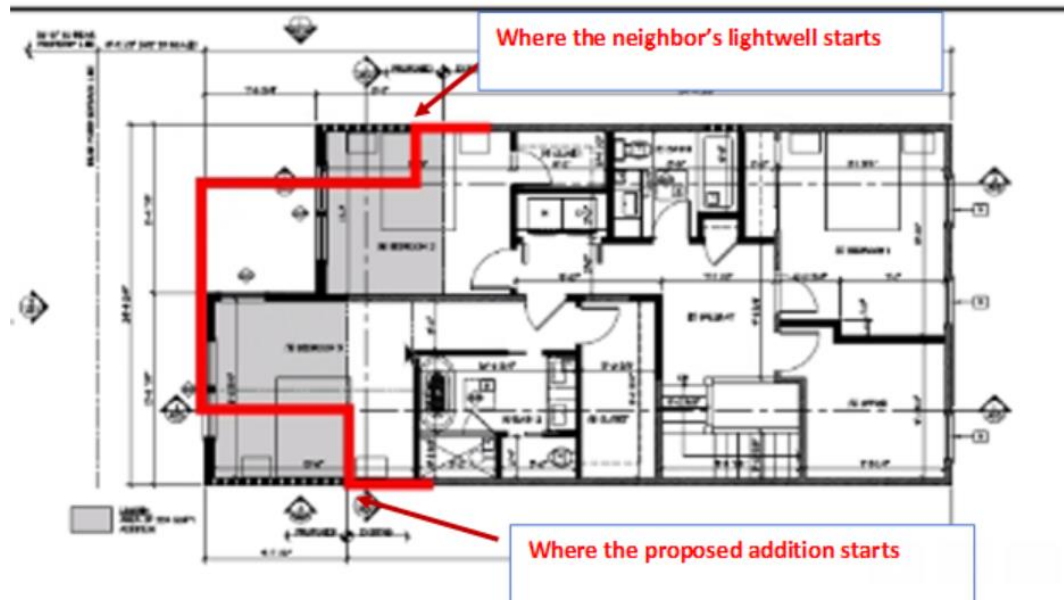


Exhibit C - continued

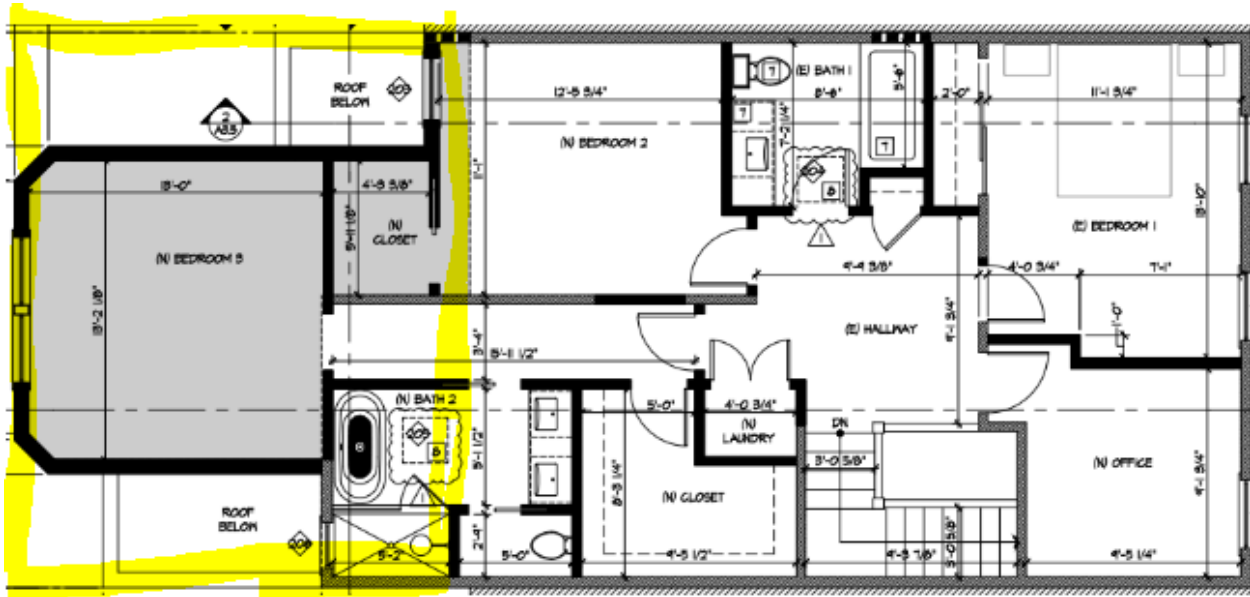


If you decided to include windows on the new elevations facing the north and south neighbors, please consider clerestory windows to protect privacy of the owners and neighbors.

I hope this helps and please let me know if you have any questions.

Have a good weekend,

Exhibit C - continued



Please note highlighted portion which is set-back 5 feet from both neighboring properties.



Please note there is no longer a pitched roof

Exhibit D – Partial 311 Mailing List

X 311 Mailing List - 272 Eureka Street (ID 1300661).xlsx					
Open with ▼					
A	B	C	D	E	F
NAME	NAME II	ADDRESS	CITY	STATE	ZIP
Sally Yu	Jack Backus Architects	1057 Hubert Rd.	Oakland	CA	94610
GREEN HILLS VIEWS LLC		1333 JONES ST UNIT 1101	SAN FRANCISCO	CA	94109
MUNDY FAMILY 2010 TRUST		4442 20TH ST	SAN FRANCISCO	CA	94114
PEDRETTI KEVIN R		4444 20TH ST	SAN FRANCISCO	CA	94114
BARBARA MARIE MICHAEL SEPARATE PR		305 EUREKA ST	SAN FRANCISCO	CA	94114
BERMAN FAMILY REVOC INTV TRUST		267 EUREKA ST	SAN FRANCISCO	CA	94114
VAN DER SLUIS SVEN and SABINE		263 EUREKA ST	SAN FRANCISCO	CA	94114
MAIER BRIAN and WILKINS JEREMY		259-259A EUREKA ST	SAN FRANCISCO	CA	94114
GUNGOR CEMRE		259-259A EUREKA ST	SAN FRANCISCO	CA	94114
OUNG CAROLINE		8 GRESHAM LANE	ATHERTON	CA	94027
BLAKE RESPINI REVOC TR		271 EUREKA ST	SAN FRANCISCO	CA	94114
MEEHAN SEAN B and FREEMAN RICHARD W		273 EUREKA ST	SAN FRANCISCO	CA	94114
DAN and ESZTER RABIN LVG TRUST		275 EUREKA ST	SAN FRANCISCO	CA	94114
PHILL DANIEL		277 EUREKA ST	SAN FRANCISCO	CA	94114
AUDREY R ADELSON LIVING TR		253 EUREKA ST	SAN FRANCISCO	CA	94114
GORDON GRANT and CATALANO NINA		255 EUREKA ST	SAN FRANCISCO	CA	94114
BROWN RICHARD G		238 EUREKA ST	SAN FRANCISCO	CA	94114
MARK ROBERT W		246 EUREKA ST	SAN FRANCISCO	CA	94114
SINGLEY REVOCABLE TRUST		250 EUREKA ST	SAN FRANCISCO	CA	94114
TORI MICHAELA DOWNES LVG TR		254 EUREKA ST	SAN FRANCISCO	CA	94114
FROST 1999 FAMILY TRUST		258 EUREKA ST	SAN FRANCISCO	CA	94114
MCDONALD FAMILY TRUST		264 EUREKA ST	SAN FRANCISCO	CA	94114
SHARONS TRUST		369 HERMANN ST	SAN FRANCISCO	CA	94117
BERMAN FAMILY REVOC INTV TR		267 EUREKA ST	SAN FRANCISCO	CA	94114
MANTEUFFEL MATTHEW W		272 EUREKA ST	SAN FRANCISCO	CA	94114
GINA A WHITE LVG TRUST		278 EUREKA ST	SAN FRANCISCO	CA	94114
PORTER JOSEPH and PORTER MEGAN		282 EUREKA ST	SAN FRANCISCO	CA	94114

Exhibit D - continued

KARLAK DAVID	8866 POPLAR AVE	COTATI	CA	94931
LY MALY THI and DUSCHL TOBIAS JOSEF	292 EUREKA ST	SAN FRANCISCO	CA	94114
PLAUTZ/WELSH 1999 TRUST	4516 20TH ST	SAN FRANCISCO	CA	94114
VICKREY DANIEL	15260 VENTURA BLVD #2100	SHERMAN OAKS	CA	91403
JOHN O and MARJOLAINE C AVERY SURVIVORS TR	4526 20TH ST	SAN FRANCISCO	CA	94114
ZUKOWSKI FMLY REVOC TR	826 AUSTIN AVE	SONOMA	CA	95476
BASARRATE ARMANDO L II and LOUISA G	127 17TH ST NE	ATLANTA	GA	30309
BOGART CRONIN REVOC LIVING TRUST	4540 20TH ST	SAN FRANCISCO	CA	94114
STAIR FAMILY TR-TRUST A	2102 PINEHURST CT	EL CERRITO	CA	94530
MACKEY JOHN and JAQUES ABBY	381 DOUGLASS ST	SAN FRANCISCO	CA	94114
CHRISTOPHER G WESTERGAARD TRUST	379 DOUGLASS ST	SAN FRANCISCO	CA	94114
OWENS ALLISON	375 DOUGLASS ST	SAN FRANCISCO	CA	94114
LOUISE L STEPHENS LVG TR	721 BROAD ST APT 1104	CHATTANOOGA	TN	37402
KING DAVID and MINNA	365 DOUGLASS ST	SAN FRANCISCO	CA	941142432
BERTRAND and DOROTHY BAYLIN FMLY LP	219 UPPER TER	SAN FRANCISCO	CA	94117
JOSEPH C BESECKER 2011 REVOC TR	359 DOUGLASS ST	SAN FRANCISCO	CA	94114
MICHAEL and JOANN HOWARD 2003 FMLY	355 DOUGLASS ST	SAN FRANCISCO	CA	94114
JAMES WILLIAM DE LANGE LVG TR	353 DOUGLASS ST	SAN FRANCISCO	CA	94114
LUNNY FAMILY LVG TR	580 DELLBROOK AVE	SAN FRANCISCO	CA	94131
THE RESIDENT	4440 20TH ST	SAN FRANCISCO	CA	94114
THE RESIDENT	4442 20TH ST	SAN FRANCISCO	CA	94114
THE RESIDENT	4442 20TH ST	SAN FRANCISCO	CA	94114
THE RESIDENT	4444 20TH ST	SAN FRANCISCO	CA	94114
THE RESIDENT	4444 20TH ST	SAN FRANCISCO	CA	94114
THE RESIDENT	4450 20TH ST	SAN FRANCISCO	CA	94114
THE RESIDENT	4448 20TH ST	SAN FRANCISCO	CA	94114
THE RESIDENT	285 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	4448 20TH ST	SAN FRANCISCO	CA	94114
THE RESIDENT	4450 20TH ST	SAN FRANCISCO	CA	94114
THE RESIDENT	267 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	267 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	267A EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	263 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	263 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	259 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	259A EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	259 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	259A EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	245 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	249B EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	249A EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	249 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	247 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	245 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	247 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	249 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	271 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	271 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	273 EUREKA ST	SAN FRANCISCO	CA	94114
THE RESIDENT	275 EUREKA ST	SAN FRANCISCO	CA	94114

Exhibit D - continued

[illegible]

Exhibit D - continued

THE RESIDENT		381 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		381A DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		379 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		377 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		375 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		375 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		377 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		379 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		371 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		371 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		365 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		365 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		363 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		363 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		359 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		359 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		355 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		355 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		353 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		353 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		353A DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		341 DOUGLASS ST	SAN FRANCISCO	CA	94114
THE RESIDENT		341 DOUGLASS ST	SAN FRANCISCO	CA	94114
Castro Area Planning + Action	Joe Curtin	584 Castro Street, Suite 169	San Francisco	CA	94114
Eureka Heights Neighborhood Association	Priscilla Botsford	382 Eureka Street	San Francisco	CA	94114
Hotel Zeppelin	Antonio Flores	545 Post Street	San Francisco	CA	94102
Market/Octavia Community Advisory Comm.	Jason Henderson	300 Buchanan Street, Apt. 503	San Francisco	CA	94102
Market/Octavia Community Advisory Comm.	Ted Olsson	30 Sharon Street	San Francisco	CA	94114-1709
San Francisco Citizens for Considered Development	Christina Hanson	355 11th St. Suite 200	San Francisco	CA	94103
Valencia Corridor Merchant Association	Sean Quigley	766 Valencia Street, 3rd Floor	San Francisco	CA	94110
Eureka Valley Trails/Art Network	Bruce Murphy	1281 Quesada Ave	San Francisco	CA	94124-3334
Eureka/17th Street Neighbors	Jack Keating	4134 17th Street	San Francisco	CA	94114
Corbett Heights Neighbors	William Holtzman	P.O. Box 14493	San Francisco	CA	94114
Board of Supervisors	Rafael Mandelman	1 Dr. Carlton B Goodlett Place, Room #284	San Francisco	CA	94102-4689
AT&T	Construction and Engineering	359 Washington Street, Room 205	Daly City	CA	94015
Community Design Center	Chuck Turner	5 Thomas Mellon Circle, #128	San Francisco	CA	94134
SF Building and Construction Trades Council	Tim Paulson Rudy Gonzalez	1188 Franklin Street, Ste. 203	San Francisco	CA	94109
-	Aaron Peskin	470 Columbus Avenue, Ste. 211	San Francisco	CA	94133
-	Sue Hestor	870 Market Street, #1128	San Francisco	CA	94102
Carpenters Local 22	Leonard Basoco	2085 Third Street	San Francisco	CA	94107
Coalition for Adequate Review	Mary Miles	364 Page Street, #36	San Francisco	CA	94102
Coalition for San Francisco Neighborhods (CSFN)	George Wooding / Rose Hillson	P.O. Box 156616	San Francisco	CA	94115-6616
Law Office of Stephen M. Williams	Stephen Williams	1934 Divisadero Street	San Francisco	CA	94115
Lozeau Drury LLP	Maya Vishwanath	1939 Harrison Street, Suite 150	Oakland	CA	94612

Exhibit E – Photo of Notice Posted and Declaration of Posting



Exhibit E - continued



San Francisco
Planning

49 South Van Ness Avenue, Suite 1400
San Francisco, CA 94103
www.sfplanning.org

DECLARATION OF POSTING FOR SECTION 311

- I, Matthew Mantouffle, do hereby declare as follows:
1. On April 1, 2022, I posted a public notice on the project site (one on each frontage for through and corner lots) indicating my intention to secure a building permit and describing the extent of the proposed work for the property located at 272 Eureka Street, SF, CA 94114. The public notice was furnished to me by the Planning Department.
 2. After posting the aforementioned notice, I determined that the required notice was posted during the requisite duration between April 1 and May 2, 2022.

Building Application Number: 202108106180

Project Address: 272 Eureka Street, SF, CA 94114

I declare under the penalty of perjury under the laws of the State of California that the foregoing is true and correct.

EXECUTED ON THIS DAY, May 3, 2022,
IN SAN FRANCISCO.

Matthew Mantouffle
Signature

Matthew Mantouffle
Name (Print or Type)

owner
Relationship to Project: e.g. owner, Attorney, Architect, etc.

Submit completed Declaration of Posting immediately to the Project Planner after the expiration date.

Exhibit F – Meg Porter (282 Eureka) Appeal Withdrawal

City & County of San Francisco BOARD OF APPEALS



WITHDRAWAL REQUEST

Instructions:

This form is to be used by appellants/requestors who wish to withdraw their appeal or jurisdiction request. **Please note: when an appeal is withdrawn, the Board loses jurisdiction over the determination at issue and any suspension of the determination will be lifted.**

Once withdrawn, an appeal cannot be reinstated. You are strongly encouraged to contact a Board staff member to discuss the ramifications of withdrawing your appeal prior to submitting this form.

To file a Withdrawal Request, please filled out this form and deliver it to the Board of Appeals in one of the following ways:

Email to: boardofappeals@sfgov.org

The Board will send written confirmation to all parties that the matter has been withdrawn.

Appeal/Jurisdiction Request No(s): 22-082

Address of Subject Property: 272 Eureka Street.

Hearing Date: January 4, 2023, at 5:00 p.m.,

Name of Appellant(s)/
Requestor: Megan and Joe Porter

Phone: 9176581179 Fax: _____

Email: meg@portersonline.com

Please sign below to confirm the following statement:

I/We hereby withdraw this appeal.

The reasons for this action are [optional]:

Meg Porter December 9th 2022
Signature of Appellant or Agent Date

Joe Porter December 9th 2022
Signature of Appellant or Agent Date

Exhibit G – Letter of Support

Support for Permit #20210810680



Inbox x



Jim McDonald <old.sf.stuff@gmail.com>

Sun, Dec 18, 3:11 PM (17 hours ago)



to boardofappeals, me ▼

SUPPORT for Permit #202108106180

My wife and I have lived on Eureka St. for over 50 years, and have known the Manteuffel family since they moved here in the 1980s, there are only a handful residents on the street that have been here that long.


It's nice to see the next generation moving back, and investing in making improvements to the houses and neighborhood. Matt and his wife are doing this for themselves, not like some of the other projects on the street.

The addition that has been approved is very modest and will have very little impact on the neighbors.

We fully support moving forward with the permit that has been granted.

Jim McDonald
264 Eureka St.

Exhibit H – Letter of Support


Support for Permit # 202108106180  Inbox x



Greg Manteuffel <gregmanteuffel1@gmail.com>

1:19 PM (2 hours ago)



to boardofappeals@sfgov.org, me 

I am emailing you in support of Permit # 202108106180.

My name is Greg Manteuffel and my wife and I bought the property at 272 Eureka Street 40 years ago. We lived there where we raised our son Matt. Matt has always lived in that house except when he was away at college. While he was away at college, I moved to Santa Cruz and rented the house as a furnished short term rental. Gina White was the first person to rent the house from me and then bought the house next door at 278 Eureka. Matt returned from college in 2014 and has been living at 272 Eureka since. I love that house and was so happy to hear that Matt and his wife wanted to make it their family home as well. I certainly understand why they want to remodel the house the house. Victorian homes have hardly any closet space and a second bathroom helps when you have a growing family.

I have had a cooperative relationship with Gina White who lives next door at 278 Eureka. We repaired the fence on our property line together and I have referred them to my plumber and gardener. I've trimmed one of their bushes that was over grown and blocking their front window and swept up some their leaves when doing that in front of 272. We haven't been close but we have been good neighbors.

Knowing those houses for 40 years, I do feel that the removal of the large plum tree on our property line in the back will make a big difference in Gina White's indirect light concerns. It is a big tree and has leaves for 10 months of the year. That tree provided a lot of welcome shade in our kitchen in the afternoon and our kitchen is right next to their dining room.

I support the addition and Permit #202108106180 so that Matt and wife can raise my grandchildren in the same home that I raised him in.

Thank you

Greg

Exhibit I – Sun Map (suncalc.org)

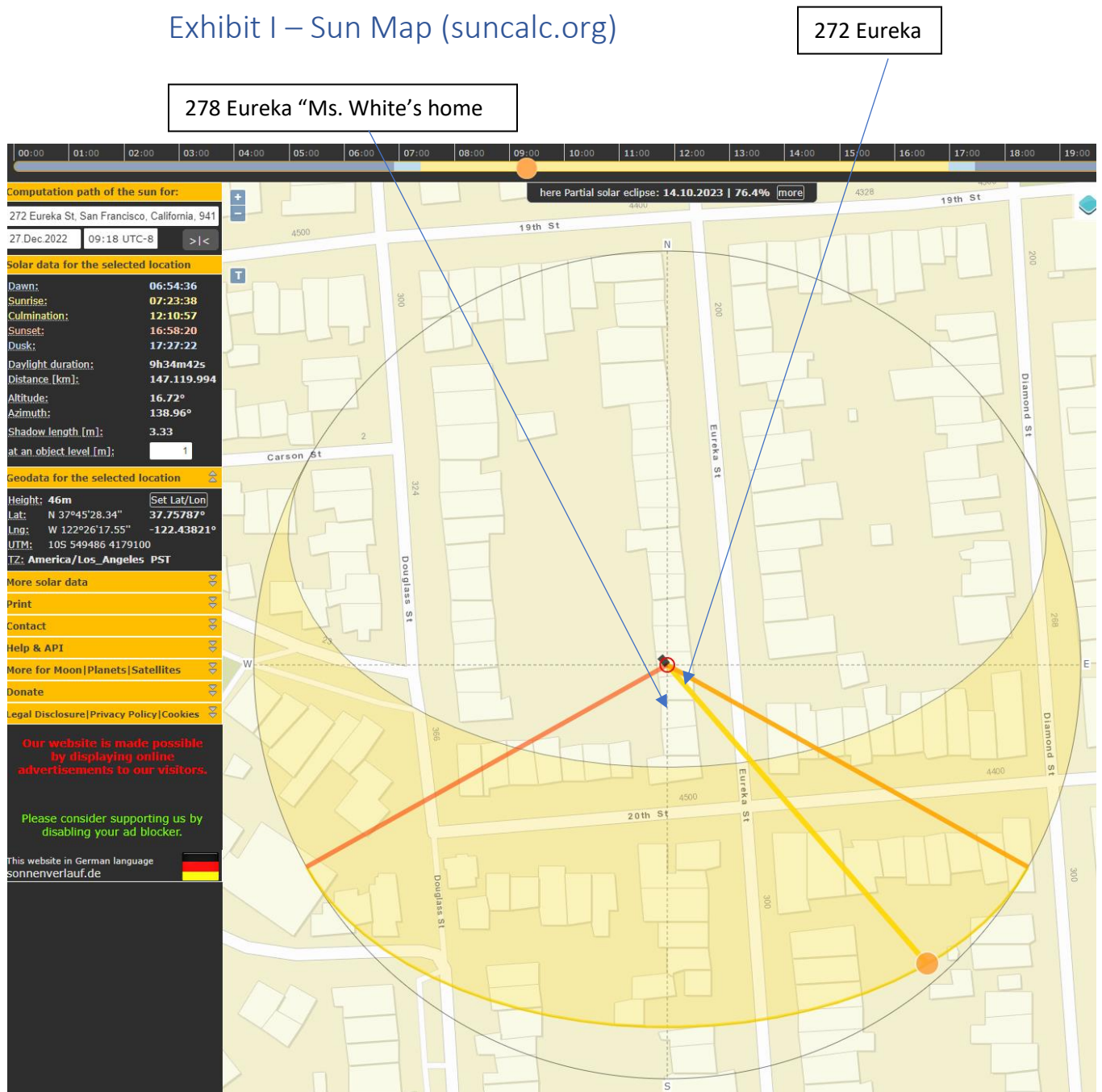


Exhibit J - Aerial



Exhibit K – Addition Relative to Tree

EXHIBIT A - PHOTO FROM KITCHEN

WINDOW



Natural light from the kitchen window. Red dashes show where the construction will block the light.

Exhibit K - continued

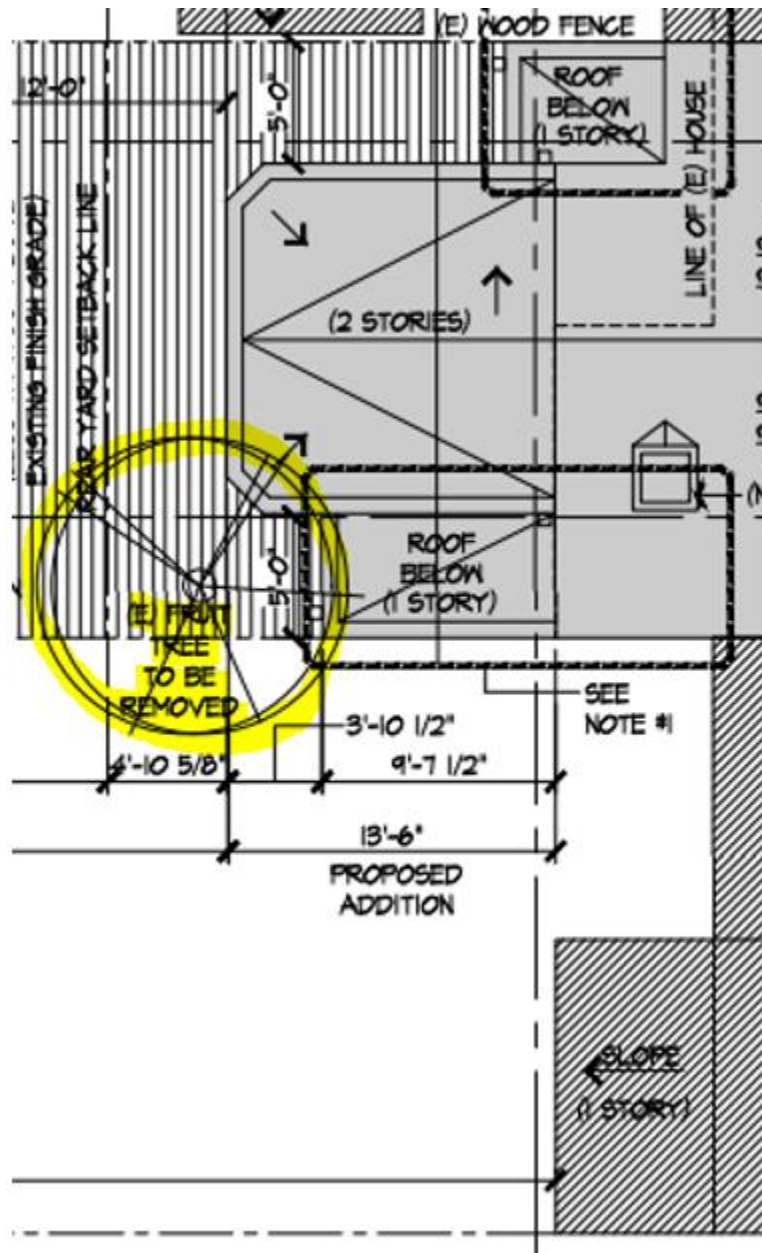
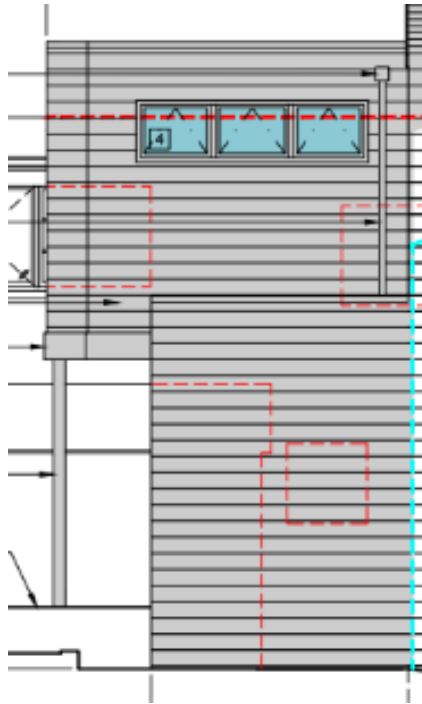
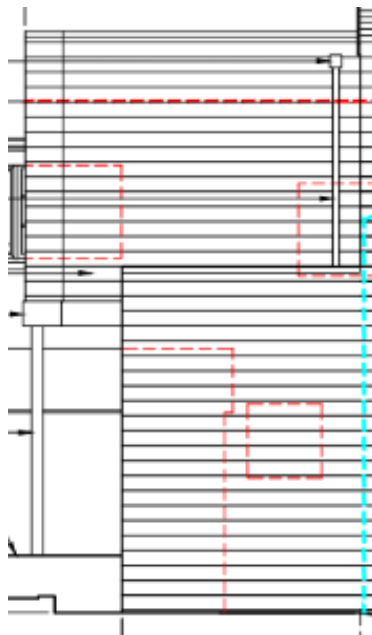


Exhibit L – Initial and Newly Revised Rendering of Windows

Initial



Newly Revised



PHOTOS OF EXISTING PROPERTY / HOUSE



LOOKING AT REAR ELEVATION
TOWARD "LIGHT WELL" AT 268 AND 270 EUREKA STREET



LOOKING AT REAR ELEVATION



AERIAL IMAGE OF REAR ELEVATION



LOOKING AT FRONT ELEVATION



LOOKING AT REAR ELEVATION TOWARD
278 EUREKA STREET



LOOKING AT SIDE (NORTH) ELEVATION OF 268 AND 270 EUREKA STREET

PROJECT INFORMATION

ASSESSORS PARCEL NUMBER:	2699016	HEIGHT AND BULK DISTRICT:	40-X
ZONE:	RH-2	CONSTRUCTION TYPE:	VB
	EXISTING	NEW	TOTAL
TOTAL LOT AREA:	3,062.5 SQ.FT.	NO CHANGE	3,062.5 SQ.FT.
TOTAL FLOOR AREA:			
BASEMENT FLOOR AREA:	919 SQ.FT. (NON-CONDITION)	NO CHANGE	919 SQ.FT. (NON-CONDITION)
FIRST LEVEL FLOOR AREA:	865 SQ.FT.	+224 SQ.FT.	1,084 SQ.FT.
SECOND LEVEL FLOOR AREA:	923 SQ.FT.	+245 SQ.FT.	1,168 SQ.FT.
TOTAL FLOOR AREA:	1,708 SQ.FT. (CONDITION SPACE)	+469 SQ.FT. (CONDITION SPACE)	2,257 SQ.FT. (CONDITION SPACE)
	EXISTING	NEW	
TOTAL LOT COVERAGE:	926 SQ.FT.	1,251 SQ.FT.	
BUILDING HEIGHT:	33'-4"	NO CHANGE	
NUMBER OF STORIES:	3	NO CHANGE	
NUMBER OF PARKING SPACES:	1	NO CHANGE	
NUMBER OF BIKE PARKING SPACES:	1	NO CHANGE	
USABLE OPEN SPACE	1,906 SQ.FT.	1,670 SQ.FT.	
NUMBER OF UNIT AND BEDROOM	1 UNIT WITH 3 BEDROOMS	1 UNIT WITH 3 BEDROOMS	
	MINIMUM SETBACK ALLOWED	EXISTING SETBACK	PROPOSED SETBACK
FRONT YARD (EAST):	4'-9"	9'-5"	NO CHANGE
SIDE YARD (NORTH):	0'-0"	0'-0"	NO CHANGE
SIDE YARD (SOUTH):	0'-0"	0'-0"	NO CHANGE
REAR YARD (WEST):	45% OF LOT DEPTH 125' LOT DEPTH X .45 = 56.25'	14'-8"	61'-2"

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES AND ORDINANCES, ANN UTILITY COMPANY RULES AND REGULATIONS AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.
- CONTRACTOR SHALL FURNISH ALL NECESSARY LINES, LEVELS, LOCATIONS AND MEASUREMENTS TO ALL OF THE WORK AND HE WILL BE HELD RESPONSIBLE FOR THEIR ACCURACY. NO DEPARTURE FROM THE TERMS OF THE CONTRACT WILL BE VALID UNLESS SUCH ORDERS OR DIRECTIONS ARE GIVEN OR CONFIRMED IN WRITING BY THE DESIGNER.
- SUPERVISION: THE CONTRACTOR SHALL BE PRESENT AT THE SITE WHENEVER THE WORK IS IN PROGRESS WHETHER BY HIS OWN OR HIS SUBCONTRACTOR'S FORCES.
- OWNER'S RIGHT TO CARRY OUT WORK: IF THE CONTRACTOR NEGLECTS TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND FAILS TO COMMENCE AND CONTINUE CORRECTION OF SUCH NEGLECT WITH DILIGENCE WITHIN A SEVEN DAY PERIOD AFTER THE RECEIPT OF WRITTEN NOTICE FROM THE OWNER, THE OWNER MAY CORRECT SUCH DEFICIENCIES; IN SUCH CASE THE COST OF CORRECTING SUCH DEFICIENCIES, INCLUDING COMPENSATIONS FOR THE DESIGNER'S ADDITIONAL SERVICES MADE NECESSARY BY SUCH DEFAULT, SHALL BE DEDUCTED FROM PAYMENTS OWED TO THE CONTRACTOR; IF PAYMENTS DUE THE CONTRACTOR ARE NOT SUFFICIENT TO COVER SUCH AMOUNTS, THE CONTRACTOR SHALL PAY THE DIFFERENCE TO THE OWNER.
- IN THE EVENT DISCREPANCIES OCCUR IN THE DRAWINGS, CONTACT THE ARCHITECT FOR RESOLUTION. FAILURE TO CONTACT THE DESIGNER WILL RESULT IN CONTRACTOR BEING RESPONSIBLE FOR SOLUTION.
- THESE PLANS ARE FOR GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED OR FULLY SPECIFIED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO SELECT, VERIFY, RESOLVE AND INSTALL ALL EQUIPMENT.
- THE ARCHITECT WILL NOT BE OBSERVING THE CONSTRUCTION OF THE PROJECT. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE QUALITY CONTROL AND CONSTRUCTION STANDARDS FOR THIS PROJECT UNLESS OTHERWISE NOTED (U.O.N).
- WHERE DISCREPANCIES OCCUR BETWEEN SOILS REPORT, CIVIL, LANDSCAPE OR STRUCTURAL DRAWINGS AND ARCHITECT'S DRAWINGS, CONSULT THE ARCHITECT.
- DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- SPECIAL INSPECTION OR STRUCTURAL OBSERVATION IS NOT A SUBSTITUTE FOR INSPECTION BY THE BUILDING OFFICIAL OR BUILDING INSPECTOR. SPECIALLY INSPECTED WORK THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL AND THE SPECIAL INSPECTOR AND DESIGN ENGINEER IS SUBJECT TO REMOVAL OR EXPOSURE.
- CONTRACTOR SHALL MAINTAIN THE JOB CLEAR OF TRASH AND DEBRIS. CONTRACTOR SHALL PRESENT THE BUILDING TO THE OWNER FOR ACCEPTANCE CLEAN AND READY FOR OCCUPANCY. AS SOON AS CONDITIONS AT THE SITE PERMIT, THE BUILDING SHALL BE CAREFULLY LOCKED UP SO AS TO PREVENT VANDALISM, THEFT AND MALICIOUS MISCHIEF. IF THE GENERAL CONTRACTOR FAILS TO FULFILL HIS CLEANING REQUIREMENTS, THE OWNER MAY CARRY OUT THE WORK IN ACCORDANCE WITH GENERAL REQUIREMENTS.
- ALL CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE AND INFORM THE ARCHITECT OF ANY AND ALL ERRORS, OMISSIONS AND CLARIFICATIONS IN WRITING PRIOR TO COMMENCING WORK. WITHIN 24 HOURS, THE CONTRACTOR MUST NOTIFY THE ARCHITECT IN WRITING OF ANY CONDITION DISCOVERED WHICH MAY CAUSE DELAY IN COMPLETION AND STATE THE PROBLEMS AND RECOMMENDED SOLUTION FOR RESOLVING THE CONDITIONS DISCOVERED. THE ARCHITECT WILL RESPOND BASED ON THE DATA PROVIDED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SURVEYS INCLUDING BUT NOT LIMITED TO EXISTING HVAC DUCTS, PLUMBING AND ELECTRICAL LINES.
- ALL MATERIAL AND EQUIPMENT PROVIDED BY THE CONTRACTOR AND/OR OWNER SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

SHEET INDEX

ARCHITECTURAL SHEETS	(15 SHEETS ISSUED)
A0.1	PROJECT INFORMATION
A0.2	EXISTING AND PROPOSED 3D RENDERINGS
A1.1	EXISTING AND PROPOSED SITE PLAN
A2.1	EXISTING AND PROPOSED BASEMENT LEVEL FLOOR PLAN
A2.2	EXISTING AND PROPOSED FIRST LEVEL FLOOR PLAN
A2.3	EXISTING AND PROPOSED SECOND LEVEL FLOOR PLAN
A3.1	EXISTING AND PROPOSED WEST ELEVATION
A3.2	EXISTING NORTH ELEVATION
A3.2A	PROPOSED NORTH ELEVATION
A3.3	EXISTING SOUTH ELEVATION
A3.3A	PROPOSED SOUTH ELEVATION
A3.4	PROPOSED LATERAL BUILDING SECTION
A3.5	PROPOSED LONGITUDINAL SECTION
A3.6	EXISTING EAST ELEVATION
A005	REQUEST FOR APPROVAL OF LOCAL EQUIVALENCY FOR MODIFICATION

PROJECT DIRECTORY

CLIENT/ OWNER	ARCHITECT
MATTHEW MANTEUFFEL 272 EUREKA STREET SAN FRANCISCO, CA 94114 v. 415.407.1244 e. MANTEUFFEL415@gmail.com	JACK BACKUS ARCHITECTS 1057 HUBERT ROAD OAKLAND, CA 94610 v. 510.393.9699 e. JACK@JBACKUSARCHITECTS.COM
CONTACT: MATTHEW MANTEUFFEL	CONTACT: JACK BACKUS

DESCRIPTION OF THE EXISTING USE AND SITE CONDITIONS

THE EXISTING 2 STORIES (OVER A BASEMENT) SINGLE FAMILY HOME IS LOCATED ON THE WEST SIDE OF EUREKA STREET. THE LOT IS ON A UPHILL SLOPE TOWARD THE REAR OF THE HOUSE.

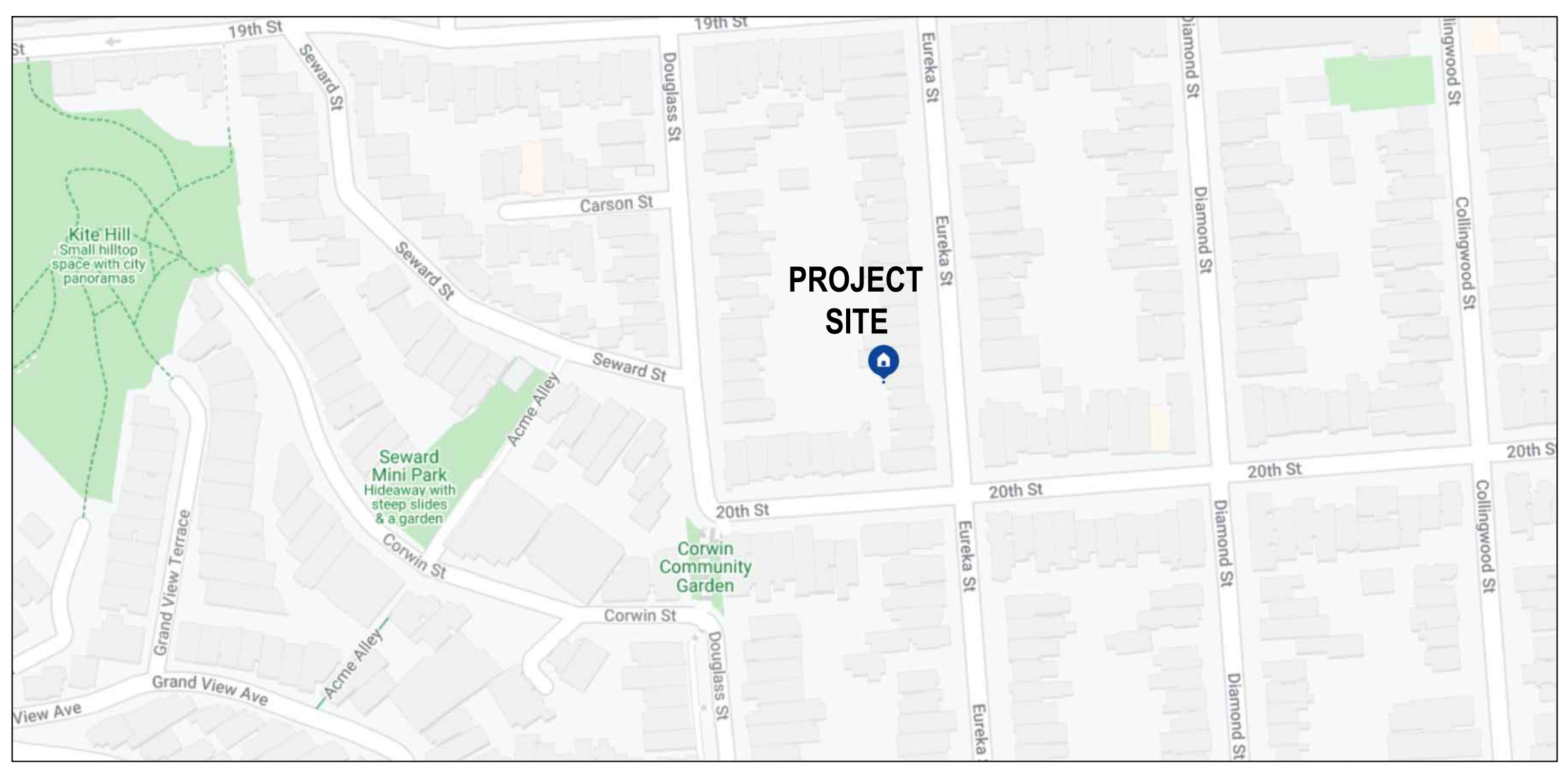
PROJECT SCOPE

- RENOVATION/ ADDITION OF AN EXISTING 3 BEDROOMS AND 1.5 BATHS SINGLE FAMILY HOUSE.
- NEW ADDITION TO INCLUDE THE FOLLOWING:
- FIRST LEVEL- EXTEND THE FIRST LEVEL APPROXIMATELY 9'-1 1/2' TOWARD THE REAR OF THE PROPERTY, ADDING 224 SQ.FT. TO THE FIRST LEVEL FLOOR AREA. EXISTING POWDER ROOM TO BE RELOCATED. EXISTING KITCHEN TO BE RENOVATED. EXISTING WOOD DECK TO BE DEMOLISHED AND REPLACED WITH A NEW WOOD DECK. SLIDING DOOR AND NEW WINDOW TO BE ADDED TO THE REAR ELEVATION.
- SECOND LEVEL- EXTEND THE SECOND LEVEL APPROXIMATELY 18'-0 5/8" TOWARD THE REAR OF THE PROPERTY, ADDING 245 SQ.FT. TO THE SECOND LEVEL FLOOR AREA. EXISTING BATHROOM TO BE RENOVATED. 1 BATHROOM TO BE ADDED TO THE SECOND LEVEL. EXISTING WALK-IN CLOSET TO BE EXPANDED AND CONVERTED TO A NEW OFFICE. NEW LAUNDRY CLOSET WILL ALSO BE ADDED.
- EXCAVATION- APPROXIMATELY 2 CUBIC YARD TOTAL SOIL DISTURBANCE
2'-6" MAXIMUM DEPTH OF EXCAVATION

CODE COMPLIANCE NOTES

ALL CONSTRUCTION, REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE, 2019 CALIFORNIA BUILDING ENERGY STANDARDS AND 2019 CALGREEN.

VICINITY MAP



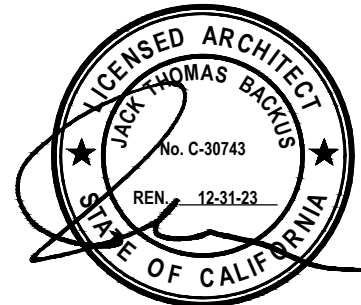
272 EUREKA
STREET

ADDITION

272 Eureka Street
San Francisco, CA 94114
APN: 2699016

JACK BACKUS
ARCHITECTS

1057 Hubert Road
Oakland, CA 94610
ph. 510.393.9699

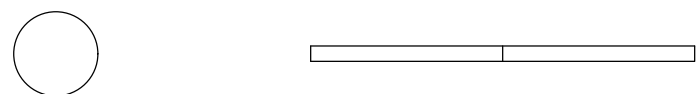


ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	08.09.2021	PLANNING PERMIT SET
2.	11.22.2021	PLANNING PERMIT REVISIONS
3.	02.21.2022	PLANNING PERMIT REVISIONS
4.	08.01.2022	PLAN REVIEW COMMENTS DELTA 1

SHEET TITLE
PROJECT INFORMATION

SCALE



SHEET NUMBER

A0.1

EXISTING



PROPOSED



EXISTING



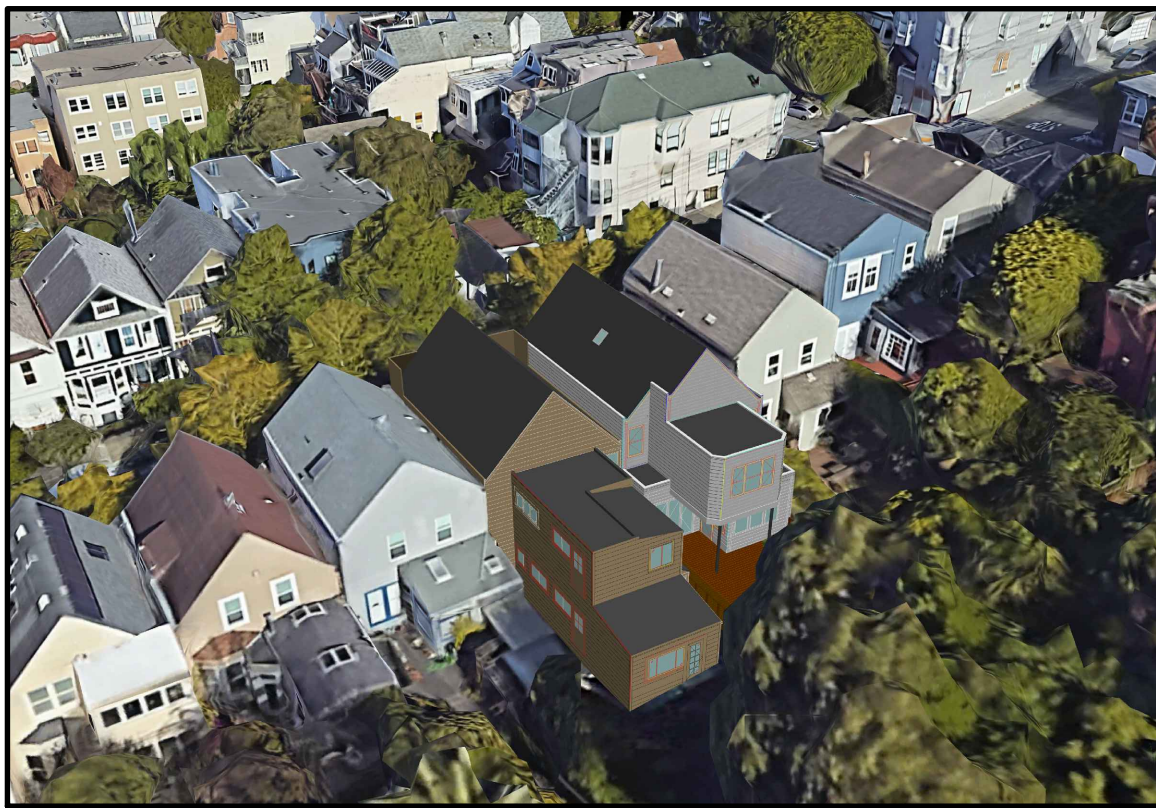
PROPOSED



EXISTING



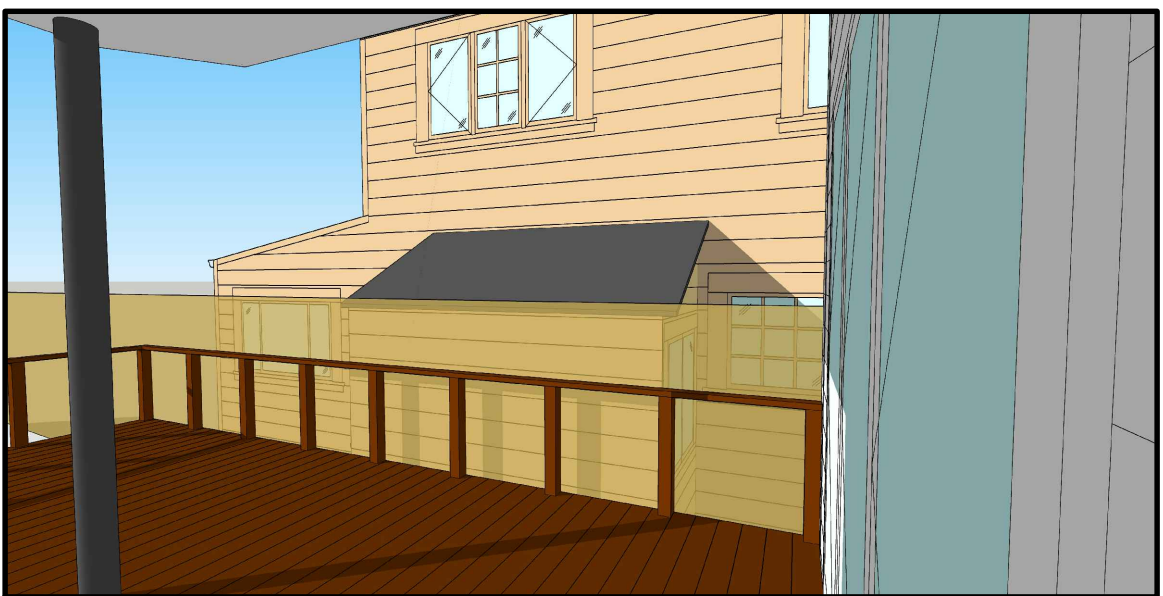
PROPOSED



EXISTING



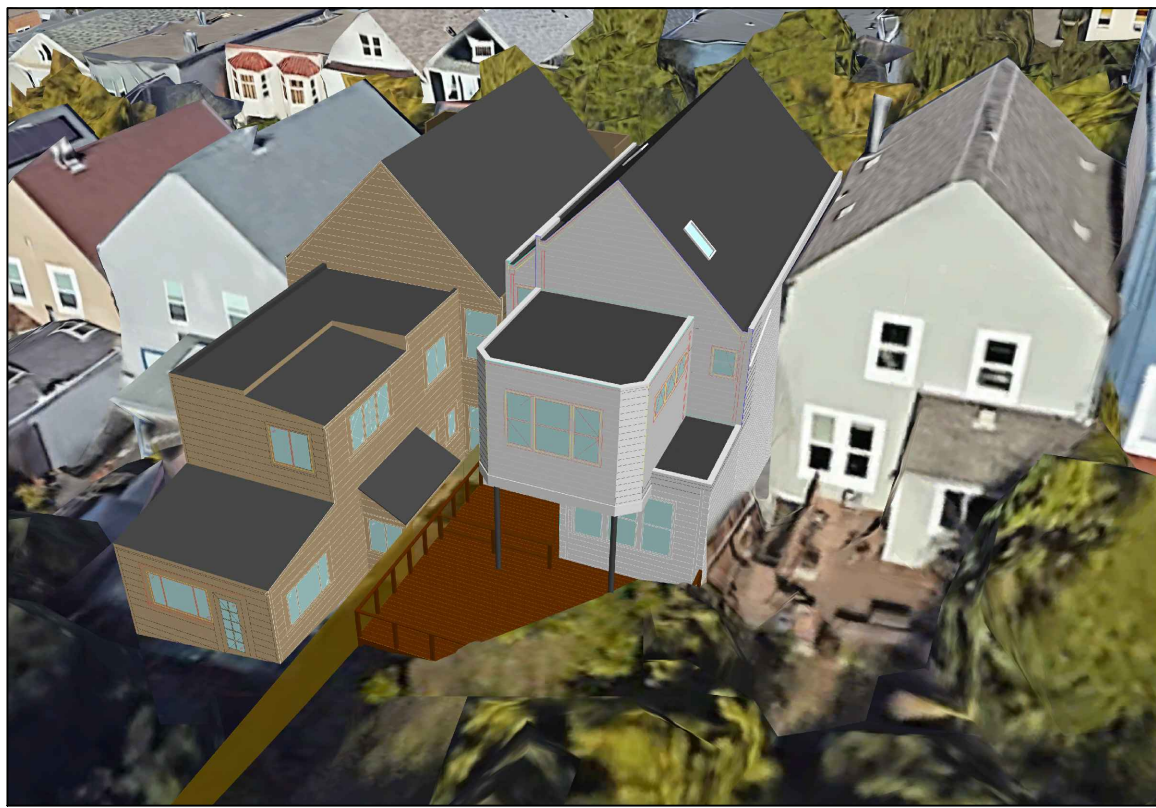
PROPOSED



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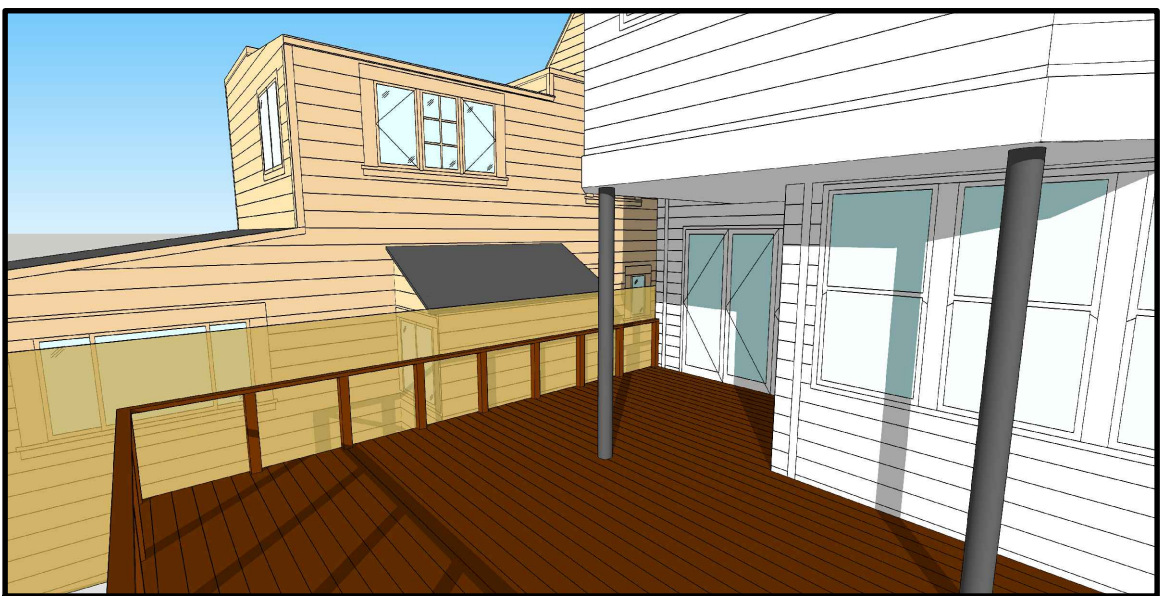
PROPOSED



EXISTING



PROPOSED



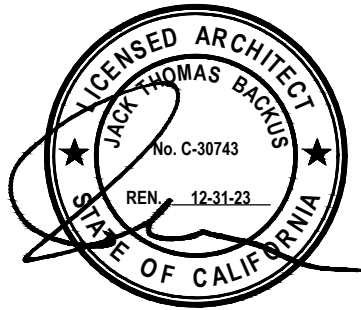
272 EUREKA STREET

ADDITION

272 Eureka Street
San Francisco, CA 94114
APN: 2699016

JACK BACKUS
ARCHITECTS

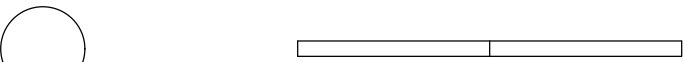
1057 Hubert Road
Oakland, CA 94610
ph. 510.393.9699



ISSUES AND REVISIONS		
NO.	DATE	DESCRIPTION
1.	08.09.2021	PLANNING PERMIT SET
2.	11.22.2021	PLANNING PERMIT REVISIONS
4.	08.01.2022	PLAN REVIEW COMMENTS DELTA 1

SHEET TITLE
EXISTING AND PROPOSED
3 DIMENSIONAL RENDERINGS

SCALE



SHEET NUMBER

A0.2

2

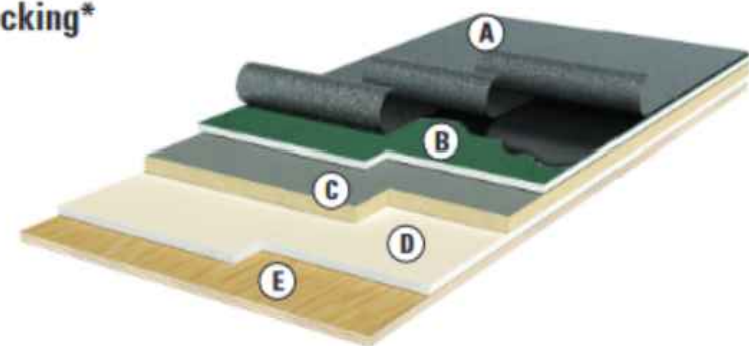
PROPOSED SITE PLAN
1/8"=1'-0"

SHEET NOTE:

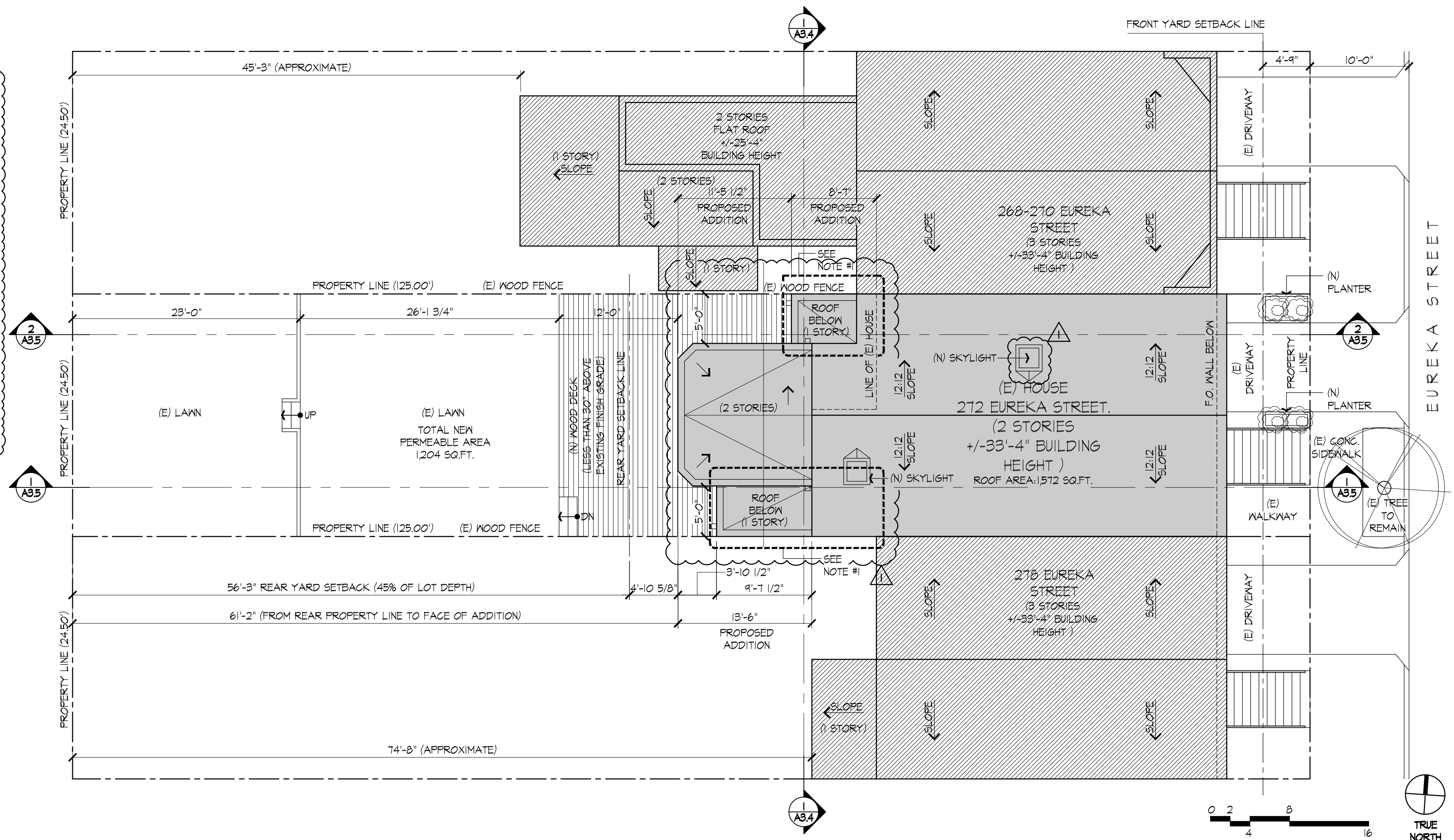
#1: SEE DETAIL BELOW FOR 1 HR. RATED ROOF ASSEMBLY FOR ALL NEW ROOF AREA WITHIN 5'-0" OF PROPERTY LINE.

Typical UL Fire Barrier Board Classification on Combustible Decking*

- A. UL Classified Roof Covering
- B. Min. 1/4" (6.4 mm) DensDeck Prime Roof Board
- C. UL Classified Insulation (optional)
- D. Minimum 1/4" (6.4 mm) DensDeck Roof Board serving as an insulation thermal barrier overlayment with all joints staggered a min. of 6" (152 mm) from the plywood joints.
- E. Classified Wood Deck

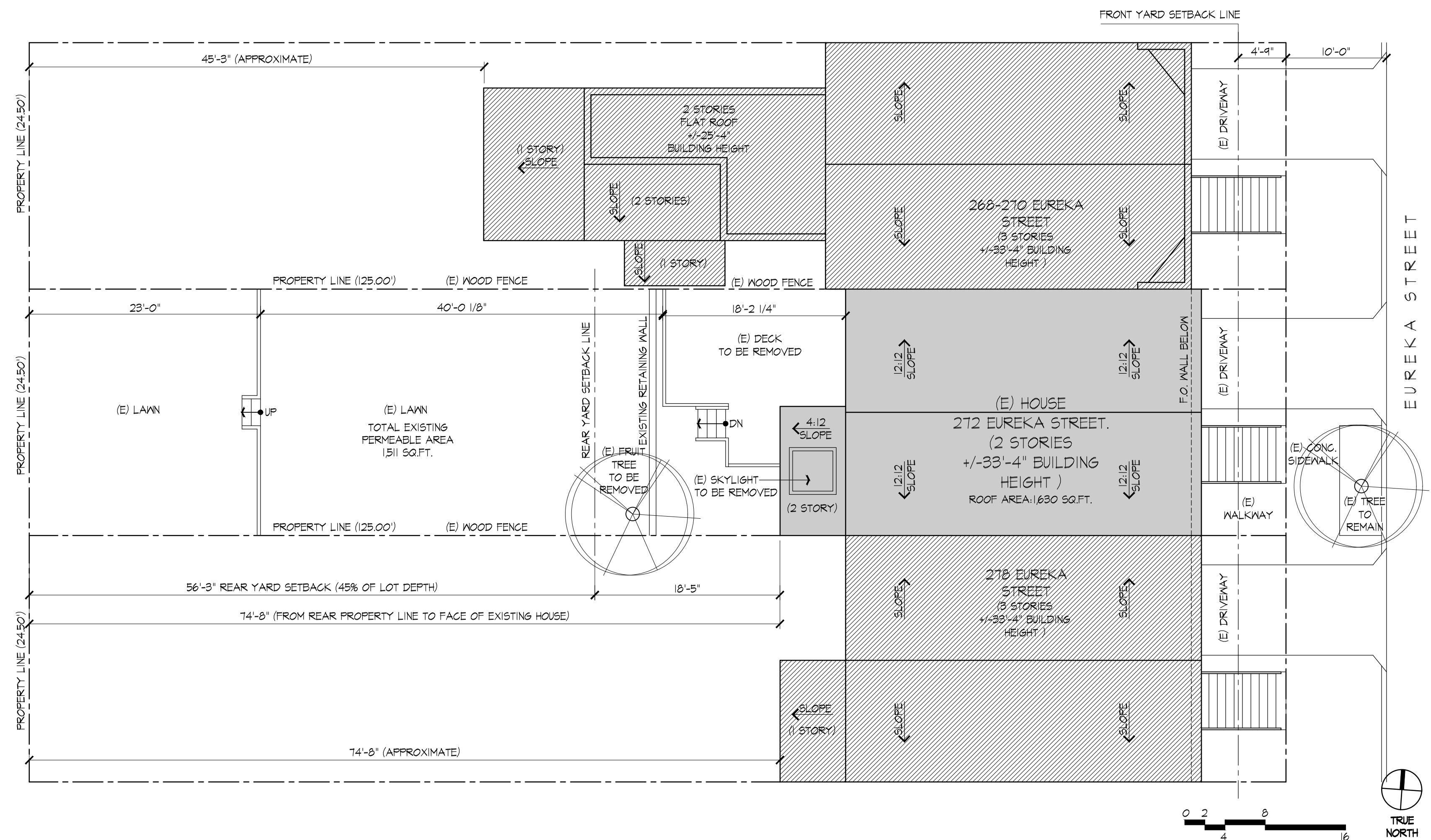


*Note: The UL 790 classification for DensDeck provides that the use of DensDeck roof boards as a barrier board over a combustible deck permits the use of any classified roofing system which would otherwise be limited to use over a noncombustible deck. When used, the insulation must consist of one of the types specified. For additional information, consult the UL certifications directory under category TGFU (Roofing Systems).



1

EXISTING SITE PLAN
1/8"=1'-0"



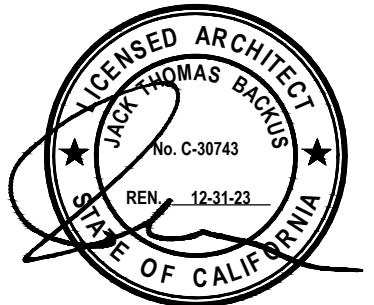
272 EUREKA STREET

ADDITION

272 Eureka Street
San Francisco, CA 94114
APN: 2699016

JACK BACKUS
ARCHITECTS

1057 Hubert Road
Oakland, CA 94610
ph. 510.393.9699



ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	08.09.2021	PLANNING PERMIT SET
2.	11.22.2021	PLANNING PERMIT REVISIONS
3.	02.21.2022	PLANNING PERMIT REVISIONS
4.	08.01.2022	PLAN REVIEW COMMENTS DELTA 1

SHEET TITLE

EXISTING AND PROPOSED SITE PLAN

SCALE



SHEET NUMBER

A1.1

KEY NOTES: PROPOSED PLAN

- (N) WOOD GLAD WINDOW SEE WINDOW SCHEDULE
- (N) WOOD GLAD DOOR, SEE DOOR SCHEDULE
- (N) WOOD INTERIOR DOOR
- (N) STAIRS:
RISERS @ 7 3/4" MAX.
(WITH A MAX. VARIATION OF 3/8")
TREADS @ 10" MIN.
- (N) WOOD DECK, TOP OF DECK IS LESS THAN
30" ABOVE FINISH GRADE
- (N) KITCHEN CABINETS, APPLIANCES AND FIXTURES
- (N) BATH FIXTURES
- (N) SKYLIGHT ABOVE. SKYLIGHT MUST BE AT LEAST 5'-0"
FROM THE INTERIOR SIDE OF THE EXTERIOR WALL.
- (N) SOLID CORE WOOD DOOR WITH SELF CLOSING AND
LATCHING

2 PROPOSED BASEMENT LEVEL FLOOR PLAN
1/4"=1'-0"

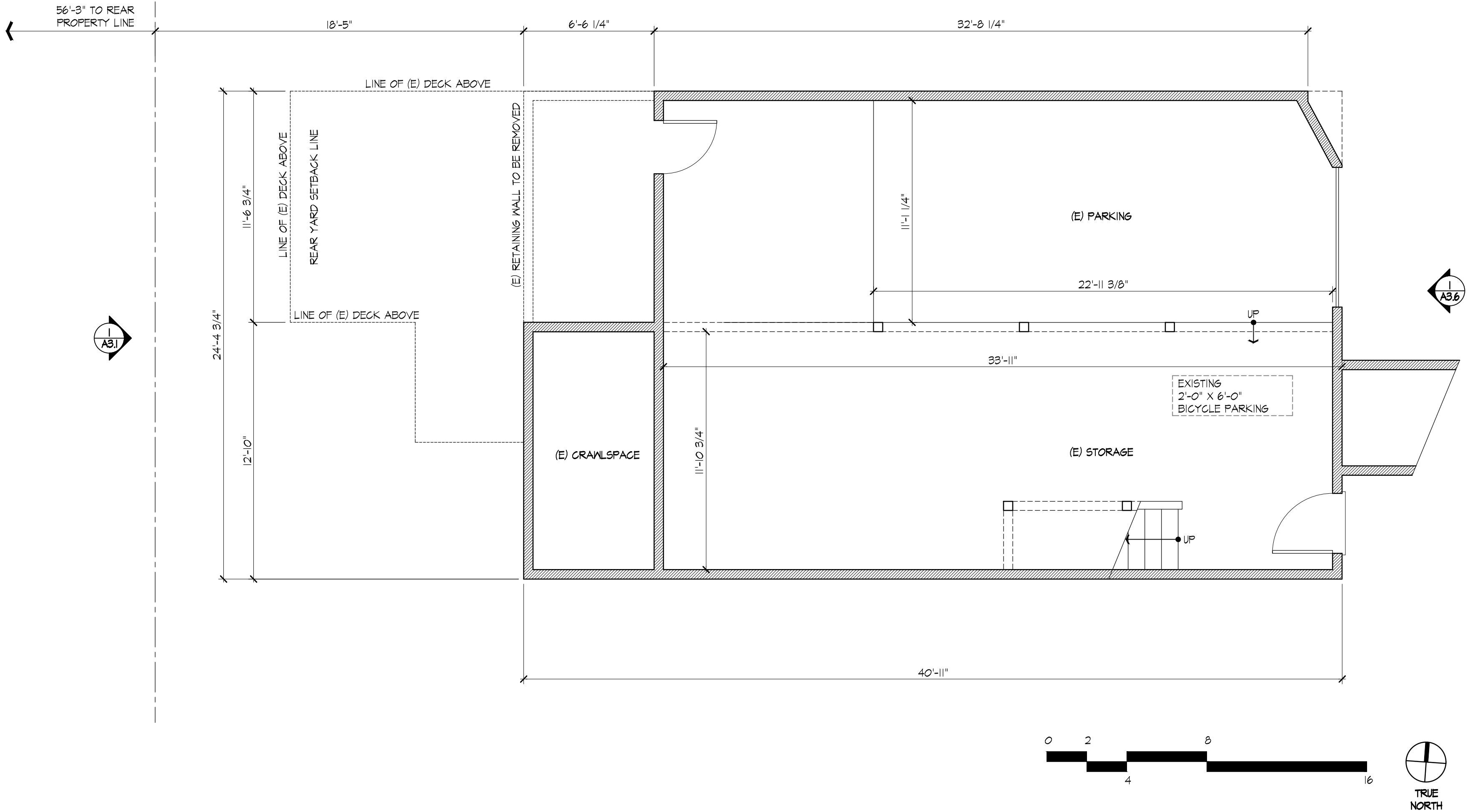
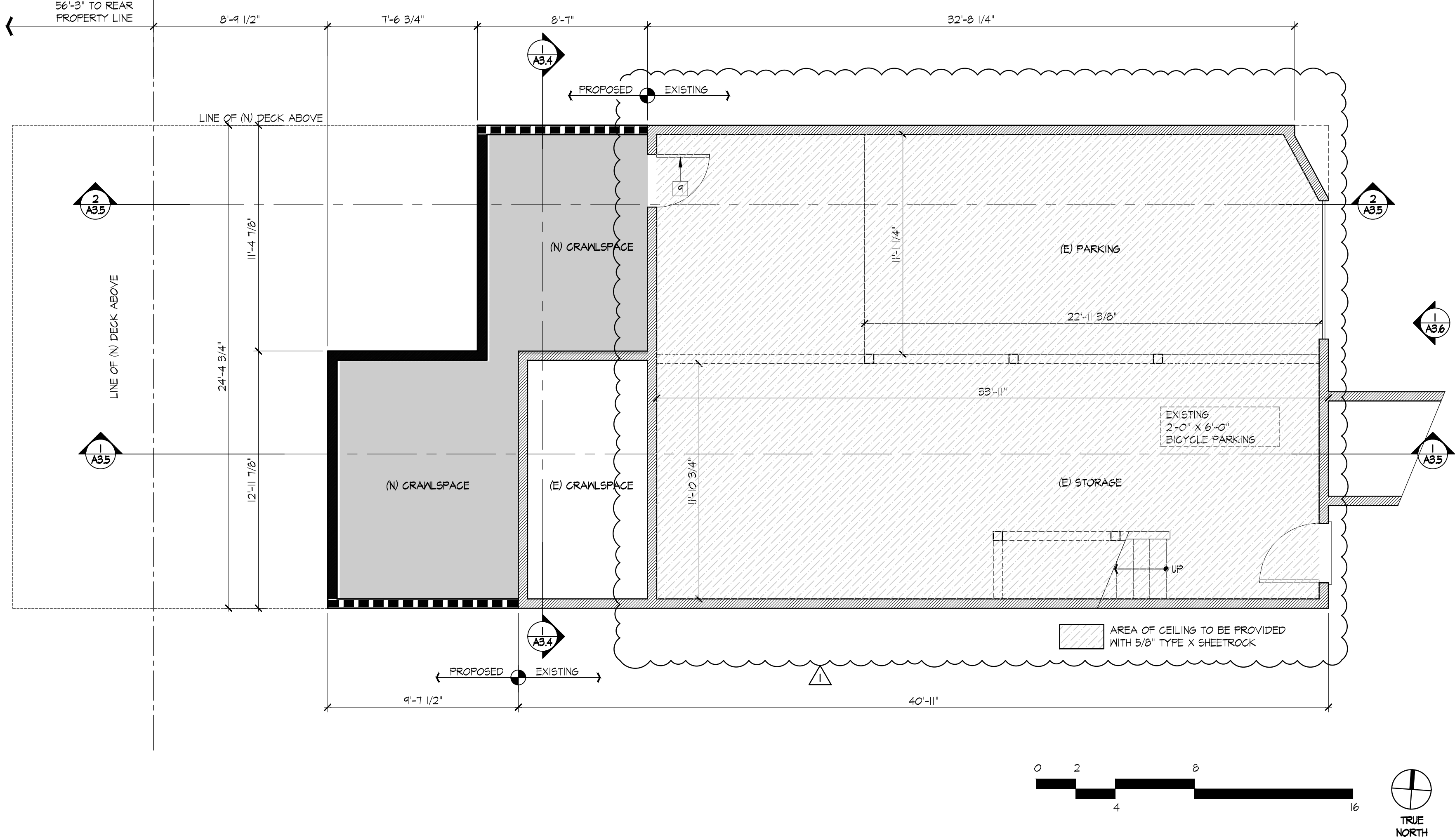
KEY NOTES: EXISTING PLAN

- (E) WINDOW TO REMAIN
- (E) WINDOW TO BE REMOVED
- (E) DOOR TO BE REMOVED
- (E) WOOD DECK TO BE REMOVED
- (E) WOOD STAIRS TO BE REMOVED
- (E) KITCHEN CABINETS, APPLIANCES
AND FIXTURES TO BE REMOVED
- (E) BATH FIXTURES TO BE REMOVED

LEGEND:

- TO BE REMOVED/DEMOLISHED
- EXISTING (E) WALL
- NEW (N) WALL
- NEW (N) 1 HOUR RATED WALL

1 EXISTING BASEMENT LEVEL FLOOR PLAN
1/4"=1'-0"



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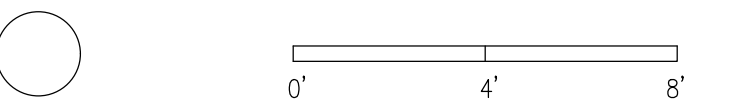
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SHEET TITLE
EXISTING AND PROPOSED
BASEMENT LEVEL FLOOR PLAN

SCALE



SHEET NUMBER

A2.1

WINDOW AND DOOR SCHEDULE	
WINDOWS	
REFER TO ELEVATIONS FOR OPERATION (STATIONARY VS. OPERATING) AND DIRECTION OF OPERATION. ALL WINDOW TO BE DOUBLE PANE. INTERIOR SIDE PANE TO BE TEMPERED GLASS, U.G.N.	
ALL DIMENSIONS TO BE VERIFY BY GENERAL CONTRACTOR	
EMERGENCY EGRESS WINDOW: -MIN. NET CLEAR OPENING OF 5.7 SQ.FT. -OPENING HEIGHT MUST BE AT LEAST 24" -OPENING WIDTH MUST BE MIN. OF 20" -BOTTOM OF THE CLEAR OPENING MUST BE MAX. OF 44" ABOVE THE FLOOR. -WINDOW MUST BE OPERATIONAL FROM THE INSIDE WITHOUT KEYS OR TOOLS.	
101	NEW WOOD CLAD (B) SINGLE HUNG WINDOW 8'-10" W x 5'-0" H.
102	NEW WOOD CLAD SINGLE HUNG WINDOW 2'-6" W x 5'-0" H. TEMPERED GLASS
DOORS	
REFER TO ELEVATIONS FOR OPERATION AND DIRECTION OF OPERATION. THRESHOLD SHALL NOT EXCEED 1 1/2" FOR OUT SWING DOORS THAT ARE THE REQUIRED MEANS OF EGRESS. THE LANDING ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. THE DEPTH OF LANDING AT ALL EXTERIOR DOOR SHALL BE 36" MINIMUM.	
ALL DIMENSIONS TO BE VERIFY BY GENERAL CONTRACTOR	
A	NEW OUT-SWING WOOD CLAD DOOR 3'-0" W x 8'-0" H. TEMPERED GLASS
B	NEW MULTI FOLDING WOOD CLAD DOOR 8'-0" W x 8'-0" H. TEMPERED GLASS

NEW 1 HOUR RATED EXTERIOR WALL DETAIL	
UL V340	
2 X WALL FRAMING, S.S.D.	
MINERAL WOOL INSULATION, SEE TITLE 24 CALCULATION	
PLYWOOD SHEATHING	
ENGINEERED COMPOSITE WOOD SIDING OVER "TYVEK" HOUSE WRAP OVER 1 SIDED LP FLAMEBLOCK SHEATHING	
5/8" TYPE X GYPSUM	

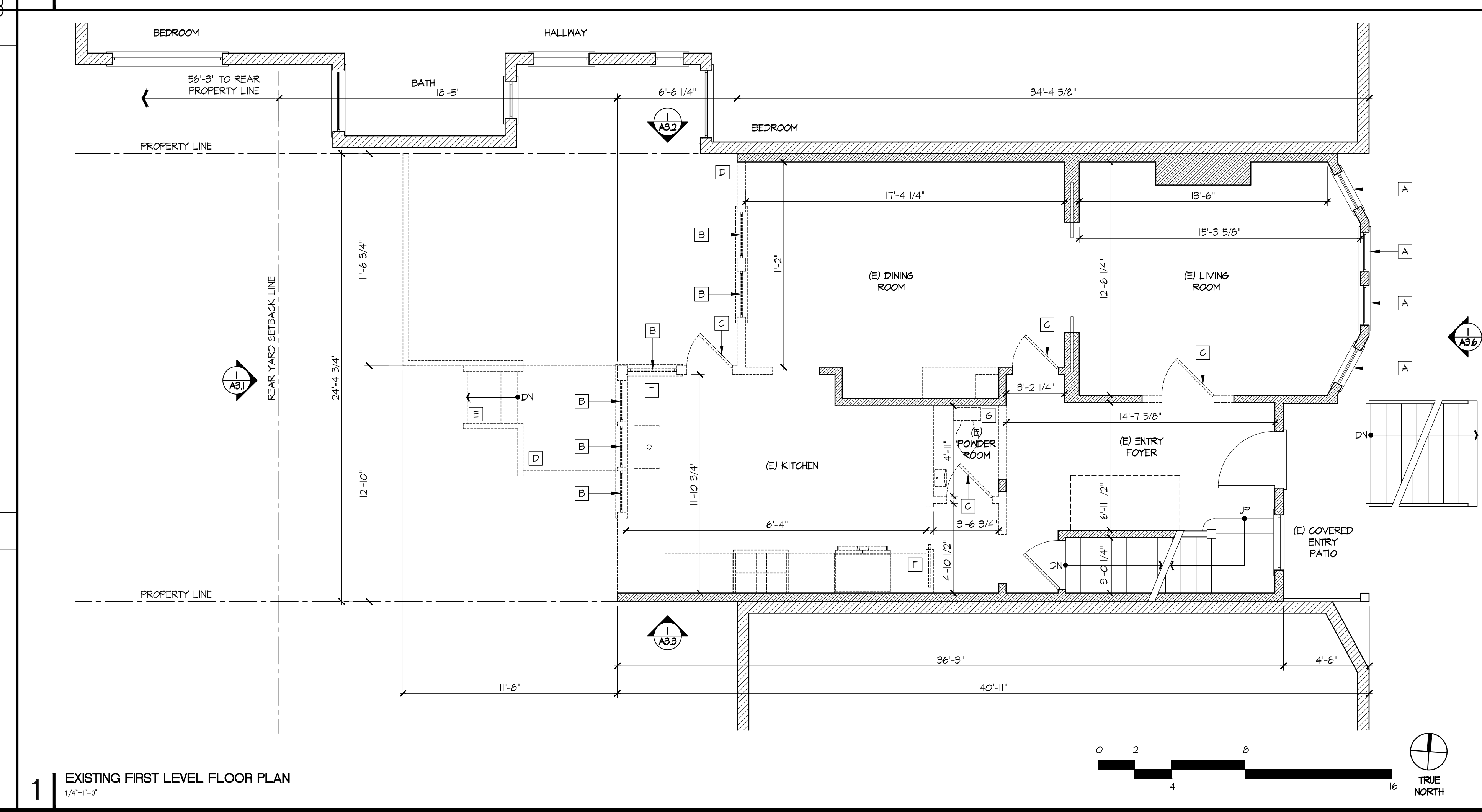
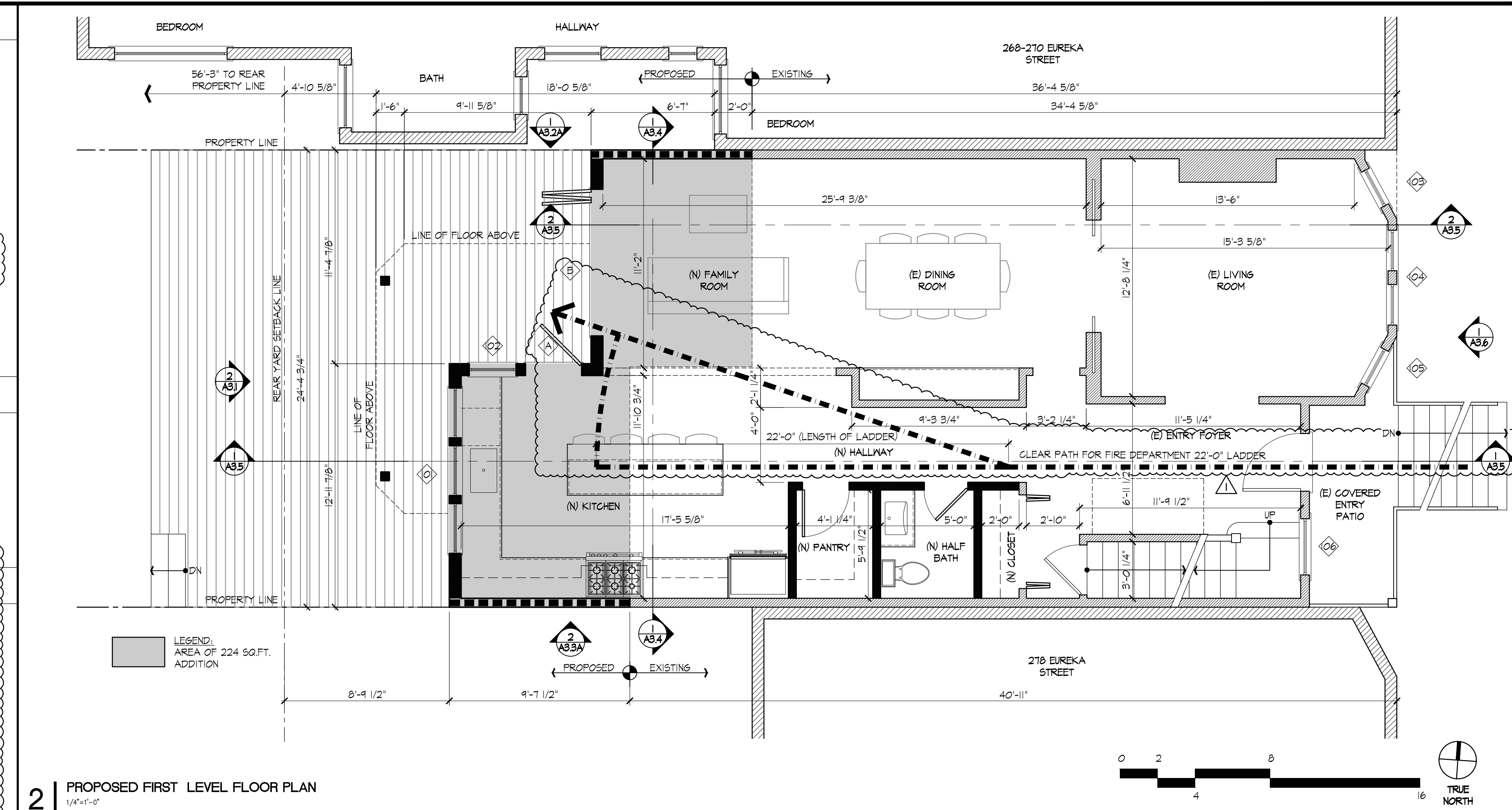
BATHROOM AND PLUMBING NOTES	
ANY NEW OR REPLACED WATER-FILLER VALVE IN BATHTUBS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET AT A MAX. OF 120 F. (CFC 402.3, 404.4)	
THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15" ON CENTER) AND 24 INCHES IN FRONT. (CFC 402.5) WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLOOR, THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT. (CFC 402.2)	
TEMPERED GLAZING TO BE INSTALLED WITHIN A PORTION OF WALL ENCLOSING A TUB/ SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE STANDING SURFACE AND DRAIN INLET AND WITHIN 60" OF A TUB. TEMPERED GLAZING SHALL BE PERMANENTLY IDENTIFIED BY A MANUFACTURER MARKING THAT IS PERMANENTLY APPLIED AND CANNOT BE REMOVED WITHOUT BEING DESTROYED.	
TUB WALLS TO BE A SMOOTH, HARD, NONABSORBENT SURFACE (E.G., CERAMIC TILE) OVER A MOISTURE RESISTANT UNDERLAYMENT (CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS) TO A HEIGHT OF 12 INCHES ABOVE FINISH FLOOR.	
ALL NEW AND EXISTING NON-COMPLIANT PLUMBING FIXTURES THROUGHOUT THE HOUSE TO BE WATER-CONSERVING PLUMBING FIXTURE.	
WATER CLOSETS: THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.	
SINGLE SHOWERHEAD: SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.	
RESIDENTIAL LAVATORY FAUCETS: THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.	
KITCHEN FAUCETS: THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.	
MINIMUM 1" THICK PIPE INSULATION SHALL BE INSTALLED ON ALL NEWLY INSTALLED AND ACCESSIBLE EXISTING HOT WATER PIPING.	

KEY NOTES: PROPOSED PLAN	
1	(N) WOOD CLAD WINDOW, SEE WINDOW SCHEDULE
2	(N) WOOD CLAD DOOR, SEE DOOR SCHEDULE
3	(N) WOOD INTERIOR DOOR
4	(N) STAIRS: RISERS @ 7 3/4" MAX. (WITH A MAX. VARIATION OF 3/8") TREADS @ 10" MIN.
5	(N) WOOD DECK, TOP OF DECK IS LESS THAN 30" ABOVE FINISH GRADE
6	(N) KITCHEN CABINETS, APPLIANCES AND FIXTURES
7	(N) BATH FIXTURES
8	(N) SKYLIGHT ABOVE. SKYLIGHT MUST BE AT LEAST 5'-0" FROM THE INTERIOR SIDE OF THE EXTERIOR WALL.
9	(N) SOLID CORE WOOD DOOR WITH SELF CLOSING AND LATCHING

NEW 1 HOUR RATED EXTERIOR WALL DETAIL	
UL V340	
2 X WALL FRAMING, S.S.D.	
MINERAL WOOL INSULATION, SEE TITLE 24 CALCULATION	
PLYWOOD SHEATHING	
ENGINEERED COMPOSITE WOOD SIDING OVER "TYVEK" HOUSE WRAP OVER 1 SIDED LP FLAMEBLOCK SHEATHING	
5/8" TYPE X GYPSUM	

KEY NOTES: EXISTING PLAN	
A	(E) WINDOW TO REMAIN
B	(E) WINDOW TO BE REMOVED
C	(E) DOOR TO BE REMOVED
D	(E) WOOD DECK TO BE REMOVED
E	(E) WOOD STAIRS TO BE REMOVED
F	(E) KITCHEN CABINETS, APPLIANCES AND FIXTURES TO BE REMOVED
G	(E) BATH FIXTURES TO BE REMOVED

LEGEND:	
-----	TO BE REMOVED/DEMOLISHED
=====	EXISTING (E) WALL
=====	NEW (N) WALL
=====	NEW (N) 1 HOUR RATED WALL SEE DETAIL ABOVE



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SHEET TITLE
EXISTING AND PROPOSED
FIRST LEVEL FLOOR PLAN

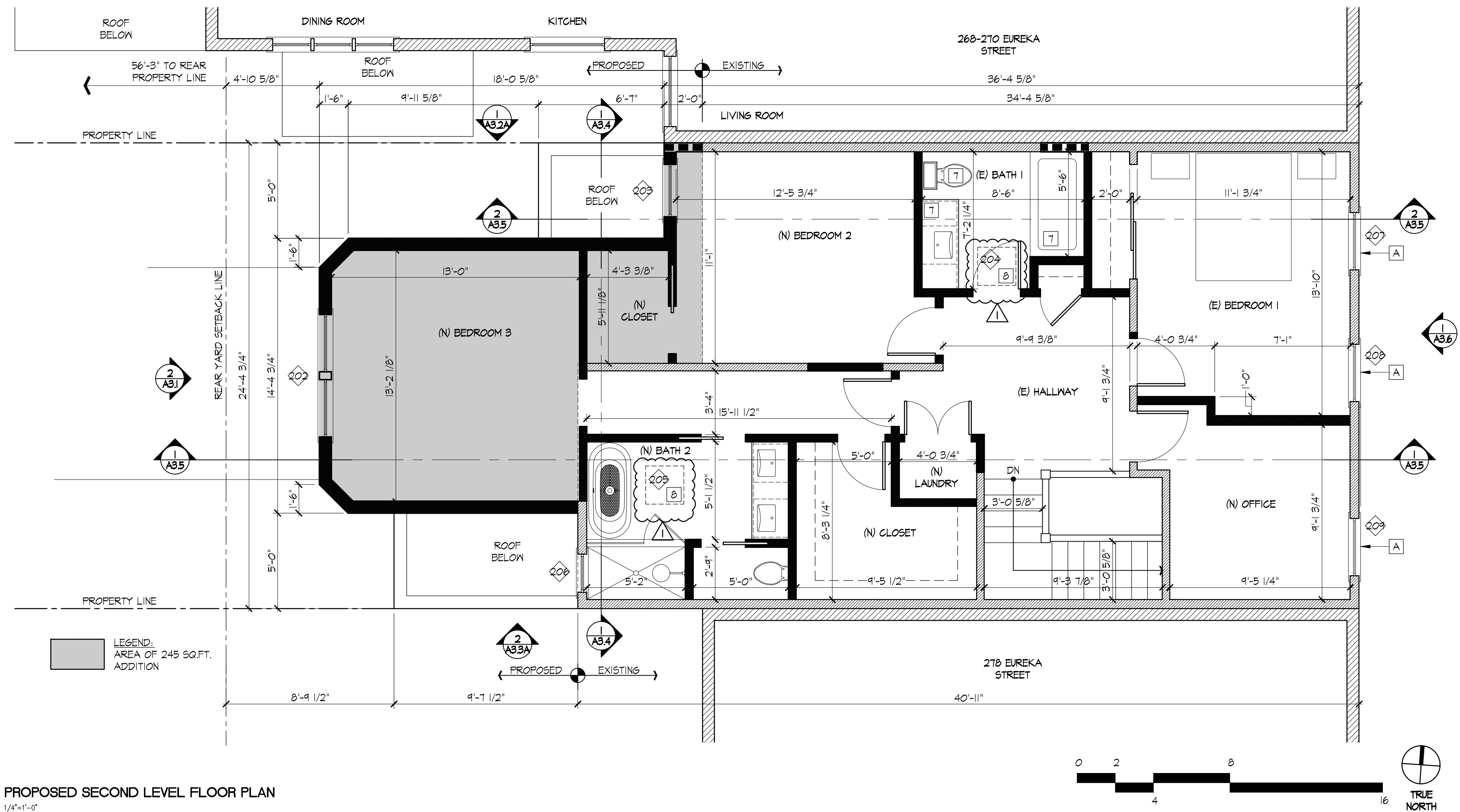
SCALE
0' 4' 8'

SHEET NUMBER

A2.2





201	NOT USE.
202	NEW WOOD GLAD CASEMENT WINDOW 6'-5 1/2" x 5'-0", EERO WINDOW
203	NEW WOOD GLAD CASEMENT WINDOW 2'-4" x 5'-0", EERO WINDOW
204	NEW FIXED SKYLIGHT 2'-0" x 2'-0".
205	NEW FIXED SKYLIGHT 2'-0" x 2'-0".
206	NEW VINYL AWING WINDOW 2'-0" x 2'-0", TEMPERED GLASS

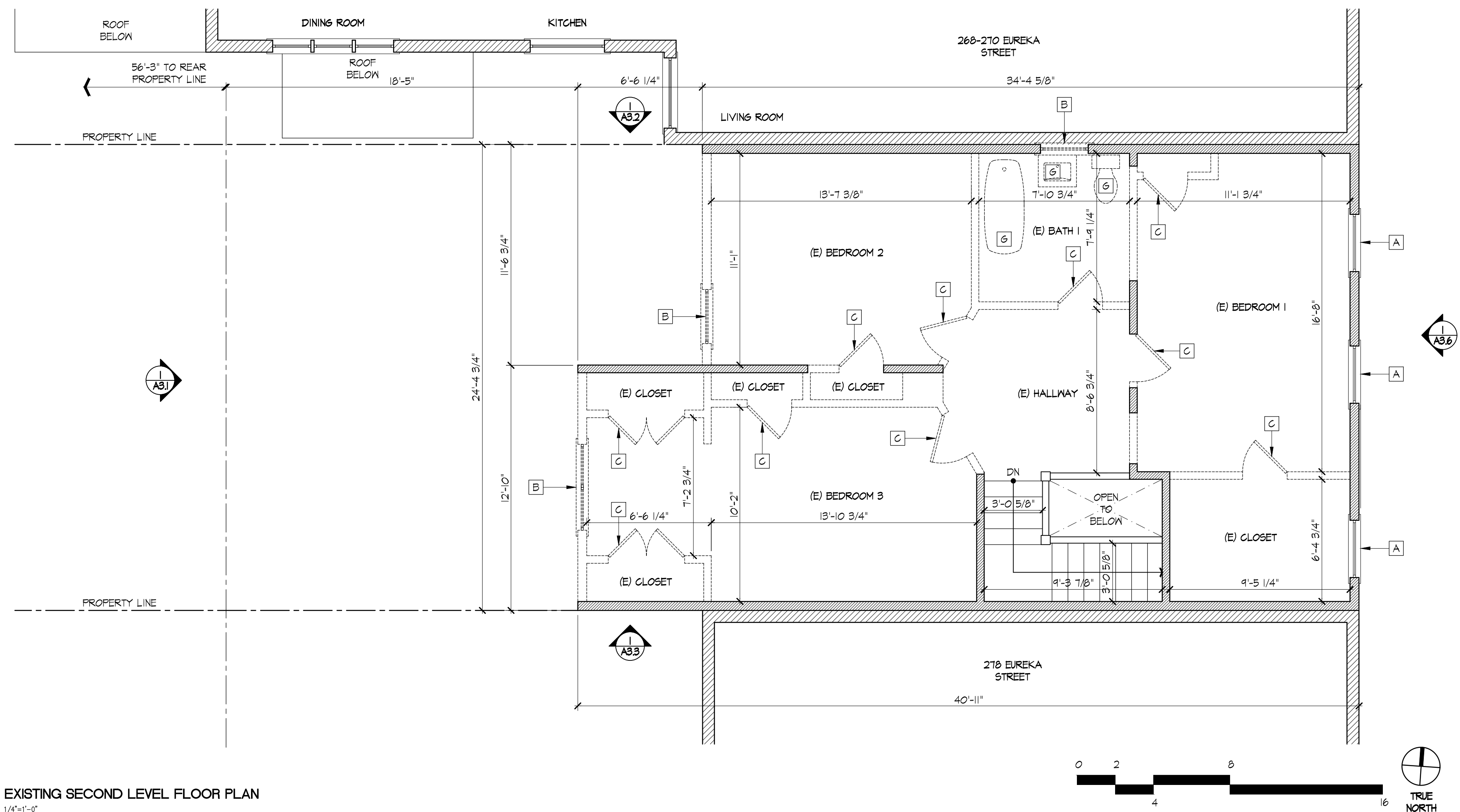
NATURAL VENTILATION REQUIRED (4%) = 3.76 SQ.F
NATURAL VENTILATION PROVIDED = 6.3 SQ.FT.



2 | PROPOSED SECOND LEVEL FLOOR PLAN
1/4"=1'-0"

MINIMUM 1" THICK PIPE INSULATION SHALL BE INSTALLED ON ALL
NEWLY INSTALLED AND ACCESSIBLE EXISTING HOT WATER PIPING.

	TO BE REMOVED/DEMOLISHED
	EXISTING (E) WALL
	NEW (N) WALL
	NEW (N) 1 HOUR RATED WALL



1 | EXISTING SECOND LEVEL FLOOR PLAN
1/4"=1'-0"

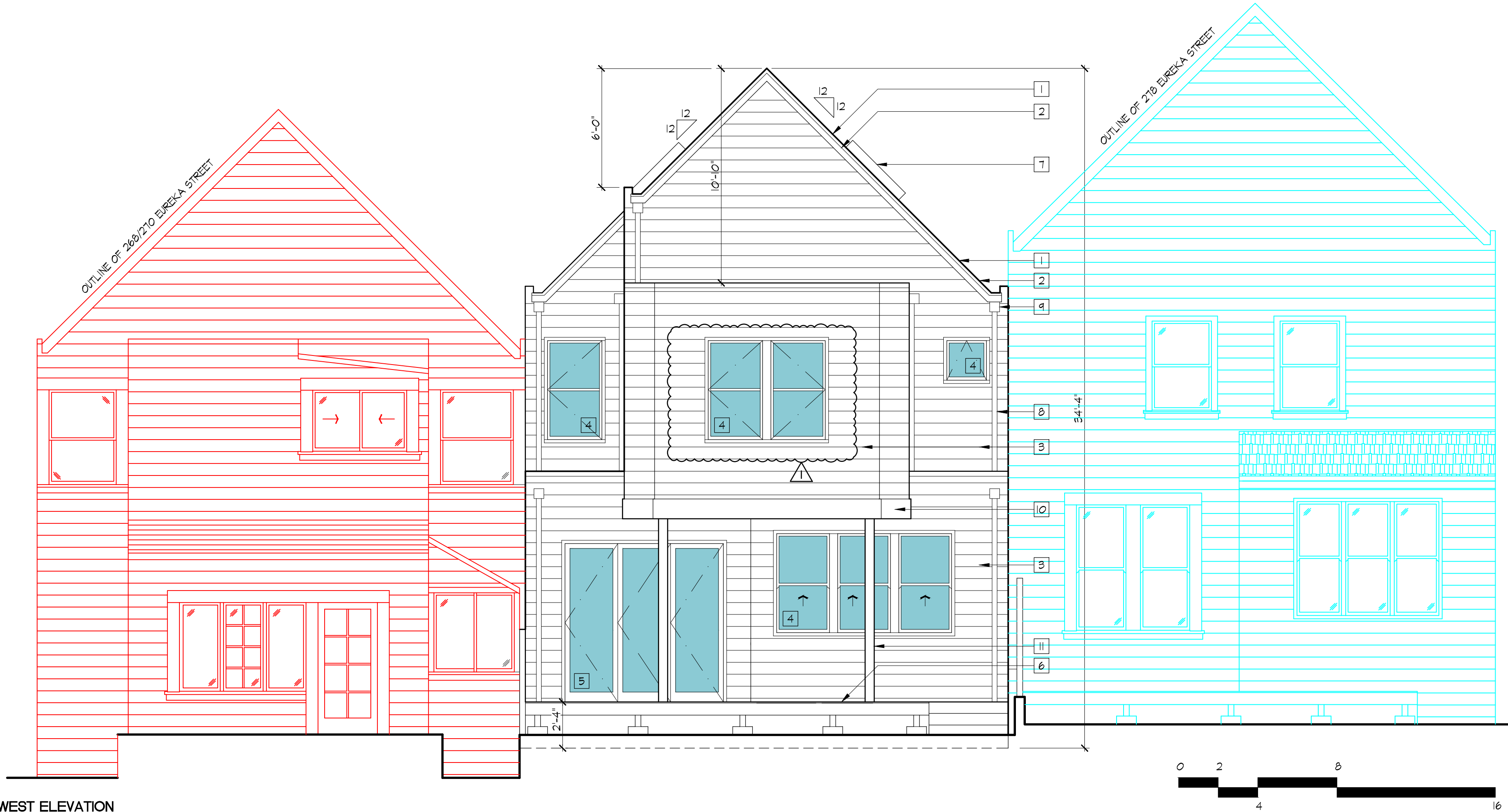
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EET NUMBER

A2.3

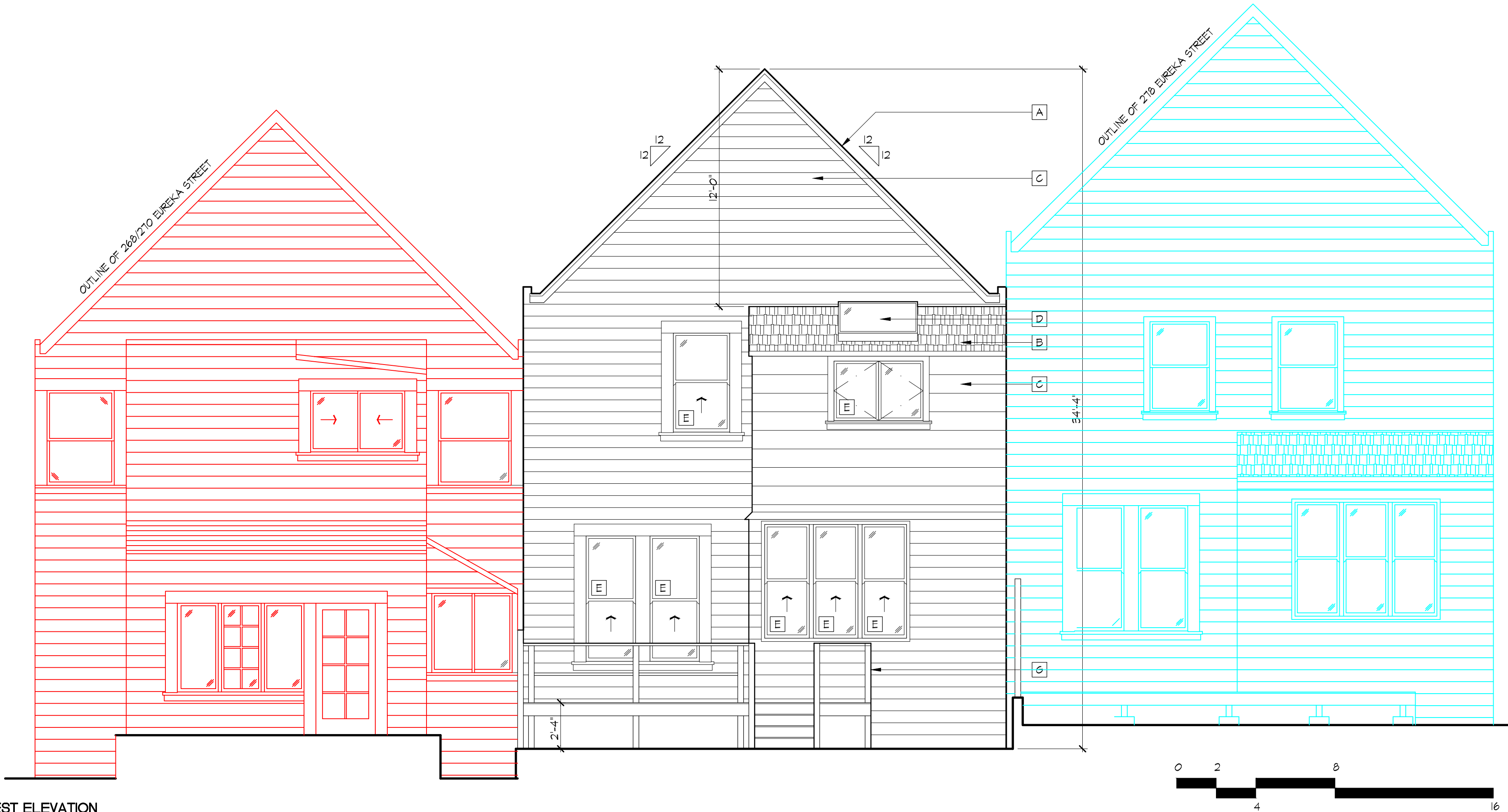
KEY NOTES: PROPOSED ELEVATION

- 1 (N) COMPOSITE ASPHALT SHINGLE ROOF TO MATCH EXISTING
- 2 (N) ENGINEERED WOOD COMPOSITE TRIM, PAINTED
- 3 (N) ENGINEERED WOOD COMPOSITE SIDING, PAINTED
- 4 (N) WOOD CLAD WINDOW, SEE WINDOW SCHEDULE
- 5 (N) WOOD GLAD DOOR, SEE DOOR SCHEDULE
- 6 (N) WOOD DECK
- 7 (N) SKYLIGHT
- 8 (N) METAL DOWNSPOUT, PAINTED
- 9 (N) METAL SCUPPER, PAINTED
- 10 (N) ENGINEERED WOOD COMPOSITE BELLY BAND, PAINTED
- 11 (N) WOOD POST



KEY NOTES: EXISTING ELEVATION

- A (E) COMPOSITE ASPHALT SHINGLE ROOF TO REMAIN
- B (E) COMPOSITE ASPHALT SHINGLE ROOF TO BE REMOVED
- C (E) WOOD SIDING TO BE REMOVED
- D (E) SKYLIGHT TO BE REMOVED
- E (E) WINDOW TO BE REMOVED
- F (E) DOOR TO BE REMOVED
- G (E) WOOD DECK AND RAILING TO BE REMOVED
- H (E) EXTERIOR FINISH TO REMAIN



272 EUREKA STREET

ADDITION

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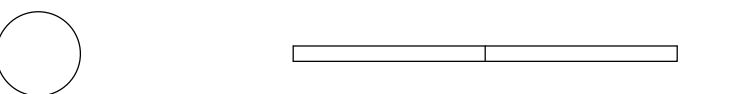
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SHEET TITLE
EXISTING AND PROPOSED
WEST ELEVATION

SCALE



SHEET NUMBER

A3.1

A	(E) COMPOSITE ASPHALT SHINGLE ROOF TO REMAIN
B	(E) COMPOSITE ASPHALT SHINGLE ROOF TO BE REMOVED
C	(E) WOOD SIDING TO BE REMOVED
D	(E) SKYLIGHT TO BE REMOVED
E	(E) WINDOW TO BE REMOVED
F	(E) DOOR TO BE REMOVED
G	(E) WOOD DECK AND RAILING TO BE REMOVED
H	(E) EXTERIOR FINISH TO REMAIN

KEY NOTES: PROPOSED ELEVATION

- 1 (N) COMPOSITE ASPHALT SHINGLE ROOF TO MATCH EXISTING
- 2 (N) ENGINEERED WOOD COMPOSITE TRIM, PAINTED
- 3 (N) ENGINEERED WOOD COMPOSITE SIDING, PAINTED
- 4 (N) WOOD CLAD WINDOW, SEE WINDOW SCHEDULE
- 5 (N) WOOD CLAD DOOR, SEE DOOR SCHEDULE
- 6 (N) WOOD DECK
- 7 (N) SKYLIGHT
- 8 (N) METAL DOWNSPOUT, PAINTED
- 9 (N) METAL SCUPPER, PAINTED
- 10 (N) ENGINEERED WOOD COMPOSITE BELLY BAND, PAINTED
- 11 (N) WOOD POST

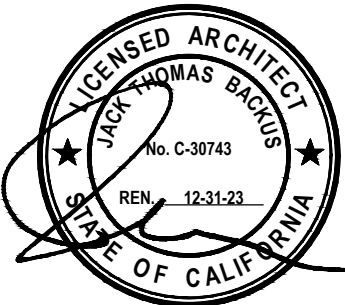
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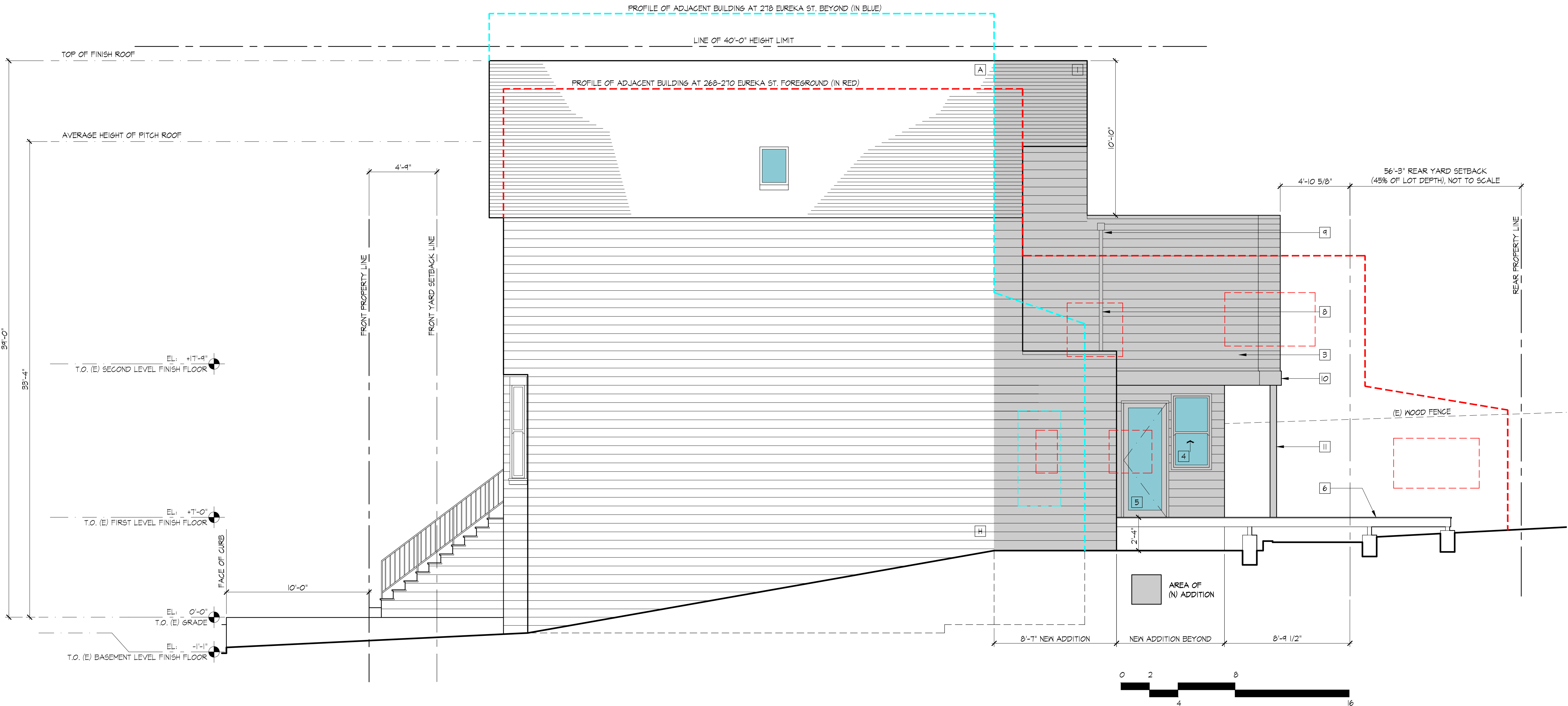
SHEET TITLE

PROPOSED NORTH ELEVATION

SCALE

SHEET NUMBER

A3.2A



KEY NOTES: EXISTING ELEVATION

- (A) (E) COMPOSITE ASPHALT SHINGLE ROOF TO REMAIN
- (B) (E) COMPOSITE ASPHALT SHINGLE ROOF TO RE REMOVED
- (C) (E) WOOD SIDING TO BE REMOVED
- (D) (E) SKYLIGHT TO BE REMOVED
- (E) (E) WINDOW TO BE REMOVED
- (F) (E) DOOR TO BE REMOVED
- (G) (E) WOOD DECK AND RAILING TO BE REMOVED
- (H) (E) EXTERIOR FINISH TO REMAIN

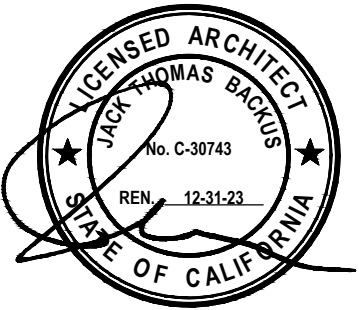
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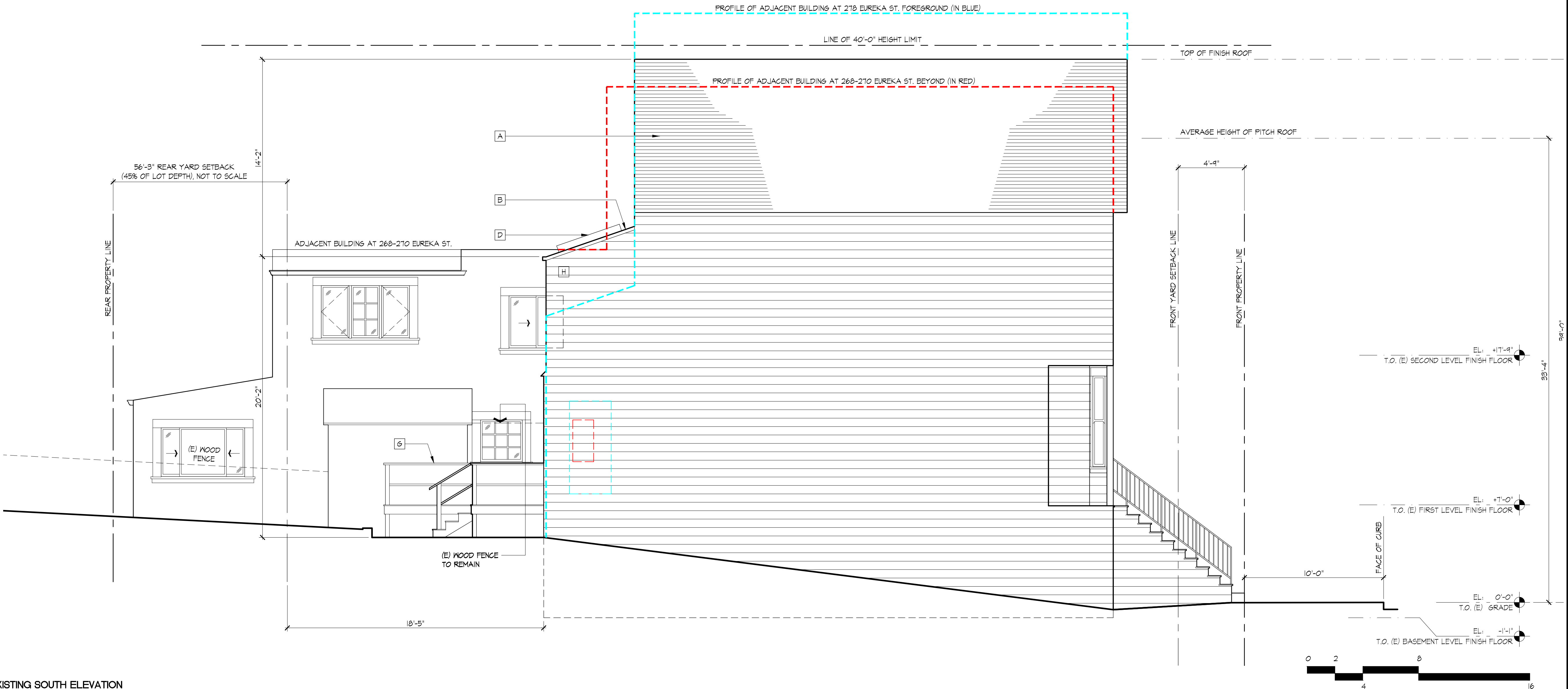
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SHEET TITLE
EXISTING SOUTH ELEVATION

SCALE

SHEET NUMBER

A3.3



1 EXISTING SOUTH ELEVATION
1/4"=1'-0"

KEY NOTES: PROPOSED ELEVATION

- 1 (N) COMPOSITE ASPHALT SHINGLE ROOF TO MATCH EXISTING
- 2 (N) ENGINEERED WOOD COMPOSITE TRIM, PAINTED
- 3 (N) ENGINEERED WOOD COMPOSITE SIDING, PAINTED
- 4 (N) WOOD CLAD WINDOW, SEE WINDOW SCHEDULE
- 5 (N) WOOD CLAD DOOR, SEE DOOR SCHEDULE
- 6 (N) WOOD DECK
- 7 (N) SKYLIGHT
- 8 (N) METAL DOWNSPOUT, PAINTED
- 9 (N) METAL SCUPPER, PAINTED
- 10 (N) ENGINEERED WOOD COMPOSITE BELLY BAND, PAINTED
- 11 (N) WOOD POST

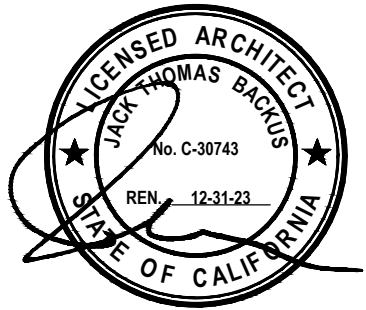
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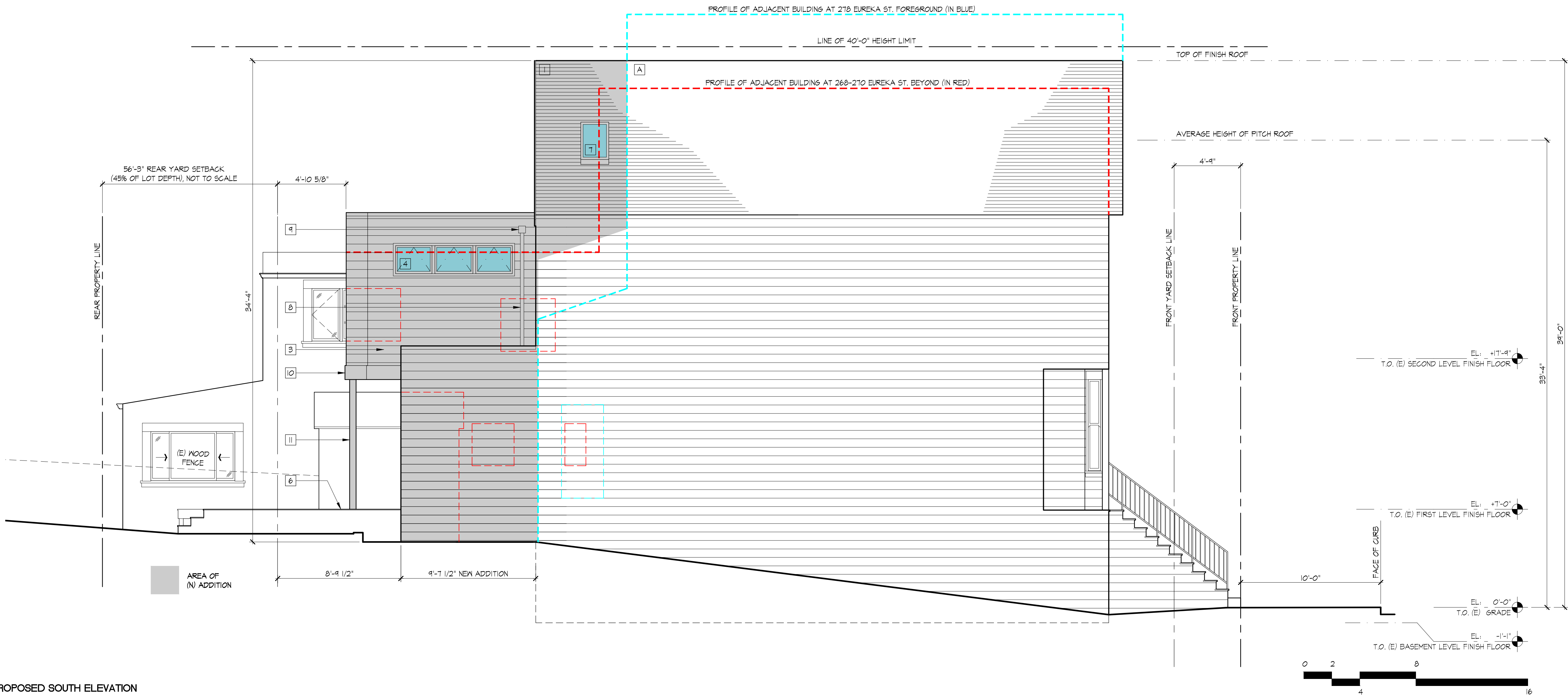
SHEET TITLE

PROPOSED SOUTH ELEVATION

SCALE

SHEET NUMBER

A3.3A



1 PROPOSED SOUTH ELEVATION
1/4"=1'-0"

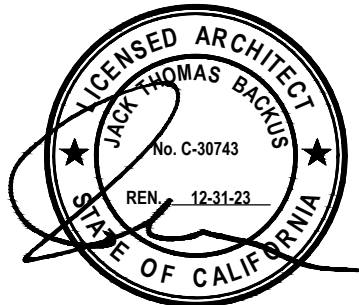
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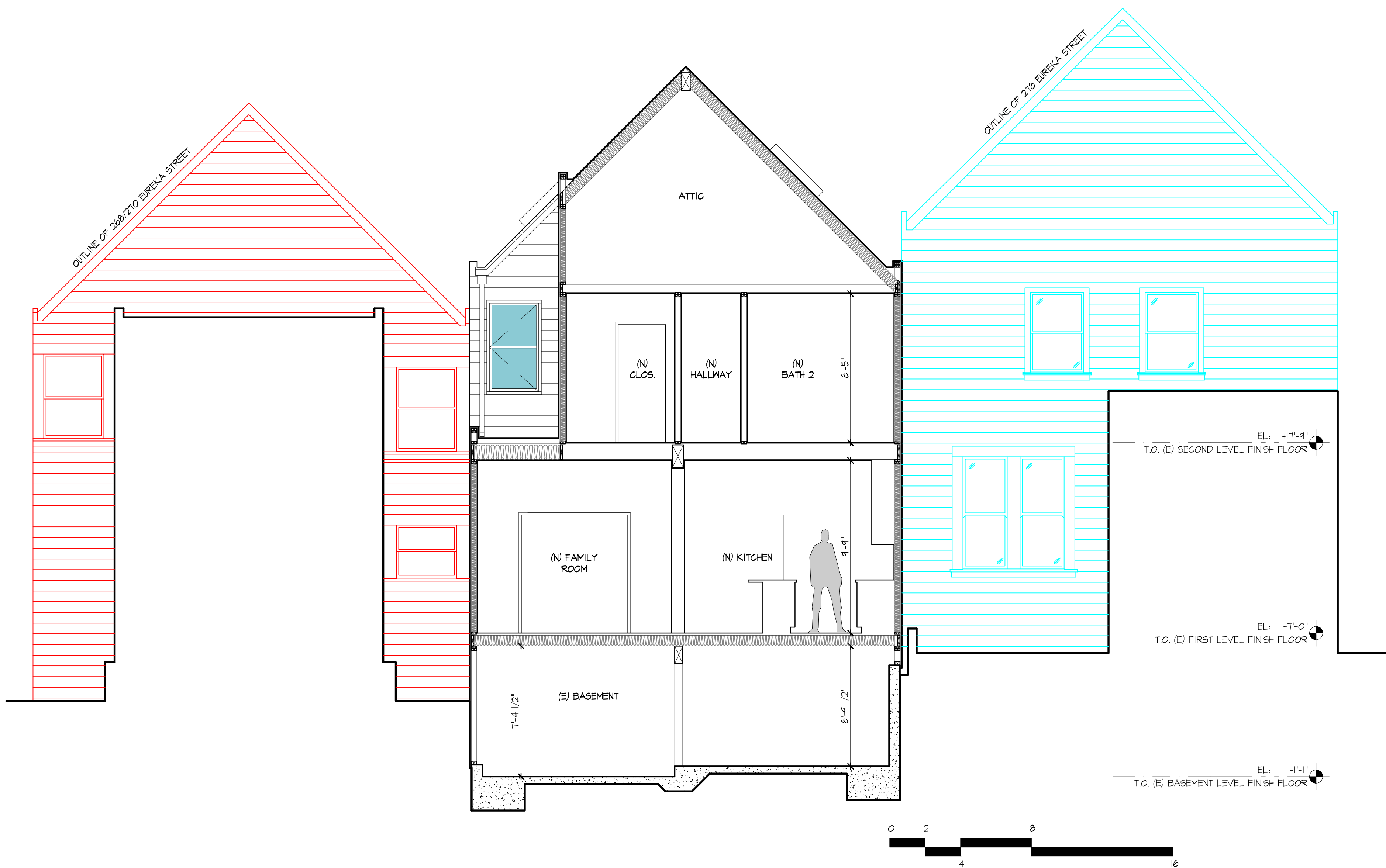
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SHEET TITLE
PROPOSED LATERAL
BUILDING SECTION

SCALE

SHEET NUMBER

A3.4



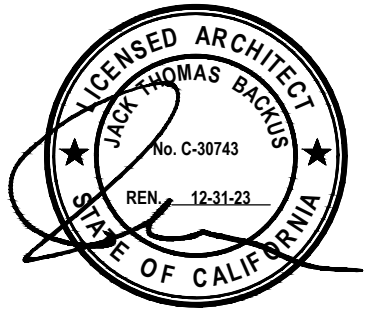
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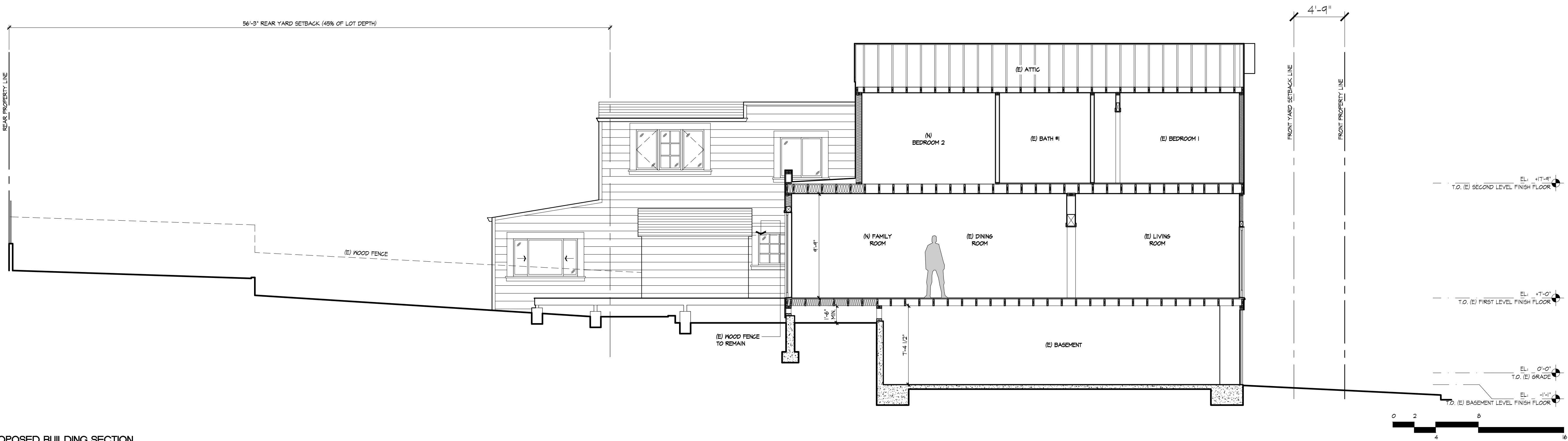
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SHEET TITLE
PROPOSED LONGITUDINAL
BUILDING SECTIONS

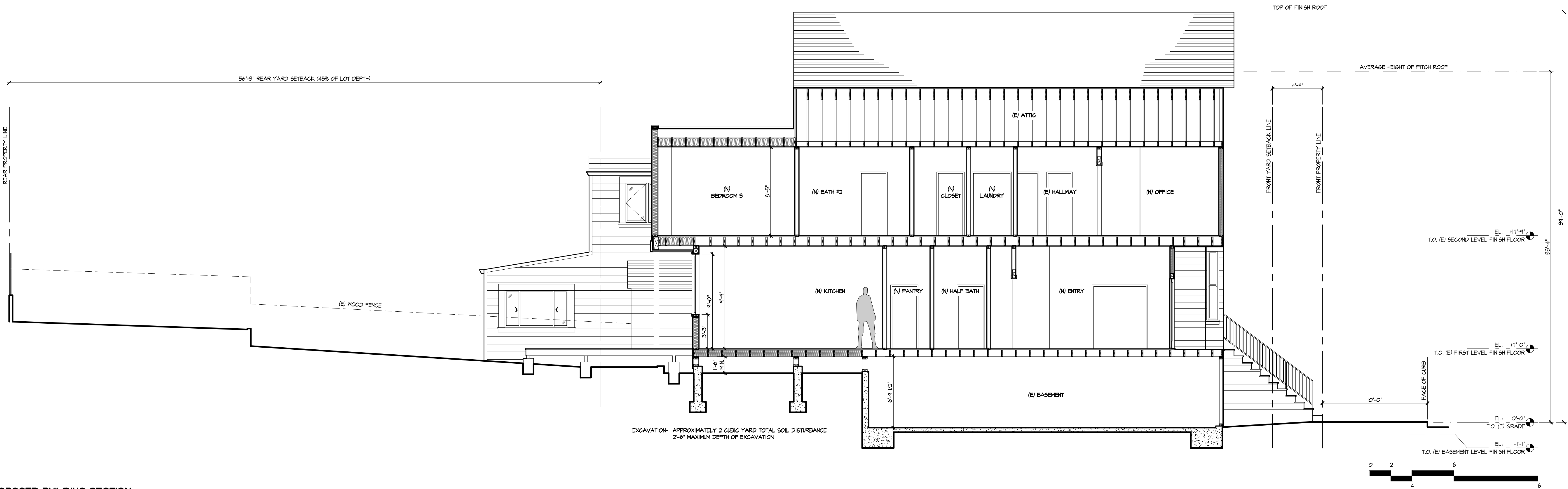
SCALE

SHEET NUMBER

A3.5



2 | PROPOSED BUILDING SECTION
3/16"=1'-0"



1 | PROPOSED BUILDING SECTION
3/16"=1'-0"

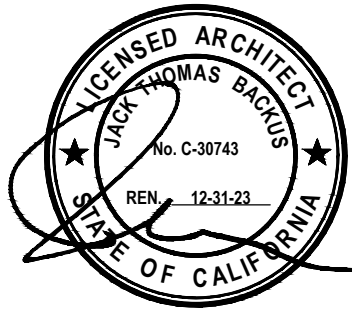
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ph. 510.393.9699

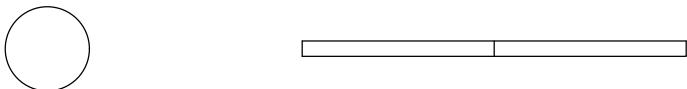


ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION
1.	08.09.2021	PLANNING PERMIT SET
2.	11.22.2021	PLANNING PERMIT REVISIONS
3.	02.21.2022	PLANNING PERMIT REVISIONS

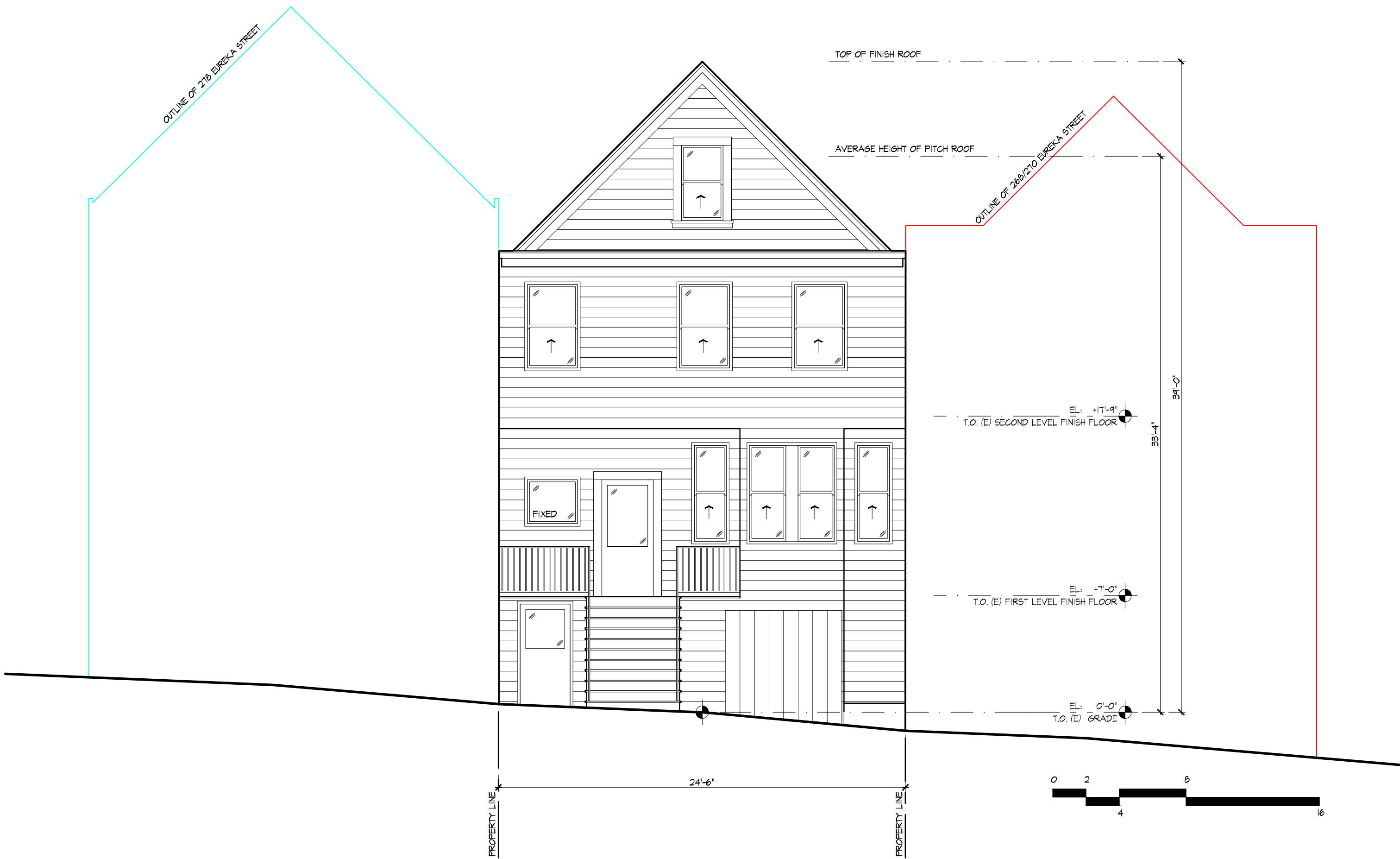
SHEET TITLE
EXISTING EAST ELEVATION

SCALE



SHEET NUMBER

A3.6



1 | EXISTING EAST ELEVATION
3/16"=1'-0"

PUBLIC COMMENT

From: [Tori Downes](#)
To: [BoardofAppeals \(PAB\)](#)
Cc: stellarubenstein@hotmail.com; [Gina White](#)
Subject: Re: Support for Appeal 22-083
Date: Monday, December 12, 2022 9:21:31 AM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

We are emailing you in support of Appeal 22-083.

We are Tori Downes and Estelle Rubenstein. We own the property at 254 Eureka Street, five buildings from the proposed construction at 272 Eureka Street, described in permit 2021/08/10/6180.

We were not notified of this construction until after the permit had already been granted, denying us the opportunity to raise our concerns earlier. The lack of notification demonstrates a lack of care for the neighborhood on the part of the developer.

We support Gina White's appeal and share her concerns about the loss of privacy due to windows with a view into her bedrooms. We also share her concerns about the loss of light. Additionally we believe the proposed construction will lower her property value and will lower the property values generally in the neighborhood.

Please grant her appeal.

From: [Janet Frost](#)
To: [BoardofAppeals \(PAB\)](#)
Subject: Appeal# 22-083
Date: Saturday, December 17, 2022 1:08:06 PM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

Hello,

I am writing regarding the appeal for 272 Eureka Street. I do not object to the work to be done however our street has had a number of ongoing projects for over 2 years duration. There are currently 3 active construction sites on the 200 block of Eureka. These projects take away parking, create noise and dirt and are a general nuisance on our street.

Is there a way to ensure that permits are issued in a way so as not to so severely impact one block? I would ask you to delay until at least one of the other projects is completed.

Best,

Janet Frost
258 Eureka

Sent from my iPad

From: [Jim McDonald](#)
To: [BoardofAppeals \(PAB\)](#)
Cc: manteuffel415@gmail.com
Subject: Support for Permit #20210810680
Date: Sunday, December 18, 2022 3:11:44 PM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

SUPPORT for Permit #202108106180

My wife and I have lived on Eureka St. for over 50 years, and have known the Manteuffel family since they moved here in the 1980s, there are only a handful residents on the street that have been here that long.

It's nice to see the next generation moving back, and investing in making improvements to the houses and neighborhood. Matt and his wife are doing this for themselves, not like some of the other projects on the street.

The addition that has been approved is very modest and will have very little impact on the neighbors.

We fully support moving forward with the permit that has been granted.

Jim McDonald
264 Eureka St.

From: [Greg Manteuffel](#)
To: [BoardofAppeals \(PAB\)](#)
Cc: manteuffel415@gmail.com
Subject: Support for Permit # 202108106180
Date: Thursday, December 22, 2022 1:19:20 PM

This message is from outside the City email system. Do not open links or attachments from untrusted sources.

I am emailing you in support of Permit # 202108106180.

My name is Greg Manteuffel and my wife and I bought the property at 272 Eureka Street 40 years ago. We lived there where we raised our son Matt. Matt has always lived in that house except when he was away at college. While he was away at college, I moved to Santa Cruz and rented the house as a furnished short term rental. Gina White was the first person to rent the house from me and then bought the house next door at 278 Eureka. Matt returned from college in 2014 and has been living at 272 Eureka since. I love that house and was so happy to hear that Matt and his wife wanted to make it their family home as well. I certainly understand why they want to remodel the house the house. Victorian homes have hardly any closet space and a second bathroom helps when you have a growing family.

I have had a cooperative relationship with Gina White who lives next door at 278 Eureka. We repaired the fence on our property line together and I have referred them to my plumber and gardener. I've trimmed one of their bushes that was over grown and blocking their front window and swept up some their leaves when doing that in front of 272. We haven't been close but we have been good neighbors.

Knowing those houses for 40 years, I do feel that the removal of the large plum tree on our property line in the back will make a big difference in Gina White's indirect light concerns. It is a big tree and has leaves for 10 months of the year. That tree provided a lot of welcome shade in our kitchen in the afternoon and our kitchen is right next to their dining room.

I support the addition and Permit #202108106180 so that Matt and wife can raise my grandchildren in the same home that I raised him in.

Thank you

Greg